

**Westfield City Council Members**

**Mark Keen**, President (District 1)

**Steve Hoover** (District 2)

**Robert L. Horkay**, (District 5)

**Chuck Lehman**, (District 4)

**Joe Edwards** (District 3)

**Cindy L. Spoljaric** (At Large)

**Jim Ake** Vice President (At Large)



***CITY OF WESTFIELD, IN***  
***CityCouncil\_Meeting\_Agenda\_02\_24\_2014***

*Monday, February 24, 2014 at 07:00 PM*

**BOARD OR COMMISSION:** City Council Meeting

**MEETING DATE:** Monday, February 24, 2014 at 07:00 PM

**MEETING PLACE:** Westfield City Hall- Assembly Room

***THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE COUNCIL***

**AGENDA**

**Pledge of Allegiance**

**Invocation**

**Opening of Meeting**

**Note the presence of a quorum**

**Announce any changes to Agenda**

**Approval of Minutes:**

**Approval of City Council minutes of February 10, 2014 (regular meeting)**

**Documents:** [Minutes- 2/10/14](#)

**Guests:**

**Residents who wish to address the Council on items not on the agenda may do so at this time.**

**Council Response to Guest Comments**

**Claims:**

**Approval of Claims**

**Documents:** [Claims](#)

**Miscellaneous Business/Special Recognition:**

None

**Old Business:**

**Resolution 13-120: Fiscal Plan for Annexation Ordinance 13-36**

**Adoption Consideration- February 24, 2014**

**Documents: [Res. 13-120](#)**

**Ordinance 13-36: 100% Voluntary Annexation of approximately 28 acres on the Northwest corner of 199th Street & Tomlinson Road**

**Council Introduction- January 13, 2014**

**Public Hearing- January 13, 2014**

**Adoption Consideration- February 24, 2014**

**Documents: [Ord. 13-36](#) | [Reference Only: Location Map](#)**

**Resolution 14-103: Fiscal Plan for Annexation Ordinance 14-04**

**Adoption Consideration- February 24, 2014**

**Documents: [Res. 14-103](#)**

**Ordinance 14-04: Gibson 100% Voluntary Annexation**

**Council Introduction- January 27, 2014**

**Public Hearing- January 27, 2014**

**Second Public Hearing- February 24, 2014**

**Adoption Consideration- February 24, 2014**

**Documents: [Ord. 14-04](#) | [Reference Only: Property Map](#)**

**Ordinance 14-06: Food Vendor Ordinance**

**Council Introduction- February 10, 2014**

**Public Comment- February 24, 2014**

**Adoption Consideration- March 10, 2014**

**Documents: [Ord. 14-06](#)**

**Ordinance 14-02: Amendment to Bridgewater PUD- Woodland Terrace of Westfield**

**Council Introduction- January 13, 2014**

**APC Public Hearing- February 3, 2014**

**APC Recommendation- February 18, 2014**

**Adoption Consideration- February 24, 2014**

**Documents: [Ord. 14-02](#) | [Staff Report](#) | [APC Certification](#) | [Petitioner's Presentation](#)**

**Ordinance 14-09: North Walk PUD Ordinance**

**Council Introduction- December 9, 2013**

**APC Public Hearing- January 21, 2014**

**APC Recommendation- February 18, 2014**

**Adoption Consideration- February 24, 2014**

Documents: [Ord. 14-09](#) | [Staff Report](#) | [Aerial Location Map](#) | [Conceptual Site Plan](#)  
| [APC Certification](#)

**New Business:**

**Resolution 14-104: Joint Resolution regarding Hamilton County Schools  
Adoption Consideration- February 24, 2014**

Documents: [Res. 14-104](#)

**Ordinance 14-05: 100% Voluntary Annexation of the Walker Property,  
approximately 49.22 acres on the Southeast corner of 186th Street and Spring Mill  
Road**

**Council Introduction- February 24, 2014**

**Public Hearing- February 24, 2014**

**Adoption Consideration- March 24, 2014**

Documents: [Ord. 14-05](#) | [Reference Only: Property Map](#)

**City Council Comments**

**Mayor Comments**

**Adjourn**

**Executive Session: I.C. 5-14-1.5-6.1 (b) (2) (B): Legal Issues**

**Working Meeting**

## **RESOLUTION 14-104**

### **A RESOLUTION OF THE FISHERS TOWN COUNCIL, WESTFIELD CITY COUNCIL, CARMEL CITY COUNCIL, NOBLESVILLE CITY COUNCIL, HAMILTON COUNTY COMMISSIONERS AND HAMILTON COUNTY COUNCIL CONCERNING HAMILTON COUNTY SCHOOLS**

**WHEREAS**, Hamilton County is an economic engine for growth providing high levels of income and property taxes to the state of Indiana;

**WHEREAS**, Hamilton County attracts high-growth, high-performing corporate citizens and a highly educated workforce by offering families excellent public education options in all six of its public school corporations;

**WHEREAS**, *US News & World Report* has named four Hamilton County high schools to its Indiana top ten list, and, during the last decade, at least nine (9) Hamilton County schools were named Blue Ribbon Public Schools;

**WHEREAS**, Hamilton County schools receive some of the lowest per-pupil funding of all schools – despite their demonstrable records of achievement and success;

**WHEREAS**, Hamilton County schools have not been able to keep up with the federal cost of living adjustments;

**WHEREAS**, Hamilton County's elected officials and business community recognize that the County's continued growth, development and economic contribution to the State of Indiana depends on offering excellent schools;

**WHEREAS**, the current school funding issues jeopardize the long-term sustainability of Hamilton County's school corporations; and

**WHEREAS**, the recently-enacted Senate Bill 517 regarding allocation of circuit breaker losses adversely impacts local governmental entities, including school corporations, throughout the state. One of its immediate impacts in Hamilton County will cause Westfield-Washington Schools to eliminate transportation. Unless it is repealed, it could have the same impact on all Hamilton County school corporations.

**WHEREAS**, Hamilton County desires to partner with the State of Indiana to provide viable and sustainable school funding that supports Indiana's high-performing schools.

**NOW, THEREFORE, BE IT RESOLVED** by the Town of Fishers, City of Westfield, City of Carmel, City of Noblesville, Hamilton County Commissioners and Hamilton County Council as follows:

1. To allow schools to continue offering school bus transportation, Hamilton County requests that the state allocate future increases in state education funding to base foundation funding. In addition, the funding formula should provide financial rewards for student academic growth.

2. To promote sustainable schools, Hamilton County requests that the state allocate future increases in state education funding to base foundation funding.

3. This Resolution shall be in full force and effect from and after its adoption.

[REMAINDER OF PAGE LEFT BLANK INTENTIONALLY]

ALL OF WHICH IS RESOLVED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2014.

WESTFIELD CITY COUNCIL

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

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Robert L. Horkay

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Robert L. Horkay

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

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Charles Lehman

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Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

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Cindy L. Spoljaric

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Cindy L. Spoljaric

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Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

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Robert W. Stokes

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Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk Treasurer

I hereby certify that RESOLUTION 14-104 was delivered to the Mayor of Westfield

on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk Treasurer

I hereby APPROVE RESOLUTION 14-104

I hereby VETO RESOLUTION 14-104

this \_\_\_\_\_ day of \_\_\_\_\_, 2014.    this \_\_\_\_\_ day of \_\_\_\_\_, 2014

\_\_\_\_\_  
J. Andrew Cook, Mayor

\_\_\_\_\_  
J. Andrew Cook, Mayor

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk Treasurer

This document prepared by  
Brian J. Zaiger, Esq.  
KRIEG DEVAULT, LLP  
(317) 238-6266

## ORDINANCE 13-36

### AN ORDINANCE ANNEXING CERTAIN REAL ESTATE TO THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA

**WHEREAS**, the Westfield City Council (the “Council”) has the authority and desires to annex lands into the municipality as defined by Indiana Code 36-4-3; and,

**WHEREAS**, one hundred percent (100%) of the owners of the parcels proposed for annexation as identified in Exhibit A and Exhibit B (the “Annexation Area”) have filed a petition with the Council; and,

**WHEREAS**, the Council has conducted a public hearing as required by law with regard to the annexation of the Annexation Area; and,

**WHEREAS**, the Council has adopted a fiscal plan for the annexation of the Annexation Area in accordance with Indiana Code 36-4-3-3.1 (Resolution 13-120); and,

**WHEREAS**, the Annexation Area meets the contiguity requirements of Indiana Code 36-4-3-1.5; and,

**WHEREAS**, the Council now finds that the statutory criteria for annexation have been met; and,

**NOW THEREFORE BE IT ORDAINED BY THE WESTFIELD CITY COUNCIL THAT THE OFFICIAL CITY MAP ADOPTED BY REFERENCE IN SECTION 2-515 OF THE WESTFIELD CODE BE MODIFIED AS FOLLOWS:**

**Section 1.** The Annexation Area, generally located on the northwest corner of 199<sup>th</sup> Street and Tomlinson Road and adjacent to the existing corporate limits along the eastern boundary of the Annexation Area, is hereby annexed to and declared to be a part of the City.

**Section 2.** The Annexation Area is to further include the contiguous public highways and rights-of-way of the public highways which are adjacent to the annexation area per Indiana Code 36-4-3-2.5.

**Section 3.** The Annexation Area is hereby assigned to City Council District 3 and shall become a part thereof immediately upon the effective date of this Ordinance.

**Section 4.** This Ordinance shall be in full force and effect upon its passage by the Council, its publication, and upon the passage of any applicable waiting period, all as provided by the laws of the State of Indiana. All ordinances or parts thereof in conflict herewith are hereby repealed. Any portion of the Ordinance later to be found void or invalid shall not affect the remaining portions of this Ordinance.

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF  
WESTFIELD, HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF FEBRUARY, 2014.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

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Robert L. Horkay

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

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Charles Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

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Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby certify that **ORDINANCE 13-36** was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

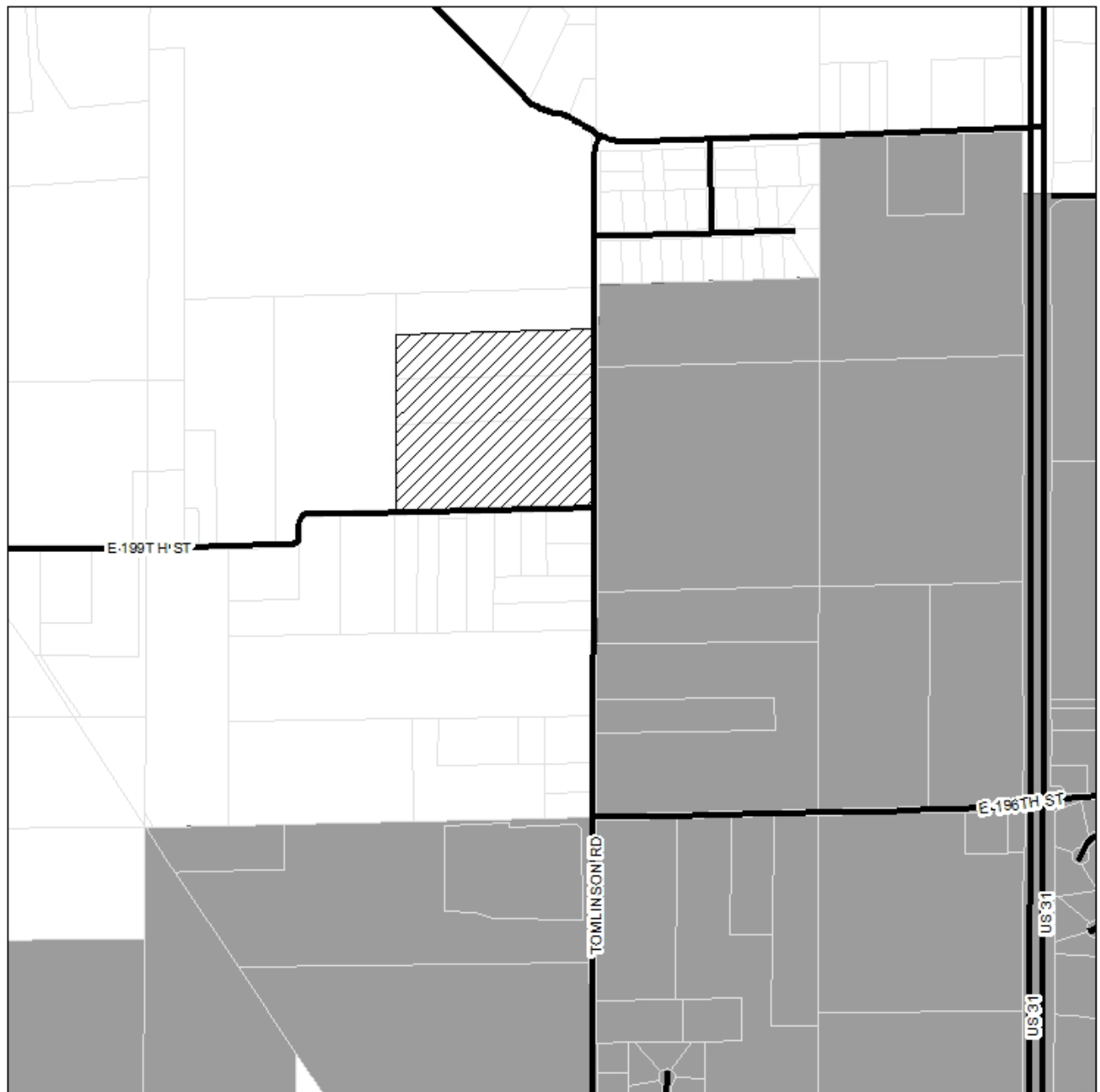
I hereby APPROVE Ordinance 13-36  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Ordinance 13-36  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

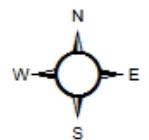
**EXHIBIT A**  
**ANNEXATION AREA**



**EXHIBIT LEGEND**

- |                                                                                     |                      |                                                                                     |         |
|-------------------------------------------------------------------------------------|----------------------|-------------------------------------------------------------------------------------|---------|
|  | ANNEXATION AREA      |  | PARCELS |
|  | EXISTING CITY LIMITS |  | STREETS |

Not To Scale



**EXHIBIT B**  
**ANNEXATION AREA**  
**LEGAL DESCRIPTION**

This description includes three (3) parcels of land:

**Parcel No. 08-05-24-00-00-037.002**

**Parcel No. 08-05-24-00-00-037.003**

**Parcel No. 08-05-24-00-00-037.000**

Part of the Northwest and Southwest Quarters of Section 24, Township 19 North, Range 3 East, Hamilton County, Indiana, more particularly described as follows:

BEGINNING at the Northeast Corner of said Southwest Quarter (Section Corner 19032405); thence N 00-17-00 E, 229.063 feet to the Southeast corner of the parcel described in Instrument Number 2011012100, on file in the Office of the Recorder of Hamilton County, Indiana; thence S 88-27-53 W, 1180.476 feet to the southwest corner of said parcel; thence S 00-08-40 E, 1045.596 feet to the Southwest corner of a 35-acre parcel described in Instrument Number 9609630806 on file in the Office of the Recorder of Hamilton County, Indiana, also being the centerline of E 199th St; thence along E 199th St, N 88-52-13 E, 1173.768 feet to the Southeast corner of said 35-acre parcel and also the centerline of Tomlinson Rd; thence N 00-11-27 E, 825.026 feet to the POINT OF BEGINNING. Containing 29.1 acres, more or less.

**ALSO INCLUDING:**

In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Tomlinson Road and East 199th Street.

## **ORDINANCE 14-04**

### **AN ORDINANCE ANNEXING CERTAIN REAL ESTATE TO THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA**

**WHEREAS**, the Westfield City Council (the “Council”) has the authority and desires to annex lands into the municipality as defined by IC 36-4-3; and,

**WHEREAS**, one hundred percent (100%) of the owners of the parcels proposed for annexation as identified in Exhibit “A” and Exhibit “B” (the “Annexation Area”) have filed a petition with the Council; and,

**WHEREAS**, the Council has conducted a public hearing as required by law with regard to the annexation of the Annexation Area; and,

**WHEREAS**, the Council has adopted a fiscal plan for the annexation of the Annexation Area in accordance with IC 36-4-3-3.1 (Resolution 14-103); and,

**WHEREAS**, the Annexation Area meets the contiguity requirements of IC 36-4-3-1.5; and,

**WHEREAS**, the Council now finds that the statutory criteria for annexation have been met; and,

**NOW THEREFORE BE IT ORDAINED BY THE WESTFIELD CITY COUNCIL THAT THE OFFICIAL CITY MAP ADOPTED BY REFERENCE IN SECTION 2-515 OF THE WESTFIELD CODE BE MODIFIED AS FOLLOWS:**

**Section 1.** The Annexation Area, generally located adjacent to the existing corporate limits, north of 159<sup>th</sup> Street and west of Little Eagle Creek Avenue is hereby annexed to and declared to be a part of the City.

**Section 2.** The Annexation Area is to further include the contiguous public highways and rights-of-way of the public highways which are adjacent to the annexation area per IC 36-4-3-2.5.

**Section 3.** The Annexation Area is hereby assigned to City Council District “4” and shall become a part thereof immediately upon the effective date of this Ordinance.

**Section 4.** This Ordinance shall be in full force and effect upon its passage by the Council, its publication, and upon the passage of any applicable waiting period, all as provided by the laws of the State of Indiana. All ordinances or parts thereof in conflict herewith are hereby repealed. Any portion of the Ordinance later to be found void or invalid shall not affect the remaining portions of this Ordinance.

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,  
HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF FEBRUARY, 2014.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

| <u><b>Voting For</b></u>    | <u><b>Voting Against</b></u> | <u><b>Abstain</b></u>       |
|-----------------------------|------------------------------|-----------------------------|
| _____<br>Jim Ake            | _____<br>Jim Ake             | _____<br>Jim Ake            |
| _____<br>Steven Hoover      | _____<br>Steven Hoover       | _____<br>Steven Hoover      |
| _____<br>Robert L. Horkay   | _____<br>Robert L. Horkay    | _____<br>Robert L. Horkay   |
| _____<br>Charles Lehman     | _____<br>Charles Lehman      | _____<br>Charles Lehman     |
| _____<br>Robert J. Smith    | _____<br>Robert J. Smith     | _____<br>Robert J. Smith    |
| _____<br>Cindy L. Spoljaric | _____<br>Cindy L. Spoljaric  | _____<br>Cindy L. Spoljaric |
| _____<br>Robert W. Stokes   | _____<br>Robert W. Stokes    | _____<br>Robert W. Stokes   |

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby certify that ORDINANCE 14-04 was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

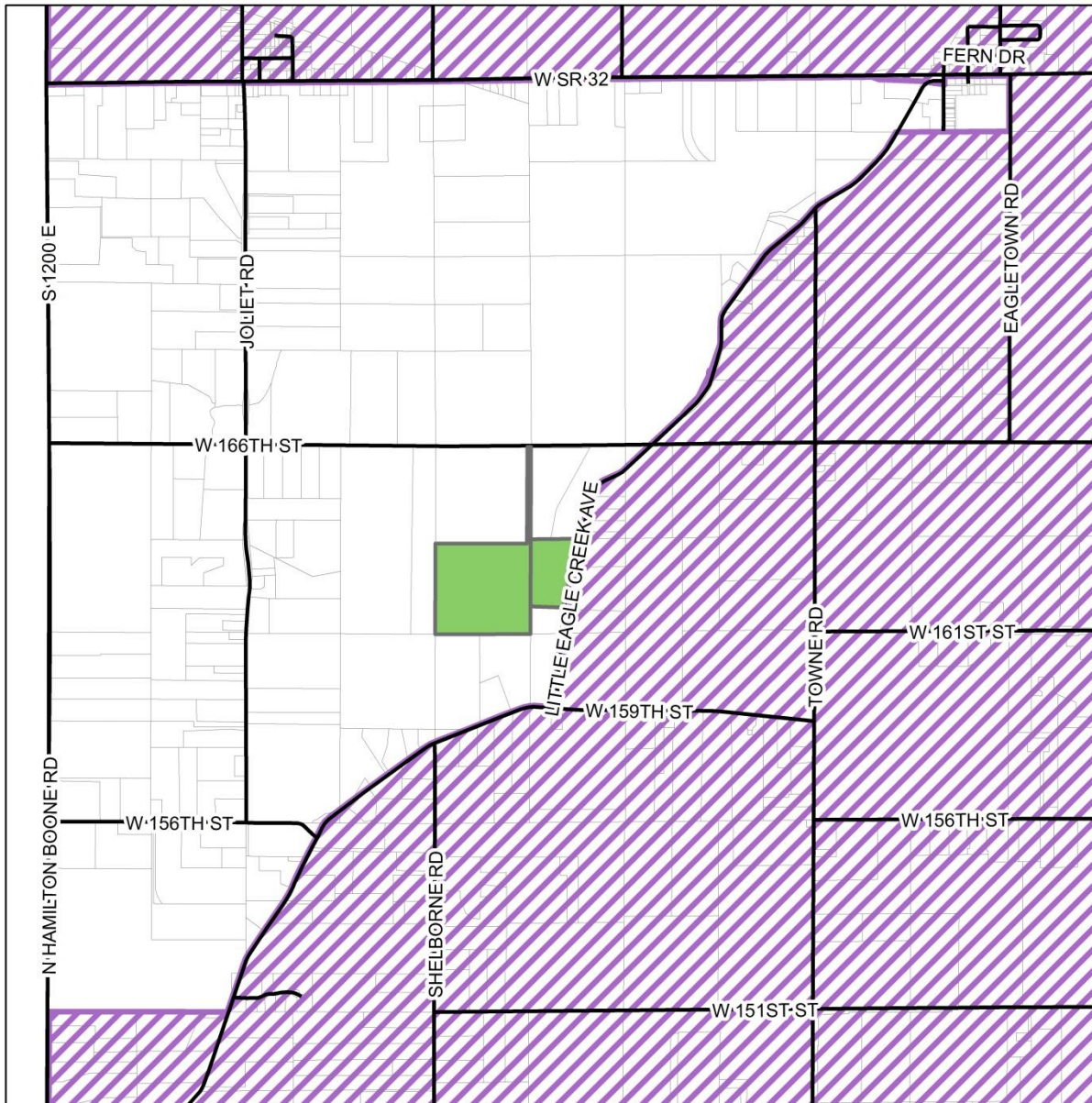
I hereby APPROVE Ordinance 14-04  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Ordinance 14-04  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

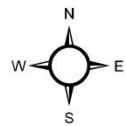
## Exhibit A: Parcel Location Map



### Legend

-  Parcels to be Annexed
-  Existing City Limits

-  Parcels
-  Streets



**Exhibit “B”**  
Legal Descriptions of Property to be Annexed

This description includes two (2) parcels of land:

**Parcel No. 08-09-08-00-00-008.000**

**Parcel No. 08-09-08-00-00-001.000**

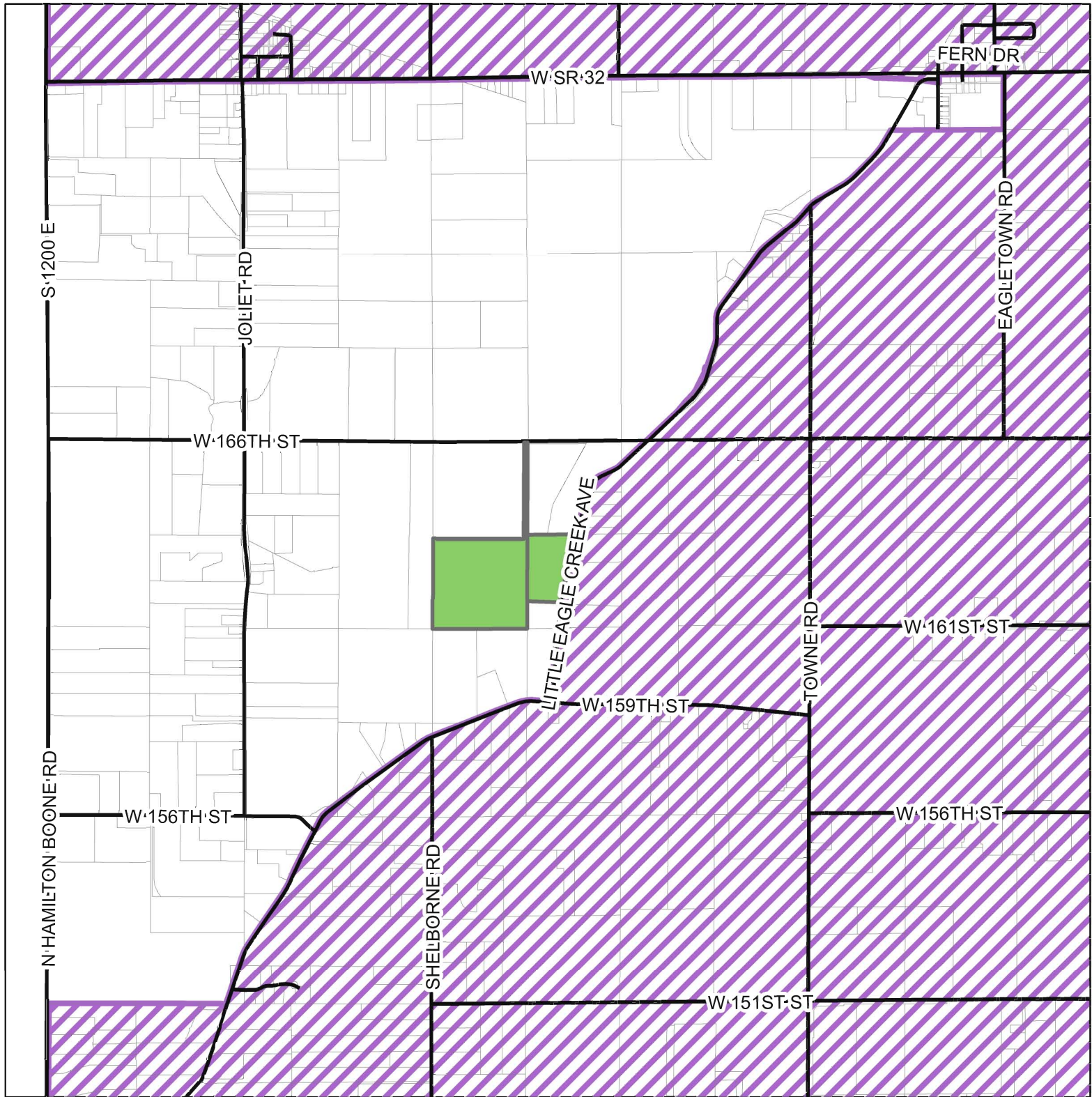
Beginning at the NW1/4 of the NE1/4 of Section 7, Township 18N and Range 3E.

|                         |                                                                                          |
|-------------------------|------------------------------------------------------------------------------------------|
| Direction: S 0-4-58 E   | Distance: 35’ to the point of beginning                                                  |
| Direction: S 0-22-1 W   | Distance: 1349.037’                                                                      |
| Direction: S 90-0-0 W   | Distance: 1278.8’                                                                        |
| Direction: S 0-8-12 W   | Distance: 1266.614’                                                                      |
| Direction: N 89-45-31 E | Distance: 619.746’                                                                       |
| Direction: N 89-45-31 E | Distance: 712.086’                                                                       |
| Direction: N 0-23-56 E  | Distance: 384.909’                                                                       |
| Direction: S 87-54-27 E | Distance: 451.061’                                                                       |
| Direction: S 88-44-34 E | Distance: 35.476’                                                                        |
| Direction: N 13-44-44 E | Distance: 580.131’                                                                       |
| Direction: N 13-49-42 E | Distance: 410.519’                                                                       |
| Direction: S 89-21-56 W | Distance: 36.152’                                                                        |
| Direction: S 89-24-21 W | Distance: 405.012’                                                                       |
| Direction: S 89-24-27 W | Distance: 278.525’                                                                       |
| Direction: N 0-5-50 E   | Distance: 1268.642’                                                                      |
| Direction: N 0-5-9 E    | Distance: 20.13’                                                                         |
| Direction: N 0-0-44 W   | Distance: 34.999’                                                                        |
| Direction: S 89-26-12 W | Distance: 48.696’ back to the point of beginning containing<br>53.48 acres more or less. |

**ALSO INCLUDING:**

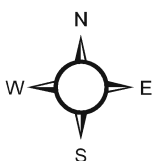
In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Little Eagle Creek Avenue and 166<sup>th</sup> Street.

# Exhibit A: Parcel Location Map



## Legend

-  Parcels to be Annexed
-  Existing City Limits
-  Parcels
-  Streets



## ORDINANCE 14-05

### AN ORDINANCE ANNEXING CERTAIN REAL ESTATE TO THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA

**WHEREAS**, the Westfield City Council (the “Council”) has the authority and desires to annex lands into the municipality as defined by Indiana Code 36-4-3; and,

**WHEREAS**, one hundred percent (100%) of the owners of the parcels proposed for annexation as identified in **Exhibit A** and **Exhibit B** (the “Annexation Area”) have filed a petition with the Council; and,

**WHEREAS**, the Council has conducted a public hearing as required by law with regard to the annexation of the Annexation Area; and,

**WHEREAS**, the Council has adopted a fiscal plan for the annexation of the Annexation Area in accordance with Indiana Code 36-4-3-3.1 (Resolution 14-101); and,

**WHEREAS**, the Annexation Area meets the contiguity requirements of Indiana Code 36-4-3-1.5; and,

**WHEREAS**, the Council now finds that the statutory criteria for annexation have been met; and,

**NOW THEREFORE BE IT ORDAINED BY THE WESTFIELD CITY COUNCIL THAT THE OFFICIAL CITY MAP ADOPTED BY REFERENCE IN SECTION 2-515 OF THE WESTFIELD CODE BE MODIFIED AS FOLLOWS:**

**Section 1.** The Annexation Area, generally located on the east side of Spring Mill Road, south of the 186<sup>th</sup> Street and Spring Mill Road intersection, and adjacent to the existing corporate limits along the eastern boundary of the Annexation Area, is hereby annexed to and declared to be a part of the City.

**Section 2.** The Annexation Area is to further include the contiguous public highways and rights-of-way of the public highways which are adjacent to the annexation area per Indiana Code 36-4-3-2.5.

**Section 3.** The Annexation Area is hereby assigned to City Council District 3 and shall become a part thereof immediately upon the effective date of this Ordinance.

**Section 4.** This Ordinance shall be in full force and effect upon its passage by the Council, its publication, and upon the passage of any applicable waiting period, all as provided by the laws of the State of Indiana. All ordinances or parts thereof in conflict herewith are

hereby repealed. Any portion of the Ordinance later to be found void or invalid shall not affect the remaining portions of this Ordinance.

