CITY OF WESTFIELD, IN

AdvisoryPlanningCommission_Meeting_Agenda_12_16_2019

Monday, December 16, 2019 at 07:00 PM

BOARD OR COMMISSION: **Advisory Plan Commission (APC)**

MEETING DATE: **Monday, December 16, 2019 at 07:00 PM**

MEETING PLACE: **Westfield City Hall, 130 Penn Street, Westfield, IN 46074**

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION

OPENING OF MEETING

Note the Presence of a Quorum

Approval of Minutes - December 2, 2019

Documents: APC Minutes - December 2, 2019

Review APC Rules & Procedures

CONSENT AGENDA

No Consent Agenda Items

ITEMS OF BUSINESS

1912-ODP-22 & 1912-SPP-22
Atwater
North of the intersection of Casey Road & 193rd Street
Olthof Homes, LLC by Nelson & Frankenberger requests Overall Development Plan and Primary Plat review of 275 Lots on approximately 100 acres +/- in the Atwater PUD District.
(Planner: Jonathan Dorsey - JDorsey@westfield.in.gov)
Documents: Exhibit 1: Staff Report | Exhibit 2: Location Map | Exhibit 3: Overall Development Plan and Primary Plat

PUBLIC HEARING ITEMS
No Public Hearing Items

ITEMS CONTINUED TO A FUTURE MEETING

1912-PUD-44
Links PUD
SE Corner of 191st Street & Tomlinson Road, approximately
Edgerock Development, LLC requests the rezoning of 68 acres +/- from the AG-SF1: Agriculture/Single-Family Rural district to the Links PUD District.
(Planner: Daine Crabtree - DCrabtree@westfield.in.gov)

REPORTS/COMMENTS

Advisory Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Community Development Department

ADJOURNMENT

Petition Number:	1912-ODP-23, 1912-SPP-23
Project Name:	Atwater
Subject Site Address:	North of the intersection of 193rd Street and Casey Road
Petitioner:	Olthof Homes, LLC
Representative:	Nelson & Frankenberger
Request:	Olthof Homes, LLC by Nelson & Frankenberger requests a Primary Plat and Overall Development Plan review of 275 Lots on approximately 100 acres +/- in the Atwater PUD District.
Current Zoning:	Atwater PUD
Current Land Use:	Agricultural / Vacant
Approximate Acreage:	100 +/-
Property History:	Atwater PUD Ord. 19-32 (October 14, 2019)
Exhibits:	1. Staff Report 2. Location Map 3. Overall Development Plan & Primary Plat
Staff Reviewer:	Jonathan Dorsey, Associate Planner

BACKGROUND

The Property is currently zoned the Atwater PUD District established by Ordinance 19-32.

To the extent provisions established within the UDO conflict with the provisions of the PUD, then the provisions of the PUD shall supersede and apply.

The comments contained herein were in review of the filed Overall Development Plan and Primary Plat (the "plans") scheduled for the November 19, 2019, Technical Advisory Committee meeting.

PROCEDURAL

Approval of an Overall Development Plan and Primary Plat must be granted if the submitted plans demonstrate compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

The petition was reviewed by the Technical Advisory Committee at its November 19, 2019, meeting. This petition has been properly noticed for a public hearing at the Plan Commission's December 2, 2019, meeting.

PROJECT OVERVIEW

Location: The Property encompasses approximately 100 acres +/- and is located west of Six Points Road, North and adjacent to the intersection of 193rd Street and Casey road (see **Exhibit 2**). The Property is currently zoned the Atwater PUD District. The Adjacent properties to the north and west are zoned within the AG-SF1: Agricultural / Single-Family Rural. Adjacent properties to the east are zoned Osborne Trails PUD. Adjacent properties to the south are zoned AG-SF1 and the Spring Mill Trails PUD District.

PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)

The plans comply:

a) Primary Plat: The following basic information shall be shown on the Primary Plat (unless otherwise provided on an accompanying Overall Development Plan (see also Article 10.7 Development Plan Review)), which shall be prepared by a land surveyor or planner:

i) Proposed name of the subdivision.

ii) Names and addresses of the owner, owners, land surveyor or land planner.

iii) Title, scale, north point and date.

iv) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.

v) Easements (locations, widths and purposes).

vi) Statement concerning the location and approximate size or capacity of utilities to be installed.

vii) Layout of Lots (showing dimensions, numbers and square footage).

viii) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.

ix) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).

x) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.

xi) Building setback lines.

xii) Legend and notes.

xiii) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.

xiv) Other features or conditions which would affect the subdivision favorable or adversely.

xv) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.

xvi) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.

xvii) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.

xviii) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.

xix) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.

b) Covenants and Restrictions: The Plan Commission or Director may request a description of the proposed or recorded protective covenants or private restrictions if they are to be cross-referenced or incorporated on the plat of the subdivision or if they otherwise

establish or grant rights related to the plat (e.g., easements). Covenants and restrictions may not independently lessen any requirement of this Ordinance or revise, alter, or change in any way any aspect of an approved plat without approval of the Director of Plan Commission.

Development Plan Review (Article 10.7 of UDO)

The plans comply, as applicable to an Overall Development Plan.

2) Overall Development Plan: The purpose of the Overall Development Plan is to preliminarily divide property into Lots, Blocks or Common Area and to ensure compliance with the standards of this Ordinance with regard to Lots (e.g., size, access, general building envelopes), common areas (e.g., perimeter landscaping, shared signage) and shared infrastructure (e.g., drives, streets, cross-access, utilities, drainage). An Overall Development Plan does not include the review of the site layout or building design of individual building Lots; rather, it is intended to generally review Lots, common areas, public spaces and shared infrastructure so that adequate consideration is given to ensure a coordinated development prior to subdividing the property.

3) Development Plan Review Criteria: Development plans shall comply with and be reviewed be the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

a. Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.

b. Compliance with all applicable provisions of any Overlay District in which the real estate is located.

c. Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:

   i. The design and location of proposed street and highway access points shall minimize safety hazards and congestion.

   ii. The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.

iii. The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.

d. The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

4) Application Documentation and Supporting Information

e. Development Plan Scope: An Overall Development Plan shall include those details applicable to the overall development, shared or common areas, shared infrastructure, and other areas deemed appropriate by the Director or Plan Commission in order that adequate consideration is given to ensure a coordinated development prior to subdividing the property. A Detailed Development Plan shall include all details specific to the individual Lot that is the subject of the application.

f. General Plan Requirements

i. Scale not more than 1”=100’

ii. Title, scale, north arrow and date.

iii. Proposed name of the development.

iv. Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property;

v. Address and legal description of the property.

vi. Boundary lines of the property including all dimensions.

vii. Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.

viii. Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.

ix. Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.

x. All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.

xi. Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements;

xii. Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.

xiii. Location and dimensions of all existing structures and paved areas.

xiv. Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).

xv. Location of all Floodplain areas within the boundaries of the property.

xvi. Names of legal ditches and streams on or adjacent to the site.

xvii. Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.

xviii. Identify buildings proposed for demolition.

xix. Areas of the property reserved for Development Amenities, Open Space and other similar uses.

xx. Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

xxi. Label Building Separation and/or Building Setback Lines in relation to Front, Rear and Side Lot Lines.

Development Standards UDO and Atwater PUD (Ord. 19-32)

The plans comply.

5) Concept Plan and Illustrative Plan (Section 3 of Ord. 19-32):

   a) The Concept Plan and Illustrative Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan. The Real Estate shall be developed in substantial compliance with the Concept Plan and Illustrative Plan.

Zoning District (Chapter 4 of UDO and Section 4 of Ord. 19-32)

6) Permitted Uses (Section 5 of Ord. 19-32):

7) Standard Lot Regulations (Section 6 of Ord. 19-32 and UDO Article 4.6)

   a) Minimum Lot Area:

Area A:	6,850 sq ft
Area B:	8,700 sq ft
Area C:	5,600 sq ft

   b) Minimum Lot Width:

Area A:	55 ft
Area B:	70 ft
Area C:	45 ft

   c) Minimum Lot Frontage:

All Areas:	35 ft

   d) Minimum Building Setback Lines:

      i) Front Yard:

Area A:	25 ft
Area B:	25 ft
Area C:	25 ft

      ii) Side Yard:

Area A:	5 ft
Area B:	6 ft

Area C: 5 ft

iii) Rear Yard:

Area A: 20 ft

Area B: 20 ft

Area C: 20 ft

e) Maximum Building Height:

Area A: 1 ½ Stories

Area B: 2 ½ Stories

Area C: 1 Story

Development Standards (Chapter 6 and Section 7 of Ord. 19-32)

8) Accessory Use and Building Standards (Article 6.1): Shall apply with following modifications.