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF  
WESTFIELD, HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF FEBRUARY, 2014.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

| <u><b>Voting For</b></u>    | <u><b>Voting Against</b></u> | <u><b>Abstain</b></u>       |
|-----------------------------|------------------------------|-----------------------------|
| _____<br>Jim Ake            | _____<br>Jim Ake             | _____<br>Jim Ake            |
| _____<br>Steven Hoover      | _____<br>Steven Hoover       | _____<br>Steven Hoover      |
| _____<br>Robert L. Horkay   | _____<br>Robert L. Horkay    | _____<br>Robert L. Horkay   |
| _____<br>Charles Lehman     | _____<br>Charles Lehman      | _____<br>Charles Lehman     |
| _____<br>Robert J. Smith    | _____<br>Robert J. Smith     | _____<br>Robert J. Smith    |
| _____<br>Cindy L. Spoljaric | _____<br>Cindy L. Spoljaric  | _____<br>Cindy L. Spoljaric |
| _____<br>Robert W. Stokes   | _____<br>Robert W. Stokes    | _____<br>Robert W. Stokes   |

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby certify that **ORDINANCE 14-05** was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

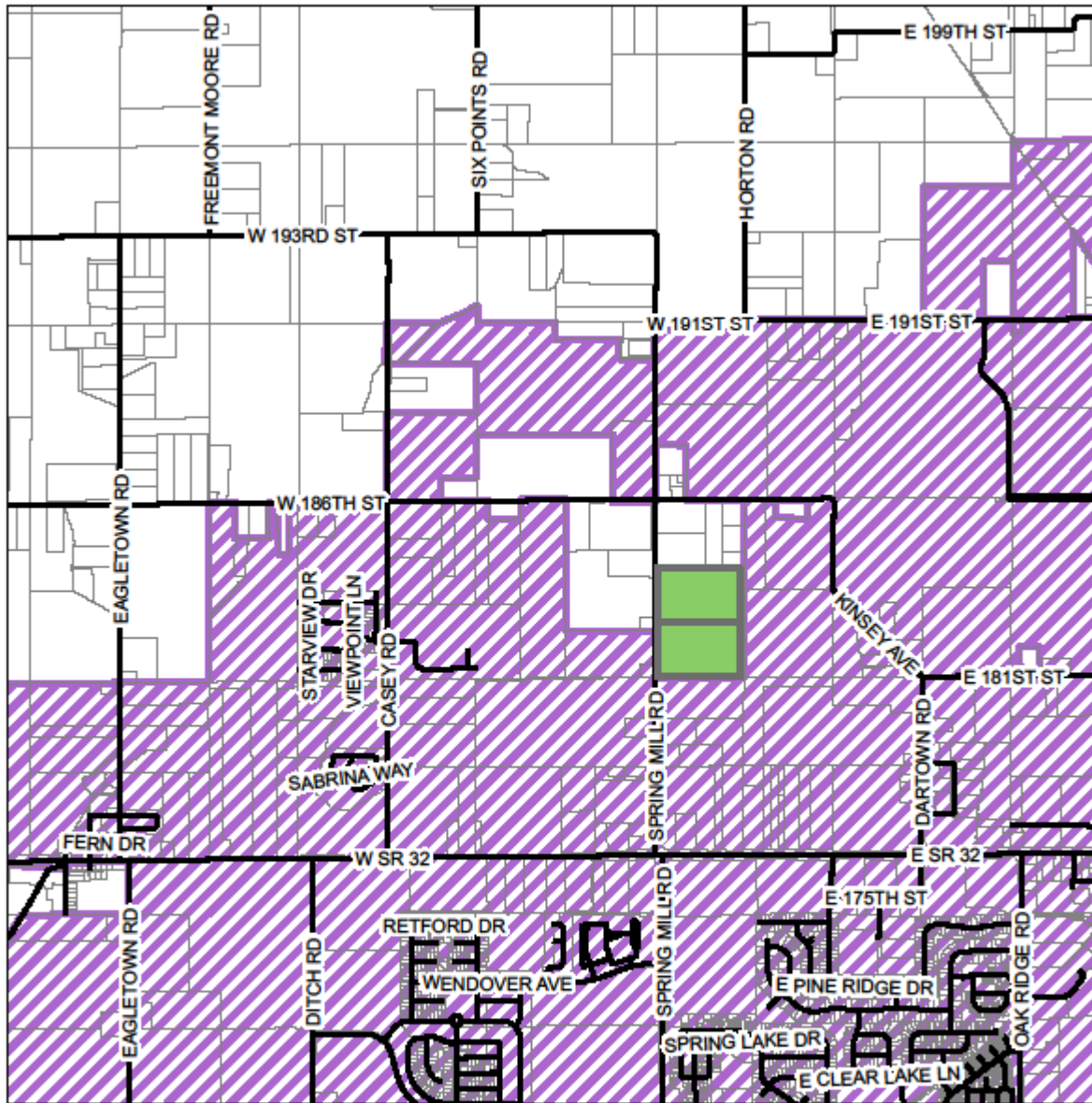
I hereby APPROVE Ordinance 14-05  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Ordinance 14-05  
this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

## Exhibit A: Parcel Location Map



### Legend

- |                                                                                                           |                                                                                             |
|-----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
|  Parcels to be Annexed |  Parcels |
|  Existing City Limits  |  Streets |



**EXHIBIT B**  
**ANNEXATION AREA**  
**LEGAL DESCRIPTION**

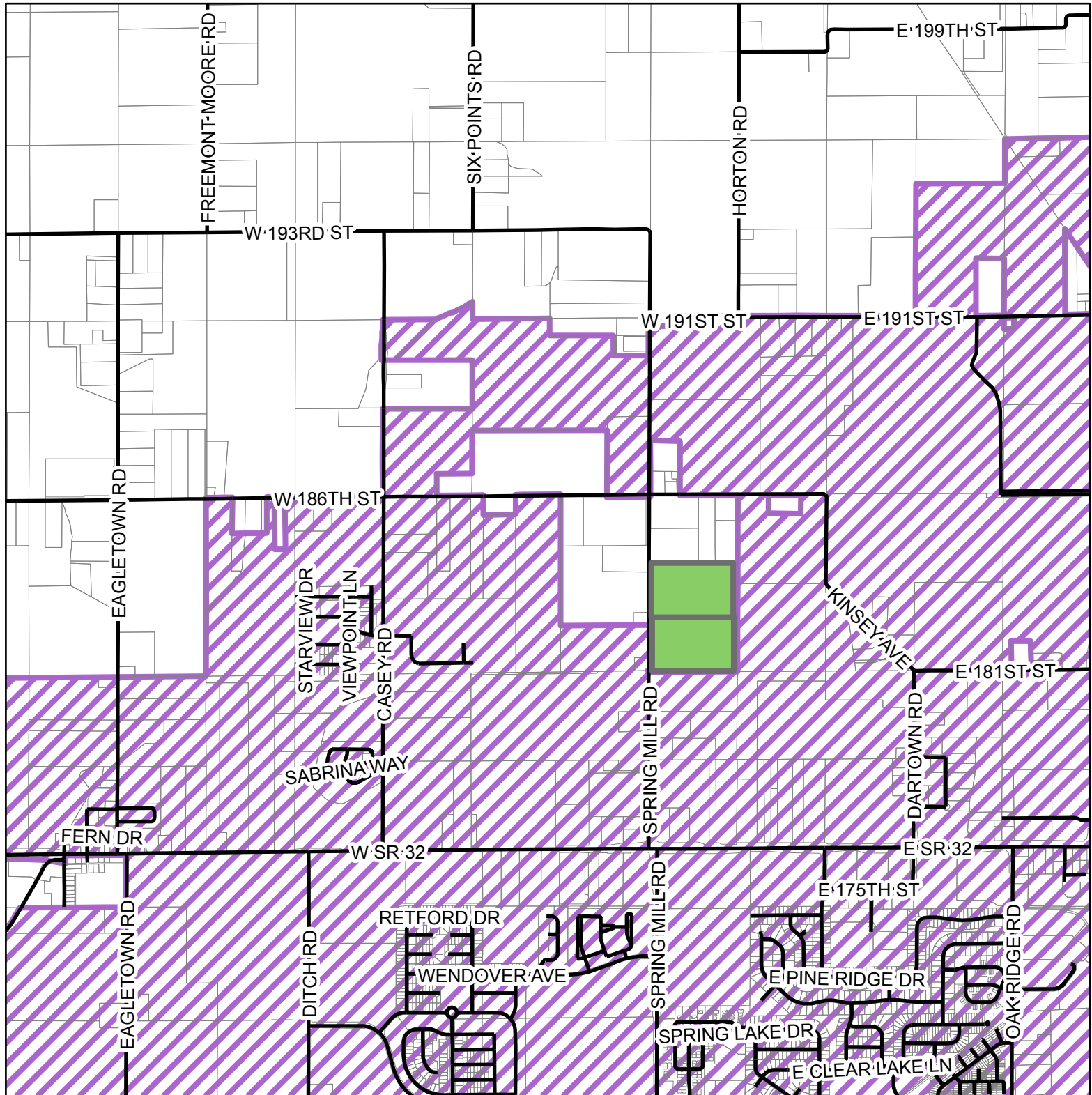
This description includes two (2) parcels of land:

**Parcel No. 08-05-35-00-00-033.002**

**Parcel No. 08-05-35-00-00-033.000**

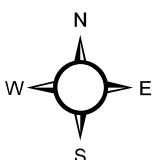
Beginning at the Northeast corner of the Southeast quarter  
Section 34, Township 19, Range 3 East  
S 62-58-12 E      Distance: 21.498 to a point of beginning  
N 89-38-26 E      Distance: 1308.566  
N 0-9-24 E        Distance: 822.553  
N 0-9-23 E        Distance: 494.242  
N 0-9-20 E        Distance: 320.281  
S 90-0-0 W        Distance: 337.71  
S 90-0-0 W        Distance: 251.14  
S 90-0-0 W        Distance: 717.56  
S 0-5-44 W        Distance: 828.561  
S 0-21-58 W      Distance: 816.737  
Containing 49.22 acres more or less

# Exhibit A: Parcel Location Map

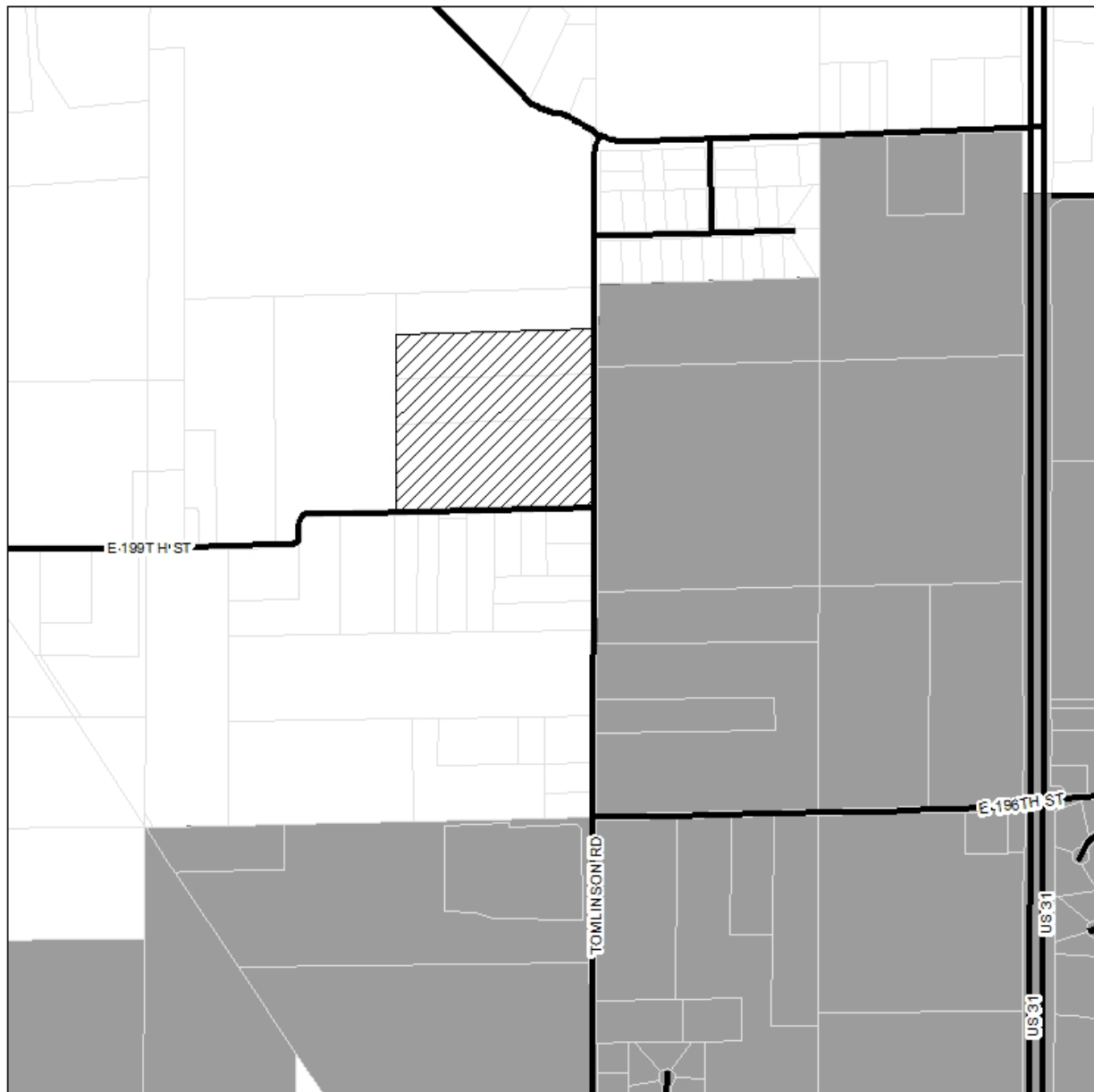


## Legend

-  Parcels to be Annexed
-  Existing City Limits
-  Parcels
-  Streets



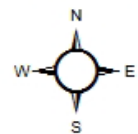
**EXHIBIT A**  
**ANNEXATION AREA**



**EXHIBIT LEGEND**

- |                                                                                                          |                                                                                             |
|----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|
|  ANNEXATION AREA      |  PARCELS |
|  EXISTING CITY LIMITS |  STREETS |

Not To Scale



**WESTFIELD-WASHINGTON ADVISORY PLAN COMMISSION  
CERTIFICATION**

---

The Westfield-Washington Advisory Plan Commission held a public hearing on Tuesday, February 18, 2014, to consider an amendment to the Bridgewater PUD ordinance. Notice of the public hearing was advertised and noticed and presented to the Advisory Plan Commission. Notice was shown to have been published in a newspaper of general circulation in Hamilton County, Indiana. The proposal is as follows:

|             |                                                                                                                                                               |
|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Case No.    | 1402-PUD-03                                                                                                                                                   |
| Petitioner  | Justus Home Builders, Inc.                                                                                                                                    |
| Description | Amendments to the Bridgewater PUD Ordinance to consolidate and modify development standards for an assisted living community on 12.03 acres +/- of Parcel M2. |

On February 18, 2014, a motion was made and unanimously passed to send a favorable recommendation to the City Council to approve 1402-PUD-03.

The above-mentioned proposal and the Advisory Plan Commission's recommendation thereof are hereby certified.

  
\_\_\_\_\_  
Matthew S. Skelton, Secretary

February 19, 2014  
\_\_\_\_\_  
Date



## Westfield City Council Report

|                                 |                                                                                                                                                                                        |
|---------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Ordinance Number:</b>        | 14-02                                                                                                                                                                                  |
| <b>APC Petition Number:</b>     | 1402-PUD-03                                                                                                                                                                            |
| <b>Petitioner:</b>              | Justus Home Builders, Inc.                                                                                                                                                             |
| <b>Requested Action:</b>        | An amendment to the Bridgewater PUD Ordinance to consolidate and modify development standards for an assisted living community on 12.03 acres +/- of Parcel M2 of the Bridgewater PUD. |
| <b>Current Zoning District:</b> | Bridgewater PUD                                                                                                                                                                        |
| <b>Referral Date to APC:</b>    | January 13, 2014                                                                                                                                                                       |
| <b>APC Public Hearing:</b>      | February 3, 2014                                                                                                                                                                       |
| <b>APC Recommendation:</b>      | February 18, 2014                                                                                                                                                                      |
| <b>Adoption Consideration:</b>  | February 24, 2014                                                                                                                                                                      |
| <b>Prepared By:</b>             | Jennifer M. Miller, AICP                                                                                                                                                               |

---

### **Petition History**

This petition was introduced at the January 13, 2014 City Council meeting and received a public hearing at the February 3, 2014 Advisory Plan Commission (the "APC") meeting. The item received a favorable recommendation (8-0) for approval at the February 18, 2014 APC meeting.

---

### **Procedural**

- Amendments to an existing PUD District are required to be considered at a public hearing, in accordance with Ind. Code 36-7-4-1505.
  - The Advisory Plan Commission held a public hearing on February 3, 2014 and issued a favorable recommendation (8-0) to the City Council in support of the proposed rezone request at its February 18, 2014 meeting.
  - Notification of the February 18, 2014 public hearing was provided in accordance with the APC Rules of Procedure.
  - The Westfield City Council may take action on this item at its February 24, 2014 meeting.
-

## **Project Overview**

### **Project Location**

The subject property is approximately 12 +/- acres in size and is located at the southwest corner of 151<sup>st</sup> Street and Gray Road, within the commercial area of the Bridgewater PUD (the "Property").

### **Project Description**

The proposal is to consolidate and modify the assisted living facility development standards for what is identified on the Concept Plan as Parcel M2, of the Bridgewater PUD (the "Proposal"). Parcel M2 is located within the commercial area (Area Y) of the Bridgewater PUD, and assisted living facilities are a permitted use. A full summary of the proposal can be found in Exhibit "A" of the proposed PUD amendment.

---

## **Statutory Considerations**

Indiana Code 36-7-4-603 states that reasonable regard shall be paid to:

### **1. The Comprehensive Plan.**

The Future Land Use Concept Map in the Westfield-Washington Township Comprehensive Plan (the "Comprehensive Plan") identifies the Property as being within "Local Commercial".

The Comprehensive Plan suggests that Local Commercial uses attached residential as a transition between more intensive and less intensive uses (e.g. commercial to single family detached residential). The Proposal is an assisted living community (attached residential) between a single family detached residential district and the Bridgewater Marketplace.

### **2. Current conditions and the character of current structures and uses.**

The Property is vacant.

### **3. The most desirable use for which the land is adapted.**

The Comprehensive Plan, which establishes desirable land use policies for future growth, identifies that attached residential development is a transitional use and is appropriate in this area of the community.

### **4. The conservation of property values throughout the jurisdiction.**

It is anticipated that the Proposal would have a positive impact on surrounding property values and throughout the jurisdiction.

### **5. Responsible growth and development.**

The Property is contiguous to other developed areas, and the improvement of the Property would be consistent with the principle of contiguous growth.

## **RECOMMENDATIONS/ACTIONS**

- **Community Development Department [February 18, 2014]**  
The Westfield Economic and Community Development Staff, made a recommendation that the APC forward a favorable recommendation to the City Council.
- **Advisory Plan Commission [February 18, 2014]**  
The Westfield-Washington Advisory Plan Commission has forwarded a favorable recommendation to the City Council (8-0).
- **City Council**
  - o Introduction: [January 13, 2014]
  - o Eligible for Adoption: [February 24, 2014]

Submitted by: Jennifer M. Miller, AICP

# **ORDINANCE 14-09**

## **AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO TITLE 16 - LAND USE CONTROLS.**

This is a planned unit development ordinance (the "NorthWalk PUD Ordinance") to amend the Westfield Washington Zoning Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Zoning Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code Section 36-7-4 *et seq.*, as amended.

**WHEREAS**, the City of Westfield, Indiana and the Township of Washington, both of Hamilton County, Indiana are subject to the Westfield-Washington Township Zoning Ordinance; and

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition 1401-PUD-02 filed with the Commission, requesting an amendment to the zoning Ordinance; and,

**WHEREAS**, the commission took action to forward the said 1401-PUD-02 to the Westfield City Council (the "Council") with a favorable recommendation in accordance with Ind. Code 36-7-4-608, as required by Ind. Code 36-7-4-1505; and,

**WHEREAS**, the Secretary of the Commission certified the action of the Commission to Council on February 19, 2014; and,

**WHEREAS**, the Council is subject to the provisions of the Indiana Code IC 36-7-4-1507 and 36-7-4-1512 concerning any action on this request.

### **NOW THEREFORE BE IT ORDAINED BY THE COUNCIL THAT TITLE 16 OF THE WESTFIELD CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

#### **SECTION 1. APPLICABILITY OF ORDINANCE.**

- 1.1 The NorthWalk PUD Ordinance (the "Ordinance") applies to the subject real estate more particularly described in Exhibit "A" which is attached hereto and incorporated herein by reference (the "Real Estate").
- 1.2 The underlying zoning district shall be the SF-3 Residential District (the "SF-3 District").
- 1.3 Development of the Real Estate shall be governed by the provisions of the Zoning Ordinance unless specially modified by the terms of this Ordinance. All provisions and representations of the Zoning Ordinance that conflict with the provisions of this Ordinance are hereby repealed as applied to the Real Estate and shall be superseded by the terms of this Ordinance.
- 1.4 The Real Estate shall be developed as generally depicted on Exhibits "B" & "C" (Concept Plan). Final site development shall be governed by the terms of this ordinance and the Development Plan Review, Subdivision Primary Plat and Secondary Plat requirements of the Zoning Ordinance.

## **SECTION 2. PERMITTED USES.**

- 2.1 The uses for the Real Estate shall be limited to the following: Seven (7) Duplex Dwellings, totaling fourteen (14) individual single family units.
- 2.2 The maximum number of individual, single family units (“Home”) permitted on the Real Estate shall be 14.

## **SECTION 3. DEVELOPMENT STANDARDS.**

- 3.1 Duplex Lot Standards: See Exhibit "G"
- 3.2 Architectural Standards: See Exhibit "D"
- 3.3 On Site Landscaping and Buffer Yards:
  - A. Buffer Yard: 20 and 30 foot Buffer Yards along North, South and East property lines shall be required, as shown on Exhibit "C". A Buffer Yard along the West property line is not required. All Buffer Yards will serve as drainage easements. The first 10 feet of the Buffer Yard closest to the structure may be used as outdoor living space for property owners. No permanent structures shall be allowed within the Buffer Yards.
  - B. Buffer Yard planting requirements of the Zoning Ordinance shall apply to the North, South, and East Buffer Yards. Buffer Yard plantings shall be placed as conceptually shown in Exhibit “H”.
  - C. Buffer Yard plantings, individual lot landscaping, and road frontage trees shall be credited toward the On Site planting requirements of the Zoning Ordinance.
  - D. The minimum open space (Green Belt Space) shall be approximately 38%
- 3.4 Development Amenities:
  - A. Development Amenities shall be constructed on the Real Estate in substantial compliance with the Development Amenities, as shown in Exhibit "F"
  - B. Development Amenities shall include: community garden area, a gathering space with fire pit and an entry monument sign.
- 3.5 Vehicular connection with Westfield Green Estates Subdivision:
  - A. Right-of-way for the extension of the cul-de-sac street from NorthWalk to Westfield Green Estates Subdivision shall be dedicated at the time of platting (the “Extension ROW”). The Extension of ROW’s width shall be consistent with the North Walk PUD local street right-of-way.

B. At the time NorthWalk is developed, the NorthWalk developer shall install the following within the Extension ROW:

- (i) A twenty-foot (20') wide all-weather surfaced area sufficient for use by emergency response vehicles as depicted on Exhibit "C";
- (ii) A gate with a lock and master key lock box (e.g. a Knox Box) to prevent non-emergency vehicular traffic between the two subdivisions;
- (iii) Maintenance of the master key lock box shall be the responsibility of the NorthWalk Home Owners Association.

**SECTION 4. U.S. HIGHWAY 31 OVERLAY ZONE**

Section 16.04.70 (US Highway 31 Overlay Zone) of the Zoning Ordinance shall be inapplicable to the use and the development of the Real Estate.

**APPROVAL.** Upon motion duly made and seconded, this Ordinance was fully passed by members of the council this \_\_\_\_ day of \_\_\_\_\_, 2014. Further, this Ordinance shall be in full force and effect, in accordance with Indiana law, upon passage of any applicable waiting periods, all as provided by the laws of the State of Indiana.

**WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA**

**Voting For**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

**Voting Against**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by the law: James J. Anderson

Prepared by: James J. Anderson, The Anderson Corporation, 301. South Union Street, Westfield, IN 46074

I hereby certify that Ordinance No. 14-09 was delivered to the Mayor of Westfield on the \_\_\_\_\_ day of \_\_\_\_\_, 2014 at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby APPROVE ORDINANCE No. 14-09

This \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO ORDINANCE No. 14-09

This \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

## **Exhibit A**

**(Legal Description)**

A part of the West Half of the Northwest Quarter of Section 31, Township 19 North, Range 4 East, in Hamilton County, Indiana, more particularly described as follows:

Beginning 840.42 feet North 00°00'00" (assumed bearing) of the Southwest corner of the Northwest Quarter of Section 31, Township 19 North, Range 4 East and on the West line thereof; thence North 89°42'30" East 215.18 feet; thence South 43°31'47" East 31.46 Feet; thence South 00°42'30"seconds East 18.28 feet; thence South 89°51'00" East and parallel to the North line of Broadview Section One, a subdivision in Hamilton County, Indiana, as recorded in Plat Book 2, page 245, in the Office of the Hamilton County Recorder, 192.93 feet; thence North 00°00'00" seconds East 289.90 feet; thence North 89°51'00" West 430 feet to a point on the West line of said Quarter Section; thence South 00°00'00" West on and along said West lines 250.53 feet to the place of beginning.

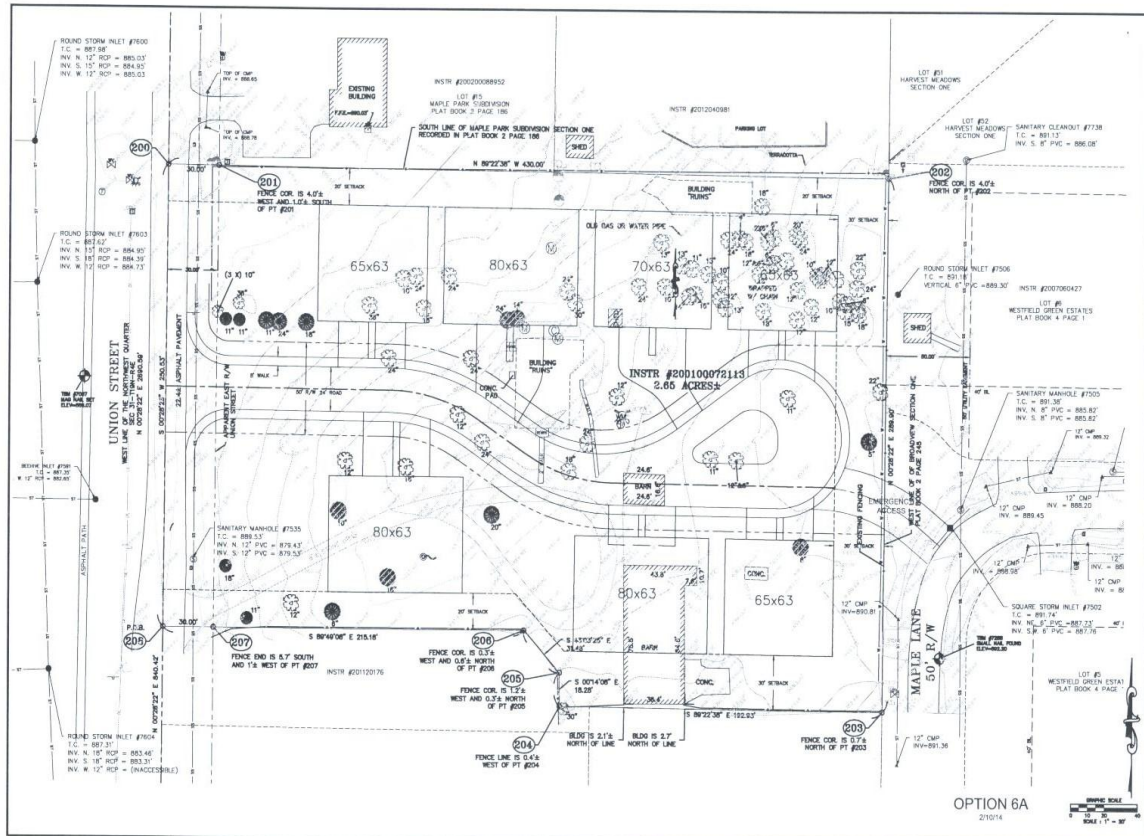
## Exhibit B

(Concept Plan)



## Exhibit C

(Concept Plan)



# **Exhibit D**

## **(Architectural Standards)**

### Purpose and Intent:

NorthWalk is a small community, disconnected from adjacent existing neighborhoods by design. The completed neighborhood should reflect a unified architectural image with compatible elevations, materials and colors. Significant diversity will have a negative impact on the effort to create a small neighborhood within itself. All elevations/plans should be designed to be mixed and matched, in order to reduce architectural monotony within the development. These standards are intended to provide the basis for this cohesive design effort.

### One and Two Story Homes:

One and two story Homes are permitted.

### Master Bedroom:

All Homes within NorthWalk shall have a master bedroom on the main floor.

### Minimum Roof Pitch:

Front to back: 5/12  
Front gables: 8/12

### Roof Overhangs:

Minimum framed front and rear overhang: 12 inches

Note: Where masonry meets any overhang, the overhang shall measure a minimum of eight (8) inches.

### Roof Ridgeline:

- A. All Homes shall have a minimum of two (2) ridgelines.
- B. Ridgelines shall only be considered if they are horizontal ridges which form the peak of a pitched area. Covered and enclosed porches shall count as a ridgeline.

### Corner Breaks:

Each Home shall have a minimum of three (3) corner breaks on the front façade and two (2) corner breaks on the rear façade. The exterior corners of a covered porch and a projection with a height of no less than six feet (6') shall count toward this requirement. The outermost corners of the Home do not count toward this requirement.

#### Equipment Vents:

All vents shall attach to the rear or side of the Home to reduce visibility from the street.

#### Foundations:

- A. Slabs and basements shall be permitted.
- B. Crawl spaces shall be prohibited.

#### Windows:

- A. For purposes of this section, a window shall mean and refer to an opening (at least three (3) square feet in area) in a wall or door that is covered with glass.
- B. Window frames shall be vinyl, vinyl clad, and aluminum clad or wood.
- C. A Home's front façade shall include a minimum of three (3) windows, the rear façade shall include a minimum of two (2) windows and each side façade shall include a minimum of two (2) windows, unless otherwise required by this Ordinance.
- D. Facades that face Union Street and Maple Lane shall include a minimum of four (4) windows.

#### Garages:

All Homes shall have a minimum two-car attached garage.

#### Masonry Requirements:

- A. Acceptable masonry materials include the following: brick, limestone, natural stone, cultured stone, stucco and EIFS.
- B. Except as provided in sub-section C below, all Homes shall have masonry on at least thirty percent (30%) of the front façade (exclusive of windows, doors and garage doors).
- C. Homes with a historical architectural style that lends itself to the use of less masonry may have less than thirty percent (30%) masonry on the front façade.
- D. At least thirty percent (30%) of a building façade that faces Union Street shall be masonry.
- E. At least thirty percent (30%) of a building façade that faces Maple Lane shall be masonry.

#### Siding and Roof Shingle Requirements:

- A. No vinyl or aluminum siding shall be permitted. Acceptable siding materials shall be wood, LP siding, Hardiplank or similar composition siding materials.
- B. Roof shingles shall be standard three tab shingles and all duplexes shall have similar color and texture.

#### Individual Home Landscaping:

- A. Plants: minimum quantity
  - (i) Ten (10) shrubs with minimum 2 gallon.
  - (ii) 1 Yard tree with a minimum of 2" caliper.

B. Lawns:

- (i) Each Home shall utilize either sod or hydroseed in all front yards to the front corners of the Home. All side yards and rear yards must be seeded with straw at a minimum and no irrigation is required.
- (ii) Corner lot Homes which have two elevations substantially parallel to a public street shall have lawns comprised of sod or hydroseed in that portion of the yard located between the public street and each side of the corner lot. All other side yards and rear yards shall be seeded with straw at a minimum and no irrigation is required.
- (iii) Corner lot Homes which are set at an angle to the public streets, lacking an elevation substantially parallel to either abutting public street, shall have lawns comprised of sod or hydroseed. All other side yard and rear yards shall be seeded with straw at minimum and no irrigation shall be required.

Miscellaneous:

- A. All driveways shall be concrete.
- B. Five (5) foot wide public sidewalks are required on all lots.
- C. Developer will provide at least one (1) central location for all mailboxes and will supply the uniform mailboxes.
- D. Dusk to dawn lights shall be required on all garages.
- E. All fireplaces located on the exterior elevation of a Home must be constructed of masonry. Interior fireplaces protruding through the roof not on an exterior elevation of a Home, are not required to be masonry, but must be decorative in nature using masonry, stucco or EIFS materials.

Façade Variety:

- A. Dwellings on the Real Estate shall be constructed in substantial compliance with Exhibit "E". The Director shall have the authority and may approve modifications from Exhibit "E" as long as the dwellings otherwise comply with all other applicable standards of this Ordinance.
- B. Buildings on adjacent lots (either sharing a common property line or across a street) shall not have the same color of masonry.
- C. Buildings on adjacent lots (either sharing a common property line or across a street) shall not have the same color of siding.

Front Elevation

Side Elevation

Rear Elevation

Plan 1  
1805 sf.  
One story

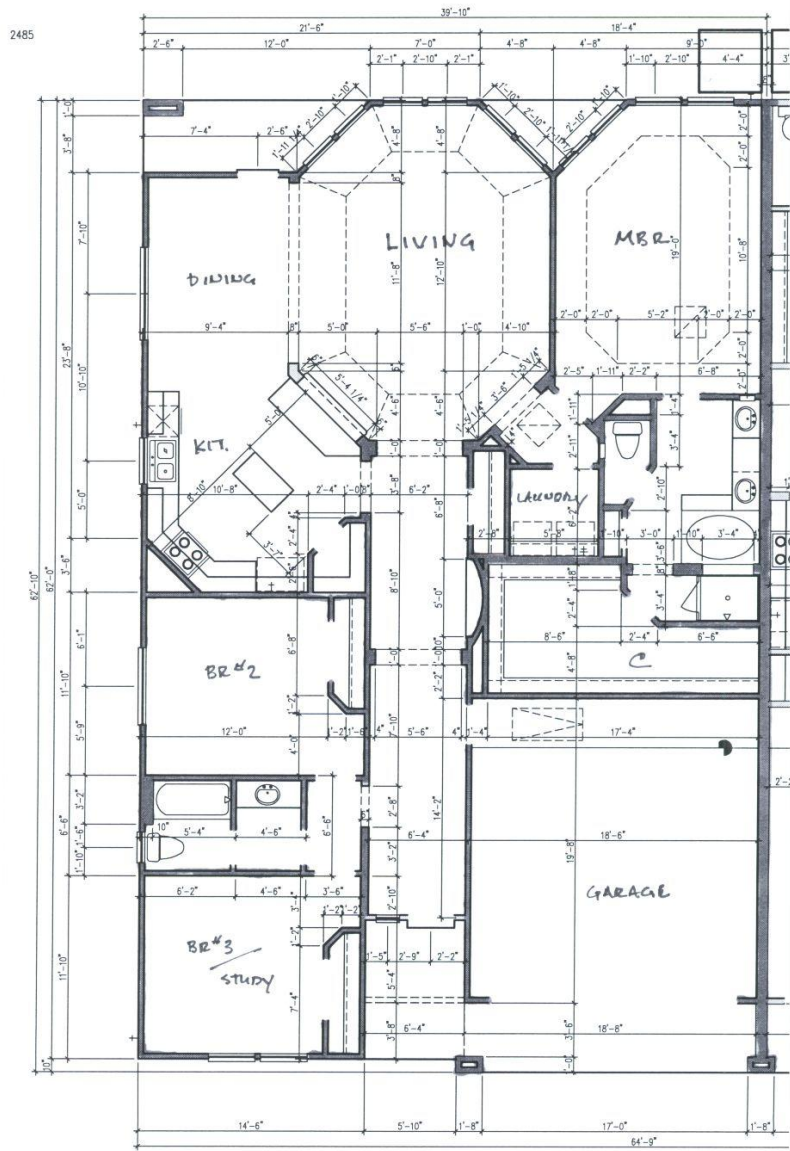
Front Elevation

Side Elevation

Rear Elevation

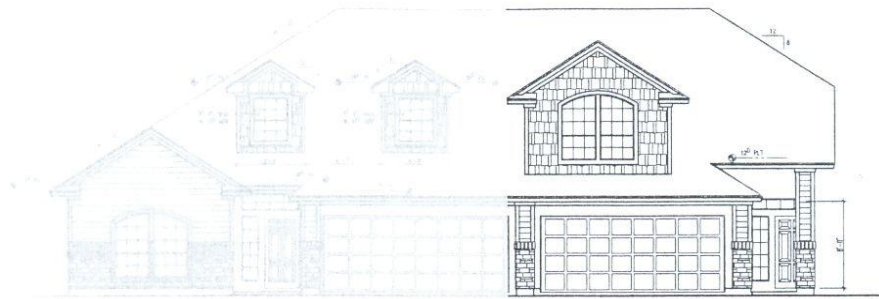
Plan 1  
1805 sf.  
One story

Floor Plan 1

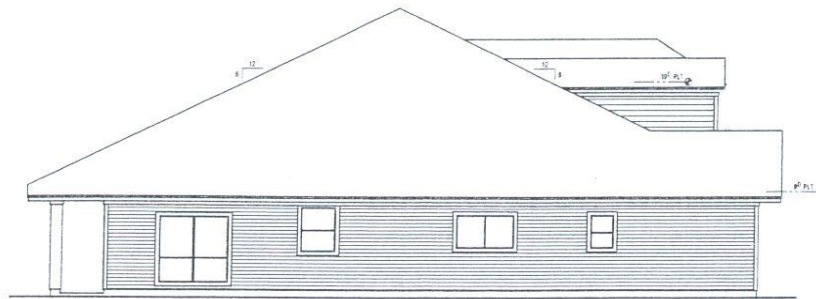


1805 square feet - Home  
365 square feet - garage

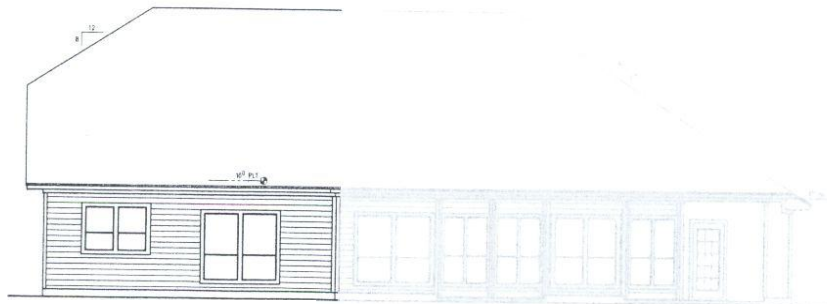
## Exhibit E.2



Front Elevation



Side Elevation



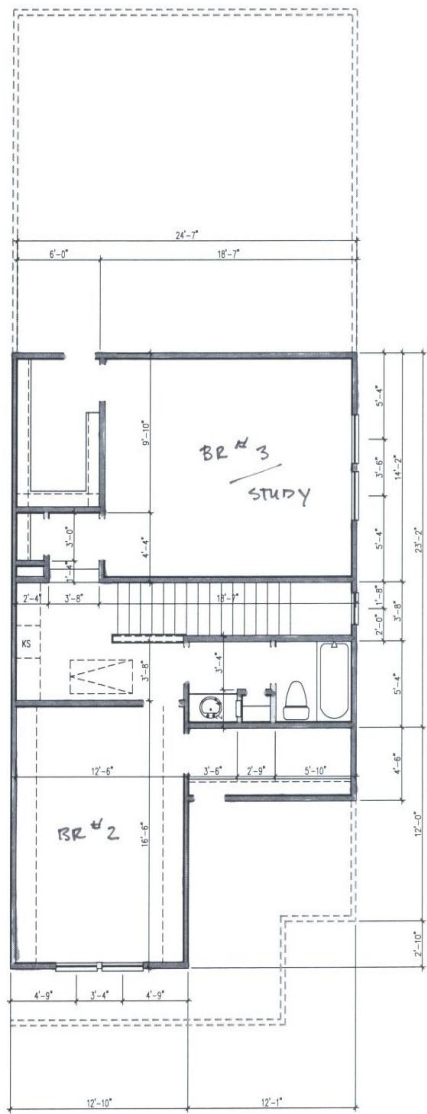
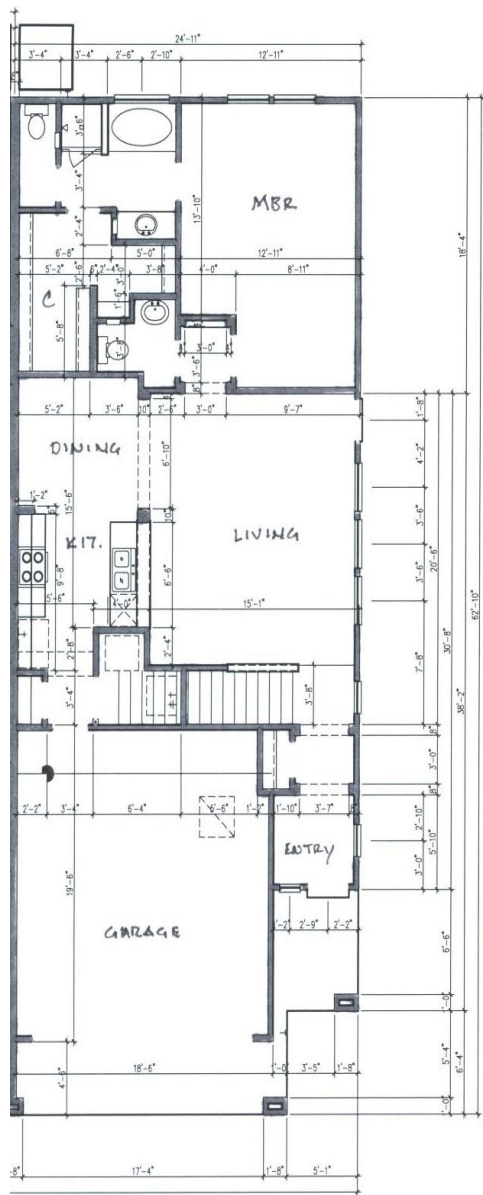
Rear Elevation

Plan 2

1895 sf.