9) Architectural Standards (UDO Article 6.3)

10) Building Standards (Article 6.4)

11) Height Standards (Article 6.6)

12) Landscaping Standards (UDO Article 6.8 and Section 7.2 of Ord. 19-32): UDO shall apply, except as otherwise modified or enhanced below.

a) Foundation Plantings (Article 6.8(L))

b) External Street Frontage Landscaping Requirements (Article 6.8(M))

c) Buffer Yard Article 6.8(N).

d) Perimeter Drainage and Utility Easements.

e) Sign Standards (Article 6.17)

Design Standards (Chapter 8 and Section 9 of Ord. 19-32)

24) Block Standards (Article 8.1)

25) Easement Standards (Article 8.3)

26) Monument and Marker Standards (Article 8.5)

27) Open Space and Amenity Standards (Article 8.6)

28) Pedestrian Network Standards (Article 8.7)

a) All concrete sidewalk, asphalt path, and crosswalk improvements shall be constructed per the City's Construction Standards (see Article 7.3 Principles and Standards of Design) and comply with requirements of the Americans with Disabilities Act (ADA), as amended.

b) Curb ramps for handicapped accessibility shall be provided at all intersections of Streets, Alleys, and drives (not including individual residential Driveways) and comply with ADA requirements. Curb ramps shall not be permitted in Driveways.

c) When a sidewalk, pedestrian path, jogging path, and/or bicycle way crosses a Street intersection with an Arterial within or adjacent to a development, then safety devices (i.e. painted crosswalks, signs, or other traffic control devices) shall be installed at the Developer's expense as deemed appropriate by the Public Works Department. The Director or Plan Commission may require crosswalks to be marked at other intersections or pedestrian-crossing points as may be deemed appropriate. All traffic control devices shall comply with guidelines and requirements of the current edition of the Indiana Manual on Uniform Traffic Control Devices.

d) Internal Pedestrian Network Standards: The minimum sidewalk width shall be as indicated in the Thoroughfare Plan or five (5) feet (six (6) feet if immediately abutting the curb), whichever is greater.

i. Sidewalks shall be required on both sides of internal Streets and internal Private Streets in all developments.

ii. When a proposed development lies between or adjacent to existing developments which have been provided with sidewalks, connecting sidewalks or pathways (which are extensions of the existing sidewalks) shall be constructed.

iii. Connector sidewalks shall be provided from the sidewalk or path adjacent to the Street to the front entrance of all non-residential structures. Where the sidewalk intersects driving lanes or parking aisles within the Parking Area, then crosswalks and ramps shall be installed in accordance with ADA requirements and such areas shall be delineated (e.g., pavers, stamped, bricked), as determined by the Plan Commission or Director, to reinforce pedestrian safety.

e) Perimeter/External Pedestrian Network Standards: All developments shall participate in the establishment or improvement to the pedestrian network along Streets adjacent to its perimeter in accordance with the following: Where a proposed Development Plan or Subdivision abuts an existing Right-of-way, then pedestrian paths, jogging paths, and bicycle paths shall be provided along the perimeter Street(s) or Private Street(s) in accordance with the Thoroughfare Plan. The type of pedestrian facility required shall be as set forth in the Thoroughfare Plan.

i. Generally, all required pedestrian facility improvements shall be located within the Right-of-way. Required improvements located outside of the Right-of-way shall be located within an easement approved by the Director or Public Works Department.

ii. The Plan Commission or Director may require Developers, at their expense, to construct off-site pedestrian facilities adjacent to the proposed development to respond to the proposed development's impact and infrastructure demands (see also Article 8.9 Street and Right-of-Way Standards as it may apply).

29) Storm Water Standards (Article 8.8)

30) Streets and Right-of-Way Standards (Article 8.9)

31) Street Light Standards (Article 8.10)

32) Street Sign Standards (Article 8.11)

Surety Standards (Article 8.12)

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply:

1) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.

2) Compliance with all applicable provisions of any Overlay District in which the real estate is located.

3) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:

a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.

b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.

c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.

4) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DEPARTMENT COMMENTS

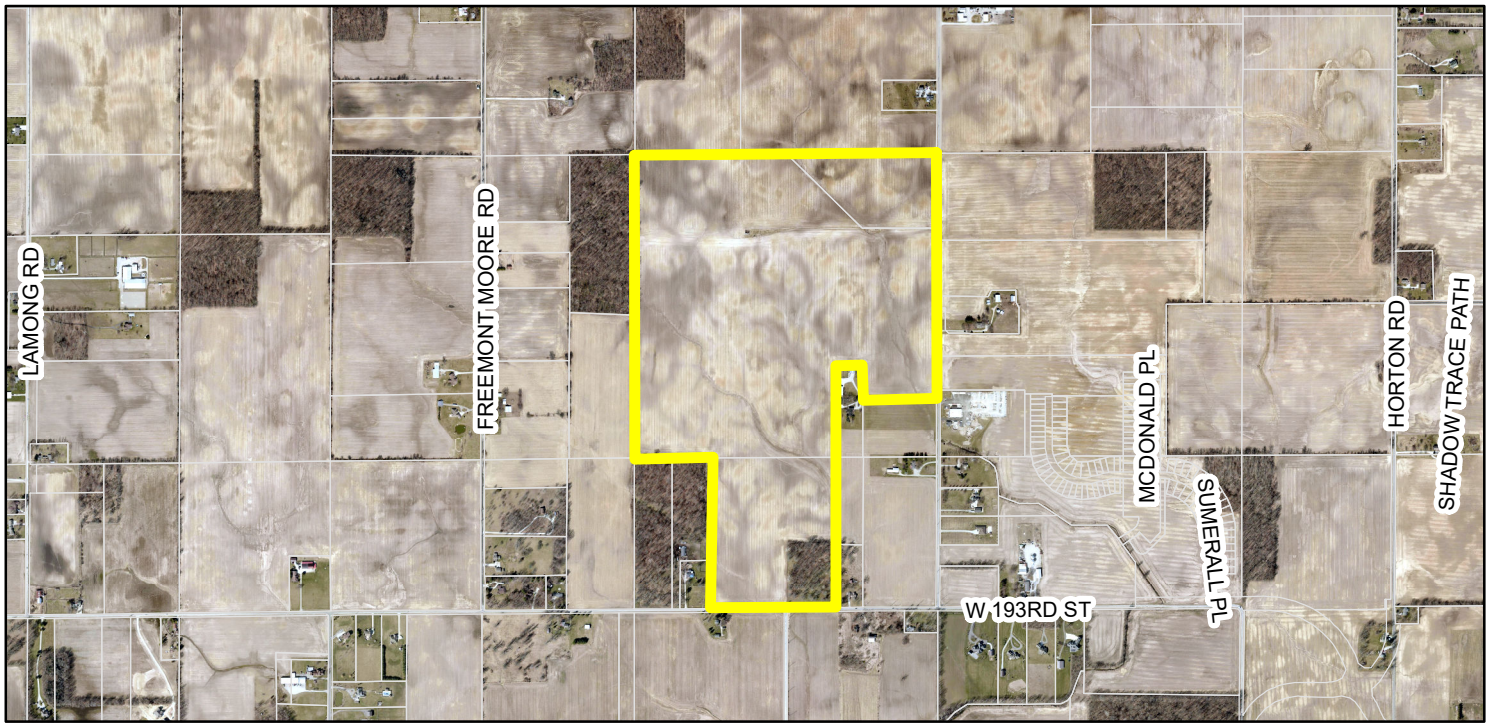
1) **Action: 1912-SPP-23 & 1912-ODP-23 comply with the Atwater PUD and the UDO. The Department recommends approving the petition with the following condition:**
   - **All necessary approvals be obtained from the Westfield Public Works Department and Hamilton County Surveyor's Office prior to the issuance of an improvement location permit.**
2) If any Plan Commission member has questions prior to the public hearings, then please contact Jonathan Dorsey at 463-221-8375 or jdorsey@westfield.in.gov.