One and one half story

# Floor Plan 2



1895 square feet - Home  
565 square feet - garage

The image displays three architectural elevation drawings of a single-story house. The **Front Elevation** shows a house with a gabled roof, a large arched window on the left, a two-car garage on the right, and a small dormer window. The **Side Elevation** shows a long profile with a central entrance door, several windows, and a chimney on the left side. The **Rear Elevation** shows a smaller profile with two windows and a chimney. Each drawing includes technical annotations such as roof pitches (e.g., 12/12, 12/8), window and door sizes (e.g., 6'0" x 6'6", 3'0" x 6'6"), and material callouts like 'OPTIONAL CHIMNEY FOR UNIT 1'.

Front Elevation

Side Elevation

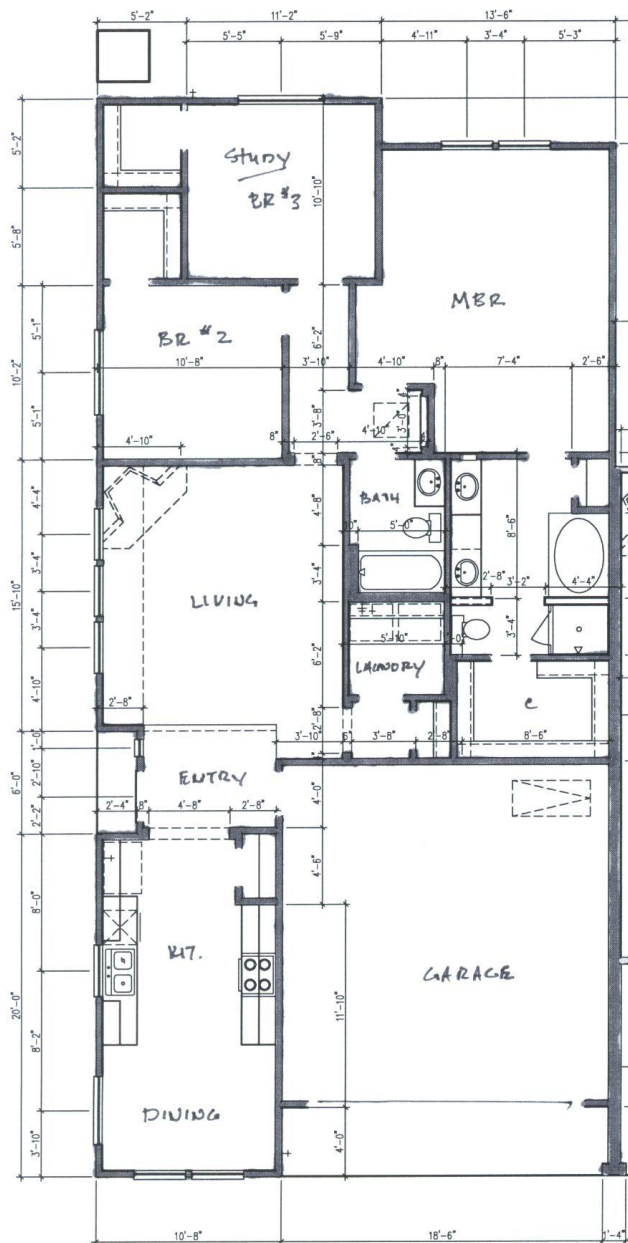
Rear Elevation

Plan 3

1375 sf.

One story

# Floor Plan 3



1375 square feet - Home

360 square feet - garage

The image contains three architectural elevation drawings of a house, labeled 'Front Elevation', 'Side Elevation', and 'Rear Elevation'. The 'Front Elevation' shows a house with a gabled roof, a central dormer window, and a large multi-paned window on the left. The 'Side Elevation' shows a long side profile with a gabled roof, a central dormer window, and a series of windows along the side. The 'Rear Elevation' shows a rear profile with a gabled roof, a central dormer window, and a series of windows along the side. Each drawing includes dimension lines and labels for materials and construction details.

Front Elevation

Side Elevation

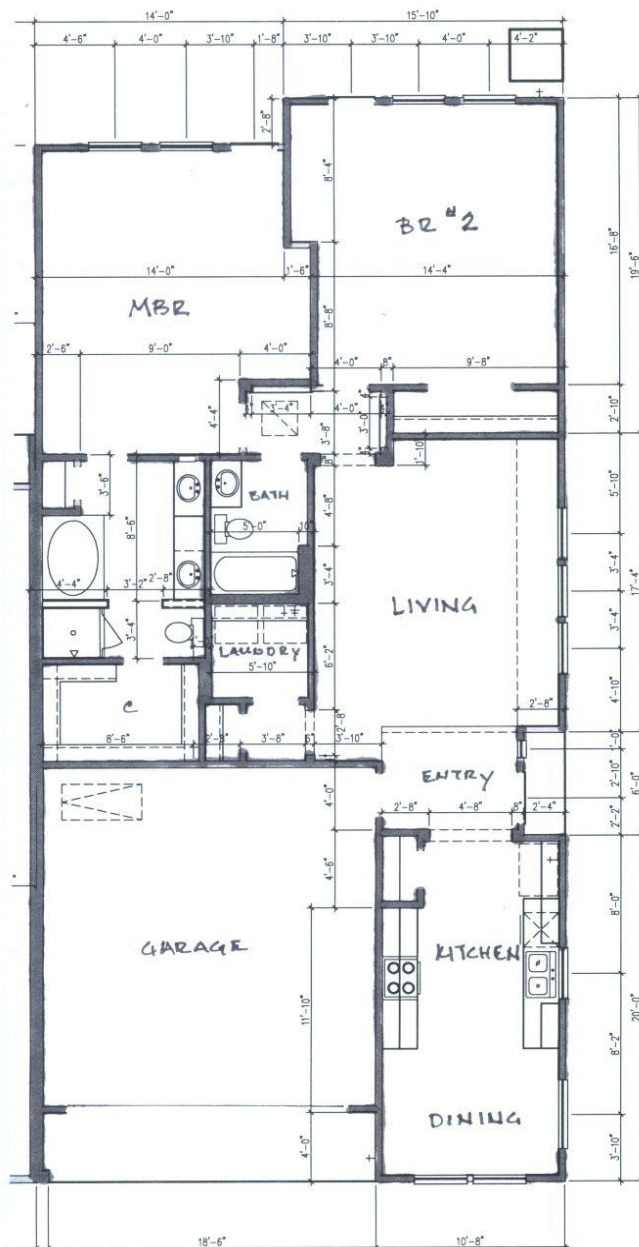
Rear Elevation

Plan 4

1375 sf.

One story

# Floor Plan 4



1375 square feet - Home  
380 square feet - garage

## Exhibit F

(Development Amenities)



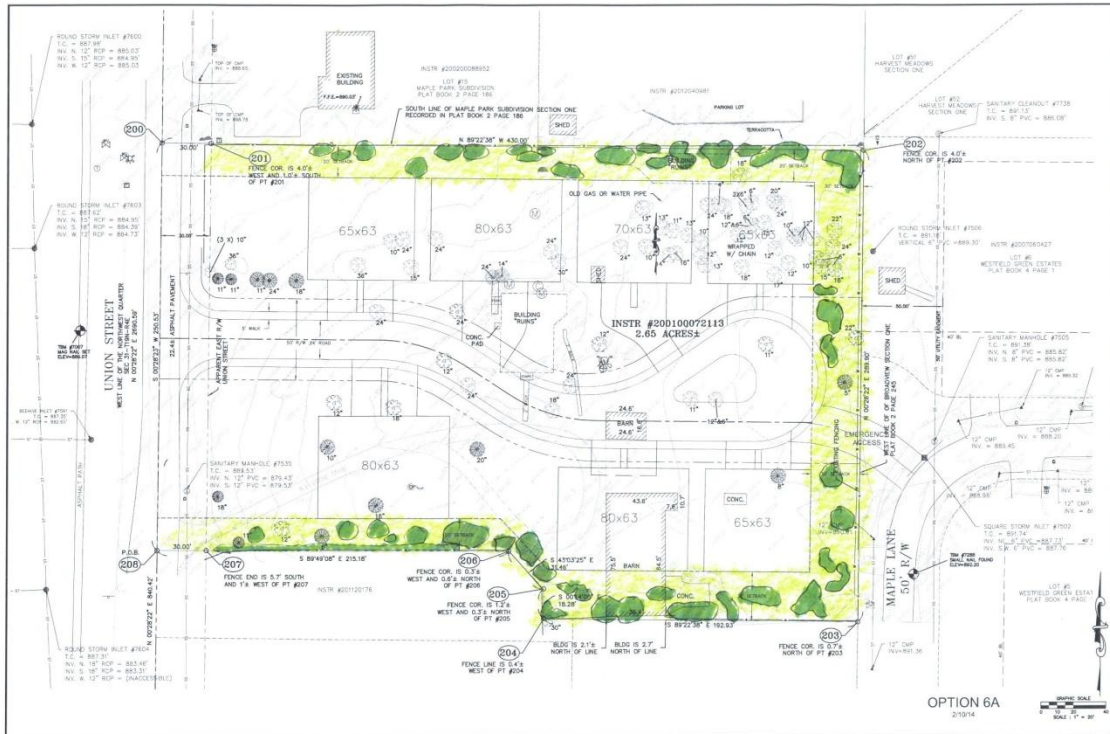
## Exhibit G

### (Duplex Lot Standards)

- A. Minimum Lot Area –
  - a. Duplex lots (2 individual units) – not less than 3,900 square feet
  - b. Individual unit lots – not less than 1,700 square feet
- B. Minimum Lot Frontage on Roads – Not less than 65 feet per duplex lot (2 units)
- C. Minimum Setback Lines –
  - a. Union Street – 70 feet
  - b. Front Yard – 18 feet, as measured from the closest plane of the unit (including the garage) to edge of sidewalk.
  - c. Side Yard – 5 feet
  - d. Rear Yard – no setback required
  - e. Minimum lot width at building line – 50 feet
  - f. Minimum ground level square footage, exclusive of garages, porches, and terraces.
    - i. One story – 1,325 square feet
    - ii. Two story – 1,000 square feet

# Exhibit H

## (Landscape Concept for Buffer Yards)





## *Westfield City Council Report*

**Ordinance Number:** 14-09  
**APC Petition Number:** 1401-PUD-02  
**Subject Site Address:** 740 N. Union Street  
**Petitioner:** The Anderson Corporation  
**Requested Action:** Petitioner requests a change in zoning from the Single-Family 3 (SF-3) District to the North Walk Planned Unit Development (PUD) District.  
**Current Zoning District:** SF-3  
**Current Land Use:** Residential  
**Requested Zoning District:** North Walk Planned Unit Development (PUD)  
**Exhibits:**  
1. Staff Report  
2. Aerial Location Map  
3. Concept Plan (Exhibit B of PUD District Ordinance)  
4. APC Certification  
5. North Walk PUD Ordinance (Ord. 14-09)  
**Prepared by:** Kevin M. Todd, AICP

---

### **PETITION HISTORY**

This petition was introduced at the December 9, 2013, City Council meeting. The petition received a public hearing at the January 21, 2014, Advisory Plan Commission (the "APC") meeting. The APC forwarded the petition to the Westfield City Council (the "Council") with a unanimous favorable recommendation for approval at its February 18, 2014, meeting. The APC Certification is included as Exhibit 4.

---

### **PROCEDURAL**

- Requests for a change in zoning are required to be considered at a public hearing, in accordance with Indiana Code 36-7-4-1511. The public hearing for this petition was held on January 21, 2014, at the APC meeting. Notice of the January 21, 2014, public hearing was provided in accordance with the APC Rules of Procedure.
- At its February 18, 2014 meeting, the APC issued a favorable recommendation (8-0) of the proposed change of zoning to the Council.
- The Council may take action on this item at its February 24, 2014, meeting.

---

## **PROJECT OVERVIEW**

**Location:** This subject property (the “Property”) is approximately 2.7+/- acres in size and is located on the east side of North Union Street and is approximately one-quarter (1/4) mile north of Hoover Street. The Property is currently zoned Single-Family 3 (SF-3).

**Project Description:** After meeting with the neighbors and modifying the original proposal that was introduced to the City Council on December 9, 2013 (the original proposal was to allow up to 16 single-family detached homes on a street that connected Union Street to Maple Lane), the petitioner is requesting a change of zoning to a Planned Unit Development (PUD) District to be known as “North Walk PUD” that would allow up to fourteen (14) duplex units (seven buildings) to be built on the Property and it would incorporate approximately 38% open space. The proposed conceptual plan depicts a single cul-de-sac street with access to Union Street. The proposed PUD Ordinance establishes architectural and development standards that would be specific to this project.

**Development and Architectural Standards:** The proposed PUD Ordinance establishes development standards for duplex lots (two units) that would be a minimum of sixty-five (65) feet in width and would be required to be at least 3,900 square feet in size. Each duplex unit would be required to have a minimum footprint of 1,325 square feet (plus a two-car garage) for a single-story unit and a minimum footprint of 1,000 square feet (plus a two-car garage) for a two-story unit. The proposed PUD Ordinance also establishes on-site and buffer yard landscaping standards that would supersede the City’s landscaping standards. Specifically, the proposed PUD Ordinance establishes planting requirements for each lot – the City’s landscaping standards establish planting requirements for the overall development. The proposed PUD Ordinance establishes buffer yards in areas where they would not be required by the City’s landscaping standards.

The proposed PUD Ordinance establishes a variety of architectural requirements, including: exterior building materials (vinyl siding is prohibited), roofing materials, windows on all sides of the building, corner break requirements, and anti-monotony standards. Enhanced standards are required for facades that face Union Street and Maple Lane.

**Site Access:** Vehicular access to the project will be limited to a single access point on Union Street. The new street will end in a cul-de-sac and will not connect to adjacent Maple Lane. Instead, an emergency access lane that is secured by a gate will extend from the cul-de-sac to Maple Lane and will only be utilized by the Fire Department in the event of an emergency. This approach is acceptable to the Westfield Fire Department. The PUD Ordinance was revised to include this item.

**Drainage:** If zoning is approved, detailed drainage plans will be reviewed at the development plan review and platting stage(s). Drainage information is reviewed by both, the Westfield Public Works Department and the Hamilton County Surveyor’s Office. If the proposed drainage system does not comply with the City and County’s standards, then the development plan and/or plat will not be approved. The nature of the drainage laws is that stormwater, post site development, is not allowed to

leave the site at a faster rate than it did prior to development. This is traditionally accomplished by collecting stormwater into a basin, and slowly releasing that water into a County regulated drain (which, in turn, ultimately drains into the White River). By virtue of the drainage laws, the newly constructed drainage system in the adjacent Westfield Green Estates Subdivision will not be negatively impacted by development on the subject property. Public stormwater infrastructure in Westfield is typically bonded for both performance (i.e., installation) and a three-year maintenance period after installation.

Comprehensive Plan: The Westfield-Washington Township Comprehensive Plan (the “Comprehensive Plan”) identifies the Property as part of the Suburban Residential area. While, the Comprehensive Plan and the Grand Junction Plan did not establish definitive boundaries for Grand Junction, the Property falls just north of the boundary of the Grand Junction District (downtown) area, as identified in the Grand Junction Implementation Plan 2013 (the “Implementation Plan”). The Property is within close proximity of the Grand Junction District and has received positive feedback from the Downtown Westfield Association and the Grand Junction Task Group. One of the over-arching goals of the Grand Junction Plan is to have as many people as possible living within walking distance of downtown as soon as possible. While not within the delineated Grand Junction District of the Implementation Plan, the proposed North Walk PUD project will likely have an impact on Downtown Westfield and would help achieve the goal of having people living within walking distance of downtown.

---

## **STATUTORY CONSIDERATIONS**

Indiana Code 36-7-4-603 states that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.

---

## **RECOMMENDATIONS / ACTIONS**

### APC Recommendation

At its February 18, 2014, meeting, the APC forwarded a **favorable recommendation** of Ordinance No. 14-09 (APC Petition No. 1401-PUD-02) to the Council (Vote of: 8 in favor, 0 opposed).

### City Council

Introduction: December 9, 2013

Eligible for Adoption: February 24, 2014

Submitted by: Kevin M. Todd, AICP

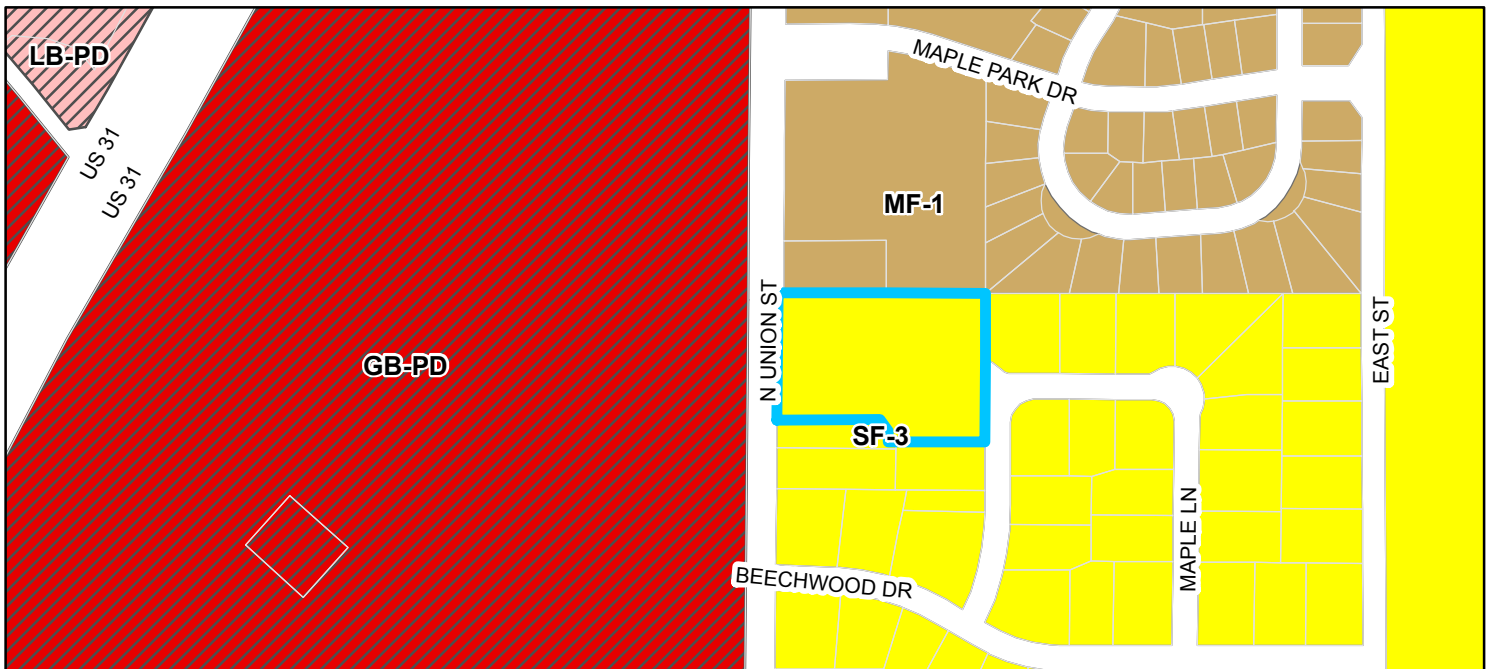
Economic and Community Development Department

**Aerial Location Map**

Site



**Zoning Map**



**Zoning**

- |                                              |                                                |
|----------------------------------------------|------------------------------------------------|
| LB-PD (Local Business - Planned Development) | GB-PD (General Business - Planned Development) |
| MF-1 (Multiple Family - 1)                   | SF-3 (Single Family - 3)                       |

# NorthWalk

(Concept Plan)



**WESTFIELD-WASHINGTON ADVISORY PLAN COMMISSION  
CERTIFICATION**

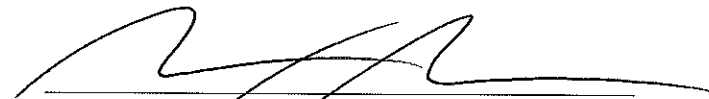
---

The Westfield-Washington Advisory Plan Commission held a public hearing on Tuesday, January 21, 2014, to consider the North Walk Planned Unit Development (PUD) District Ordinance. Notice of the public hearing was advertised and noticed and presented to the Advisory Plan Commission. Notice was shown to have been published in a newspaper of general circulation in Hamilton County, Indiana. The proposal is as follows:

|             |                                                                                                                                                                                                               |
|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Case No.    | 1401-PUD-02                                                                                                                                                                                                   |
| Petitioner  | The Anderson Corporation                                                                                                                                                                                      |
| Description | Petitioner requests a change in zoning of approximately 2.7 acres+/- from the Single Family-3 (SF-3) District to the North Walk Planned Unit Development (PUD) District for a duplex residential development. |

On February 18, 2014, a motion was made and passed to send a favorable recommendation to the City Council regarding Petition No. 1401-PUD-02 (Vote: 8 in favor and 0 opposed).

The above-mentioned proposal and the Advisory Plan Commission's recommendation thereof are hereby certified.

  
Matthew S. Skelton, Secretary

February 19, 2014

Date

## **ORDINANCE 14-02**

**AN ORDINANCE OF THE CITY OF WESTFIELD CONCERNING AMENDMENT TO THE BRIDGEWATER CLUB PLANNED UNIT DEVELOPMENT BEING THAT OF ORDINANCE 06-49, ORDINANCE 08-05, ORDINANCE 09-17, ORDINANCE 10-01, ORDINANCE 10-08, ORDINANCE 10-19, ORDINANCE 11-01, ORDINANCE 12-10, ORDINANCE 13-03, ORDINANCE 13-06, ORDINANCE 13-08 AND TITLE 16 - LAND USE CONTROLS**

**WHEREAS**, The City of Westfield, Indiana and the Township of Washington, both of Hamilton County, Indiana are subject to the Westfield-Washington Township Zoning Ordinance; and;

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the “Commission”) considered a petition (Docket 1402-PUD-03), filed with the Commission requesting an amendment to Ordinance 06-49, enacted by the Town Council on October 9, 2006 , and amended by (i) Ordinance 08-05, enacted by the City Council on February 11, 2008 (ii) Ordinance 09-17, enacted by the City Council on September 14, 2009; (iii) Ordinance 10-01, enacted by the City Council on February 8, 2010; (iv) Ordinance 10-05, enacted by the City Council on April 12, 2010; (v) Ordinance 10-08, enacted by the City Council on May 24, 2010; (vi) Ordinance 10-19, enacted by the City Council on September 13, 2010; (vii) Ordinance 11-01, enacted by the City Council on January 10, 2011; (viii) Ordinance 12-10, enacted by the City Council on April 9, 2012; (ix) Ordinance 13-03, enacted by the City Council on February 11, 2013; (x) Ordinance 13-06, enacted by the City Council on March 11, 2013; and (xi) Ordinance 13-08, enacted by the City Council on March 25, 2013 (collectively, the “Bridgewater PUD Ordinance”)

**WHEREAS**, on February 18, 2014 the Commission took action to forward Docket Number 1402-PUD-03 to the Westfield City Council with a Favorable recommendation in accordance with Ind. Code 36-7-4-608, as required by Ind. Code 36-7-4-1505;

**WHEREAS**, on February 19, 2014 the Secretary of the Commission certified the action of the Commission to the City Council; and,

**WHEREAS**, the Westfield City Council is subject to the provisions of the Indiana Code IC 36-7-4-1507 and 36-7-4-1512 concerning any action on this request.

**NOW THEREFORE BE IT ORDAINED BY THE WESTFIELD CITY COUNCIL THAT THE BRIDGEWATER PUD ORDINANCE AND TITLE 16 OF THE WESTFIELD CODE OF ORDINANCES BE AMENDED AS FOLLOWS:**

**SECTION 1.** The Bridgewater PUD Ordinance is hereby amended, but only with respect to (i) the standards applicable to an Assisted Living Facility use constructed on the real estate established in what is attached hereto and incorporated herein by reference as Exhibit “A” and (ii) the real estate described in what is attached hereto and

incorporated herein by reference as Exhibit “B” (the “Real Estate”). In all other respects, the Bridgewater PUD Ordinance shall remain in effect and unchanged.

**SECTION 2.** Upon motion duly made and seconded, this Ordinance 14-02 was fully passed by members of the Council this \_\_ day of \_\_\_\_\_, 2014. Further, this Ordinance 14-02 shall be in full force and effect in accordance with Indiana law, upon the passage of any applicable waiting periods, all as provided by the laws of the State of Indiana. All ordinances or parts thereof that are in conflict with this Ordinance 14-02 are hereby amended. To the extent that this Ordinance 14-02 conflicts with the terms of any previously-adopted ordinance or part thereof, the terms of this Ordinance 14-02 shall prevail.

**[Rest of page is intentionally left blank]**

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,  
HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.

**WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA**

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Chuck Lehman

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

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Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

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Robert L. Horkay

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Robert L. Horkay

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy Gossard, Clerk-Treasurer

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Jon C. Dobosiewicz

\_\_\_\_\_  
Signed

I hereby certify that ORDINANCE No. 14-02 was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby APPROVE ORDINANCE No. 14-02

This \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO ORDINANCE No. 14-02

this \_\_\_\_\_ day of \_\_\_\_\_, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

Prepared by: James E. Shinaver and Jon C. Dobosiewicz, Nelson & Frankenger  
3105 East 98<sup>th</sup> Street, Suite 170, Indianapolis, In. 46280, (317) 844-0106

## EXHIBIT “A”

The below terms, conditions, and provisions shall apply only to the use and development of the Real Estate as an Assisted Living Facility:

- A. Area Y - Aggregate Maximum Square Footage and Parcel Coverage set forth in Section 10.G.(1) of the Bridgewater PUD Ordinance:
  - 1. The total building square footage of two-hundred and eighty-three thousand five hundred (283,500) shall be added to the maximum permitted building square footage resulting in a maximum building square footage of nine-hundred and eighty-four thousand five hundred (984,500).
  - 2. The total building footprint of ninety-eight thousand (98,000) shall be added to the maximum parcel coverage resulting in a maximum parcel coverage of six-hundred and thirty-three thousand (633,000).
- B. Minimum Open/Green Space Area: Fifty percent (50%).
- C. Minimum lot area: Not applicable.
- D. Minimum lot width at building line: Not applicable.
- E. Minimum lot depth: Not applicable.
- F. Yard Dimensions (minimum):
  - 1. Five (5) foot front yard along Internal Streets Market Center Drive and Radrick Drive).
  - 2. Seventy (70) feet from 151<sup>st</sup> Street.
  - 3. Thirty (30) feet from Gray Road.
  - 4. Side Yard: Not applicable.
  - 5. Rear Yard: Not applicable.
- G. Maximum building height: Forty (40) feet.
- H. Maximum building footprint coverage: Not applicable.
- I. Loading and off-street parking: Screening is required as set forth under the applicable landscape standards.

- J. Owner or Tenant Occupied Space: In addition to the requirements of Section 10.G.(7) of the Bridgewater PUD Ordinance, one single tenant or owner occupied space in Area Y is permitted up to two-hundred, eighty-three thousand, five-hundred (283,500) square feet.
- K. Parking: One and one-half (1.5) parking spaces per dwelling are required. Tandem Parking Spaces adjacent to individual garages shall meet this requirement provided that both the garage and tandem space are dedicated to the same tenant.
- L. Lighting: A system of pole lights and wall mounted lighting fixtures shall be installed to provide an adequate standard of illumination over the site. The style, design and illumination of site lighting shall be installed per the approved Development Plan for the Assisted Living development on the Real Estate.
- M. Landscaping Requirements: Section 11 of the Bridgewater PUD Ordinance shall apply to landscaping on the Real Estate subject to the application of the “Business Uses” land use type of the “Minimum On-Site Requirements” of Exhibit 18 – Landscaping Requirements of the Bridgewater PUD Ordinance.
- N. Signage: Section 14 – Signage of the Bridgewater PUD shall be applicable to all signs on the Real Estate. A Residential Complex Sign meeting the standards of Section 14.D.(2)(a) of the Bridgewater PUD Ordinance may be placed at the northwest corner of Radrick Drive and Gray Road. This sign may include the names of the apartment use on Parcel K2 and the assisted living use on the Real Estate.
- O. Architectural Standards, Open space and Pedestrian Circulation: Exhibit 17 – General Architectural Standards of the Bridgewater PUD shall be applicable to the Real Estate. Building Elevations shall be constructed in substantial compliance with the exhibits contained in the architectural character illustrations included in Exhibit “D” of this Ordinance (“Architectural Style”).
1. Design detailing shall be continued completely around the structure consistent with the Architectural Style. Detailing elements shall include, but are not limited to, windows, window placement, trim detailing, and exterior wall materials and shall be consistent with the Architectural Style.
  2. Permitted exterior materials shall include EIFS, synthetic stucco, cultured stone, brick, stone, wood, and concrete fiber siding. Aluminum and vinyl siding are prohibited. Metal garage doors and vinyl clad windows and soffits shall be permitted.
  3. Brick or stone shall be used on all elevations of each building as appropriate to the building Architectural Style.
  4. All structures shall utilize a minimum of two (2) exterior building materials (excluding window, door, and roofing materials) per elevation. Examples of materials: Brick, stone, concrete fiber siding.

- P. Required Amenities: The following Amenities will be distributed throughout the Real Estate, for use by residents of the Real Estate:
1. Amphitheater.
  2. Gazebo
  3. Aquatic Center.
  4. Integrated trail and sidewalk system to be installed in substantial compliance with the Concept Plan attached hereto and incorporated herein as Exhibit "C".
  5. The timing for the completion of the amenities including trails, paths and sidewalks will be in phases as the development is completed.
- Q. Development Plan: The Real Estate shall be developed in substantial compliance with the Concept Plan attached hereto and incorporated herein as Exhibit "C".

**EXHIBIT “B”**

Page 1 of 2

**(Legal Description)**

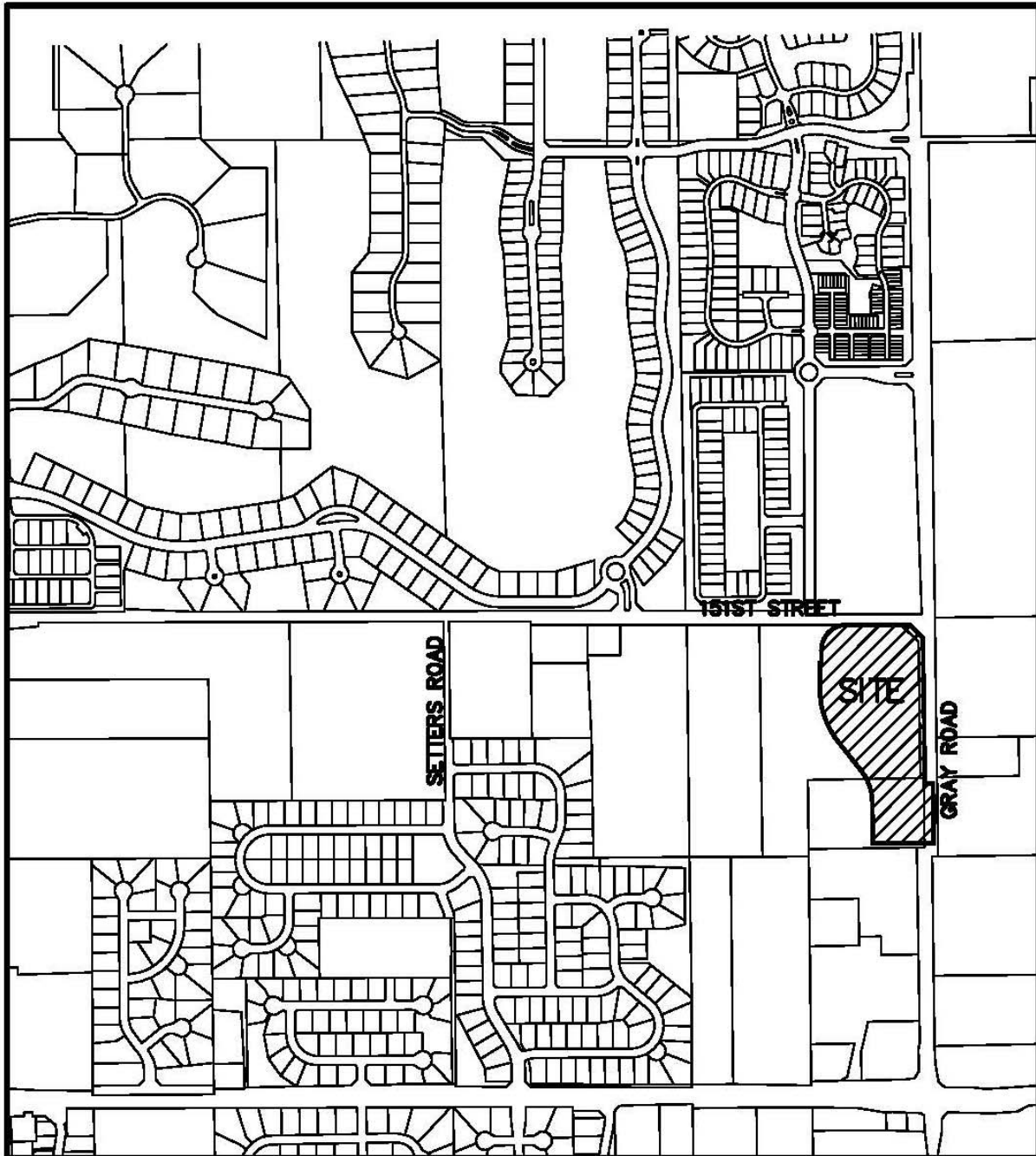
Part of the Northeast Quarter of the Southeast Quarter of Section 17, Township 18 North, Range 4 East in Hamilton County, Indiana, said part being more particularly described as follows:

Lot 2 and Lot 3 of Bridgewater Marketplace, Section 3 Recorded as Instrument No. 2013-048576, Plat Cabinet 5, Slide 108 in the office of the Recorder of Hamilton County, Indiana.