Property Location Map
Atwater
Primary Plat and Overall Development Plan
1912-SPP-23 & 1912-ODP-23

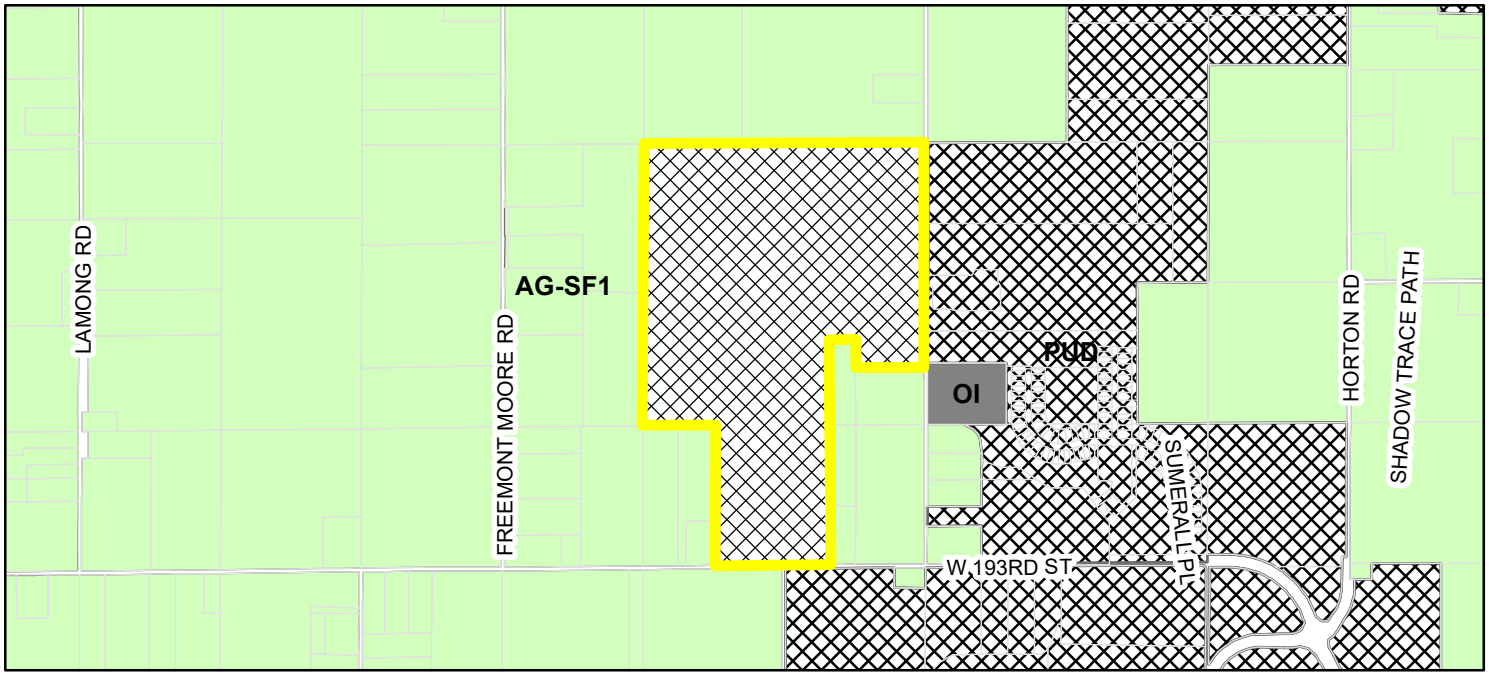
N
W E
S
Not To Scale

Aerial Location Map

Site



Zoning Map



Parcel

Zoning - All

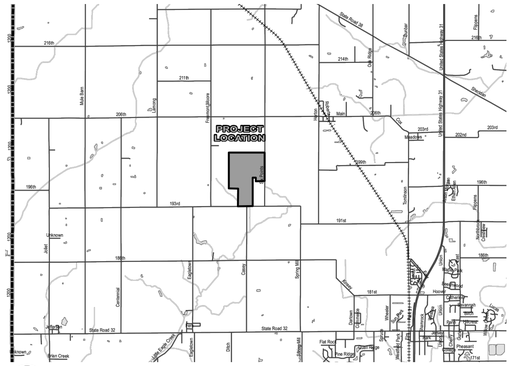
Zoning

- AG-SF1 (Agriculture - Single Family - 1)
- OI (Open Industrial)
- PUD (Planned Unit Development)