**EXHIBIT "B"**

Page 2 of 2

**(Legal Description)**



**LOCATION MAP**  
N.T.S.

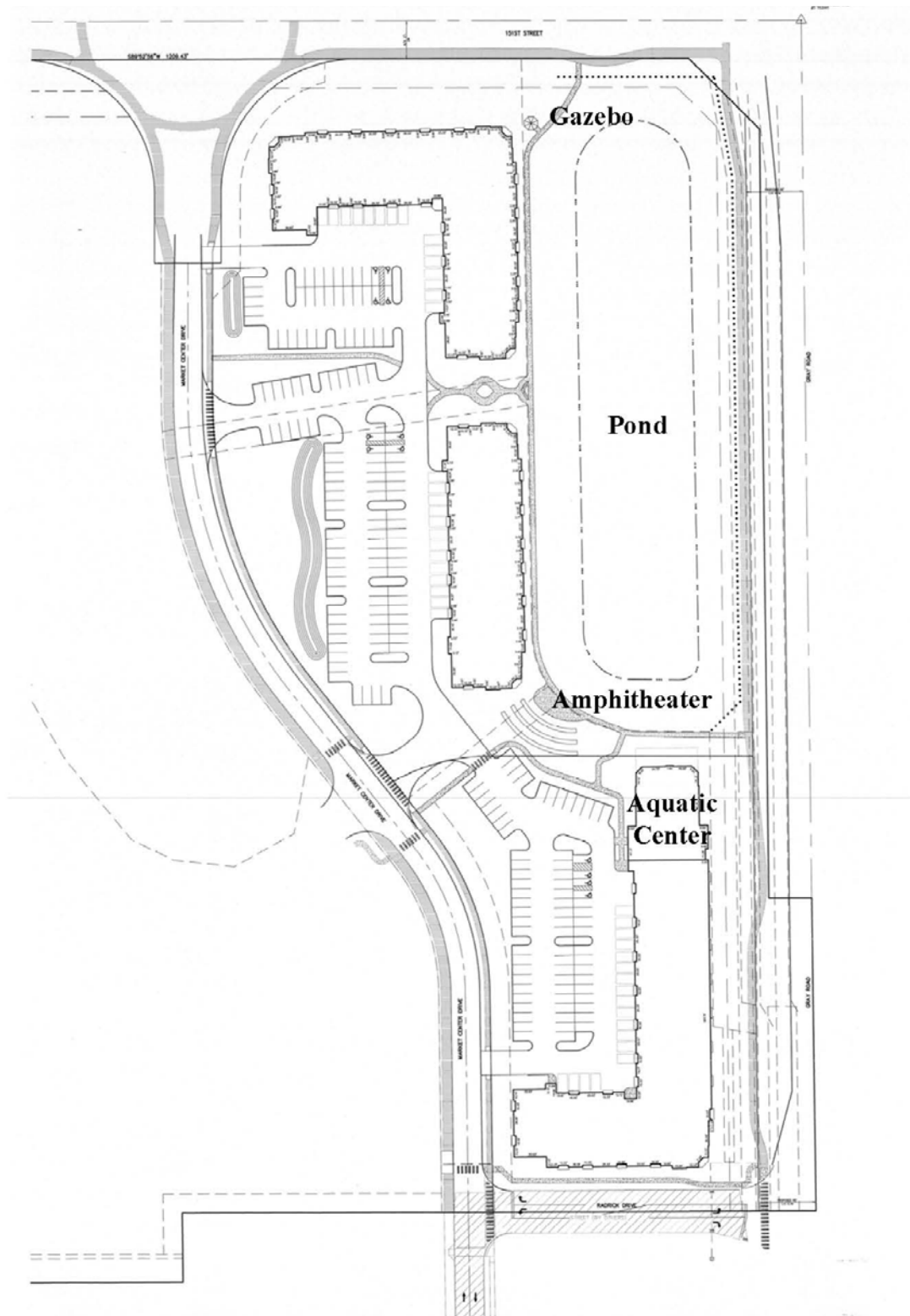
## EXHIBIT "C"

(Concept Plan - Color)



## EXHIBIT "C"

(Concept Plan – Black and White)



**EXHIBIT “D”**  
**(Building Perspectives)**



## **Westfield City Council February 10, 2014**

The Westfield City Council met Monday February 10, 2014 at the Westfield City Hall. Members present were Jim Ake, Bob Horkay, Chuck Lehman, Steve Hoover, Cindy Spoljaric, and Rob Stokes. Also present were Clerk-Treasurer Cindy Gossard and representing Legal Counsel Brian Zaiger.

President Ake called the meeting to order at 7:00 p.m.

### **Announce Changes in Agenda:**

- Resolution 13-120
- Resolution 14-103
- Ordinance 13-36
- Ordinance 14-04
- Ordinance 14-05

Above Resolutions and Ordinances moved to the February 24, 2014 meeting.

### **Approval of Minutes:**

Steve Hoover made a motion to approve January 20, 2014 minutes as amended. Bob Horkay seconded. Vote: Yes-6; No-0. Motion carries.

Bob Horkay made a motion to approve January 27, 2014 minutes as presented. Rob Stokes seconded. Vote: Yes-6; No-0. Motion carries.

### **Guest:**

Curt Whitesell stated that the Westfield Business Dev. Group had teamed up with the Chamber of Commerce to hold a small business /young active professional's event. The event will be February 19<sup>th</sup> at Union Baking Company from 8am to 9:30 am.

### **Claims:**

Bob Horkay made a motion to approve the claims as presented. Rob Stokes seconded. Vote: Yes-6; No-0. Motion carries.

### **Miscellaneous Business:**

#### **Special Presentation: Utility Proceeds Projects List**

Todd Burtron presented this item stating this is a projected list of items the City would like to see Utility proceeds to be used towards. The list shows the project, estimated start date, estimated cost, and funding support that might be available. The items would be done over a

time span of 3-4 years and would change with unforeseen circumstances, development growth, and funding availability.

#### **Old Business:**

##### **Ordinance 14-08: Maple Knoll PUD Text Amendment**

Council Introduction –December 9, 2013

APC Public Hearing –January 6, 2014

APC Recommendation – January 20, 2014

Adoption Consideration-February 10, 2014

Andrew Murray presented this item requesting an amendment to Ordinance 04-02. This would repeal current sign standards and apply Westfield Washington Township standards to this property.

Bob Horkay made a motion to approve Ordinance 14-08 as presented. Steve Hoover seconded. Vote: Yes-6; No-0. Motion carries.

#### **New Business:**

##### **Ordinance 14-100: Approval of Plan Commission Order and Declaratory Resolution 1-2014 amending the Grand Junction Consolidated Economic Development Area**

Adoption Consideration – February 10, 2014

Andrew Murray presented this item stating this Resolution would remove parcels or partial parcels from the Grand Junction Tif District, which have been purchased by the State of Indiana or the City of Westfield. These parcels have gone from tax paying to non-tax paying parcels. This Resolution comes to the Council with favorable recommendation from the Plan Commission.

Cindy Spoljaric made a motion to approve Ordinance 14-100 as presented. Steve Hoover seconded. Vote: Yes-6; No-0. Motion carries

##### **Ordinance 14-07: CarDon Senior Living PUD**

Council Introduction – February 10, 2014

APC Hearing – March 3, 2014

APC Recommendation – March 18, 2014

Adoption Consideration – April 14, 2014

Andrew Murray presented this item which involves 16 acres at the northeast corner of 146<sup>th</sup> and Ditch Road.

Matthew Price Attorney for Petitioner with Bingham Greenebaum and Doll explained how the property will be divided as far as skilled nursing facilities, independent living apartments and assisted living apartments.

**Ordinance 14-06: Food Vendor Ordinance**

Council Introduction – February 10, 2014

Adoption Consideration – March 10, 2014

Matt Skelton presented this item explaining this Ordinance is to outline the guidelines for Food Vendors within the city. Food Vending shall be permitted within all City Council Events, including large employers, and if located within residential neighborhoods, neighborhood parties, ice cream trucks, and Non-Incorporated children's stands. These vendors must be located outside of the Grand Park Area.

Council expressed some issues which they would like to see addressed before the Ordinance comes up for adoption. A couple of the suggestions include adding Hamilton Co. Parks to approved areas and modifying restrictions in neighborhoods and employers potentially included in the Grand Park areas. Council would like to hear additional comments and concerns from the public.

**Resolution 14-102: Government Finance Joint Resolution between Westfield Washington Schools and City of Westfield**

Adoption Consideration – February 10, 2014

President Ake presented this item stating this is a Resolution confirming an agreement between the City and Westfield Washington Schools. We would be working together to keep tax rates low, and looking into the fiscal stability for upcoming years.

Cindy Spoljaric made a motion to approve Resolution 14-102 as presented. Bob Horkay seconded. Vote: Yes-6; No-0. Motion carries.

**CITY COUNCIL COMMENTS:**

Steve Hoover gave an APC update.

**MAYOR COMMENTS:**

**None**

Bob Horkay made a motion to adjourn. Cindy Spoljaric seconded. Vote: Yes-6; No-0.

With no further business the meeting was adjourned at 8:08 p.m.

---

Clerk-Treasurer

---

President

## **RESOLUTION 13-120**

### **A RESOLUTION ADOPTING A FISCAL PLAN FOR THE ANNEXATION OF LANDS DEFINED IN ORDINANCE 13-36**

**WHEREAS**, the City of Westfield (the “City”) desires to annex certain parcels as identified in **Exhibit A** and **Exhibit B** (the “Annexation Area”) into the municipality; and,

**WHEREAS**, pursuant to Indiana Code § 36-7-4-3.1 a fiscal plan must be prepared and adopted by resolution prior to such annexation; and,

**WHEREAS**, the required fiscal plan, included as **Exhibit C** (the “Fiscal Plan”) and attached hereto and made a part hereof, has been prepared and presented to the Council for consideration; and

**WHEREAS**, the Fiscal Plan has been reviewed and complies with the requirements of Indiana Code § 36-4-3-13.

**NOW, THEREFORE, BE IT RESOLVED** that the Fiscal Plan attached hereto and made a part hereof is hereby approved and adopted by the Westfield City Council.

**[REMAINDER OF PAGE LEFT BLANK INTENTIONALLY]**

ADOPTED AND PASSED THIS \_\_\_\_\_ DAY OF FEBRUARY, 2014, BY THE  
WESTFIELD CITY COUNCIL, HAMILTON COUNTY, INDIANA.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby certify that RESOLUTION 13-120 was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of February, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

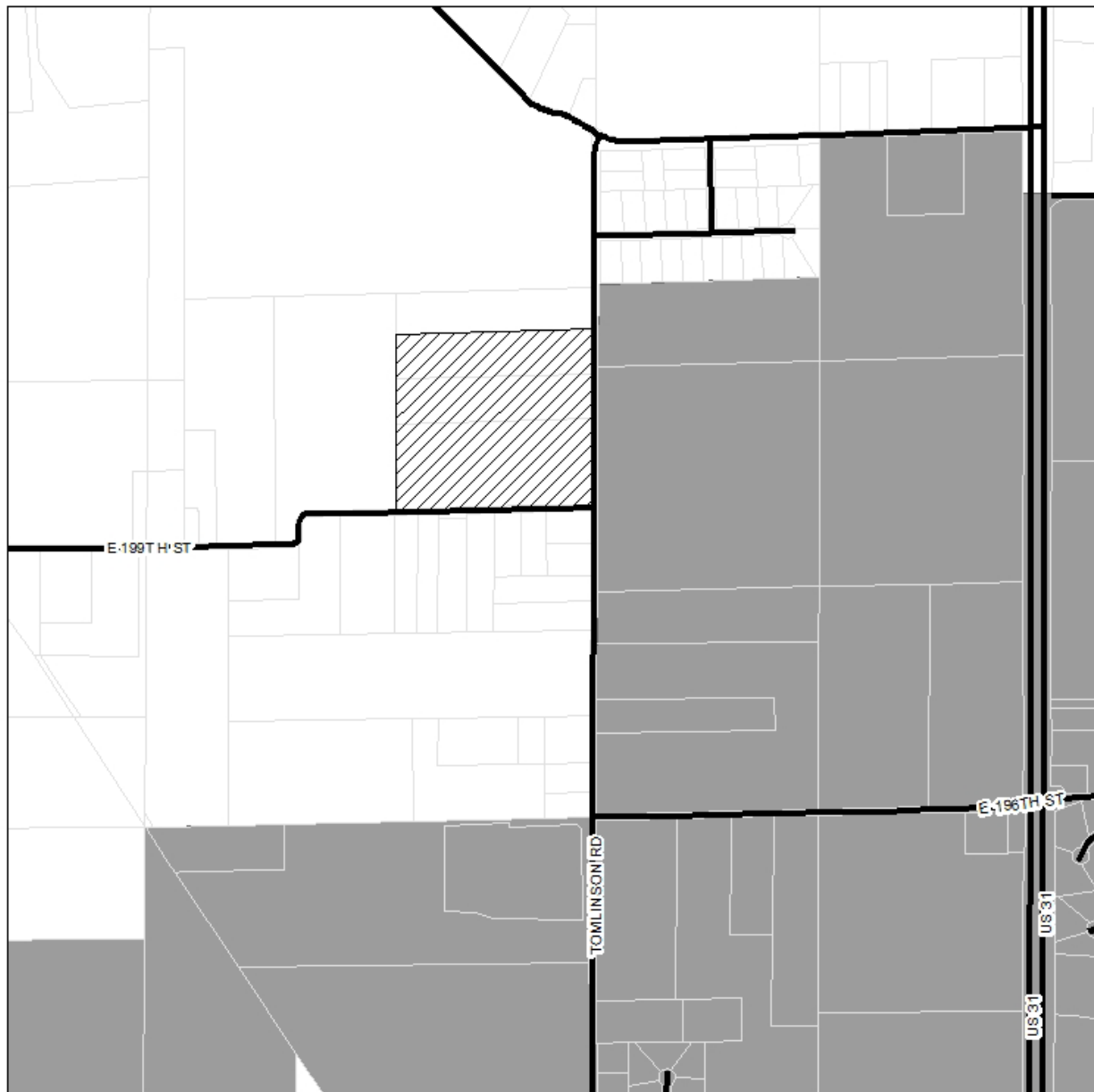
I hereby APPROVE Resolution 13-120  
this \_\_\_\_\_ day of February, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Resolution 13-120  
this \_\_\_\_\_ day of February, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

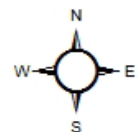
**EXHIBIT A**  
**ANNEXATION AREA**



**EXHIBIT LEGEND**

- |                                                                                     |                      |                                                                                     |         |
|-------------------------------------------------------------------------------------|----------------------|-------------------------------------------------------------------------------------|---------|
|  | ANNEXATION AREA      |  | PARCELS |
|  | EXISTING CITY LIMITS |  | STREETS |

Not To Scale



**EXHIBIT B**  
**ANNEXATION AREA**  
**LEGAL DESCRIPTIONS**

This description includes three (3) parcels of land:

**Parcel No. 08-05-24-00-00-037.002**

**Parcel No. 08-05-24-00-00-037.003**

**Parcel No. 08-05-24-00-00-037.000**

Part of the Northwest and Southwest Quarters of Section 24, Township 19 North, Range 3 East, Hamilton County, Indiana, more particularly described as follows:

BEGINNING at the Northeast Corner of said Southwest Quarter (Section Corner 19032405); thence N 00-17-00 E, 229.063 feet to the Southeast corner of the parcel described in Instrument Number 2011012100, on file in the Office of the Recorder of Hamilton County, Indiana; thence S 88-27-53 W, 1180.476 feet to the southwest corner of said parcel; thence S 00-08-40 E, 1045.596 feet to the Southwest corner of a 35-acre parcel described in Instrument Number 9609630806 on file in the Office of the Recorder of Hamilton County, Indiana, also being the centerline of E 199th St; thence along E 199th St, N 88-52-13 E, 1173.768 feet to the Southeast corner of said 35-acre parcel and also the centerline of Tomlinson Rd; thence N 00-11-27 E, 825.026 feet to the POINT OF BEGINNING. Containing 29.1 acres, more or less.

**ALSO INCLUDING:**

In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Tomlinson Road and East 199th Street.



# **Fiscal Plan for the Voluntary Annexation of Real Estate Contiguous to the City of Westfield, Indiana**

**Generally described as the real estate located  
on the northwest corner of Tomlinson Road and 199<sup>th</sup> Street**

**This Fiscal Plan Supports  
Ordinance 13-36**

**This Fiscal Plan is Exhibit C  
of Resolution 13-120**

## **Introduction**

The purpose of this report is to outline the estimated fiscal impact of annexation upon the City of Westfield, Hamilton County, Indiana (the “City”) and ability of the City to provide necessary municipal capital and non-capital services to an area proposed for annexation. The area proposed for annexation that is analyzed in this report is referred to as the “Annexation Area” and is generally located adjacent to the existing corporate limits of the City on the northwest corner of Tomlinson Road and 199<sup>th</sup> Street. The annexation is 100% voluntary.

The Indiana Statute (I.C. § 36-4-3-13(d)) governing annexation activity by the City requires the preparation of a written fiscal plan and the establishment of an annexation policy, by resolution, as of the date of the annexation ordinance. The fiscal plan is required to present cost estimates and a plan for the extension of municipal services to the area proposed for annexation. Municipal services of a non-capital nature are required to be provided within one (1) year of the effective date of the annexation ordinance to the extent that such services are equivalent in standard and scope to those services already provided within the city limits. Municipal services of a capital improvement nature are required to be provided within three (3) years of the effective date of the annexation ordinance to the extent that such services are equivalent in standard and scope to those services already provided within the City’s corporate limits.

This report contains an analysis of the revenues and expenditures that will result from the annexation of certain territory by the City. While the City is committed to providing the highest quality service to all areas of the community, the dollar figures presented here are only estimates and are subject to change. Variations may occur depending upon the rate and extent of future development, an increase or decrease in the cost of providing municipal services, or fluctuations in future property assessments.

|                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------|
| <p style="text-align: center;"><b>City of Westfield</b></p> <p style="text-align: center;"><b>Annexation Philosophy and Plan</b></p> |
|--------------------------------------------------------------------------------------------------------------------------------------|

**A. Fiscal Policy of the City**

The annexation policies of the City are expected to correspond with the fiscal policies of the City. Therefore, it is the policy of the City that annexation(s) should only be undertaken under circumstances which are not adverse to the fiscal interests of the current residents and taxpayers of the City.

**B. General Philosophy and Plan**

The philosophy and plan of the City is to annex real estate into its corporate limits in accordance with the terms of Title 36, Article 4, Chapter 3 of the Indiana Code. The adoption of an ordinance authorizing such annexation shall:

1. Provide the residents of the City with a broad, stable and growing economic tax base; and,
2. Provide a plan for the quality and quantity of urban development in a coordinated manner; and,
3. Provide for preservation and enhancement of the public's overall health, safety, and welfare, regarding all of the City's residents; and,
4. Allow for the provision of services to the annexed area in a cost effective manner that will not significantly impact existing residents.

**C. Further the City Shall:**

1. First seek the voluntary annexations of new developments contiguous to the current City boundaries. It is the preference of the City to implement annexation action under the most amenable conditions possible. Therefore, in cases where it is practical and possible to achieve consensus, the City prefers to proceed with annexation under the "voluntary" provisions of the statute (I.C. § 36-4-3-5);
2. Enhance the existing assessed valuation of the municipality through voluntary annexations;
3. Consider any requests for voluntary annexation from existing parcels; and
4. Consider any forced annexations that will positively impact the future economic development opportunity of the community.

## Parcel Analysis

### A. Description

The Annexation Area is generally described as the real estate located on the northwest corner of Tomlinson Road and 199<sup>th</sup> Street (see attached **Exhibit 1**) and encompasses an area of approximately twenty-nine (29) acres. The Annexation Area is the first in a series of annexations of property zoned the Chatham Hills PUD District (Ordinance No. 13-24).

### B. Contiguity

Property contiguous with the City's corporate limits may be annexed into the City's corporate limits (I.C. § 36-4-3-1.5). I.C. § 36-4-3-1.5 provides that property is considered "contiguous" if at least one-eighth (1/8) of the aggregate external boundaries of the property coincides with the boundaries of the City's corporate limits. In determining if property is contiguous, a strip of land less than one hundred fifty (150) feet wide which connects the City's corporate limits to the Annexation Area is not considered a part of the boundaries of either the City's corporate limits or the property to be annexed. The Annexation Area meets the contiguity requirements of I.C. § 36-4-3-1.5.

### C. Population and Structures

The Annexation Area currently has zero (0) inhabitants and contains no structures.

### D. Zoning

The Annexation Area is currently located within the planning and zoning jurisdiction of the City through a joinder agreement with Washington Township served by the Westfield-Washington Township Advisory Plan Commission. If annexed, then the parcels will remain in the same planning jurisdiction. The zoning designation of the Annexation Area is Planned Unit Development District (Chatham Hills PUD District Ordinance No. 13-24).

### E. Property Tax Assessment

The 2013 pay 2014 total net assessed valuation of all real property and its improvements located within the Annexation Area is \$51,300.

### F. Municipal Property Tax Rate

The existing 2013 pay 2014 property tax rate assessed to all real property and its improvements within the Annexation Area is \$2.60840 per \$100 of assessed valuation. This is the total Washington Township tax rate assessed to all real property and its improvements, subject to any property tax "cap" which may apply.

### G. Council District

The Annexation Area will be incorporated into Council District 3.

## H. Proposed Build-out

The build-out of the Annexation Area is estimated to include between fifty (50) and sixty (60) empty-nester residential units and a golf course. The residential units are estimated to range in value between \$350,000 to \$500,000 per unit with a build-out of approximately twenty (20) homes per year to be completed in 2015, 2016 and 2017. The construction of the golf course is anticipated to be completed by the end of 2015.

Estimated property taxes and revenue generated from the projected build-out are set forth in **Exhibit 3**, Table 1 and Table 2.

|                           |
|---------------------------|
| <b>Municipal Services</b> |
|---------------------------|

The City currently extends to its citizens a range of public services. These services are provided by different municipal departments. Each department has a unique function within the municipal service system of the City. These departments include: Police, Fire, Public Works, Clerk/Treasurer's Office, Informatics, Administration, Parks and Recreation, and Economic and Community Development.

Each of the municipal service sectors are analyzed in this section to determine the impact of annexation on their ability to provide both capital and non-capital services to the area proposed for annexation as required by Indiana law. The method used to determine the fiscal impact of annexation is known as "fiscal impact analysis".

Fiscal impact analysis is a method of evaluation that is used to measure and project the direct public costs and revenues associated with residential and non-residential growth within a municipality. It explores public (government) costs and revenues. It does not consider private costs of public actions. Therefore, special assessments on real property or the value of land dedications required of developers are considered private revenues. Individual services contracted for homeowners associations, neighborhoods, and similar groups are also considered private.

All municipal departments were analyzed to determine the extent of the effect of annexation. The Police, Fire, Public Works, Clerk/Treasurer's Office, Informatics, Administration, Parks and Recreation, and Economic and Community Development were identified as being affected by the annexation of new territory.

The cost estimates of planned services to be furnished to the Annexation Area have been computed based on the 2013 budget. Input from all departments was gathered, and a careful analysis was prepared in an effort to meet all the requirements of I.C. 36-4-3. Each capital service was assessed by Department of Public Works and where required, specific improvements and costs have been programmed. The findings and proposed improvements for each capital service are detailed in this report. Some services may already be available to the Annexation Area, while others will have to be initiated. In each case, it is shown in this report, that service is being/will be proposed to the Annexation Area, in a manner equivalent in standard and scope to the services being providing within the City's corporate boundaries.

The existing levels and costs of service provisions for each department are outlined below:

#### **A. Police Department**

The forty (40) uniformed officers of the Police Department of the City provide the citizens of the City with public safety and emergency response service throughout the corporate limits of the City. The individual services include: neighborhood patrols for the prevention of crime; detection and apprehension of criminal offenders; resolution of domestic disputes; anti-crime and anti-drug public education; traffic control and accident reporting; and the creation and maintenance of a general feeling of safety and security throughout the community.

The services provided by the Police Department vary in their individual requirements for personnel and financial resources and are subject to annual review and approval by the City Council.

Annual operating costs associated with the addition of one (1) uniformed police officer(s) include salary, overtime pay, holiday pay, clothing and uniform allowance, health insurance, training, pension benefits and administrative overhead.

Capital one-time costs associated with the addition of one (1) uniformed police officer(s) include a patrol vehicle and related equipment. These costs have been factored together to arrive at necessary service level increases for various areas under consideration for annexation.

The Annexation Area includes approximately twenty-nine (29) acres and is currently uninhabited. The City will provide police service to the Annexation Area upon the effective date of annexation through the extension of an existing patrol area with existing personnel.

##### **Provision of planned service of a non-capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel.

##### **Provision of planned services of a capital improvement nature within three years.**

Any additional capital requirements can be accommodated in future budgets through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

#### **B. Fire Department**

The seventy (70) Firefighters, EMS and Paramedics personnel employed by the Fire Department of the City respond to fire emergencies, chemical and hazardous material spills, and general life safety emergencies throughout the corporate limits of the City and throughout the remainder of Washington Township, Hamilton County (the "Township").

The personnel of the Fire Department are assigned to three (3) fire stations located on Dartown Road (headquarters), 151st Street, and Grassy Branch Road. Each station is the primary respondent to emergencies within its assigned geographical area. Secondary

response is provided by personnel and equipment by volunteer and paid city and town fire departments in adjacent communities.

The existing Fire Department currently has the entire responsibility for services throughout the Township; therefore, the annexation of this new territory will not change the impact or the need for additional personnel.

**Provision of planned service of a non-capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel because current services already serve the Township.

**Provision of planned service of a capital nature within three years.**

The capital services required for future growth in the fire services for the Township will be managed through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**C. Public Works Department**

**a. Street Division**

The Street Division is part of the Public Works Department of the City and has responsibility for the maintenance and upkeep of all streets and public rights-of-way within the corporate limits of the City. Maintenance activities include potholes and curb repair, mowing of weeds and other vegetation, street sweeping, sign maintenance and replacement, pavement striping, and snow removal. It is also responsible for reconstruction of sidewalks and policing of rights-of-way to support safe travel.

Other responsibilities include resurfacing and reconstruction of all public roads with the exception of the roads falling under the jurisdiction of the Indiana Department of Transportation or the Hamilton County Highway Department. These operations are primarily funded from the Motor Vehicle Highway (“MVH”) fund, the Local Road and Street Fund (“LR&S”), and the Road and Street Improvement Fund. The budgeted expenditures for MVH and LR&S is approximately \$980,000 for 2014, which is approximately \$5,280 per road mile.

**Provision of planned service of a non-capital nature within one year.**

Street Division services can be provided for the Annexation Area with existing personnel. Based upon the new road miles (199<sup>th</sup> Street and Tomlinson Road) of approximately 2,221 feet (0.42 miles). Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**Provision of planned service of a capital nature within three years.**

The intent of the City with respect to future road construction is to require future developers to improve, or contribute financially to the improvement of existing roadways in accordance with the impact of any proposed development on the traffic loads. Potential road improvements are evaluated each year and the Annexation Area

will be part of that annual review process. Cost estimates for planned services are set forth in Exhibit 3, Table 3 and Table 4.

#### **b. Water and Sewer Services**

Citizens of Westfield Water, LLC (the “Utility”) operates the water and wastewater works within the City. Services for both water and sewer are provided within the corporate limits of the City and into portions of the Township. The Annexation Area is not currently served by the Utility’s water and sewer service.

The Utility provides the service of pumping water from the water source, treating the water to some level, distributing the water into the system of water lines, storing the water for peak demand and fire protection purposes, and maintaining the system, in its entirety. The Utility meets the parameters of providing access to water utility service, to a property, when a water distribution line is within the distributive area of a main trunk line or lateral line. When water lines are already developed with respect to a specific property, the water utility is made directly available to that property when a water line is located within three hundred (300) lineal feet of the nearest property line of the developed parcel.

Fire hydrants are generally supported by the user charge system of the Utility. The developer of any new development is generally responsible for installing the fire hydrants necessary to protect the proposed development from catastrophic fire, unless otherwise provided by the Utility or the Utility’s policies.

The installation and extension of sewer service for any proposed development in the Annexation Area will be provided in accordance with the Utility’s policies. The Utility provides access to wastewater collection, treatment and disposal service to all properties within the corporate limits of the City. The Utility meets the parameters of providing access to wastewater service when the parcel is within the drainage watershed of a major interceptor, trunk or lateral sewer which ultimately delivers wastewater to the wastewater treatment plant. In cases where sewer laterals are made available to developed parcels, the standard for service is met when the Utility’s sewer is located within three hundred (300) lineal feet of the nearest property line of the parcel.

Property tax revenues are not a part of the Utility’s budget. In addition to monthly service charges, the Utility has established a system of fees for other services such as various connection fees, and/or supplemental fees for special facilities installed to meet the needs and demands of various customers. The cost of extending water and wastewater lines within the Utility’s service area is done in accordance with the Utility’s policies. The Utility is also subject to regulatory requirements which are administered at the State and Federal level. As such, the system of fees and charges must be adjusted from time to time to remain current with regulatory and other requirements.

#### **D. Parks and Recreation Department**

Services by the Parks and Recreation Department of the City are funded out of the City's Parks and Recreation Department budget. The existing inventory of facilities include: Armstrong Park, Old Friends Cemetery Park, Osborne Park, Raymond Worth Park, Quaker Park, Simon Moon Park, Asa Bales Park, Liberty Park, Hadley Park and Freedom Trail Park. The existing inventory of trails include: Monon, Midland Trace, Natalie Wheeler, Anna Kendall, and Cool Creek. These parks and recreation operations are supported by the City's General Fund. The Annexation Area is not anticipated to have an appreciable effect on existing park facilities and no additional costs for this function are anticipated.

##### **Provision of planned service of a non capital nature within one year**

The Annexation Area will have full access to all existing park facilities and will continue to be supported by the City.

##### **Provision of planned service of a capital nature within three years**

The capital services required for future growth in parks will be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

#### **E. Clerk-Treasurer's Office**

The Clerk-Treasurer of the City is responsible for the maintenance of all city records.

##### **Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel.

##### **Provision of planned service of a capital nature within three years.**

The capital services required for this department can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

#### **F. Economic and Community Development Department**

##### **a. Planning and Zoning Services**

The Economic and Community Development of the City is responsible for all of the planning and zoning support for the Westfield-Washington Township Advisory Plan Commission and the Westfield-Washington Township Board of Zoning Appeals. These responsibilities currently involve the entire Township; therefore, no service level increases are expected for this division with respect to the Annexation Area.

##### **Provisioning of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with exiting personnel who already serve the entire Township.

##### **Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**b. Economic Development Services**

The Economic and Community Development of the City is responsible for all of the economic development functions within the corporate limits of the City. No service level increases are expected with respect to the Annexation Area.

**Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with exiting personnel.

**Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**c. Building and Construction Services**

The Economic and Community Development of the City currently processes building permits throughout the entire Township. It conducts inspections on new buildings and unsafe structures. Since this service is already being provided throughout the entire Township, no service level increases are expected with respect to the Annexation Area.

**Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel, who already serve the entire Township.

**Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

|                          |
|--------------------------|
| <b>Financial Summary</b> |
|--------------------------|

The Annexation Area has been researched and analyzed in accordance with the terms of the Indiana Code, Title 36, Article 4, Chapter 3.

The primary source of revenue for the City is that which is received from property taxes and County Option Income Tax (COIT). The existing net assessed valuation of all real property and its improvements within the Annexation Area is \$51,300.

The build-out of the Annexation Area is estimated to include between fifty (50) and sixty (60) empty-nester residential units and a golf course. The residential units are estimated to range in value between \$350,000 to \$500,000 per unit with a build-out of approximately twenty (20)

homes per year to be completed in 2015, 2016 and 2017. The construction of the golf course is anticipated to be completed by the end of 2015.

As a result of additional population and road miles, the City also receives revenue from other sources that include Alcohol Gallonage Taxes, Cigarette Tax, Vehicle Excise Tax, MVH road miles tax, and LR& S road mile tax.

Assuming the annexation is effective prior to March 1, 2015; the property within the Annexation Area will then be entered into public record and assessed for taxation as an incorporated area.

Revenue received by the City from property assessed on or before March 1, 2015, will not be realized until May and November of 2016. The delay in the collection of property taxes will cause the City to experience a cost of services from existing budgets due to the required provision of non-capital services in the first year following annexation. To the extent that real costs exceed revenue as a result of this annexation, the City is prepared to use funds from other budgeted line items in order to assure that services required by State Statute are provided to the Annexation Area.

Currently, the Annexation Area is undeveloped and the City will receive nominal property taxes from the existing assessed value within the Annexation Area. It should be understood, however, that the annexation of undeveloped land has a very minimal impact on municipal revenue streams and generally a minor impact on the provision of municipal services, if proper fiscal planning is performed.

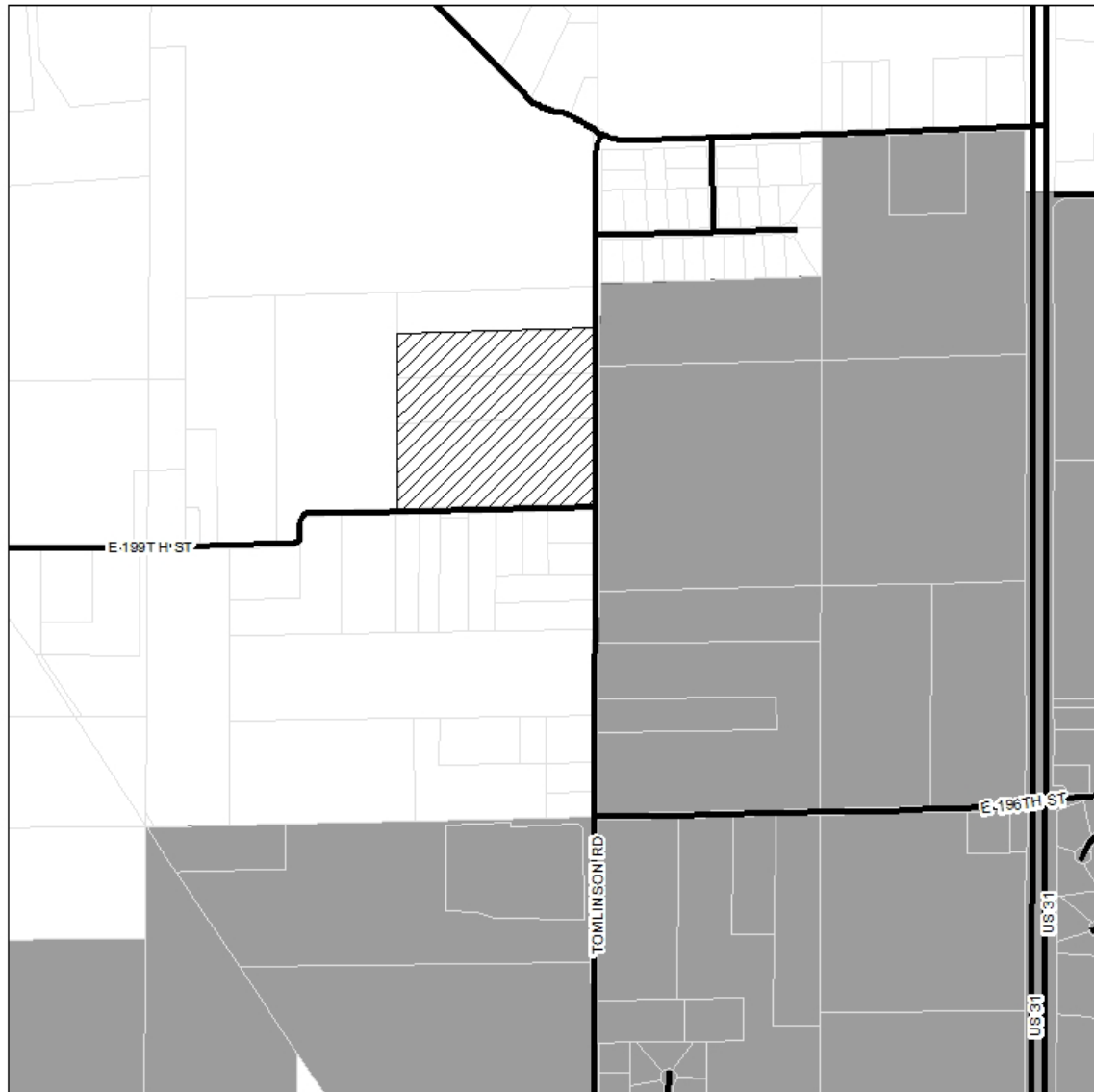
When development occurs, the impact of that development on various revenue streams, as well as the impact of that development on the demand for municipal services, is to be examined by the City as a part of the development approval process. It is the City's stated goal that it seeks to establish fiscal policies which would result in no negative impact on property taxes for existing City residents as a result of growth. Therefore, the City will seek to assure that all proposed development offers a balance between the cost of services demanded and the revenues produced.

It is the intent of the City to pay for extension of all municipal services to the area from revenues generated as a result of the annexation, which will be derived from property taxes, along with other state distributions. The total property tax rate in Washington Township outside of the corporate limits for pay 2014 is \$2.60840. The tax rate for all taxpayers in the City/Washington Township, including all overlapping taxing units, is equal to \$3.09470, an increase of \$0.4863 or eighteen percent (18%).

A summary of the estimated fiscal impact is set forth in **Exhibit 3**, Table 5.

## Exhibit 1

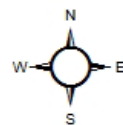
### Annexation Area: Graphic Depiction



#### EXHIBIT LEGEND

- |                                                                                     |                      |                                                                                     |         |
|-------------------------------------------------------------------------------------|----------------------|-------------------------------------------------------------------------------------|---------|
|  | ANNEXATION AREA      |  | PARCELS |
|  | EXISTING CITY LIMITS |  | STREETS |

Not To Scale



|                  |
|------------------|
| <b>Exhibit 2</b> |
|------------------|

**Annexation Area: Legal Description**

This description includes three (3) parcels of land:

**Parcel No. 08-05-24-00-00-037.002**

**Parcel No. 08-05-24-00-00-037.003**

**Parcel No. 08-05-24-00-00-037.000**

Part of the Northwest and Southwest Quarters of Section 24, Township 19 North, Range 3 East, Hamilton County, Indiana, more particularly described as follows:

BEGINNING at the Northeast Corner of said Southwest Quarter (Section Corner 19032405); thence N 00-17-00 E, 229.063 feet to the Southeast corner of the parcel described in Instrument Number 2011012100, on file in the Office of the Recorder of Hamilton County, Indiana; thence S 88-27-53 W, 1180.476 feet to the southwest corner of said parcel; thence S 00-08-40 E, 1045.596 feet to the Southwest corner of a 35-acre parcel described in Instrument Number 9609630806 on file in the Office of the Recorder of Hamilton County, Indiana, also being the centerline of E 199th St; thence along E 199th St, N 88-52-13 E, 1173.768 feet to the Southeast corner of said 35-acre parcel and also the centerline of Tomlinson Rd; thence N 00-11-27 E, 825.026 feet to the POINT OF BEGINNING. Containing 29.1 acres, more or less.

**ALSO INCLUDING:**

In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Tomlinson Road and East 199th Street.

|                  |
|------------------|
| <b>Exhibit 3</b> |
|------------------|

**Fiscal Plan Tables**

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**TABLE 1****CITY OF WESTFIELD, INDIANA "CHATHAM HILLS PHASE 1"****Computation of Estimated Property Taxes**

| <u>Year</u> | <u>Estimated<br/>Assessed<br/>Value</u> | <u>Exemptions</u> | <u>Estimated<br/>Net<br/>Assessed<br/>Value</u> | <u>Tax<br/>Rate</u> | <u>Estimated<br/>Tax<br/>Revenue</u> |
|-------------|-----------------------------------------|-------------------|-------------------------------------------------|---------------------|--------------------------------------|
| 1st         | \$ 54,700 (1)                           | \$ - (2)          | \$ 54,700                                       | \$ 0.8075 (3)       | \$ 442                               |
| 2nd         | 54,700                                  | -                 | 54,700                                          | 0.8075              | 442                                  |
| 3rd         | 11,954,500                              | 3,074,000         | 8,880,500                                       | 0.8075              | 71,710                               |
| 4th         | 18,954,500                              | 6,148,000         | 12,806,500                                      | 0.8075              | 103,412                              |
| 5th         | 25,954,500                              | 9,222,000         | 16,732,500                                      | 0.8075              | 135,115                              |

- (1) Assumes a golf course similar to the Bridgewater Club in Westfield is completed by March 1, 2016. In addition, we have assumed that 20 homes are built in each of the 3rd, 4th and 5th years.
- (2) Assumes homestead, supplemental homestead and mortgage deductions on all homes
- (3) Assumes the final tax rate for 2014

**TABLE 2**

**CITY OF WESTFIELD, INDIANA "CHATHAM HILLS PHASE 1"**

**Estimated Revenue Generated**

|                                      | <u>1st Year</u> | <u>2nd Year</u> | <u>3rd Year</u>  | <u>4th Year</u>  | <u>5th Year</u>   |
|--------------------------------------|-----------------|-----------------|------------------|------------------|-------------------|
| Net Assessed Value                   | \$ 54,700       | \$ 54,700       | \$ 8,880,500     | \$ 12,806,500    | \$ 16,732,500     |
| Property Tax Revenue                 | 442             | 442             | 71,710           | 103,412          | 135,115           |
| Circuit Breaker Reduction <b>(1)</b> | (14)            | (14)            | (17,096)         | (24,653)         | (32,211)          |
| Motor Vehicle Highway                | -               | -               | -                | -                | -                 |
| Local Roads & Street                 | <u>-</u>        | <u>-</u>        | <u>-</u>         | <u>-</u>         | <u>-</u>          |
| Total Revenue                        | <u>\$ 428</u>   | <u>\$ 428</u>   | <u>\$ 54,614</u> | <u>\$ 78,759</u> | <u>\$ 102,904</u> |

**(1) Estimated Circuit Breaker Reduction based upon Pay 2014 tax rate and estimated build out**

**General Notes**

- Five years is considered a standard planning period for annexation analysis.
- Population based revenue will not go up unless a Census occurs or a Special Census is prepared.

TABLE 3

## CITY OF WESTFIELD, INDIANA "CHATHAM HILLS PHASE 1"

## Estimated Non-Capital Costs

|                                       | <u>1st Year</u> | <u>2nd Year</u>  | <u>3rd Year</u>  | <u>4th Year</u>  | <u>5th Year</u>   |
|---------------------------------------|-----------------|------------------|------------------|------------------|-------------------|
| Police (1)                            | \$ 2,082        | \$ 3,702         | \$ 9,254         | \$ 18,508        | \$ 25,911         |
| Fire (1)                              | 3,570           | 7,141            | 26,778           | 40,167           | 56,234            |
| Lighting (2)                          | -               | -                | -                | -                | -                 |
| Fire Hydrants (2)                     | -               | -                | -                | -                | -                 |
| Streets & Road Maint. (1)             | 1,250           | 2,870            | 3,700            | 4,650            | 6,510             |
| Park (2)                              | -               | -                | -                | -                | -                 |
| <u>Admin. &amp; General Dpts. (1)</u> |                 |                  |                  |                  |                   |
| Administrative                        | 137             | 206              | 1,442            | 2,884            | 5,768             |
| Community Dev. Planning               | 28              | 42               | 294              | 588              | 1,176             |
| Building Dept.                        | 8               | 12               | 84               | 168              | 336               |
| Information Tech.                     | 51              | 77               | 539              | 1,078            | 2,156             |
| Clerk                                 | 20              | 30               | 210              | 420              | 840               |
| Mayor                                 | 5               | 8                | 56               | 112              | 224               |
| City Council                          | 5               | 8                | 56               | 112              | 224               |
| Street Dept                           | 69              | 104              | 728              | 1,456            | 2,912             |
| Total Non-Capital Costs               | <u>\$ 7,225</u> | <u>\$ 14,199</u> | <u>\$ 43,141</u> | <u>\$ 70,143</u> | <u>\$ 102,291</u> |

(1) Assumes allocation of the specific budget; in the event you need further information, please contact the City. The increase in Street cost is due to the increase in homes.

(2) No additional cost is estimated to be incurred.

General Note

- Five years is considered a standard planning period for annexation analysis.

**TABLE 4**

**CITY OF WESTFIELD, INDIANA "CHATHAM HILLS PHASE 1"**

**Estimated Capital Costs**

|                        | <u>1st Year</u>    | <u>2nd Year</u>    | <u>3rd Year</u>    | <u>4th Year</u>    | <u>5th Year</u>    |
|------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|
| Street Department (1)  | \$ -               | \$ -               | \$ -               | \$ -               | \$ -               |
| Street Lighting (1)    | -                  | -                  | -                  | -                  | -                  |
| Wastewater (1)         | -                  | -                  | -                  | -                  | -                  |
| Water (1)              | -                  | -                  | -                  | -                  | -                  |
| Electric (1)           | -                  | -                  | -                  | -                  | -                  |
| Cumulative Capital (1) | -                  | -                  | -                  | -                  | -                  |
| Cumulative Fire (1)    | <u>-</u>           | <u>-</u>           | <u>-</u>           | <u>-</u>           | <u>-</u>           |
| Total Capital Costs    | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> |

**(1) No capital costs are expected to occur, in this time period, in the Area.**

**General Note**

- Five years is considered a standard planning period for annexation analysis.

**TABLE 5****CITY OF WESTFIELD, INDIANA "CHATHAM HILLS PHASE 1"****Fiscal Plan Summary**

|                   | <u>1st Year</u>   | <u>2nd Year</u>    | <u>3rd Year</u>  | <u>4th Year</u> | <u>5th Year</u> | <u>Total</u>  |
|-------------------|-------------------|--------------------|------------------|-----------------|-----------------|---------------|
| Revenue           | \$ 428            | \$ 428             | \$ 54,614        | \$ 78,759       | \$ 102,904      | \$ 237,133    |
| Non-Capital Costs | 7,225             | 14,199             | 43,141           | 70,143          | 102,291         | 236,999       |
| Capital Costs     | <u>-</u>          | <u>-</u>           | <u>-</u>         | <u>-</u>        | <u>-</u>        | <u>-</u>      |
| Net               | <u>\$ (6,797)</u> | <u>\$ (13,771)</u> | <u>\$ 11,473</u> | <u>\$ 8,616</u> | <u>\$ 613</u>   | <u>\$ 134</u> |
| Percentage        | <u>N/A</u>        | <u>N/A</u>         | <u>N/A</u>       | <u>N/A</u>      | <u>N/A</u>      | <u>N/A</u>    |

**General Notes**

- Five years is considered a standard planning period for annexation analysis.
- To be funded by the General Fund balance

## **RESOLUTION 14-103**

### **A RESOLUTION ADOPTING A FISCAL PLAN FOR THE ANNEXATION OF LANDS DEFINED IN ORDINANCE 14-04**

**WHEREAS**, the City of Westfield (the “City”) desires to annex certain parcels as identified in **Exhibit A** and **Exhibit B** (the “Annexation Area”) into the municipality; and,

**WHEREAS**, pursuant to Indiana Code § 36-7-4-3.1 a fiscal plan must be prepared and adopted by resolution prior to such annexation; and,

**WHEREAS**, the required fiscal plan, included as **Exhibit C** (the “Fiscal Plan”) and attached hereto and made a part hereof, has been prepared and presented to the Council for consideration; and

**WHEREAS**, the Fiscal Plan has been reviewed and complies with the requirements of Indiana Code § 36-4-3-13.

**NOW, THEREFORE, BE IT RESOLVED** that the Fiscal Plan attached hereto and made a part hereof is hereby approved and adopted by the Westfield City Council.

**[REMAINDER OF PAGE LEFT BLANK INTENTIONALLY]**

ADOPTED AND PASSED THIS \_\_\_\_\_ DAY OF FEBRUARY, 2014, BY THE  
WESTFIELD CITY COUNCIL, HAMILTON COUNTY, INDIANA.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Jim Ake

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Steven Hoover

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Robert L. Horkay

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Charles Lehman

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Robert J. Smith

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Cindy L. Spoljaric

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

\_\_\_\_\_  
Robert W. Stokes

ATTEST:

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

I hereby certify that RESOLUTION 14-103 was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of February, 2014, at \_\_\_\_\_ m.

\_\_\_\_\_  
Cindy J. Gossard, Clerk-Treasurer

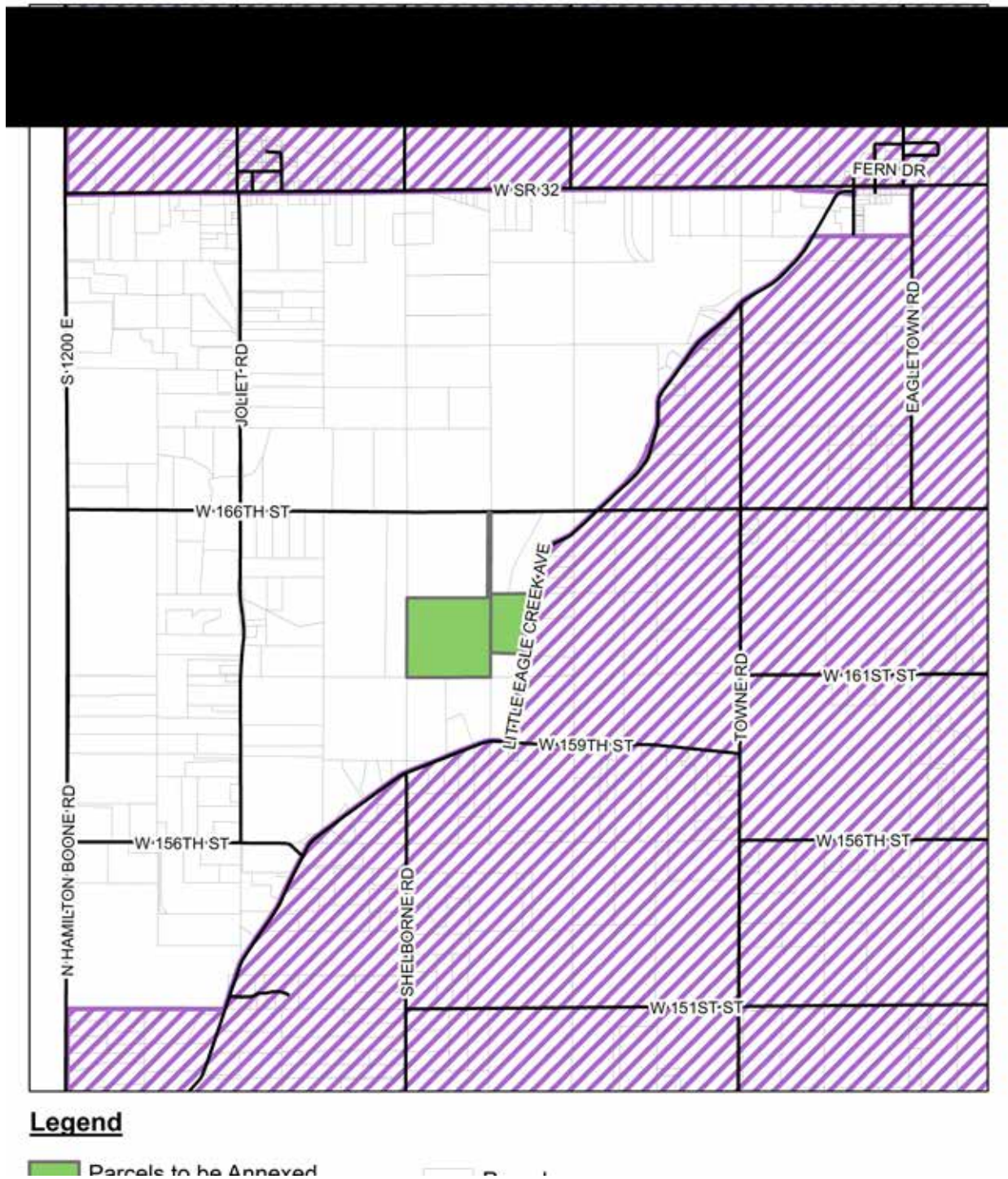
I hereby APPROVE Resolution 14-103  
this \_\_\_\_\_ day of February, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Resolution 14-103  
this \_\_\_\_\_ day of February, 2014.

\_\_\_\_\_  
J. Andrew Cook, Mayor

**EXHIBIT A**  
**ANNEXATION AREA**



**EXHIBIT B**  
**ANNEXATION AREA**  
**LEGAL DESCRIPTIONS**

This description includes two (2) parcels of land:

**Parcel No. 08-09-08-00-00-008.000**

**Parcel No. 08-09-08-00-00-001.000**

Beginning at the NW1/4 of the NE1/4 of Section 7, Township 18N and Range 3E.

|                         |                                                                                          |
|-------------------------|------------------------------------------------------------------------------------------|
| Direction: S 0-4-58 E   | Distance: 35' to the point of beginning                                                  |
| Direction: S 0-22-1 W   | Distance: 1349.037'                                                                      |
| Direction: S 90-0-0 W   | Distance: 1278.8'                                                                        |
| Direction: S 0-8-12 W   | Distance: 1266.614'                                                                      |
| Direction: N 89-45-31 E | Distance: 619.746'                                                                       |
| Direction: N 89-45-31 E | Distance: 712.086'                                                                       |
| Direction: N 0-23-56 E  | Distance: 384.909'                                                                       |
| Direction: S 87-54-27 E | Distance: 451.061'                                                                       |
| Direction: S 88-44-34 E | Distance: 35.476'                                                                        |
| Direction: N 13-44-44 E | Distance: 580.131'                                                                       |
| Direction: N 13-49-42 E | Distance: 410.519'                                                                       |
| Direction: S 89-21-56 W | Distance: 36.152'                                                                        |
| Direction: S 89-24-21 W | Distance: 405.012'                                                                       |
| Direction: S 89-24-27 W | Distance: 278.525'                                                                       |
| Direction: N 0-5-50 E   | Distance: 1268.642'                                                                      |
| Direction: N 0-5-9 E    | Distance: 20.13'                                                                         |
| Direction: N 0-0-44 W   | Distance: 34.999'                                                                        |
| Direction: S 89-26-12 W | Distance: 48.696' back to the point of beginning containing<br>53.48 acres more or less. |

**ALSO INCLUDING:**

In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Little Eagle Creek Avenue and 166<sup>th</sup> Street.



# **Fiscal Plan for the Voluntary Annexation of Real Estate Contiguous to the City of Westfield, Indiana**

**Generally described as the real estate located adjacent to the existing corporate limits,  
north of 159<sup>th</sup> Street and west of Little Eagle Creek Avenue**

**This Fiscal Plan Supports  
Ordinance 14-04**

**This Fiscal Plan is Exhibit C  
of Resolution 14-103**

## **Introduction**

The purpose of this report is to outline the estimated fiscal impact of annexation upon the City of Westfield, Hamilton County, Indiana (the “City”) and ability of the City to provide necessary municipal capital and non-capital services to an area proposed for annexation. The area proposed for annexation that is analyzed in this report is referred to as the “Annexation Area” and is generally located adjacent to the existing corporate limits, north of 159th Street and west of Little Eagle Creek Avenue. The annexation is 100% voluntary.

The Indiana Statute (I.C. § 36-4-3-13(d)) governing annexation activity by the City requires the preparation of a written fiscal plan and the establishment of an annexation policy, by resolution, as of the date of the annexation ordinance. The fiscal plan is required to present cost estimates and a plan for the extension of municipal services to the area proposed for annexation. Municipal services of a non-capital nature are required to be provided within one (1) year of the effective date of the annexation ordinance to the extent that such services are equivalent in standard and scope to those services already provided within the city limits. Municipal services of a capital improvement nature are required to be provided within three (3) years of the effective date of the annexation ordinance to the extent that such services are equivalent in standard and scope to those services already provided within the City’s corporate limits.

This report contains an analysis of the revenues and expenditures that will result from the annexation of certain territory by the City. While the City is committed to providing the highest quality service to all areas of the community, the dollar figures presented here are only estimates and are subject to change. Variations may occur depending upon the rate and extent of future development, an increase or decrease in the cost of providing municipal services, or fluctuations in future property assessments.

|                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------|
| <p style="text-align: center;"><b>City of Westfield</b></p> <p style="text-align: center;"><b>Annexation Philosophy and Plan</b></p> |
|--------------------------------------------------------------------------------------------------------------------------------------|

**A. Fiscal Policy of the City**

The annexation policies of the City are expected to correspond with the fiscal policies of the City. Therefore, it is the policy of the City that annexation(s) should only be undertaken under circumstances which are not adverse to the fiscal interests of the current residents and taxpayers of the City.

**B. General Philosophy and Plan**

The philosophy and plan of the City is to annex real estate into its corporate limits in accordance with the terms of Title 36, Article 4, Chapter 3 of the Indiana Code. The adoption of an ordinance authorizing such annexation shall:

1. Provide the residents of the City with a broad, stable and growing economic tax base; and,
2. Provide a plan for the quality and quantity of urban development in a coordinated manner; and,
3. Provide for preservation and enhancement of the public's overall health, safety, and welfare, regarding all of the City's residents; and,
4. Allow for the provision of services to the annexed area in a cost effective manner that will not significantly impact existing residents.

**C. Further the City Shall:**

1. First seek the voluntary annexations of new developments contiguous to the current City boundaries. It is the preference of the City to implement annexation action under the most amenable conditions possible. Therefore, in cases where it is practical and possible to achieve consensus, the City prefers to proceed with annexation under the "voluntary" provisions of the statute (I.C. § 36-4-3-5);
2. Enhance the existing assessed valuation of the municipality through voluntary annexations;
3. Consider any requests for voluntary annexation from existing parcels; and
4. Consider any forced annexations that will positively impact the future economic development opportunity of the community.

## Parcel Analysis

### A. Description

The Annexation Area is generally described as the real estate located adjacent to the existing corporate limits, north of 159<sup>th</sup> Street and west of Little Eagle Creek Avenue (see attached **Exhibit 1**) and encompasses an area of approximately fifty-three (53) acres.

### B. Contiguity

Property contiguous with the City's corporate limits may be annexed into the City's corporate limits (I.C. § 36-4-3-1.5). I.C. § 36-4-3-1.5 provides that property is considered "contiguous" if at least one-eighth (1/8) of the aggregate external boundaries of the property coincides with the boundaries of the City's corporate limits. In determining if property is contiguous, a strip of land less than one hundred fifty (150) feet wide which connects the City's corporate limits to the Annexation Area is not considered a part of the boundaries of either the City's corporate limits or the property to be annexed. The Annexation Area meets the contiguity requirements of I.C. § 36-4-3-1.5.

### C. Population and Structures

The Annexation Area has approximately two (2) inhabitants. One parcel contains one (1) residential structure, one (1) detached garage, and seven (7) accessory buildings. The second parcel contains a wastewater treatment facility.

### D. Zoning

The Annexation Area is currently located within the planning and zoning jurisdiction of the City through a joinder agreement with Washington Township served by the Westfield-Washington Township Advisory Plan Commission. If annexed, then the parcels will remain in the same planning jurisdiction. The zoning designation of the Annexation Area is the Agricultural / Single-Family (AG-SF1) District.

### E. Property Tax Assessment

The 2013 pay 2014 total net assessed valuation of all real property and its improvements located within the Annexation Area is \$5,537,900.

### F. Municipal Property Tax Rate

The existing 2013 pay 2014 property tax rate assessed to all real property and its improvements within the Annexation Area is \$2.60840 per \$100 of assessed valuation. This is the total Washington Township tax rate assessed to all real property and its improvements, subject to any property tax "cap" which may apply.

### G. Council District

The Annexation Area will be incorporated into Council District 4.

## **Municipal Services**

The City currently extends to its citizens a range of public services. These services are provided by different municipal departments. Each department has a unique function within the municipal service system of the City. These departments include: Police, Fire, Public Works, Clerk/Treasurer's Office, Informatics, Administration, Parks and Recreation, and Economic and Community Development.

Each of the municipal service sectors are analyzed in this section to determine the impact of annexation on their ability to provide both capital and non-capital services to the area proposed for annexation as required by Indiana law. The method used to determine the fiscal impact of annexation is known as "fiscal impact analysis".

Fiscal impact analysis is a method of evaluation that is used to measure and project the direct public costs and revenues associated with residential and non-residential growth within a municipality. It explores public (government) costs and revenues. It does not consider private costs of public actions. Therefore, special assessments on real property or the value of land dedications required of developers are considered private revenues. Individual services contracted for homeowners associations, neighborhoods, and similar groups are also considered private.

All municipal departments were analyzed to determine the extent of the effect of annexation. The Police, Fire, Public Works, Clerk/Treasurer's Office, Informatics, Administration, Parks and Recreation, and Economic and Community Development were identified as being affected by the annexation of new territory.

The cost estimates of planned services to be furnished to the Annexation Area have been computed based on the 2013 budget. Input from all departments was gathered, and a careful analysis was prepared in an effort to meet all the requirements of I.C. 36-4-3. Each capital service was assessed by Department of Public Works and where required, specific improvements and costs have been programmed. The findings and proposed improvements for each capital service are detailed in this report. Some services may already be available to the Annexation Area, while others will have to be initiated. In each case, it is shown in this report, that service is being/will be proposed to the Annexation Area, in a manner equivalent in standard and scope to the services being providing within the City's corporate boundaries.

The existing levels and costs of service provisions for each department are outlined below:

### **A. Police Department**

The forty (40) uniformed officers of the Police Department of the City provide the citizens of the City with public safety and emergency response service throughout the corporate limits of the City. The individual services include: neighborhood patrols for the prevention of crime; detection and apprehension of criminal offenders; resolution of domestic disputes; anti-crime and anti-drug public education; traffic control and accident reporting; and the creation and maintenance of a general feeling of safety and security throughout the community.

The services provided by the Police Department vary in their individual requirements for personnel and financial resources and are subject to annual review and approval by the City Council.

Annual operating costs associated with the addition of one (1) uniformed police officer(s) include salary, overtime pay, holiday pay, clothing and uniform allowance, health insurance, training, pension benefits and administrative overhead.

Capital one-time costs associated with the addition of one (1) uniformed police officer(s) include a patrol vehicle and related equipment. These costs have been factored together to arrive at necessary service level increases for various areas under consideration for annexation.

The Annexation Area includes approximately fifty-three (53) acres and an approximate population of two (2). The City will provide police service to the Annexation Area upon the effective date of annexation through the extension of an existing patrol area with existing personnel.

**Provision of planned service of a non-capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel.

**Provision of planned services of a capital improvement nature within three years.**

Any additional capital requirements can be accommodated in future budgets through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

## **B. Fire Department**

The seventy (70) Firefighters, EMS and Paramedics personnel employed by the Fire Department of the City respond to fire emergencies, chemical and hazardous material spills, and general life safety emergencies throughout the corporate limits of the City and throughout the remainder of Washington Township, Hamilton County (the "Township").

The personnel of the Fire Department are assigned to three (3) fire stations located on Dartown Road (headquarters), 151st Street, and Grassy Branch Road. Each station is the primary respondent to emergencies within its assigned geographical area. Secondary response is provided by personnel and equipment by volunteer and paid city and town fire departments in adjacent communities.

The existing Fire Department currently has the entire responsibility for services throughout the Township; therefore, the annexation of this new territory will not change the impact or the need for additional personnel.

**Provision of planned service of a non-capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel because current services already serve the Township.

**Provision of planned service of a capital nature within three years.**

The capital services required for future growth in the fire services for the Township will be managed through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**C. Public Works Department**

**a. Street Division**

The Street Division is part of the Public Works Department of the City and has responsibility for the maintenance and upkeep of all streets and public rights-of-way within the corporate limits of the City. Maintenance activities include potholes and curb repair, mowing of weeds and other vegetation, street sweeping, sign maintenance and replacement, pavement striping, and snow removal. It is also responsible for reconstruction of sidewalks and policing of rights-of-way to support safe travel.

Other responsibilities include resurfacing and reconstruction of all public roads with the exception of the roads falling under the jurisdiction of the Indiana Department of Transportation or the Hamilton County Highway Department. These operations are primarily funded from the Motor Vehicle Highway (“MVH”) fund, the Local Road and Street Fund (“LR&S”), and the Road and Street Improvement Fund. The budgeted expenditures for MVH and LR&S is approximately \$980,000 for 2014, which is approximately \$5,280 per road mile.

**Provision of planned service of a non-capital nature within one year.**

Street Division services can be provided for the Annexation Area with existing personnel based upon the new road miles (166<sup>th</sup> Street and Little Eagle Creek Avenue) of approximately 1,050 feet (0.20 miles). Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**Provision of planned service of a capital nature within three years.**

The intent of the City with respect to future road construction is to require future developers to improve, or contribute financially to the improvement of existing roadways in accordance with the impact of any proposed development on the traffic loads. Potential road improvements are evaluated each year and the Annexation Area will be part of that annual review process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3 and Table 4.

**b. Water and Sewer Services**

Citizens of Westfield Water, LLC (the “Utility”) operates the water and wastewater works within the City. Services for both water and sewer are provided within the corporate limits of the City and into portions of the Township. The Annexation Area is not currently served by the Utility’s water service. The Annexation Area is currently served by the Utility’s sewer service.

The Utility provides the service of pumping water from the water source, treating the water to some level, distributing the water into the system of water lines, storing the water for peak demand and fire protection purposes, and maintaining the system, in its entirety. The Utility meets the parameters of providing access to water utility service, to a property, when a water distribution line is within the distributive area of a main trunk line or lateral line. When water lines are already developed with respect to a specific property, the water utility is made directly available to that property when a water line is located within three hundred (300) lineal feet of the nearest property line of the developed parcel.

Fire hydrants are generally supported by the user charge system of the Utility. The developer of any new development is generally responsible for installing the fire hydrants necessary to protect the proposed development from catastrophic fire, unless otherwise provided by the Utility or the Utility's policies.

The installation and extension of sewer service for any proposed development in the Annexation Area will be provided in accordance with the Utility's policies. The Utility provides access to wastewater collection, treatment and disposal service to all properties within the corporate limits of the City. The Utility meets the parameters of providing access to wastewater service when the parcel is within the drainage watershed of a major interceptor, trunk or lateral sewer which ultimately delivers wastewater to the wastewater treatment plant. In cases where sewer laterals are made available to developed parcels, the standard for service is met when the Utility's sewer is located within three hundred (300) lineal feet of the nearest property line of the parcel.

Property tax revenues are not a part of the Utility's budget. In addition to monthly service charges, the Utility has established a system of fees for other services such as various connection fees, and/or supplemental fees for special facilities installed to meet the needs and demands of various customers. The cost of extending water and wastewater lines within the Utility's service area is done in accordance with the Utility's policies. The Utility is also subject to regulatory requirements which are administered at the State and Federal level. As such, the system of fees and charges must be adjusted from time to time to remain current with regulatory and other requirements.

#### **D. Parks and Recreation Department**

Services by the Parks and Recreation Department of the City are funded out of the City's Parks and Recreation Department budget. The existing inventory of facilities include: Armstrong Park, Old Friends Cemetery Park, Osborne Park, Raymond Worth Park, Quaker Park, Simon Moon Park, Asa Bales Park, Liberty Park, Hadley Park and Freedom Trail Park. The existing inventory of trails include: Monon, Midland Trace, Natalie Wheeler, Anna Kendall, and Cool Creek. These parks and recreation operations are supported by the City's General Fund. The Annexation Area is not anticipated to have an appreciable effect on existing park facilities and no additional costs for this function are anticipated.

**Provision of planned service of a non capital nature within one year**

The Annexation Area will have full access to all existing park facilities and will continue to be supported by the City.

**Provision of planned service of a capital nature within three years**

The capital services required for future growth in parks will be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**E. Clerk-Treasurer's Office**

The Clerk-Treasurer of the City is responsible for the maintenance of all city records.

**Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel.

**Provision of planned service of a capital nature within three years.**

The capital services required for this department can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**F. Economic and Community Development Department**

**a. Planning and Zoning Services**

The Economic and Community Development of the City is responsible for all of the planning and zoning support for the Westfield-Washington Township Advisory Plan Commission and the Westfield-Washington Township Board of Zoning Appeals. These responsibilities currently involve the entire Township; therefore, no service level increases are expected for this division with respect to the Annexation Area.

**Provisioning of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with exiting personnel who already serve the entire Township.

**Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**b. Economic Development Services**

The Economic and Community Development of the City is responsible for all of the economic development functions within the corporate limits of the City. No service level increases are expected with respect to the Annexation Area.

**Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with exiting personnel.

**Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

**c. Building and Construction Services**

The Economic and Community Development of the City currently processes building permits throughout the entire Township. It conducts inspections on new buildings and unsafe structures. Since this service is already being provided throughout the entire Township, no service level increases are expected with respect to the Annexation Area.

**Provision of planned service of a non capital nature within one year.**

The services can be provided for the Annexation Area with existing personnel, who already serve the entire Township.

**Provision of planned service of a capital nature within three years.**

The capital services required for this division can be accomplished through the annual budgeting process. Cost estimates for planned services are set forth in **Exhibit 3**, Table 3.

|                          |
|--------------------------|
| <b>Financial Summary</b> |
|--------------------------|

The Annexation Area has been researched and analyzed in accordance with the terms of the Indiana Code, Title 36, Article 4, Chapter 3.

The primary source of revenue for the City is that which is received from property taxes and County Option Income Tax (COIT). The net assessed valuation of all real property and its improvements within the Annexation Area is \$5,537,900.

As a result of additional population and road miles, the City also receives revenue from other sources that include Alcohol Gallonage Taxes, Cigarette Tax, Vehicle Excise Tax, MVH road miles tax, and LR& S road mile tax.

Assuming the annexation is effective prior to March 1, 2015; the property within the Annexation Area will then be entered into public record and assessed for taxation as an incorporated area.

Revenue received by the City from property assessed on or before March 1, 2015, will not be realized until May and November of 2016. The delay in the collection of property taxes will cause the City to experience a cost of services from existing budgets due to the required provision of non-capital services in the first year following annexation. To the extent that real costs exceed revenue as a result of this annexation, the City is prepared to use funds from other budgeted line items in order to assure that services required by State Statute are provided to the

Annexation Area. Apart from any costs associated with the Street Division, it is assumed that there will be no additional non-capital costs associated with this annexation.

The City projects that the extension of all municipal services to the existing undeveloped land within the Annexation Area will be paid through existing revenue streams. Primarily, the City will receive nominal property taxes from the existing improvements within the Annexation Area. It should be understood, however, that the annexation of undeveloped land has a very minimal impact on municipal revenue streams and generally a minor impact on the provision of municipal services, if proper fiscal planning is performed.

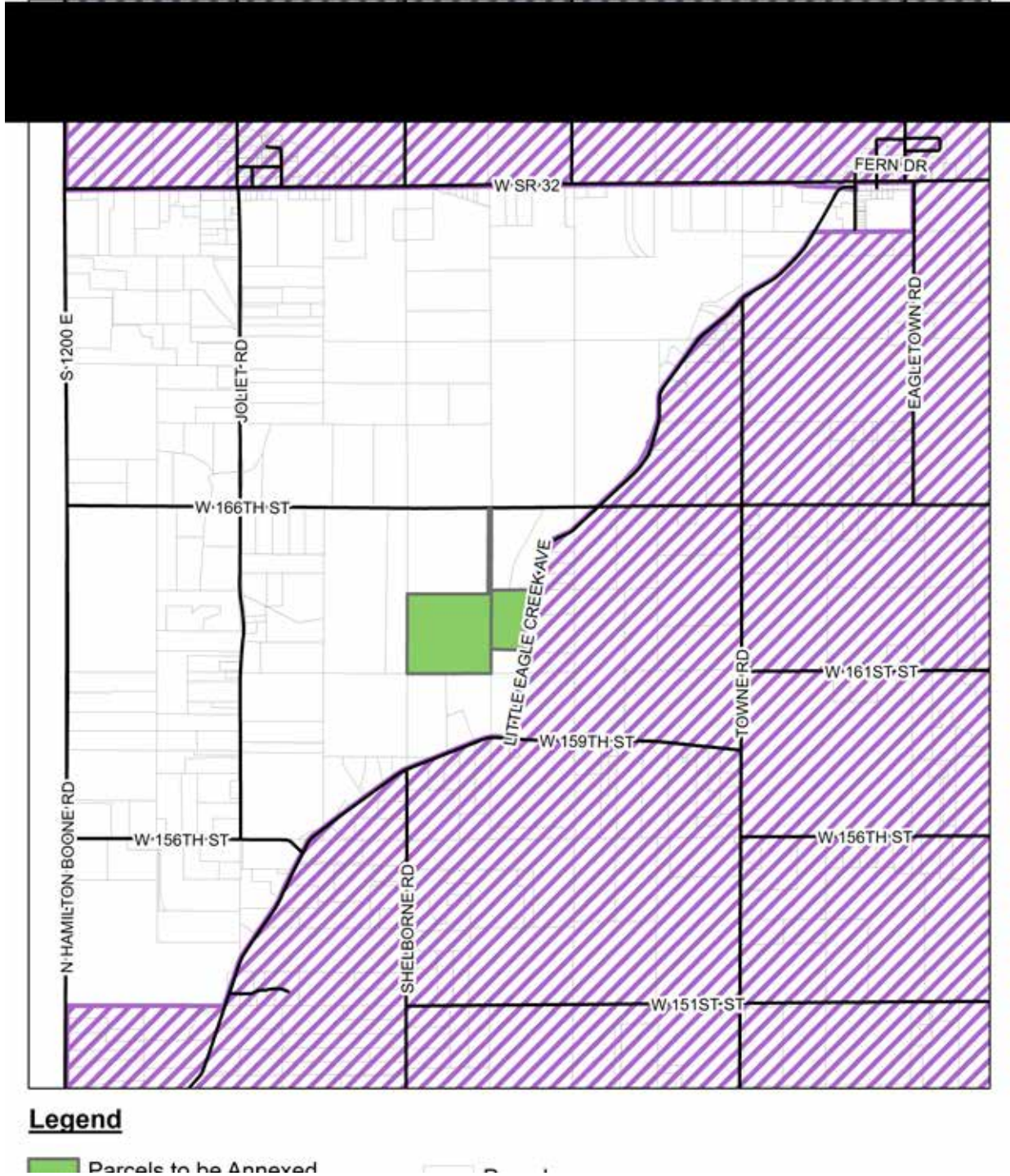
When development occurs, the impact of that development on various revenue streams, as well as the impact of that development on the demand for municipal services, is to be examined by the City as a part of the development approval process. It is the City's stated goal that it seeks to establish fiscal policies which would result in no negative impact on property taxes for existing City residents as a result of growth. Therefore, the City will seek to assure that all proposed development offers a balance between the cost of services demanded and the revenues produced.

It is the intent of the City to pay for extension of all municipal services to the area from revenues generated as a result of the annexation, which will be derived from property taxes, along with other state distributions. The total property tax rate in Washington Township outside of the corporate limits for pay 2014 is \$2.60840. The tax rate for all taxpayers in the City/Washington Township, including all overlapping taxing units, is equal to \$3.09470, an increase of \$0.4863 or eighteen percent (18%).

A summary of the estimated fiscal impact is set forth in **Exhibit 3**, Table 5.

Exhibit 1

Annexation Area: Graphic Depiction



|                  |
|------------------|
| <b>Exhibit 2</b> |
|------------------|

**Annexation Area: Legal Description**

This description includes two (2) parcels of land:

**Parcel No. 08-09-08-00-00-008.000**

**Parcel No. 08-09-08-00-00-001.000**

Beginning at the NW1/4 of the NE1/4 of Section 7, Township 18N and Range 3E.

|                         |                                                                                          |
|-------------------------|------------------------------------------------------------------------------------------|
| Direction: S 0-4-58 E   | Distance: 35' to the point of beginning                                                  |
| Direction: S 0-22-1 W   | Distance: 1349.037'                                                                      |
| Direction: S 90-0-0 W   | Distance: 1278.8'                                                                        |
| Direction: S 0-8-12 W   | Distance: 1266.614'                                                                      |
| Direction: N 89-45-31 E | Distance: 619.746'                                                                       |
| Direction: N 89-45-31 E | Distance: 712.086'                                                                       |
| Direction: N 0-23-56 E  | Distance: 384.909'                                                                       |
| Direction: S 87-54-27 E | Distance: 451.061'                                                                       |
| Direction: S 88-44-34 E | Distance: 35.476'                                                                        |
| Direction: N 13-44-44 E | Distance: 580.131'                                                                       |
| Direction: N 13-49-42 E | Distance: 410.519'                                                                       |
| Direction: S 89-21-56 W | Distance: 36.152'                                                                        |
| Direction: S 89-24-21 W | Distance: 405.012'                                                                       |
| Direction: S 89-24-27 W | Distance: 278.525'                                                                       |
| Direction: N 0-5-50 E   | Distance: 1268.642'                                                                      |
| Direction: N 0-5-9 E    | Distance: 20.13'                                                                         |
| Direction: N 0-0-44 W   | Distance: 34.999'                                                                        |
| Direction: S 89-26-12 W | Distance: 48.696' back to the point of beginning containing<br>53.48 acres more or less. |

**ALSO INCLUDING:**

In addition to the aforementioned, the annexed area shall include those public highways and rights-of-way of public highways required to be annexed by Indiana Code § 36-4-3-2.5, including the relevant portions of Little Eagle Creek Avenue and 166<sup>th</sup> Street.

|                  |
|------------------|
| <b>Exhibit 3</b> |
|------------------|

**Fiscal Plan Tables**

[The remainder of page intentionally left blank.]

**TABLE 1**

**CITY OF WESTFIELD, INDIANA "WASTEWATER TREATMENT PLANT"**

**Computation of Estimated Property Taxes**

| <u>Year</u> | <u>Estimated<br/>Assessed<br/>Value</u> | <u>Exemptions</u> | <u>Estimated<br/>Net<br/>Assessed<br/>Value</u> | <u>Tax<br/>Rate</u> | <u>Estimated<br/>Tax<br/>Revenue</u> |
|-------------|-----------------------------------------|-------------------|-------------------------------------------------|---------------------|--------------------------------------|
| 1st         | \$ 5,537,900 (1)                        | \$ 5,385,800 (2)  | \$ 152,100                                      | \$ 0.8075 (3)       | \$ 1,228                             |
| 2nd         | 5,537,900                               | -                 | 5,537,900                                       | 0.8075              | 44,719                               |
| 3rd         | 5,537,900                               | -                 | 5,537,900                                       | 0.8075              | 44,719                               |
| 4th         | 5,537,900                               | -                 | 5,537,900                                       | 0.8075              | 44,719                               |
| 5th         | 5,537,900                               | -                 | 5,537,900                                       | 0.8075              | 44,719                               |

**(1) Assumes Pay 2014 assessed valuations with no future changes**

**(2) Assumes that tax-exempt status of Wastewater plant is removed in the 2nd year**

**(3) Assumes the final tax rate for 2014**

**TABLE 2**

**CITY OF WESTFIELD, INDIANA "WASTEWATER TREATMENT PLANT"**

**Estimated Revenue Generated**

|                                      | <u>1st Year</u> | <u>2nd Year</u>  | <u>3rd Year</u>  | <u>4th Year</u>  | <u>5th Year</u>  |
|--------------------------------------|-----------------|------------------|------------------|------------------|------------------|
| Net Assessed Value                   | \$ 152,100      | \$ 5,537,900     | \$ 5,537,900     | \$ 5,537,900     | \$ 5,537,900     |
| Property Tax Revenue                 | 1,228           | 44,719           | 44,719           | 44,719           | 44,719           |
| Circuit Breaker Reduction <b>(1)</b> | (39)            | (1,431)          | (1,431)          | (1,431)          | (1,431)          |
| Motor Vehicle Highway                | -               | -                | -                | -                | -                |
| Local Roads & Street                 | <u>-</u>        | <u>-</u>         | <u>-</u>         | <u>-</u>         | <u>-</u>         |
| Total Revenue                        | <u>\$ 1,189</u> | <u>\$ 43,288</u> | <u>\$ 43,288</u> | <u>\$ 43,288</u> | <u>\$ 43,288</u> |

**(1) Estimated Circuit Breaker reduction based upon Pay 2014 tax rate and estimated build out**

**General Notes**

- Five years is considered a standard planning period for annexation analysis.
- Population based revenue will not go up unless a Census occurs or a Special Census is prepared.

TABLE 3

## CITY OF WESTFIELD, INDIANA "WASTEWATER TREATMENT PLANT"

## Estimated Non-Capital Costs

|                                       | <u>1st Year</u> | <u>2nd Year</u>  | <u>3rd Year</u>  | <u>4th Year</u>  | <u>5th Year</u>  |
|---------------------------------------|-----------------|------------------|------------------|------------------|------------------|
| Police (1)                            | \$ 1,504        | \$ 6,014         | \$ 6,615         | \$ 7,277         | \$ 8,005         |
| Fire (1)                              | 6,187           | 18,562           | 20,418           | 22,460           | 24,706           |
| Lighting (2)                          | -               | -                | -                | -                | -                |
| Fire Hydrants (2)                     | -               | -                | -                | -                | -                |
| Streets & Road Maint. (1)             | 1,250           | 2,870            | 3,700            | 4,650            | 4,650            |
| Park (2)                              | -               | -                | -                | -                | -                |
| <u>Admin. &amp; General Dpts. (1)</u> |                 |                  |                  |                  |                  |
| Administrative                        | 381             | 762              | 762              | 1,524            | 1,524            |
| Community Dev. Planning               | 78              | 156              | 156              | 312              | 312              |
| Building Dept.                        | 22              | 44               | 44               | 88               | 88               |
| Information Tech.                     | 141             | 282              | 282              | 564              | 564              |
| Clerk                                 | 55              | 110              | 110              | 220              | 220              |
| Mayor                                 | 14              | 28               | 28               | 56               | 56               |
| City Council                          | 15              | 30               | 30               | 60               | 60               |
| Street Dept                           | 193             | 386              | 386              | 772              | 772              |
| Total Non-Capital Costs               | <u>\$ 9,840</u> | <u>\$ 29,244</u> | <u>\$ 32,531</u> | <u>\$ 37,983</u> | <u>\$ 40,956</u> |

(1) Assumes allocation of the specific budget; in the event further information, please contact the City. Increase in Street cost due to increase in homes.

(2) No additional cost is estimated to be incurred.

General Note

- Five years is considered a standard planning period for annexation analysis.

**TABLE 4**

**CITY OF WESTFIELD, INDIANA "WASTEWATER TREATMENT PLANT"**

**Estimated Capital Costs**

|                        | <u>1st Year</u>    | <u>2nd Year</u>    | <u>3rd Year</u>    | <u>4th Year</u>    | <u>5th Year</u>    |
|------------------------|--------------------|--------------------|--------------------|--------------------|--------------------|
| Street Department (1)  | \$ -               | \$ -               | \$ -               | \$ -               | \$ -               |
| Street Lighting (1)    | -                  | -                  | -                  | -                  | -                  |
| Wastewater (1)         | -                  | -                  | -                  | -                  | -                  |
| Water (1)              | -                  | -                  | -                  | -                  | -                  |
| Electric (1)           | -                  | -                  | -                  | -                  | -                  |
| Cumulative Capital (1) | -                  | -                  | -                  | -                  | -                  |
| Cumulative Fire (1)    | <u>-</u>           | <u>-</u>           | <u>-</u>           | <u>-</u>           | <u>-</u>           |
| Total Capital Costs    | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> | <u><u>\$ -</u></u> |

**(1) No capital costs are expected to occur, in this time period, in the Area.**

**General Note**

- Five years is considered a standard planning period for annexation analysis.

**TABLE 5****CITY OF WESTFIELD, INDIANA "WASTEWATER TREATMENT PLANT"****Fiscal Plan Summary**

|                   | <u>1st Year</u>   | <u>2nd Year</u>  | <u>3rd Year</u>  | <u>4th Year</u> | <u>5th Year</u> | <u>Total</u>     |
|-------------------|-------------------|------------------|------------------|-----------------|-----------------|------------------|
| Revenue           | \$ 1,189          | \$ 43,288        | \$ 43,288        | \$ 43,288       | \$ 43,288       | \$ 174,341       |
| Non-Capital Costs | 9,840             | 29,244           | 32,531           | 37,983          | 40,956          | 150,554          |
| Capital Costs     | <u>-</u>          | <u>-</u>         | <u>-</u>         | <u>-</u>        | <u>-</u>        | <u>-</u>         |
| Net               | <u>\$ (8,651)</u> | <u>\$ 14,044</u> | <u>\$ 10,757</u> | <u>\$ 5,305</u> | <u>\$ 2,332</u> | <u>\$ 23,787</u> |
| Percentage        | <u>N/A</u>        | <u>N/A</u>       | <u>N/A</u>       | <u>N/A</u>      | <u>N/A</u>      | <u>N/A</u>       |

**General Notes**

- Five years is considered a standard planning period for annexation analysis.
- To be funded by the General Fund balance

## ORDINANCE 14-06

### AN ORDINANCE BY THE COMMON COUNCIL OF THE CITY OF WESTFIELD, INDIANA, GOVERNING FOOD VENDORS WITHIN THE CITY OF WESTFIELD

**WHEREAS**, the City of Westfield, Indiana (the “City”) is a duly formed municipal corporation within the State of Indiana, governed by its duly elected Mayor and Common Council (the “Council”); and

**WHEREAS**, it is the duty and the responsibility of the Council to support and ensure that the City’s Economic Development Policy is upheld;

**NOW, THEREFORE, BE IT ORDAINED** that this Westfield City Common Council meeting hereby enacts the following provisions pertaining to the vending and sale of food and related products within the City.

**SECTION I: Definitions.** The following definitions shall apply to this Ordinance 14-06 (the “Ordinance”).

1. **“~~City Council~~ Permitted Events”** shall include the events listed within Exhibit A of the Ordinance. Exhibit A is designed to be amended from time to time by the Council.
2. **“Economic Development Policy”** consists of the following objectives:
  - A. To retain and support the sustainability of existing businesses;
  - B. To create a robust economic environment and diversify the City’s tax base, specifically within the vicinity of Grand Park;
  - C. To foster and encourage public-private partnerships; and
  - D. To provide quality recreational opportunities within the City.
3. **“Event Holder”** shall be a person, group, or organization responsible for the hosting or operation of a City Council Event.

4. **“Food Vendors and Food Vending”** shall include the display or offering of food or beverages for sale. Food Vendors shall include the following:
  - A. Food Stands. Any structure used for preparation, display, sale or offering of food or beverages for sale. Food Stands shall not include structures owned by the City;
  - B. Food Vending Pushcarts. Any box or container with wheels that is not propelled or moved by an engine used for the purpose of selling food or beverages; and
  - C. Mobile Concession Vendors. Self-contained, mobile vehicles that are propelled or moved by an engine from which food, beverages, or other goods are sold. Mobile Concession Vendors shall not include food delivery services that deliver food or beverages ordered by a purchaser to a specific address provided by the purchaser (e.g. pizza delivery, catering, etc.).
5. **“Grand Park Area”** shall be the geographic area as identified on Exhibit B.
6. **“Ice Cream Truck”** shall include motor vehicles from which ice cream, popsicles, ice sherbets, frozen desserts or other similar items are sold.
7. **“Large Employer”** shall include businesses within the City’s corporate limits that have a minimum of twenty-five (25) employee’s on site daily during the work week.
8. **“Neighborhood Party”** shall mean an event held within a particular neighborhood, specifically for the residents of that neighborhood, typically limited to one (1) day or one annual or periodic event.
9. **“Non-Incorporated Children’s Stands”** shall mean a non-incorporated business that is commonly owned and operated by a child or children to sell lemonade or other beverages (e.g. iced tea, coffee, hot chocolate, etc.) and possibly snack foods (e.g. cookies, etc.).

## **SECTION II: Applicability.**

1. Food Vendors shall obtain all applicable approvals and permits, and shall follow all applicable processes as required by the City and the Event Holder.
2. Food Vendors shall comply with all local, state, and federal laws, regulations and ordinances.

**SECTION III: Food Vending.** No Food Vending shall be permitted within the City except in accordance with this Section.

1. Food Vending shall be permitted within all ~~City Council~~Permitted Events.
2. Large Employers. Large Employers shall be permitted to host Food Vendors in accordance with the following provisions:
  - A. The Food Vendor shall obtain permission from or be invited by the Large Employer to conduct Food Vending activities;
  - B. The Food Vendor shall be located on property owned or leased by the Large Employer;
  - C. Food Vending activities shall be limited to providing meals to employees of the Large Employer; ~~and~~
  - D. The Food Vending activities shall be consistent with the City's Economic Development Policy; ~~and~~
  - ~~E. The Food Vending activities shall be located outside of the Grand Park Area.~~
3. The following Food Vending activities shall be permitted ~~if located outside of the Grand Park Area and if located within residential neighborhoods~~ within the City:
  - A. Neighborhood Party;
  - B. Ice Cream Trucks, except on public rights-of-way immediately adjacent to or within the Grand Park Area; and
  - C. Non-Incorporated Children's Stands.

**SECTION IV: Temporary Uses and Events Permit Not Required.** ~~No Temporary Uses and Events Permit shall be required for Food Vendors regulated by 16.04.095.~~

1. A Temporary Uses and Events Permit shall not be required for Food Vendors.
2. Food Vendors shall not be regulated by WC 16.04.095 Temporary Uses and Events.

**SECTION V: Penalty.**

1. Any person, firm, organization, or corporation who violates this Ordinance shall be subject to a fine of not less than twenty-five dollars (~~\$25.00~~100.00) and no more than three hundred dollars (\$300.00) for each offense.
2. A separate offence shall be deemed committed upon each day during which a violation occurs or continues.

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**SECTION VI: Effective Date.** This Ordinance shall be in full force and effect in accordance with Indiana law, upon the passage of any applicable waiting periods, all as provided by the laws of the State of Indiana.

ADOPTED AND PASSED THIS ~~XX~~ DAY OF ~~MONTH~~, 2014, BY THE  
WESTFIELD COMMON COUNCIL, HAMILTON COUNTY, INDIANA.

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**WESTFIELD COMMON COUNCIL**  
**Hamilton County, Indiana**

**WESTFIELD COMMON COUNCIL**

| <u><b>Voting For</b></u> | <u><b>Voting Against</b></u> | <u><b>Abstain</b></u>    |
|--------------------------|------------------------------|--------------------------|
| <hr/> Jim Ake            | <hr/> Jim Ake                | <hr/> Jim Ake            |
| <hr/> Steven Hoover      | <hr/> Steven Hoover          | <hr/> Steven Hoover      |
| <hr/> Robert L. Horkay   | <hr/> Robert L. Horkay       | <hr/> Robert L. Horkay   |
| <hr/> Charles Lehman     | <hr/> Charles Lehman         | <hr/> Charles Lehman     |
| <hr/> Bob Smith          | <hr/> Bob Smith              | <hr/> Bob Smith          |
| <hr/> Cindy L. Spoljaric | <hr/> Cindy L. Spoljaric     | <hr/> Cindy L. Spoljaric |
| <hr/> Robert Stokes      | <hr/> Robert Stokes          | <hr/> Robert Stokes      |

ATTEST:

**DRAFT** Ordinance 14-06  
Food Vendors

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Cindy Gossard, Clerk-Treasurer  
City of Westfield, Indiana

I hereby certify that Ordinance 14-06 was delivered to the Mayor of Westfield  
on the \_\_\_\_ day of \_\_\_\_\_, 2014, at \_\_\_\_:\_\_\_\_.m.

\_\_\_\_\_  
Cindy Gossard, Clerk-Treasurer

I hereby APPROVE Ordinance 14-06

this \_\_\_\_ day of \_\_\_\_\_,  
2014.

at \_\_\_\_:\_\_\_\_.m.

\_\_\_\_\_  
J. Andrew Cook, Mayor

I hereby VETO Ordinance 14-06

this \_\_\_\_ day of \_\_\_\_\_,  
2014.

at \_\_\_\_:\_\_\_\_.m.

\_\_\_\_\_  
J. Andrew Cook, Mayor

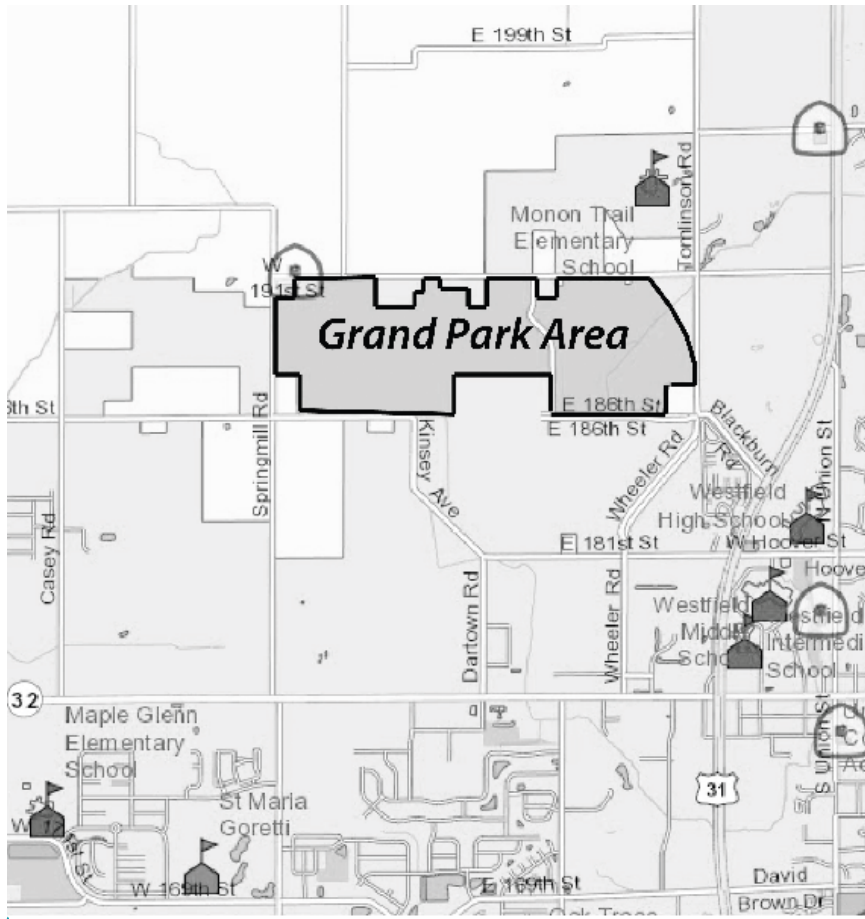
This document prepared by:  
Matthew S. Skelton  
City of Westfield  
Economic and Community Development  
317-503-1220

**DRAFT** Ordinance 14-06  
Food Vendors

## Exhibit A: City Council Events

- Westfield Parks and Recreation Hosted Events
- Westfield Public Safety Hosted Events
- Westfield-Washington School District Hosted Events
- Downtown Westfield Association Hosted Events
- Builders Association of Greater Indianapolis (“BAGI”) Hosted Events
- Westfield Rotary Hosted Events
- Lions Club Hosted Events
- Hamilton County: ~~Cool Creek Park~~ [Parks and Recreation Department Hosted](#) Events
- Washington Township Parks and Recreation Department Hosted Events
- Relay For Life
- Westfield Farmers Market

## Exhibit B: Grand Park Area



Field Code Changed

**DRAFT** Ordinance 14-06  
Food Vendors

I hereby certify that each of the above listed vouchers and invoices, or bills attached there to, are true and correct and I have audited same in accordance with IC5-11-10-1.6.

February 24, 2014

\_\_\_\_\_  
Fiscal Officer

ALLOWANCE OF ACCOUNTS PAYABLE VOUCHERS

CITY OF WESTFIELD

We have examined the Accounts Payable Vouchers listed on the foregoing Register of Accounts Payable Vouchers consisting of 17 pages and except for accounts payables not allowed as shown on the Register such account payables are hereby allowed in the total amount of \$0 and pending director approval such accounts payables are hereby allowed in the total amount of \$0.

Dated this 24 day of February, 2014

|       |       |       |
|-------|-------|-------|
| _____ | _____ | _____ |
| _____ | _____ | _____ |
| _____ | _____ | _____ |

Signatures of Governing Board

Approved by State Board of Accounts for the City of Westfield, 2013

## Purchase Invoice Register

City of Westfield

Report Date Range: 02/07/14..02/21/14

2/21/2014 3:08 PM

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WESTFIELD\kgagnon

| Buy-From Vendor No.         | Buy-From Vendor Name               | Invoice No. | Date      | G/L Acct. | G/L Account Name      | Description                    | Amount    | Check No. | Check Date |
|-----------------------------|------------------------------------|-------------|-----------|-----------|-----------------------|--------------------------------|-----------|-----------|------------|
| Fund No. Fund Name          |                                    |             |           |           |                       |                                |           |           |            |
| 101                         | General                            |             |           |           |                       |                                |           |           |            |
| Administration              |                                    |             |           |           |                       |                                |           |           |            |
| VEN000405                   | Citizens Energy Group              | APP016321   | 2/7/2014  | 101001328 | ADM-HEAT/GAS          | 141 S Union/Women's Ministr    | 287.06    | 53311     | 2/7/2014   |
| VEN000405                   | Citizens Energy Group              | APP016321   | 2/7/2014  | 101001328 | ADM-HEAT/GAS          | 211 S Union/DWNA               | 179.00    | 53311     | 2/7/2014   |
| VEN001537                   | Payroll                            | APP016349   | 2/11/2014 | 101001111 | ADM-SALARY            | SAL                            | 34,432.23 | 100021114 | 2/13/2014  |
| VEN001537                   | Payroll                            | APP016349   | 2/11/2014 | 101001120 | ADM-FICA AND MEDICARE | FICA                           | 1,967.08  | 100021114 | 2/13/2014  |
| VEN001537                   | Payroll                            | APP016349   | 2/11/2014 | 101001120 | ADM-FICA AND MEDICARE | MED                            | 460.05    | 100021114 | 2/13/2014  |
| VEN001537                   | Payroll                            | APP016349   | 2/11/2014 | 101001121 | ADM-PERF              | PERF                           | 4,222.71  | 100021114 | 2/13/2014  |
| VEN000657                   | Esler's Auto Repair                | APP016370   | 2/13/2014 | 101001360 | ADM-VEHICLE REPAIR    | Mayor's SUV (123)- install 4 n | 142.50    |           |            |
| VEN000405                   | Citizens Energy Group              | APP016409   | 2/14/2014 | 101001328 | ADM-HEAT/GAS          | Gas bill                       | 2,294.75  | 53413     | 2/14/2014  |
| VEN000589                   | Duke Energy                        | APP016410   | 2/14/2014 | 101001341 | ADM-ELECTRICITY       | Electric Bill                  | 818.36    | 53412     | 2/14/2014  |
| VEN001250                   | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101001119 | ADM-HEALTH AND DENTAL | march ins                      | 34.43     |           |            |
| VEN000405                   | Citizens Energy Group              | APP016470   | 2/19/2014 | 101001328 | ADM-HEAT/GAS          | clinic house                   | 186.72    | 53424     | 2/20/2014  |
| VEN000513                   | DavisVision                        | APP016482   | 2/20/2014 | 101001119 | ADM-HEALTH AND DENTAL | march ins                      | 131.96    | 53426     | 2/20/2014  |
| VEN000263                   | Bose Public Affairs Group LLC      | APP016490   | 2/20/2014 | 101001349 | ADM-SERVICES          | December services              | 3,500.00  |           |            |
| VEN000312                   | Busy Bee Cleaning Service          | APP016497   | 2/20/2014 | 101001343 | ADM-BUILDING          | Office cleaning at City Hall   | 425.00    |           |            |
| VEN000695                   | Financial Solutions Group, Inc     | APP016498   | 2/20/2014 | 101001331 | ADM-CONSULTING        | City of Westfield Review of th | 2,115.00  |           |            |
| VEN001195                   | Krieg Devault LLP                  | APP016500   | 2/20/2014 | 101001330 | ADM-ATTORNEY/CONSULT  | Mufflers and More              | 2,858.84  |           |            |
| VEN000763                   | General Alarm Inc                  | APP016501   | 2/20/2014 | 101001343 | ADM-BUILDING          | Quarterly monitoring service f | 89.85     |           |            |
| VEN000345                   | Cave and Company Printing          | APP016508   | 2/20/2014 | 101001337 | ADM-PRINTING          | Business cards for Zach and    | 97.78     |           |            |
| VEN000534                   | Delta Dental                       | APP016515   | 2/20/2014 | 101001119 | ADM-HEALTH AND DENTAL | MARCH INS                      | 704.43    |           |            |
| VEN002016                   | UN Communications                  | APP016520   | 2/21/2014 | 101001347 | ADM-PROMOTIONS        | Your City Matters newsletter f | 3,135.18  |           |            |
| VEN000917                   | Humane Society for Hamilton County | APP016523   | 2/13/2014 | 101001349 | ADM-SERVICES          | Stray                          | 3,657.00  |           |            |
| Subtotal for Administration |                                    |             |           |           |                       |                                | 61,720.93 |           |            |

## Purchase Invoice Register

City of Westfield

Report Date Range: 02/07/14..02/21/14

2/21/2014 3:08 PM

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WESTFIELD\kgagnon

| Buy-From Vendor No.        | Buy-From Vendor Name               | Invoice No. | Date      | G/L Acct. | G/L Account Name        | Description   | Amount            | Check No. | Check Date |
|----------------------------|------------------------------------|-------------|-----------|-----------|-------------------------|---------------|-------------------|-----------|------------|
| <b>Fund No. Fund Name</b>  |                                    |             |           |           |                         |               |                   |           |            |
| 101                        | General                            |             |           |           |                         |               |                   |           |            |
|                            | Police                             |             |           |           |                         |               |                   |           |            |
| VEN001537                  | Payroll                            | APP016349   | 2/11/2014 | 101002111 | POLICE-SALARY           | SAL           | 118,328.32        | 100021114 | 2/13/2014  |
| VEN001537                  | Payroll                            | APP016349   | 2/11/2014 | 101002120 | POLICE-FICA AND MEDICAR | FICA          | 7,107.37          | 100021114 | 2/13/2014  |
| VEN001537                  | Payroll                            | APP016349   | 2/11/2014 | 101002120 | POLICE-FICA AND MEDICAR | MED           | 1,662.18          | 100021114 | 2/13/2014  |
| VEN001537                  | Payroll                            | APP016349   | 2/11/2014 | 101002121 | POLICE-PERF             | PERF          | 17,650.38         | 100021114 | 2/13/2014  |
| VEN000895                  | Hilton Ft Wayne at Grand Wayne     | APP016371   | 2/13/2014 | 101002334 | POLICE-TRAVEL/TRAINING/ |               | 198.35            |           |            |
| VEN000345                  | Cave and Company Printing          | APP016372   | 2/13/2014 | 101002337 | POLICE-PRINTING         |               | 219.00            |           |            |
| VEN000747                  | Galls                              | APP016373   | 2/13/2014 | 101002229 | POLICE-UNIFORMS         |               | 27.20             |           |            |
| VEN001555                  | Pet Supplies Plus                  | APP016374   | 2/13/2014 | 101002355 | POLICE-K-9 MAINT        |               | 228.88            |           |            |
| VEN000312                  | Busy Bee Cleaning Service          | APP016375   | 2/13/2014 | 101002349 | POLICE-SERVICES         |               | 588.00            |           |            |
| VEN000968                  | Indiana Fop Legal Defense          | APP016376   | 2/13/2014 | 101002350 | POLICE-SUBSCRIPTIONS/D  |               | 3,800.00          |           |            |
| VEN000405                  | Citizens Energy Group              | APP016409   | 2/14/2014 | 101002328 | POLICE-HEAT/GAS         | Gas bill      | 2,639.83          | 53413     | 2/14/2014  |
| VEN000589                  | Duke Energy                        | APP016410   | 2/14/2014 | 101002341 | POLICE-ELECTRICITY      | Electric Bill | 2,191.69          | 53412     | 2/14/2014  |
| VEN002233                  | Garfield Suites Hotel              | APP016414   | 2/12/2014 | 101002334 | POLICE-TRAVEL/TRAINING/ |               | 527.65            | 53414     | 2/18/2014  |
| VEN001417                  | Napa Auto Parts                    | APP016417   | 2/12/2014 | 101002360 | POLICE-VEHICLE REPAIR   |               | 51.48             |           |            |
| VEN000926                  | IACP                               | APP016418   | 2/18/2014 | 101002350 | POLICE-SUBSCRIPTIONS/D  |               | 585.00            |           |            |
| VEN001635                  | Ray O'herron Co. Inc.              | APP016453   | 2/19/2014 | 101002229 | POLICE-UNIFORMS         |               | 1,516.48          |           |            |
| VEN000294                  | Brodie Houston                     | APP016454   | 2/19/2014 | 101002334 | POLICE-TRAVEL/TRAINING/ |               | 6.00              |           |            |
| VEN001455                  | Noblesville Police Dept.           | APP016455   | 2/19/2014 | 101002229 | POLICE-UNIFORMS         |               | 1,496.60          | 53418     | 2/19/2014  |
| VEN001635                  | Ray O'herron Co. Inc.              | APP016456   | 2/19/2014 | 101002472 | POLICE-EQUIP            |               | 1,688.14          |           |            |
| VEN000685                  | FBI NAA Of Indiana                 | APP016459   | 2/19/2014 | 101002334 | POLICE-TRAVEL/TRAINING/ |               | 15.00             |           |            |
| VEN000379                  | Chemsearch                         | APP016460   | 2/19/2014 | 101002360 | POLICE-VEHICLE REPAIR   |               | 247.05            |           |            |
| VEN000747                  | Galls                              | APP016461   | 2/19/2014 | 101002229 | POLICE-UNIFORMS         |               | 168.00            |           |            |
| VEN000379                  | Chemsearch                         | APP016462   | 2/19/2014 | 101002229 | POLICE-UNIFORMS         |               | 41.00             |           |            |
| VEN000469                  | Crawford Water Care                | APP016463   | 2/19/2014 | 101002343 | POLICE-BUILDING MAINTEN |               | 227.27            |           |            |
| VEN001250                  | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101002119 | POLICE-HEALTH AND DENT  | march ins     | 139.76            |           |            |
| VEN000513                  | DavisVision                        | APP016482   | 2/20/2014 | 101002119 | POLICE-HEALTH AND DENT  | march ins     | 429.68            | 53426     | 2/20/2014  |
| VEN000365                  | Chapman Electric Supply            | APP016484   | 2/20/2014 | 101002343 | POLICE-BUILDING MAINTEN |               | 103.24            |           |            |
| VEN000534                  | Delta Dental                       | APP016516   | 2/20/2014 | 101002119 | POLICE-HEALTH AND DENT  | MARCH INS     | 2,276.18          |           |            |
| <b>Subtotal for Police</b> |                                    |             |           |           |                         |               | <b>164,159.74</b> |           |            |

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| Buy-From Vendor No.                                    | Buy-From Vendor Name               | Invoice No. | Date      | G/L Acct. | G/L Account Name       | Description                  | Amount           | Check No. | Check Date |
|--------------------------------------------------------|------------------------------------|-------------|-----------|-----------|------------------------|------------------------------|------------------|-----------|------------|
| <b>Fund No. Fund Name</b>                              |                                    |             |           |           |                        |                              |                  |           |            |
| 101                                                    | General                            |             |           |           |                        |                              |                  |           |            |
| <b>Economic and Community Development</b>              |                                    |             |           |           |                        |                              |                  |           |            |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101003111 | ECD-SALARY             | SAL                          | 23,380.64        | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101003120 | ECD-FICA AND MEDICARE  | FICA                         | 1,408.73         | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101003120 | ECD-FICA AND MEDICARE  | MED                          | 329.44           | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101003121 | ECD-PERF               | PERF                         | 3,155.39         | 100021114 | 2/13/2014  |
| VEN001250                                              | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101003119 | ECD-HEALTH AND DENTAL  | march ins                    | 21.91            |           |            |
| VEN000513                                              | DavisVision                        | APP016482   | 2/20/2014 | 101003119 | ECD-HEALTH AND DENTAL  | march ins                    | 64.40            | 53426     | 2/20/2014  |
| VEN000835                                              | Hamilton County Alliance           | APP016488   | 2/20/2014 | 101003350 | ECD-SUBSCRIPTIONS/DUES | 2014 Investment invoice      | 8,280.00         |           |            |
| VEN001000                                              | Indianapolis Star                  | APP016512   | 2/20/2014 | 101003338 | ECD-LEGAL              | Annex of Property            | 68.63            |           |            |
| VEN000534                                              | Delta Dental                       | APP016516   | 2/20/2014 | 101003119 | ECD-HEALTH AND DENTAL  | MARCH INS                    | 370.06           |           |            |
| <b>Subtotal for Economic and Community Development</b> |                                    |             |           |           |                        |                              | <b>37,081.20</b> |           |            |
| <b>ECD - Building</b>                                  |                                    |             |           |           |                        |                              |                  |           |            |
| VEN001250                                              | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101004119 | BLDG-HEALTH AND DENTA  | march ins                    | 6.26             |           |            |
| VEN000513                                              | DavisVision                        | APP016482   | 2/20/2014 | 101004119 | BLDG-HEALTH AND DENTA  | march ins                    | 17.42            | 53426     | 2/20/2014  |
| VEN000534                                              | Delta Dental                       | APP016516   | 2/20/2014 | 101004119 | BLDG-HEALTH AND DENTA  | MARCH INS                    | 68.66            |           |            |
| <b>Subtotal for ECD - Building</b>                     |                                    |             |           |           |                        |                              | <b>92.34</b>     |           |            |
| <b>Parks</b>                                           |                                    |             |           |           |                        |                              |                  |           |            |
| VEN000312                                              | Busy Bee Cleaning Service          | APP016332   | 2/10/2014 | 101005343 | PARKS-BUILDING MAINTEN | Office cleaning at 330 Main  | 260.00           | 53323     | 2/10/2014  |
| VEN002229                                              | Parklink                           | APP016337   | 2/10/2014 | 101005347 | PARKS-PROMOTION        | Magnets w/ logo              | 387.40           | 53377     | 2/10/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101005111 | PARKS-SALARY           | SAL                          | 12,312.09        | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101005120 | PARKS-FICA AND MEDICAR | FICA                         | 742.93           | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101005120 | PARKS-FICA AND MEDICAR | MED                          | 173.73           | 100021114 | 2/13/2014  |
| VEN001537                                              | Payroll                            | APP016349   | 2/11/2014 | 101005121 | PARKS-PERF             | PERF                         | 1,652.13         | 100021114 | 2/13/2014  |
| VEN001475                                              | Office 360                         | APP016385   | 2/13/2014 | 101005223 | PARKS-OFFICE SUPPLIES  | Graph Paper                  | 30.69            |           |            |
| VEN000589                                              | Duke Energy                        | APP016410   | 2/14/2014 | 101005341 | PARKS-ELECTRIC         | Electric Bill                | 1,185.97         | 53412     | 2/14/2014  |
| VEN001250                                              | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101005119 | PARKS-HEALTH AND DENT  | march ins                    | 18.78            |           |            |
| VEN000513                                              | DavisVision                        | APP016482   | 2/20/2014 | 101005119 | PARKS-HEALTH AND DENT  | march ins                    | 50.88            | 53426     | 2/20/2014  |
| VEN000534                                              | Delta Dental                       | APP016516   | 2/20/2014 | 101005119 | PARKS-HEALTH AND DENT  | MARCH INS                    | 231.73           |           |            |
| VEN000794                                              | Indy Portables                     | APP016524   | 2/21/2014 | 101005476 | PARKS-EQUIP LEASES     | Basic port restroom 500 Deer | 34.29            |           |            |
| VEN000942                                              | Imagery LLC                        | APP016526   | 2/21/2014 | 101005347 | PARKS-PROMOTION        | Uniforms                     | 1,750.94         |           |            |
| <b>Subtotal for Parks</b>                              |                                    |             |           |           |                        |                              | <b>18,841.26</b> |           |            |

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|-------------------------------------|------------------------------------|-------------|-----------|-----------|--------------------------|---------------------------------|-------------------|-----------|------------|
| <b>Fund No. Fund Name</b>           |                                    |             |           |           |                          |                                 |                   |           |            |
| 101                                 | General                            |             |           |           |                          |                                 |                   |           |            |
| <b>Informatics</b>                  |                                    |             |           |           |                          |                                 |                   |           |            |
| VEN000348                           | CDW Government Inc                 | APP016316   | 2/7/2014  | 101007451 | IT-COMPUTER/EQUIP        | Blu ray                         | 583.80            | 53327     | 2/10/2014  |
| VEN001687                           | Robert Half Technology             | APP016317   | 2/7/2014  | 101007331 | IT-CONSULTING            | Temp employee for wk ending     | 356.00            | 53384     | 2/10/2014  |
| VEN000348                           | CDW Government Inc                 | APP016318   | 2/7/2014  | 101007451 | IT-COMPUTER/EQUIP        |                                 | 11,981.87         | 53327     | 2/10/2014  |
| VEN000348                           | CDW Government Inc                 | APP016438   | 2/18/2014 | 101007368 | IT-SOFTWARE LICENSING    | City's Microsoft Enterprise Agr | 114,769.55        |           |            |
| VEN001250                           | Lincoln National Life Insurance Co | APP016454   | 2/19/2014 | 101007119 | IT-HEALTH AND DENTAL     | march ins                       | 18.78             |           |            |
| VEN000513                           | DavisVision                        | APP016482   | 2/20/2014 | 101007119 | IT-HEALTH AND DENTAL     | march ins                       | 65.98             | 53425     | 2/20/2014  |
| VEN000620                           | Electrical Equipment Company       | APP016451   | 2/20/2014 | 101007389 | IT-SOFTWARE LICENSING    | Velocity software               | 1,125.00          |           |            |
| VEN000620                           | Electrical Equipment Company       | APP016481   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | Box sale of material            | 984.88            |           |            |
| VEN000348                           | CDW Government Inc                 | APP016492   | 2/20/2014 | 101007337 | IT-PRINTING              | Printers CT/PW                  | 1,805.95          |           |            |
| VEN000348                           | CDW Government Inc                 | APP016494   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | LCD Stand                       | 138.09            |           |            |
| VEN000348                           | CDW Government Inc                 | APP016494   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | Energizer 9V                    | 34.61             |           |            |
| VEN000348                           | CDW Government Inc                 | APP016494   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | LCD Stand, USB hi-speed rea     | 630.22            |           |            |
| VEN000348                           | CDW Government Inc                 | APP016495   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | Jordan Laptop                   | 1,556.08          |           |            |
| VEN000348                           | CDW Government Inc                 | APP016495   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | POE switch                      | 6,537.30          |           |            |
| VEN000348                           | CDW Government Inc                 | APP016496   | 2/20/2014 | 101007451 | IT-COMPUTER/EQUIP        | Equipment                       | 403.51            |           |            |
| VEN002044                           | Van Ausdall and Farrar             | APP016499   | 2/20/2014 | 101007337 | IT-PRINTING              | Contract base rate charge for   | 980.00            |           |            |
| VEN001231                           | Leane Kmetz                        | APP016503   | 2/20/2014 | 101007334 | IT-TRAVEL/TRAINING/SEMIN | ESRI Conference                 | 337.00            |           |            |
| VEN001687                           | Robert Half Technology             | APP016504   | 2/20/2014 | 101007331 | IT-CONSULTING            | Temp employee for wk ending     | 542.01            |           |            |
| VEN002012                           | U.S. Bank Equipment Finance        | APP016505   | 2/20/2014 | 101007337 | IT-PRINTING              | Copy machine rental             | 1,315.74          |           |            |
| VEN002012                           | U.S. Bank Equipment Finance        | APP016507   | 2/20/2014 | 101007337 | IT-PRINTING              | Copy machine rental at Traini   | 87.72             |           |            |
| VEN000534                           | Delta Dental                       | APP016516   | 2/20/2014 | 101007119 | IT-HEALTH AND DENTAL     | MARCH INS                       | 269.86            |           |            |
| <b>Subtotal for Informatics</b>     |                                    |             |           |           |                          |                                 | <b>144,543.95</b> |           |            |
| <b>Clerk Treasurer</b>              |                                    |             |           |           |                          |                                 |                   |           |            |
| VEN000267                           | Boyce Forms/systems                | APP016334   | 2/10/2014 | 101008337 | CT-PRINTING              | Checks                          | 289.10            | 53319     | 2/10/2014  |
| VEN001537                           | Payroll                            | APP016421   | 2/13/2014 | 101008331 | CT-CONSULTING            | Processing charges for period   | 790.24            | 100021814 | 2/19/2014  |
| VEN001637                           | Ray's Trash Service                | APP016424   | 2/13/2014 | 101008349 | CT-SERVICES              | Cross shredder for Feb          | 39.20             |           |            |
| VEN001250                           | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101008119 | CT-HEALTH AND DENTAL     | march ins                       | 18.78             |           |            |
| VEN000513                           | DavisVision                        | APP016482   | 2/20/2014 | 101008119 | CT-HEALTH AND DENTAL     | march ins                       | 65.98             | 53426     | 2/20/2014  |
| VEN001174                           | Kerri Gagnon                       | APP016485   | 2/20/2014 | 101008334 | CT-TRAVEL/TRAINING/SEMI  | reimb/ cpm class / miles        | 151.20            | 53429     | 2/20/2014  |
| VEN000231                           | Bev Rawlings                       | APP016513   | 2/20/2014 | 101008334 | CT-TRAVEL/TRAINING/SEMI  | reimb miles ball state cpm cla  | 184.80            | 53430     | 2/20/2014  |
| VEN000534                           | Delta Dental                       | APP016516   | 2/20/2014 | 101008119 | CT-HEALTH AND DENTAL     | MARCH INS                       | 267.81            |           |            |
| <b>Subtotal for Clerk Treasurer</b> |                                    |             |           |           |                          |                                 | <b>1,827.11</b>   |           |            |

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|-------------------------------|------------------------------------|-------------|-----------|-----------|------------------------|------------------------------|------------|-----------|------------|
| Fund No. Fund Name            |                                    |             |           |           |                        |                              |            |           |            |
| 101                           | General                            |             |           |           |                        |                              |            |           |            |
| Mayor                         |                                    |             |           |           |                        |                              |            |           |            |
| VEN001250                     | Lincoln National Life Insurance Co | APP016464   | 2/19/2014 | 101009119 | MAYOR-HEALTH AND DENT  | march ins                    | 3.13       |           |            |
| VEN000513                     | DavisVision                        | APP016482   | 2/20/2014 | 101009119 | MAYOR-HEALTH AND DENT  | march ins                    | 12.14      | 53426     | 2/20/2014  |
| VEN001913                     | The Bridgewater Club LLC           | APP016506   | 2/20/2014 | 101009347 | MAYOR-PROMOTIONS       | Business lunch               | 67.18      |           |            |
| VEN000534                     | Delta Dental                       | APP016516   | 2/20/2014 | 101009119 | MAYOR-HEALTH AND DENT  | MARCH INS                    | 45.97      |           |            |
| Subtotal for Mayor            |                                    |             |           |           |                        |                              | 128.42     |           |            |
| City Council                  |                                    |             |           |           |                        |                              |            |           |            |
| VEN001716                     | Rumyon Equipment Rental            | APP016489   | 2/20/2014 | 101010347 | CITY COUNCIL-PROMOTION | Grand Junction Derby/invoice | 150.00     |           |            |
| VEN002103                     | Westfield Endowment                | APP016509   | 2/20/2014 | 101010347 | CITY COUNCIL-PROMOTION | WFD Combat Challenge Tea     | 1,000.00   |           |            |
| VEN000475                     | Crossroads Of America Council      | APP016510   | 2/20/2014 | 101010347 | CITY COUNCIL-PROMOTION | 2014 Breakfast for Scouting  | 1,000.00   |           |            |
| Subtotal for City Council     |                                    |             |           |           |                        |                              | 2,150.00   |           |            |
| Public Works                  |                                    |             |           |           |                        |                              |            |           |            |
| VEN001537                     | Payroll                            | APP016349   | 2/11/2014 | 101013111 | PW-SALARY              | SAL                          | 10,651.32  | 100021114 | 2/13/2014  |
| VEN001537                     | Payroll                            | APP016349   | 2/11/2014 | 101013120 | PW-FICA AND MEDICARE   | FICA                         | 660.38     | 100021114 | 2/13/2014  |
| VEN001537                     | Payroll                            | APP016349   | 2/11/2014 | 101013120 | PW-FICA AND MEDICARE   | MED                          | 154.44     | 100021114 | 2/13/2014  |
| VEN001537                     | Payroll                            | APP016349   | 2/11/2014 | 101013121 | PW-PERF                | PERF                         | 1,437.93   | 100021114 | 2/13/2014  |
| Subtotal for Public Works     |                                    |             |           |           |                        |                              | 12,904.07  |           |            |
| Subtotal for Fund 101 General |                                    |             |           |           |                        |                              | 443,449.02 |           |            |

**Fund No. Fund Name****201 Motor Vehicle Highway (MVH)**

|                     |                           |           |           |           |                       |                                |        |       |           |
|---------------------|---------------------------|-----------|-----------|-----------|-----------------------|--------------------------------|--------|-------|-----------|
| <b>Public Works</b> |                           |           |           |           |                       |                                |        |       |           |
| VEN000657           | Esler's Auto Repair       | APP016319 | 2/7/2014  | 201013360 | MVH-VEHICLE REPAIR    | Truck 114- LOF- replace tran   | 467.57 | 52342 | 2/10/2014 |
| VEN000657           | Esler's Auto Repair       | APP016319 | 2/7/2014  | 201013360 | MVH-VEHICLE REPAIR    | Invoice came in lower          | -4.16  | 53342 | 2/10/2014 |
| VEN001716           | Rumyon Equipment Rental   | APP016329 | 2/10/2014 | 201013360 | MVH-VEHICLE REPAIR    | Plug for truck 105             | 18.50  | 53388 | 2/10/2014 |
| VEN001656           | Reynold's Farm Equipment  | APP016330 | 2/10/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 109                      | 10.25  | 53382 | 2/10/2014 |
| VEN000949           | IN.GOV                    | APP016331 | 2/10/2014 | 201013349 | MVH-SERVICES          | New employee background ck     | 15.00  | 53354 | 2/10/2014 |
| VEN000596           | E and B Paving Inc        | APP016333 | 2/10/2014 | 201013291 | MVH-SUBGRADE MATERIAL | Misc                           | 125.33 | 53341 | 2/10/2014 |
| VEN001622           | Quality Truck and Trailer | APP016336 | 2/10/2014 | 201013360 | MVH-VEHICLE REPAIR    | DEF                            | 69.84  | 53381 | 2/10/2014 |
| VEN001622           | Quality Truck and Trailer | APP016336 | 2/10/2014 | 201013360 | MVH-VEHICLE REPAIR    | Sterling 163                   | 226.55 | 53381 | 2/10/2014 |
| VEN001622           | Quality Truck and Trailer | APP016336 | 2/10/2014 | 201013360 | MVH-VEHICLE REPAIR    | Battery                        | 411.85 | 53381 | 2/10/2014 |
| VEN000657           | Esler's Auto Repair       | APP016366 | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 132- replace propeller s | 389.10 |       |           |
| VEN000657           | Esler's Auto Repair       | APP016367 | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 143- LOF                 | 42.00  |       |           |

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|---------------------------------------------------|-----------------------------|-------------|-----------|-----------|-----------------------|-------------------------------|-----------|-----------|------------|
| Fund No. Fund Name                                |                             |             |           |           |                       |                               |           |           |            |
| 201                                               | Motor Vehicle Highway (MVH) |             |           |           |                       |                               |           |           |            |
| Public Works                                      |                             |             |           |           |                       |                               |           |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016368   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 111- LOF-replace trans  | 397.84    |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016368   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 146- LOF                | 42.00     |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016369   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 108- replace serpentine | 181.95    |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016369   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Invoice came in lower         | -20.91    |           |            |
| VEN000589                                         | Duke Energy                 | APP016410   | 2/14/2014 | 201013341 | MVH-ELECTRIC          | Electric Bill                 | 1,520.73  | 53412     | 2/14/2014  |
| VEN001846                                         | Stoops Freightliner         | APP016422   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Panel Dash check              | 288.50    |           |            |
| VEN001822                                         | Quality Truck and Trailer   | APP016423   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck/oil changes and eng ck  | 473.81    |           |            |
| VEN001622                                         | Quality Truck and Trailer   | APP016423   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | 144 Sterling                  | 1,457.62  |           |            |
| VEN001622                                         | Quality Truck and Trailer   | APP016423   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | 163 Sterling                  | 676.07    |           |            |
| VEN001622                                         | Quality Truck and Trailer   | APP016423   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | 161 Sterling                  | 350.78    |           |            |
| VEN001622                                         | Quality Truck and Trailer   | APP016423   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | 160 Sterling                  | 818.63    |           |            |
| VEN000332                                         | Cargill                     | APP016425   | 2/13/2014 | 201013231 | MVH-SUBGRADE MATERIAL | Salt                          | 11,878.98 |           |            |
| VEN000589                                         | Don Hinds Ford Inc          | APP016428   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 127 Panel               | 121.93    |           |            |
| VEN001731                                         | Sagamore Ready Mix LLC      | APP016429   | 2/13/2014 | 201013231 | MVH-SUBGRADE MATERIAL | Calcium treated sand          | 5,940.00  |           |            |
| VEN000882                                         | Fastenal                    | APP016430   | 2/13/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 183                     | 27.51     |           |            |
| VEN001708                                         | RPM Machinery               | APP016431   | 2/13/2014 | 201013472 | MVH-EQUIP             | Backhoe repair                | 423.49    |           |            |
| VEN000332                                         | Cargill                     | APP016432   | 2/13/2014 | 201013231 | MVH-SUBGRADE MATERIAL | Salt                          | 1,404.46  |           |            |
| VEN000332                                         | Cargill                     | APP016433   | 2/13/2014 | 201013231 | MVH-SUBGRADE MATERIAL | Salt                          | 9,265.80  |           |            |
| VEN000891                                         | Hittle Landscaping          | APP016434   | 2/13/2014 | 201013349 | MVH-SERVICES          | Snow plowing for 1/6          | 8,054.00  |           |            |
| VEN001173                                         | Kenworth of Indianapolis    | APP016435   | 2/14/2014 | 201013472 | MVH-EQUIP             | Kenworth repair               | 10,048.18 |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016515   | 2/20/2014 | 201013360 | MVH-VEHICLE REPAIR    | Truck 127- replace water pum  | 513.97    |           |            |
| VEN000657                                         | Esler's Auto Repair         | APP016515   | 2/20/2014 | 201013360 | MVH-VEHICLE REPAIR    | Invoice came in higher        | 35.16     |           |            |
| Subtotal for Public Works                         |                             |             |           |           |                       |                               | 55,672.33 |           |            |
| Subtotal for Fund 201 Motor Vehicle Highway (MVH) |                             |             |           |           |                       |                               | 55,672.33 |           |            |

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| Buy-From Vendor No.                         | Buy-From Vendor Name                  | Invoice No. | Date      | G/L Acct. | G/L Account Name        | Description                   | Amount            | Check No. | Check Date |
|---------------------------------------------|---------------------------------------|-------------|-----------|-----------|-------------------------|-------------------------------|-------------------|-----------|------------|
| <b>Fund No. Fund Name</b>                   |                                       |             |           |           |                         |                               |                   |           |            |
| <b>203 Fire Operating</b>                   |                                       |             |           |           |                         |                               |                   |           |            |
| <b>Fire</b>                                 |                                       |             |           |           |                         |                               |                   |           |            |
| VEN001716                                   | Runyon Equipment Rental               | APP016328   | 2/10/2014 | 203012472 | FIRE-EQUIP              | Blade abrasive dectle/Mike Sh | 65.70             | 53388     | 2/10/2014  |
| VEN001367                                   | Midwest Toxicology Serv               | APP016335   | 2/10/2014 | 203012354 | FIRE-MEDICAL EXAMS/TEST | Drug testing                  | 38.00             | 53369     | 2/10/2014  |
| VEN001537                                   | Payroll                               | APP016349   | 2/11/2014 | 203012111 | FIRE-SALARY             | SAL                           | 170,030.77        | 100021114 | 2/13/2014  |
| VEN001537                                   | Payroll                               | APP016349   | 2/11/2014 | 203012120 | FIRE-FICA AND MEDICARE  | FICA                          | 10,058.55         | 100021114 | 2/13/2014  |
| VEN001537                                   | Payroll                               | APP016349   | 2/11/2014 | 203012120 | FIRE-FICA AND MEDICARE  | MED                           | 2,352.39          | 100021114 | 2/13/2014  |
| VEN001537                                   | Payroll                               | APP016349   | 2/11/2014 | 203012121 | FIRE-PERF               | PERF                          | 32,520.97         | 100021114 | 2/13/2014  |
| VEN000405                                   | Citizens Energy Group                 | APP016409   | 2/14/2014 | 203012326 | FIRE-GAS/HEAT           | Gas bill                      | 2,633.83          | 53413     | 2/14/2014  |
| VEN000589                                   | Duke Energy                           | APP016410   | 2/14/2014 | 203012341 | FIRE-ELECTRIC           | Electric Bill                 | 4,165.35          | 53412     | 2/14/2014  |
| VEN002028                                   | UPS                                   | APP016440   | 2/18/2014 | 203012333 | FIRE-POSTAGE            |                               | 42.00             |           |            |
| VEN001000                                   | Indianapolis Star                     | APP016442   | 2/19/2014 | 203012350 | FIRE-SUBSCRIPTIONS/DUE  |                               | 24.50             |           |            |
| VEN001828                                   | Staples                               | APP016443   | 2/19/2014 | 203012223 | FIRE-OFFICE SUPPLIES    |                               | 279.93            |           |            |
| VEN001314                                   | Matt Biljanic                         | APP016444   | 2/19/2014 | 203012334 | FIRE-TRAVEL/TRAINING/SE |                               | 291.12            |           |            |
| VEN000575                                   | Donley Safety                         | APP016446   | 2/19/2014 | 203012229 | FIRE-UNIFORMS           |                               | 230.00            |           |            |
| VEN000575                                   | Donley Safety                         | APP016446   | 2/19/2014 | 203012360 | FIRE-VEHICLE MAINT      |                               | 425.00            |           |            |
| VEN000006                                   | 5 Alarm Fire and Safety Equipment LLC | APP016447   | 2/19/2014 | 203012472 | FIRE-EQUIP              |                               | 2,161.00          |           |            |
| VEN000976                                   | Indiana Paging Network                | APP016448   | 2/19/2014 | 203012332 | FIRE-CELL/PAGERS/MOBILE |                               | 10.93             |           |            |
| VEN000488                                   | Custom Truck and Auto                 | APP016449   | 2/19/2014 | 203012360 | FIRE-VEHICLE MAINT      |                               | 1,324.66          |           |            |
| VEN001942                                   | The Uniform House, Inc                | APP016450   | 2/19/2014 | 203012229 | FIRE-UNIFORMS           |                               | 32.34             |           |            |
| VEN000329                                   | Capital One Commercial                | APP016451   | 2/19/2014 | 203012343 | FIRE-BUILDING MAINTENAN |                               | 391.51            |           |            |
| VEN001337                                   | Menards                               | APP016452   | 2/19/2014 | 203012343 | FIRE-BUILDING MAINTENAN |                               | 59.98             |           |            |
| VEN000489                                   | Crawford Water Care                   | APP016463   | 2/19/2014 | 203012343 | FIRE-BUILDING MAINTENAN |                               | 227.27            |           |            |
| VEN001250                                   | Lincoln National Life Insurance Co    | APP016464   | 2/19/2014 | 203012119 | FIRE-HEALTH AND DENTAL  | march ins                     | 215.97            |           |            |
| VEN000405                                   | Citizens Energy Group                 | APP016469   | 2/19/2014 | 203012328 | FIRE-GAS/HEAT           | Sta 83                        | 1,936.54          | 53425     | 2/20/2014  |
| VEN000620                                   | Electrical Equipment Company          | APP016473   | 2/20/2014 | 203012343 | FIRE-BUILDING MAINTENAN | Hirsch Card Access System/    | 34,020.00         | 52846     | 2/20/2014  |
| VEN000513                                   | DavisVision                           | APP016482   | 2/20/2014 | 203012119 | FIRE-HEALTH AND DENTAL  | march ins                     | 729.48            | 53426     | 2/20/2014  |
| VEN000365                                   | Chapman Electric Supply               | APP016484   | 2/20/2014 | 203012343 | FIRE-BUILDING MAINTENAN |                               | 103.24            |           |            |
| VEN000540                                   | Dennis Everett                        | APP016514   | 2/20/2014 | 203012334 | FIRE-TRAVEL/TRAINING/SE |                               | 61.76             |           |            |
| VEN000534                                   | Delta Dental                          | APP016516   | 2/20/2014 | 203012119 | FIRE-HEALTH AND DENTAL  | MARCH INS                     | 4,193.18          |           |            |
| <b>Subtotal for Fire</b>                    |                                       |             |           |           |                         |                               | <b>268,690.97</b> |           |            |
| <b>Subtotal for Fund 203 Fire Operating</b> |                                       |             |           |           |                         |                               | <b>268,690.97</b> |           |            |

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| Buy-From Vendor No. | Buy-From Vendor Name                                      | Invoice No. | Date      | G/L Acct. | G/L Account Name         | Description                   | Amount     | Check No. | Check Date |
|---------------------|-----------------------------------------------------------|-------------|-----------|-----------|--------------------------|-------------------------------|------------|-----------|------------|
| <b>Fund No.</b>     | <b>Fund Name</b>                                          |             |           |           |                          |                               |            |           |            |
| 268                 | Emergency Medical and Equip                               |             |           |           |                          |                               |            |           |            |
|                     | Fire                                                      |             |           |           |                          |                               |            |           |            |
| VEN000065           | Airgas Mid America                                        | APP016439   | 2/19/2014 | 288012224 | EMS-OPERATING SUPPLIES   |                               | 321.10     |           |            |
| VEN001050           | IU Health Ball Memorial Hospital                          | APP016441   | 2/19/2014 | 268012224 | EMS-OPERATING SUPPLIES   |                               | 151.82     |           |            |
| VEN000266           | Bound Tree Medical                                        | APP016445   | 2/19/2014 | 268012224 | EMS-OPERATING SUPPLIES   |                               | 1,851.78   |           |            |
|                     | Subtotal for Fire                                         |             |           |           |                          |                               | 2,324.50   |           |            |
|                     | Subtotal for Fund 268 Emergency Medical and Equip         |             |           |           |                          |                               | 2,324.50   |           |            |
| <b>Fund No.</b>     | <b>Fund Name</b>                                          |             |           |           |                          |                               |            |           |            |
| 269                 | Training Facility Center                                  |             |           |           |                          |                               |            |           |            |
|                     | Public Safety (Police and Fire)                           |             |           |           |                          |                               |            |           |            |
| VEN002048           | Vectren                                                   | APP016487   | 2/19/2014 | 269014328 | TRAINING FAC-HEAT/GAS    | Training Facility             | 329.17     | 53423     | 2/20/2014  |
| VEN000477           | Crowe Horwath LLP                                         | APP016502   | 2/20/2014 | 269014349 | TRAINING FAC-SERVICES    | Emergency Response Matrix     | 2,815.00   |           |            |
|                     | Subtotal for Public Safety (Police and Fire)              |             |           |           |                          |                               | 3,144.17   |           |            |
|                     | Subtotal for Fund 269 Training Facility Center            |             |           |           |                          |                               | 3,144.17   |           |            |
| <b>Fund No.</b>     | <b>Fund Name</b>                                          |             |           |           |                          |                               |            |           |            |
| 313                 | 2012 and 2013 COIT BAN Construction                       |             |           |           |                          |                               |            |           |            |
|                     | Grand Park                                                |             |           |           |                          |                               |            |           |            |
| VEN000589           | Duke Energy                                               | APP016471   | 2/19/2014 | 313015349 | 2012-13 COIT BAN-SERVICE | Grand Park                    | 15.05      | 53422     | 2/20/2014  |
| VEN001710           | RQAW Corp                                                 | APP016483   | 2/20/2014 | 313015349 | 2012-13 COIT BAN-SERVICE | Maintenace Buildings          | 800.00     |           |            |
| VEN000921           | Huston Electric                                           | APP016521   | 2/21/2014 | 313015474 | 2012-13 COIT BAN-CONSTR  | Parking Lighting              | 76,430.00  |           |            |
| VEN001362           | Mid-America Golf and Landscape                            | APP016522   | 2/21/2014 | 313015474 | 2012-13 COIT BAN-CONSTR  | Irrigation & Soccer Fields    | 55,066.89  |           |            |
| VEN001362           | Mid-America Golf and Landscape                            | APP016522   | 2/21/2014 | 313015474 | 2012-13 COIT BAN-CONSTR  | Added Sod at Synthetic Fields | 111,893.00 |           |            |
|                     | Subtotal for Grand Park                                   |             |           |           |                          |                               | 243,995.94 |           |            |
|                     | Subtotal for Fund 313 2012 and 2013 COIT BAN Construction |             |           |           |                          |                               | 243,995.94 |           |            |

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| Buy-From Vendor No.                           | Buy-From Vendor Name                    | Invoice No. | Date      | G/L Acct. | G/L Account Name       | Description                 | Amount     | Check No. | Check Date |
|-----------------------------------------------|-----------------------------------------|-------------|-----------|-----------|------------------------|-----------------------------|------------|-----------|------------|
| Fund No. Fund Name                            |                                         |             |           |           |                        |                             |            |           |            |
| 640                                           | Sports Campus Operating                 |             |           |           |                        |                             |            |           |            |
| Grand Park                                    |                                         |             |           |           |                        |                             |            |           |            |
| VEN002228                                     | Indiana Sports Properties               | APP016493   | 2/20/2014 | 640015349 | SPORTS CAMPUS-SERVICE  | Property Management Service | 16,500.00  |           |            |
| VEN002228                                     | Indiana Sports Properties               | APP016493   | 2/20/2014 | 640015349 | SPORTS CAMPUS-SERVICE  | Property Management Service | 21,500.00  |           |            |
| VEN002228                                     | Indiana Sports Properties               | APP016525   | 2/21/2014 | 640015349 | SPORTS CAMPUS-SERVICE  | Property Management Service | 0.00       |           |            |
| VEN002228                                     | Indiana Sports Properties               | APP016525   | 2/21/2014 | 640015349 | SPORTS CAMPUS-SERVICE  | Property Management Service | 20,000.00  |           |            |
| Subtotal for Grand Park                       |                                         |             |           |           |                        |                             | 58,000.00  |           |            |
| Subtotal for Fund 640 Sports Campus Operating |                                         |             |           |           |                        |                             | 58,000.00  |           |            |
| Fund No. Fund Name                            |                                         |             |           |           |                        |                             |            |           |            |
| 701                                           | Payroll                                 |             |           |           |                        |                             |            |           |            |
| Clerk Treasurer                               |                                         |             |           |           |                        |                             |            |           |            |
| VEN000058                                     | AFLAC                                   | APP016320   | 2/7/2014  | 701008930 | PAYROLL-INS. DED       | ins                         | 8,422.74   | 16149     | 2/7/2014   |
| VEN000163                                     | Aul Retirement                          | APP016345   | 2/11/2014 | 701008931 | PAYROLL-401A MATCHING- | RETIREMENT                  | 11,229.33  | 100021314 | 2/13/2014  |
| VEN000163                                     | Aul Retirement                          | APP016346   | 2/11/2014 | 701008931 | PAYROLL-401A MATCHING- | LOAN                        | 4,069.23   | 101021314 | 2/13/2014  |
| VEN000920                                     | Huntington National Bank                | APP016347   | 2/11/2014 | 701008131 | PAYROLL-EMPLOYER'S FIC | FICA                        | 27,183.45  | 103021314 | 2/13/2014  |
| VEN000920                                     | Huntington National Bank                | APP016347   | 2/11/2014 | 701008132 | PAYROLL-EMPLOYER'S ME  | MED                         | 6,357.42   | 103021314 | 2/13/2014  |
| VEN000920                                     | Huntington National Bank                | APP016347   | 2/11/2014 | 701008921 | PAYROLL-FEDERAL WITHH  | FED                         | 51,777.56  | 103021314 | 2/13/2014  |
| VEN000920                                     | Huntington National Bank                | APP016347   | 2/11/2014 | 701008922 | PAYROLL-EMPLOYEE FICA  | MED                         | 6,357.32   | 103021314 | 2/13/2014  |
| VEN000920                                     | Huntington National Bank                | APP016347   | 2/11/2014 | 701008922 | PAYROLL-EMPLOYEE FICA  | FICA                        | 27,183.54  | 103021314 | 2/13/2014  |
| VEN000959                                     | Indiana Dept Of Revenue                 | APP016348   | 2/11/2014 | 701008923 | PAYROLL-STATE WITHHOL  | STATE                       | 14,343.07  | 105021314 | 2/13/2014  |
| VEN000959                                     | Indiana Dept Of Revenue                 | APP016348   | 2/11/2014 | 701008923 | PAYROLL-STATE WITHHOL  | COIT                        | 4,615.59   | 105021314 | 2/13/2014  |
| VEN001550                                     | PERF                                    | APP016360   | 2/13/2014 | 701008133 | PAYROLL-PERF           | civilian perf               | 36,647.62  | 106021314 | 2/13/2014  |
| VEN000948                                     | IN Family and Social Services Administr | APP016361   | 2/13/2014 | 701008140 | PAYROLL-SUPPORT WITHH  | child support               | 3,313.14   | 104021314 | 2/13/2014  |
| VEN000703                                     | Fire Fighters Credit Union              | APP016362   | 2/13/2014 | 701008141 | PAYROLL-UNION DUES     | union dues                  | 1,883.77   | 15275     | 2/13/2014  |
| VEN001864                                     | supporting heroes                       | APP016363   | 2/13/2014 | 701008991 | PAYROLL-MISC           | contrib                     | 134.74     | 15276     | 2/13/2014  |
| VEN001583                                     | Police and Firemen's Insurance          | APP016364   | 2/13/2014 | 701008930 | PAYROLL-INS. DED       | ins                         | 69.12      | 15277     | 2/13/2014  |
| VEN000008                                     | 77 Police and Fire Fund                 | APP016391   | 2/14/2014 | 701008133 | PAYROLL-PERF           | non civilian                | 45,992.34  | 100021414 | 2/14/2014  |
| VEN002177                                     | Indiana Members Credit Union            | APP016465   | 2/19/2014 | 701008930 | PAYROLL-INS. DED       | hsa                         | 2,837.00   |           |            |
| VEN000534                                     | Delta Dental                            | APP016517   | 2/20/2014 | 701008930 | PAYROLL-INS. DED       | MARCH INS                   | 2,395.02   |           |            |
| Subtotal for Clerk Treasurer                  |                                         |             |           |           |                        |                             | 254,812.00 |           |            |
| Subtotal for Fund 701 Payroll                 |                                         |             |           |           |                        |                             | 254,812.00 |           |            |

## Purchase Invoice Register

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| Buy-From Vendor No.              | Buy-From Vendor Name          | Invoice No. | Date      | G/L Acct. | G/L Account Name       | Description                | Amount       | Check No. | Check Date |
|----------------------------------|-------------------------------|-------------|-----------|-----------|------------------------|----------------------------|--------------|-----------|------------|
|                                  |                               |             |           |           |                        |                            |              |           |            |
| Fund No.                         | Fund Name                     |             |           |           |                        |                            |              |           |            |
| 900                              | Stormwater                    |             |           |           |                        |                            |              |           |            |
|                                  | Stormwater                    |             |           |           |                        |                            |              |           |            |
| VEN000593                        | Dustin Shoe                   | APP016426   | 2/13/2014 | 900016334 | STORM-TRAVEL/TRAINING/ | CISEC Exam                 | 34.79        | 53415     | 2/18/2014  |
| VEN002084                        | Wes Rood                      | APP015427   | 2/13/2014 | 900016334 | STORM-TRAVEL/TRAINING/ | CISEC Training             | 35.99        | 53416     | 2/18/2014  |
| VEN001283                        | Madison County Council Of Gov | APP016511   | 2/20/2014 | 900016334 | STORM-TRAVEL/TRAINING/ | 2014 MS4 Meeting- 5 employ | 325.00       |           |            |
| Subtotal for Stormwater          |                               |             |           |           |                        |                            | 395.78       |           |            |
| Subtotal for Fund 900 Stormwater |                               |             |           |           |                        |                            | 395.78       |           |            |
| Posted Invoices Total            |                               |             |           |           |                        |                            | 1,330,484.71 |           |            |

## Un-Posted Invoices

| Vendor No.                   | Vendor Name                 | Invoice No. | Date      | GL Account | GL Account Description       | Description                     | Amount   | Status           |
|------------------------------|-----------------------------|-------------|-----------|------------|------------------------------|---------------------------------|----------|------------------|
| Fund No.                     | Fund Name                   |             |           |            |                              |                                 |          |                  |
| 101                          | General                     |             |           |            |                              |                                 |          |                  |
| Administration               |                             |             |           |            |                              |                                 |          |                  |
| VEN000237                    | Big Hoffa                   | API0001576  | 2/20/2014 | 101001347  | Adm-Promotions               | Adm-Promotions                  | 334.00   | Approval Pending |
| Subtotal for Administration  |                             |             |           |            |                              |                                 | 334.00   |                  |
| Police                       |                             |             |           |            |                              |                                 |          |                  |
| VEN000345                    | Cave and Company Printing   | API0001572  | 2/14/2014 | 101002337  | Police-Printing              | Business cards-Jordan-New H     | 204.57   | Approval Pending |
| VEN002035                    | US Uniform and Supply       | API0001576  | 2/20/2014 | 101002229  | Police-Uniforms              | Boots-Ford                      | 308.90   | Approval Pending |
| VEN002035                    | US Uniform and Supply       | API0001576  | 2/20/2014 | 101002229  | Police-Uniforms              | Boots-Nichols                   | 199.95   | Approval Pending |
| VEN002035                    | US Uniform and Supply       | API0001576  | 2/20/2014 | 101002229  | Police-Uniforms              | Handcuffs-gloves-New Hires      | 237.70   | Approval Pending |
| VEN000928                    | IAPE                        | API0001576  | 2/20/2014 | 101002350  | Police-Subscriptions/Dues/Me | 2014 Membership-evidence        | 50.00    | Approval Pending |
| VEN001476                    | Office Depot                | API0001576  | 2/20/2014 | 101002224  | Police-Operating Supplies    | Desk Chair for Vickroy          | 209.99   | Approval Pending |
| VEN000109                    | Amk Services                | API0001577  | 2/20/2014 | 101002345  | Police-Equip Repair          | Radio repair parts-ear tubes in | 197.80   | Approval Pending |
| VEN000080                    | Almost Home Boarding Kennel | API0001577  | 2/20/2014 | 101002355  | Police-K-9 Maint             | Dog Boarding-Lopez              | 150.00   | Approval Pending |
| VEN002028                    | UPS                         | API0001577  | 2/20/2014 | 101002333  | Police-Postage               | Shipping charges-Galls          | 66.73    | Approval Pending |
| Subtotal for Police          |                             |             |           |            |                              |                                 | 1,625.64 |                  |
| Subtotal by Fund 101 General |                             |             |           |            |                              |                                 | 1,959.64 |                  |

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Report Date Range:

## Un-Posted Invoices

| Vendor No.                              | Vendor Name        | Invoice No. | Date      | GL Account | GL Account Description      | Description             | Amount   | Status           |
|-----------------------------------------|--------------------|-------------|-----------|------------|-----------------------------|-------------------------|----------|------------------|
| <hr/>                                   |                    |             |           |            |                             |                         |          |                  |
| Fund No.                                | Fund Name          |             |           |            |                             |                         |          |                  |
| 305                                     | Grand Junction TIF |             |           |            |                             |                         |          |                  |
| <hr/>                                   |                    |             |           |            |                             |                         |          |                  |
|                                         | RDC                |             |           |            |                             |                         |          |                  |
| VEN001992                               | Traynor and Assoc  | API0001578  | 2/20/2014 | 305018349  | Grand Junction TIF-Services | Grand Junction-Services | 4,000.00 | Approval Pending |
| Subtotal for RDC                        |                    |             |           |            |                             |                         | 4,000.00 |                  |
| <hr/>                                   |                    |             |           |            |                             |                         |          |                  |
| Subtotal by Fund 305 Grand Junction TIF |                    |             |           |            |                             |                         | 4,000.00 |                  |
| <hr/>                                   |                    |             |           |            |                             |                         |          |                  |
| Un-Posted Invoices Total                |                    |             |           |            |                             |                         | 5,959.64 |                  |

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**Accounts Payable Voucher Register**

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Sewer Utility:FEB SEWER

| Journal<br>Code                     | Account<br>Number                     | Description         | Check<br>Number | Check<br>Date | Vendor Name           | Debit<br>Amount | Credit<br>Amount | APV Invoice<br>Number Date | Invoice<br>Number | Fund<br>Name | No Due<br>Pay Date |
|-------------------------------------|---------------------------------------|---------------------|-----------------|---------------|-----------------------|-----------------|------------------|----------------------------|-------------------|--------------|--------------------|
| <b>Account Code : Sewer Utility</b> |                                       |                     |                 |               |                       |                 |                  |                            |                   |              |                    |
|                                     | 667.631 - Sewer -                     | POWERSHARE          | 27763           | 02/11/14      | FRONTIER              | 501.19          | 0.00             | 22373 / /                  |                   |              | N / /              |
|                                     | 667.631 - Sewer -                     | MONTHLY SERVICE     | 27764           | 02/11/14      | FRONTIER              | 196.36          | 0.00             | 22374 / /                  |                   |              | N / /              |
|                                     | 673.65 - Energy Savings               | TREATMENT PLANT     | 27765           | 02/11/14      | SIEMENS INDUSTRY      | 21351.36        | 0.00             | 22375 / /                  |                   |              | N / /              |
|                                     | 225.61 - Energy Savings               | TREATMENT PLANT     | 27765           | 02/11/14      | SIEMENS INDUSTRY      | 141813.77       | 0.00             | 22375 / /                  |                   |              | N / /              |
|                                     | 650.63 - Sewer -                      | FUEL                | 27766           | 02/11/14      | NORTH CENTRAL         | 1500.00         | 0.00             | 22376 / /                  |                   |              | N / /              |
|                                     | 650.63 - Sewer -                      | FUEL                | 27767           | 02/11/14      | Westfield Washington  | 2037.31         | 0.00             | 22377 / /                  |                   |              | N / /              |
|                                     | 620.62 - Materials and                | SUPPLIES            | 27768           | 02/11/14      | MENARDS               | 658.92          | 0.00             | 22378 / /                  |                   |              | N / /              |
|                                     | 620.61 - Sewer Materials & SUPPLIES   |                     | 27768           | 02/11/14      | MENARDS               | 726.80          | 0.00             | 22378 / /                  |                   |              | N / /              |
|                                     | 620.61 - Sewer Materials & SUPPLIES   |                     | 27769           | 02/11/14      | ACE-PAK PRODUCTS      | 187.43          | 0.00             | 22398 / /                  |                   |              | N / /              |
|                                     | 618.62 - Chemicals                    | CHEMICALS           | 27770           | 02/11/14      | BioChem               | 1519.00         | 0.00             | 22399 / /                  |                   |              | N / /              |
|                                     | 620.61 - Sewer Materials & PARTS      |                     | 27771           | 02/11/14      | Fastenal              | 1.83            | 0.00             | 22400 / /                  |                   |              | N / /              |
|                                     | 620.61 - Sewer Materials & KEY BLANKS |                     | 27772           | 02/11/14      | Haley's Lock Safe &   | 18.00           | 0.00             | 22401 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | MONTHLY TICKET FEES | 27773           | 02/11/14      | IUPPS                 | 314.55          | 0.00             | 22402 / /                  |                   |              | N / /              |
|                                     | 650.63 - Sewer -                      | PARTS               | 27774           | 02/11/14      | MID-STATE TRUCK       | 650.72          | 0.00             | 22403 / /                  |                   |              | N / /              |
|                                     | 620.62 - Materials and                | PARTS               | 27775           | 02/11/14      | North Central         | 283.34          | 0.00             | 22404 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | REPAIRS             | 27776           | 02/11/14      | Northside Garage Door | 68.50           | 0.00             | 22405 / /                  |                   |              | N / /              |
|                                     | 667.641 - Stormwater                  | SUPPLIES            | 27777           | 02/11/14      | STAPLES BUSINESS      | 86.05           | 0.00             | 22406 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | FLOOR MATS          | 27778           | 02/11/14      | UNIFIRST              | 62.64           | 0.00             | 22407 / /                  |                   |              | N / /              |
|                                     | 620.61 - Sewer Materials & DEGREASER  |                     | 27779           | 02/11/14      | USA Blue Book         | 169.13          | 0.00             | 22408 / /                  |                   |              | N / /              |
|                                     | 634.62 - Contractual                  | EQUIP RENTAL        | 27780           | 02/11/14      | SUNBELT RENTALS       | 550.35          | 0.00             | 22409 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | URINAL BLOCK        | 27781           | 02/11/14      | ROTO ROOTER           | 203.56          | 0.00             | 22410 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | TEMP HIRE           | 27782           | 02/12/14      | OFFICE TEAM           | 293.87          | 0.00             | 22418 / /                  |                   |              | N / /              |
|                                     | 635.63 - Sewer -                      | FLOOR MATS          | 27783           | 02/12/14      | UNIFIRST              | 114.80          | 0.00             | 22419 / /                  |                   |              | N / /              |
|                                     | 667.636 - Billing Supplies            | ENVELOPES           | 27784           | 02/12/14      | WORRELL               | 1420.88         | 0.00             | 22420 / /                  |                   |              | N / /              |
|                                     | 101.63 - Sewer - Meters               | LIFT STATION        | 27785           | 02/12/14      | SUPERIOR              | 5400.00         | 0.00             | 22421 / /                  |                   |              | N / /              |
|                                     | 675.63 - Sewer -                      | CDL SKILLS TEST     | 27786           | 02/12/14      | PROSAFECDL            | 200.00          | 0.00             | 22422 / /                  |                   |              | N / /              |
|                                     | 141.60 - Sewer - Accounts             | REFUND CR BAL       | 27787           | 02/12/14      | DANIEL STAHL          | 136.26          | 0.00             | 22423 / /                  |                   |              | N / /              |
|                                     | 615.62 - Purchased Power              | MONTHLY SERVICE     | 27788           | 02/14/14      | DUKE ENERGY           | 25778.98        | 0.00             | 22426 / /                  |                   |              | N / /              |
|                                     | 615.61 - Sewer - Power for            | MONTHLY SERVICE     | 27788           | 02/14/14      | DUKE ENERGY           | 6851.90         | 0.00             | 22426 / /                  |                   |              | N / /              |
|                                     | 667.633 - Sewer - Utilities           | MONTHLY SERVICE     | 27788           | 02/14/14      | DUKE ENERGY           | 2454.49         | 0.00             | 22426 / /                  |                   |              | N / /              |

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## Accounts Payable Voucher Register

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Sewer Utility:FEB SEWER

| Journal Code | Account Number              | Description        | Check Number | Check Date | Vendor Name            | Debit Amount | Credit Amount | APV Invoice Number | Invoice Date | Invoice Number | Fund Name | No Due Pay Date |
|--------------|-----------------------------|--------------------|--------------|------------|------------------------|--------------|---------------|--------------------|--------------|----------------|-----------|-----------------|
|              | 667.633 - Sewer - Utilities | MONTHLY SERVICE    | 27789        | 02/14/14   | Citizens Gas           | 462.15       | 0.00          | 22427              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | AH4R LP                | 190.43       | 0.00          | 22428              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Douglas Gilbert        | 54.33        | 0.00          | 22429              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | DAVID WEEKLEY          | 14.16        | 0.00          | 22430              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Compass Construction   | 6.54         | 0.00          | 22431              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Carey Glen HOA         | 19.80        | 0.00          | 22432              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Carol Shaffer          | 49.71        | 0.00          | 22433              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Bob Keeney             | 74.10        | 0.00          | 22434              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Ballantrae LLC         | 143.87       | 0.00          | 22435              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Allyson Love           | 204.81       | 0.00          | 22436              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | John Armstrong         | 12.59        | 0.00          | 22437              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Susan Hudson           | 120.95       | 0.00          | 22438              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Sollenberger Builders  | 9.56         | 0.00          | 22439              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | David Fancher          | 9.92         | 0.00          | 22440              | //           |                |           | N //            |
|              | 141.60 - Sewer - Accounts   | REFUND             | 0            | //         | Darren Blackaby        | 50.90        | 0.00          | 22441              | //           |                |           | N //            |
|              | 101.60 - Sewer -            | REFUND             | 0            | //         | Alan & Jennifer Arthur | 76.53        | 0.00          | 22442              | //           |                |           | N //            |
|              | 667.631 - Sewer -           | MONTHLY SERVICE    | 0            | //         | FIRST MILE             | 321.74       | 0.00          | 22443              | //           |                |           | N //            |
|              | 667.631 - Sewer -           | MONTHLY SERVICE    | 0            | //         | VERIZON WIRELESS       | 670.06       | 0.00          | 22444              | //           |                |           | N //            |
|              | 673.64 - Wus-Interest       | SPECIAL BOND 2002  | 27790        | 02/19/14   | BANK OF NEW YORK       | 166206.75    | 0.00          | 22450              | //           |                |           | N //            |
|              | 672.63 - Sewer - Interest   | REV BOND 2006      | 27791        | 02/19/14   | Us Bank                | 81168.75     | 0.00          | 22451              | //           |                |           | N //            |
|              | 672.63 - Sewer - Interest   | REV BOND 2004      | 27791        | 02/19/14   | Us Bank                | 193621.88    | 0.00          | 22451              | //           |                |           | N //            |
|              | 655.63 - Sewer - Insurance  | MARCH INS          | 27792        | 02/19/14   | LINCOLN NATIONAL       | 51.64        | 0.00          | 22453              | //           |                |           | N //            |
|              | 650.63 - Sewer -            | SUPPLIES           | 0            | //         | NAPA                   | 1395.98      | 0.00          | 22455              | //           |                |           | N //            |
|              | 635.63 - Sewer -            | TEMP HIRE          | 0            | //         | OFFICE TEAM            | 71.96        | 0.00          | 22456              | //           |                |           | N //            |
|              | 635.63 - Sewer -            | EASEMENT APPRAISAL | 0            | //         | MERIDIAN TITLE         | 300.00       | 0.00          | 22457              | //           |                |           | N //            |
|              | 667.634 - Sewer - Office    | SUPPLIES           | 0            | //         | Cave & Company         | 141.50       | 0.00          | 22458              | //           |                |           | N //            |
|              | 667.636 - Billing Supplies  | SUPPLIES           | 0            | //         | Cave & Company         | 79.37        | 0.00          | 22458              | //           |                |           | N //            |
|              | 667.634 - Sewer - Office    | SUPPLIES           | 0            | //         | STAPLES BUSINESS       | 33.61        | 0.00          | 22459              | //           |                |           | N //            |
|              | 667.634 - Sewer - Office    | SUPPLIES           | 0            | //         | STAPLES BUSINESS       | 209.33       | 0.00          | 22459              | //           |                |           | N //            |
|              | 620.62 - Materials and      | FUEL               | 0            | //         | NORTH CENTRAL          | 283.34       | 0.00          | 22460              | //           |                |           | N //            |
|              | 635.63 - Sewer -            | ANNUAL FEE         | 0            | //         | IN.GOV                 | 47.50        | 0.00          | 22461              | //           |                |           | N //            |

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# Accounts Payable Voucher Register

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Sewer Utility:FEB SEWER

| Journal Code | Account Number             | Description         | Check Number | Check Date | Vendor Name           | Debit Amount | Credit Amount | APV Invoice Number | Invoice Date | Invoice Number | Fund Name | No Due Pay | Due Date |
|--------------|----------------------------|---------------------|--------------|------------|-----------------------|--------------|---------------|--------------------|--------------|----------------|-----------|------------|----------|
|              | 620.61 - Sewer Materials & | SAFE GRIP GLOVES    | 0            | / /        | BioChem               | 572.70       | 0.00          | 22462              | / /          |                |           | N          | / /      |
|              | 625.62 - Repairs-Wwtp      | WWTP BLOWER REPAIR  | 0            | / /        | F.H. AYER MFG         | 14224.00     | 0.00          | 22463              | / /          |                |           | N          | / /      |
|              | 101.65 - Construction in   | CONSULT/            | 0            | / /        | HNTB- GREAT LAKES     | 3783.18      | 0.00          | 22464              | / /          |                |           | N          | / /      |
|              | 631.63 - Sewer             | CONSULT/            | 0            | / /        | HNTB- GREAT LAKES     | 263.44       | 0.00          | 22464              | / /          |                |           | N          | / /      |
|              | 141.60 - Sewer - Accounts  | REFUND              | 0            | / /        | CHAD BRAKE            | 71.67        | 0.00          | 22465              | / /          |                |           | N          | / /      |
|              | 611.62 - Sewer-Sludge      | EPA REPORTING       | 0            | / /        | Merrell Bros          | 300.00       | 0.00          | 22466              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | FLOOR MATS          | 0            | / /        | UNIFIRST              | 56.03        | 0.00          | 22467              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | FLOOR MATS          | 0            | / /        | UNIFIRST              | 58.78        | 0.00          | 22467              | / /          |                |           | N          | / /      |
|              | 636.62 - Sewer Gallon      | WATER USE           | 0            | / /        | Carmel Utilities      | 67488.98     | 0.00          | 22468              | / /          |                |           | N          | / /      |
|              | 630.61 - Sewer -           | LOCATES             | 0            | / /        | USI CONSULTANTS       | 4208.58      | 0.00          | 22469              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | REPLACED PULLY SIDE | 0            | / /        | Northside Garage Door | 68.50        | 0.00          | 22470              | / /          |                |           | N          | / /      |
|              | 611.62 - Sewer-Sludge      | VAC PICKUP          | 0            | / /        | HERITAGE CRYSTAL      | 498.25       | 0.00          | 22471              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | TELEWISE SANITARY   | 0            | / /        | Fluid Waste Services  | 717.50       | 0.00          | 22472              | / /          |                |           | N          | / /      |
|              | 620.61 - Sewer Materials & | FUEL                | 0            | / /        | NORTH CENTRAL         | 709.03       | 0.00          | 22473              | / /          |                |           | N          | / /      |
|              | 620.61 - Sewer Materials & | PUSHFRAME           | 0            | / /        | MID-STATE TRUCK       | 292.77       | 0.00          | 22474              | / /          |                |           | N          | / /      |
|              | 620.62 - Materials and     | BULBS/ TREATMENT    | 0            | / /        | HERITAGE              | 1705.31      | 0.00          | 22475              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | FINANCIAL SERVICE   | 0            | / /        | O W Krohn &           | 14013.75     | 0.00          | 22476              | / /          |                |           | N          | / /      |
|              | 635.62 - Contractual Servi | LAB TESTING         | 0            | / /        | CLAY TOWNSHIP         | 920.00       | 0.00          | 22477              | / /          |                |           | N          | / /      |
|              | 101.63 - Sewer - Meters    | CARD ACCESS SYSTEM  | 0            | / /        | ELECTRICAL            | 24990.50     | 0.00          | 22478              | / /          |                |           | N          | / /      |
|              | 555.63 - Sewer - Insurance | MARCH INS           | 27793        | 02/20/14   | DAVIS VISION          | 167.59       | 0.00          | 22499              | / /          |                |           | N          | / /      |
|              | 555.63 - Sewer - Insurance | MARCH INS           | 27794        | 02/20/14   | DELTA DENTAL          | 879.70       | 0.00          | 22503              | / /          |                |           | N          | / /      |
|              | 101.65 - Construction in   | RIDGEWOOD           | 0            | / /        | Rieth-Riley           | 88255.16     | 0.00          | 22505              | / /          |                |           | N          | / /      |
|              | 575.63 - Sewer -           | UNEMPLOYMENT        | 27795        | 02/21/14   | Indiana Dept of       | 630.00       | 0.00          | 22506              | / /          |                |           | N          | / /      |
|              | 101.63 - Sewer - Meters    | TRAINING            | 0            | / /        | SUPERIOR              | 5637.00      | 0.00          | 22510              | / /          |                |           | N          | / /      |
|              | 101.63 - Sewer - Meters    | TRAINING            | 0            | / /        | SUPERIOR              | 1295.00      | 0.00          | 22510              | / /          |                |           | N          | / /      |
|              | 635.63 - Sewer -           | TRAINING            | 0            | / /        | SUPERIOR              | 356.00       | 0.00          | 22510              | / /          |                |           | N          | / /      |
|              | 620.61 - Sewer Materials & | SUPPLIES            | 0            | / /        | Tractor Supply        | 8.99         | 0.00          | 22511              | / /          |                |           | N          | / /      |

Account Code Subtotal :

894028.17 0.00

\*\*Total\*\*

894028.17 0.00

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Approved by the State Board of Accounts for City of Westfield Utilities, 2005

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## Accounts Payable Voucher Register

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Water Utility:FEB WATER

| Journal Code                        | Account Number                              | Description | Check Number | Check Date | Vendor Name           | Debit Amount | Credit Amount | APV Invoice Number | Invoice Date | Invoice Number | Fund Name | No Due Pay | Due Date |
|-------------------------------------|---------------------------------------------|-------------|--------------|------------|-----------------------|--------------|---------------|--------------------|--------------|----------------|-----------|------------|----------|
| <b>Account Code : Water Utility</b> |                                             |             |              |            |                       |              |               |                    |              |                |           |            |          |
|                                     | 620.13 - Water - Material & SUPPLIES        |             | 21382        | 02/11/14   | MENARDS               | 268.94       | 0.00          | 22417              | //           |                |           | N          | //       |
|                                     | 650.15 - Water - FUEL                       |             | 21383        | 02/11/14   | Westfield Washington  | 2037.30      | 0.00          | 22418              | //           |                |           | N          | //       |
|                                     | 650.15 - Water - FUEL                       |             | 21384        | 02/11/14   | NORTH CENTRAL         | 1300.00      | 0.00          | 22419              | //           |                |           | N          | //       |
|                                     | 675.15 - Water - Misc TREATMENT PLANT       |             | 21385        | 02/11/14   | SIEMENS PUBLIC INC    | 7399.11      | 0.00          | 22420              | //           |                |           | N          | //       |
|                                     | 224.10 - Water Bonds TREATMENT PLANT        |             | 21385        | 02/11/14   | SIEMENS PUBLIC INC    | 49144.23     | 0.00          | 22420              | //           |                |           | N          | //       |
|                                     | 667.151 - Water - RIVER RD                  |             | 21386        | 02/11/14   | AT&T                  | 387.39       | 0.00          | 22421              | //           |                |           | N          | //       |
|                                     | 667.151 - Water - MONTHLY SERVICE           |             | 21387        | 02/11/14   | FRONTIER              | 196.36       | 0.00          | 22422              | //           |                |           | N          | //       |
|                                     | 636.12 - Lab Testing - LAB TESTING          |             | 21388        | 02/11/14   | Environmental         | 36.00        | 0.00          | 22423              | //           |                |           | N          | //       |
|                                     | 667.155 - Billing Supplies UTILITY BILLS    |             | 21389        | 02/11/14   | WORRELL               | 15.00        | 0.00          | 22424              | //           |                |           | N          | //       |
|                                     | 620.12 - Water - Material & CLAMP, O RINGS  |             | 21390        | 02/11/14   | Werner-Todd Pump Co   | 167.22       | 0.00          | 22425              | //           |                |           | N          | //       |
|                                     | 620.13 - Water - Material & DEGREASER       |             | 21391        | 02/11/14   | USA Blue Book         | 938.12       | 0.00          | 22426              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - FLOOR MATS                 |             | 21392        | 02/11/14   | UNIFIRST              | 62.64        | 0.00          | 22427              | //           |                |           | N          | //       |
|                                     | 667.154 - Water - Office SUPPLIES           |             | 21393        | 02/11/14   | STAPLES BUSINESS      | 86.04        | 0.00          | 22428              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - REPAIRS                    |             | 21394        | 02/11/14   | Northside Garage Door | 68.50        | 0.00          | 22429              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - MONTHLY TICKET FEE         |             | 21395        | 02/11/14   | IUPPS                 | 314.55       | 0.00          | 22430              | //           |                |           | N          | //       |
|                                     | 620.13 - Water - Material & KEY BLANKS      |             | 21396        | 02/11/14   | Haley's Lock Safe &   | 18.00        | 0.00          | 22431              | //           |                |           | N          | //       |
|                                     | 620.13 - Water - Material & TREATMENT       |             | 21397        | 02/11/14   | Grainger              | 481.96       | 0.00          | 22432              | //           |                |           | N          | //       |
|                                     | 630.13 - Water - EMERGENCY CALL             |             | 21398        | 02/11/14   | CULY CONTRACTING      | 735.00       | 0.00          | 22433              | //           |                |           | N          | //       |
|                                     | 620.13 - Water - Material & SUPPLIES        |             | 21399        | 02/11/14   | ACE-PAK PRODUCTS      | 187.44       | 0.00          | 22434              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - CLEAN SEWER PIPE           |             | 21400        | 02/11/14   | ROTO ROOTER           | 203.55       | 0.00          | 22448              | //           |                |           | N          | //       |
|                                     | 625.12 - Water - Repairs - MOTOR REPAIR     |             | 21401        | 02/12/14   | Bastin Logan Water    | 5261.00      | 0.00          | 22449              | //           |                |           | N          | //       |
|                                     | 636.12 - Lab Testing - COLIFORM TESTING     |             | 21402        | 02/12/14   | Environmental         | 372.00       | 0.00          | 22450              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - TEMP HIRE                  |             | 21403        | 02/12/14   | OFFICE TEAM           | 293.87       | 0.00          | 22451              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - PW FEES                    |             | 21404        | 02/12/14   | IDEM                  | 10123.20     | 0.00          | 22452              | //           |                |           | N          | //       |
|                                     | 101.18 - Water Fixed UTILITY RELOCATES      |             | 21405        | 02/12/14   | HNTB- GREAT LAKES     | 2445.20      | 0.00          | 22453              | //           |                |           | N          | //       |
|                                     | 635.15 - Water - FLOOR MATS                 |             | 21406        | 02/12/14   | UNIFIRST              | 114.80       | 0.00          | 22454              | //           |                |           | N          | //       |
|                                     | 667.153 - Water - Utilities MONTHLY SERVICE |             | 21407        | 02/14/14   | Citizens Gas          | 462.15       | 0.00          | 22461              | //           |                |           | N          | //       |
|                                     | 615.11 - Water- Power for MONTHLY SERVICE   |             | 21408        | 02/14/14   | DUKE ENERGY           | 43968.38     | 0.00          | 22462              | //           |                |           | N          | //       |
|                                     | 667.153 - Water - Utilities MONTHLY SERVICE |             | 21408        | 02/14/14   | DUKE ENERGY           | 2454.48      | 0.00          | 22462              | //           |                |           | N          | //       |
|                                     | 667.151 - Water - MONTHLY SERVICE           |             | 0            | //         | VERIZON WIRELESS      | 670.05       | 0.00          | 22482              | //           |                |           | N          | //       |

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# Accounts Payable Voucher Register

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Water Utility:FEB WATER

| Journal Code | Account Number              | Description         | Check Number | Check Date | Vendor Name           | Debit Amount | Credit Amount | APV Invoice Number | Invoice Date | Invoice Number | Fund Name | No Due Pay | Due Date |
|--------------|-----------------------------|---------------------|--------------|------------|-----------------------|--------------|---------------|--------------------|--------------|----------------|-----------|------------|----------|
|              | 667.151 - Water -           | MONTHLY SERVICE     | 0            | //         | FIRST MILE            | 321.73       | 0.00          | 22483              | //           |                |           | N          | //       |
|              | 604.16 - Residual Equity    | WATER LEAK/BROKEN   | 0            | //         | USAUTOMATIC FIRE      | 1884.05      | 0.00          | 22484              | //           |                |           | N          | //       |
|              | 604.16 - Residual Equity    | EMERGENCY WATER /   | 0            | //         | CULY CONTRACTING      | 3994.25      | 0.00          | 22486              | //           |                |           | N          | //       |
|              | 655.15 - Water - Insurance  | MARCH INS           | 21409        | 02/19/14   | LINCOLN NATIONAL      | 51.65        | 0.00          | 22489              | //           |                |           | N          | //       |
|              | 604.16 - Residual Equity    | REPLACEMENT COSTS/  | 21410        | 02/20/14   | ABBOTTS               | 90310.01     | 0.00          | 22491              | //           |                |           | N          | //       |
|              | 101.16 - Water Fixed        | CARD ACCESS SYSTEM  | 0            | //         | ELECTRICAL            | 24990.50     | 0.00          | 22516              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | FINANCIAL SERVICE   | 0            | //         | O W Krohn &           | 13987.50     | 0.00          | 22517              | //           |                |           | N          | //       |
|              | 620.13 - Water - Material & | FUEL                | 0            | //         | NORTH CENTRAL         | 709.02       | 0.00          | 22518              | //           |                |           | N          | //       |
|              | 675.15 - Water - Misc       | REIMB TRAINING      | 0            | //         | MIKE MORGAN           | 37.07        | 0.00          | 22519              | //           |                |           | N          | //       |
|              | 630.13 - Water -            | MAINT CONTRACT FEE  | 0            | //         | USC TANK SERVICE      | 3118.21      | 0.00          | 22520              | //           |                |           | N          | //       |
|              | 620.13 - Water - Material & | OXYGEN              | 0            | //         | INDIANA OXYGEN        | 23.50        | 0.00          | 22521              | //           |                |           | N          | //       |
|              | 620.13 - Water - Material & | AIR PUMP            | 0            | //         | Werner-Todd Pump Co   | 43.36        | 0.00          | 22522              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | REPLACED PULLY SIDE | 0            | //         | Northside Garage Door | 68.50        | 0.00          | 22523              | //           |                |           | N          | //       |
|              | 630.13 - Water -            | LOCATES             | 0            | //         | USIC LOCATING         | 4208.57      | 0.00          | 22524              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | FLOOR MATS          | 0            | //         | UNIFIRST              | 56.02        | 0.00          | 22525              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | FLOOR MATS          | 0            | //         | UNIFIRST              | 58.77        | 0.00          | 22525              | //           |                |           | N          | //       |
|              | 636.12 - Lab Testing -      | LAB TESTING         | 0            | //         | Environmental         | 120.00       | 0.00          | 22526              | //           |                |           | N          | //       |
|              | 625.13 - Water - Repairs -  | REBUILT MOTOR       | 0            | //         | Berry Electric        | 3657.00      | 0.00          | 22527              | //           |                |           | N          | //       |
|              | 620.13 - Water - Material & | STROBE TUBE         | 0            | //         | Grainger              | 191.46       | 0.00          | 22528              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | ANNUAL FEE          | 0            | //         | IN.GOV                | 47.50        | 0.00          | 22529              | //           |                |           | N          | //       |
|              | 620.13 - Water - Material & | STOCK               | 0            | //         | E J Prescott          | 1325.50      | 0.00          | 22530              | //           |                |           | N          | //       |
|              | 631.15 - Water -            | HYDROGEOLOGIC       | 0            | //         | Eagon & Associates    | 269.25       | 0.00          | 22531              | //           |                |           | N          | //       |
|              | 667.154 - Water - Office    | SUPPLIES            | 0            | //         | STAPLES BUSINESS      | 33.60        | 0.00          | 22532              | //           |                |           | N          | //       |
|              | 667.154 - Water - Office    | SUPPLIES            | 0            | //         | STAPLES BUSINESS      | 209.33       | 0.00          | 22532              | //           |                |           | N          | //       |
|              | 667.154 - Water - Office    | SUPPLIES            | 0            | //         | Cave & Company        | 141.50       | 0.00          | 22533              | //           |                |           | N          | //       |
|              | 667.155 - Billing Supplies  | SUPPLIES            | 0            | //         | Cave & Company        | 79.38        | 0.00          | 22533              | //           |                |           | N          | //       |
|              | 635.15 - Water -            | TEMP HIRE           | 0            | //         | OFFICE TEAM           | 71.96        | 0.00          | 22534              | //           |                |           | N          | //       |
|              | 650.15 - Water -            | PARTS               | 0            | //         | NAPA                  | 1395.97      | 0.00          | 22535              | //           |                |           | N          | //       |
|              | 655.15 - Water - Insurance  | MARCH INS           | 21411        | 02/20/14   | DAVIS VISION          | 167.59       | 0.00          | 22537              | //           |                |           | N          | //       |
|              | 655.15 - Water - Insurance  | MARCH INS           | 21412        | 02/20/14   | DELTA DENTAL          | 879.70       | 0.00          | 22538              | //           |                |           | N          | //       |
|              | 101.18 - Water Fixed        | RIDGEWOOD           | 0            | //         | Rieth-Riley           | 22063.80     | 0.00          | 22540              | //           |                |           | N          | //       |

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## Accounts Payable Voucher Register

Grouped by Account Code and Vendor

Sorted by Order Entered

For 02/21/14-Water Utility:FEB WATER

| Journal<br>Code         | Account<br>Number                    | Description  | Check<br>Number | Check<br>Date | Vendor Name     | Debit<br>Amount | Credit<br>Amount | APV Invoice<br>Number Date | Invoice<br>Number | Fund<br>Name | No Due<br>Pay Date |
|-------------------------|--------------------------------------|--------------|-----------------|---------------|-----------------|-----------------|------------------|----------------------------|-------------------|--------------|--------------------|
|                         | 675.15 - Water - Misc                | UNEMPLOYMENT | 21413           | 02/21/14      | Indiana Dept of | 630.00          | 0.00             | 22543 / /                  |                   |              | N / /              |
|                         | 620.13 - Water - Material & SUPPLIES |              | 0               | / /           | Lowes           | 4.72            | 0.00             | 22544 / /                  |                   |              | N / /              |
|                         | 625.12 - Water - Repairs -           | TRAINING     | 0               | / /           | SUPERIOR        | 500.00          | 0.00             | 22545 / /                  |                   |              | N / /              |
|                         | 635.15 - Water -                     | TRAINING     | 0               | / /           | SUPERIOR        | 4246.25         | 0.00             | 22545 / /                  |                   |              | N / /              |
| Account Code Subtotal : |                                      |              |                 |               |                 | 310109.70       | 0.00             |                            |                   |              |                    |
| **Total**               |                                      |              |                 |               |                 | 310109.70       | 0.00             |                            |                   |              |                    |



**Woodland Terrace of Westfield  
Site Location Map / Aerial Photograph**

concept plan

The Bridgewater Apartments

Woodland Terrace of Westfield



Lot 2 - 8.78Ac.±  
Lot 3 - 3.25Ac.±  
12.03Ac.±  
Open Space - 6.97Ac.± (58%)

Total Parking - 199  
(excluding garages and drives)

\* Resident Wellness Center  
leasing office / aquatic center  
fitness center / pub / model apartment



STOEPPELWERTH

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www.stoeppelwerth.com





# Woodland Terrace of Westfield

View from Northeast looking Southwest



View from Northwest looking Southeast



Images are an artistic rendering. Actual colors, architectural details, and landscaping may vary.



# Woodland Terrace of Westfield



Images are an artistic rendering. Actual colors, architectural details, and landscaping may vary.