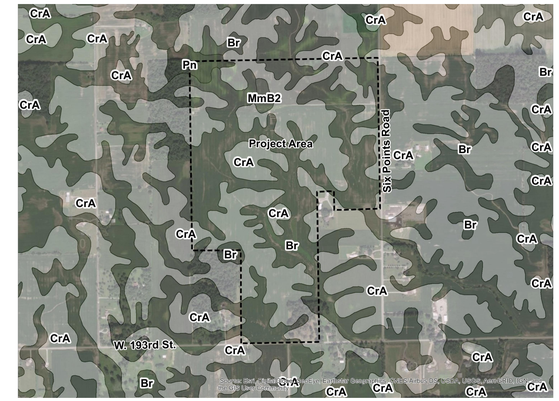
ATWATER
PRIMARY PLAT / DEVELOPMENT PLAN

Oltof Homes, LLC

CONTACT: ED RECKTENWALL
8051 Wicker Avenue, Suite A
St. John, IN 46373



LOCATION MAP
SCALE 1"= 1/2 MILE



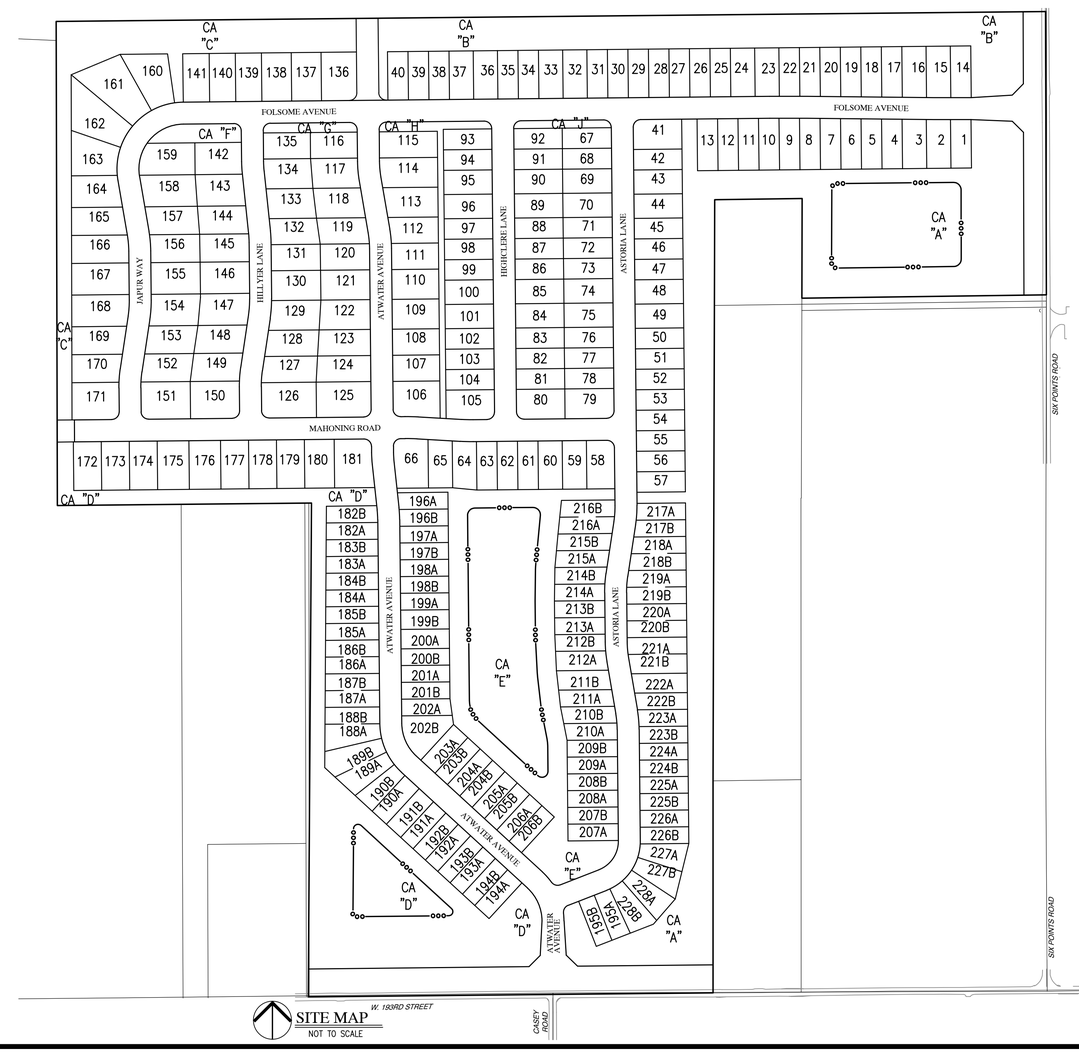
SOILS MAP
NOT TO SCALE

SOILS LEGEND

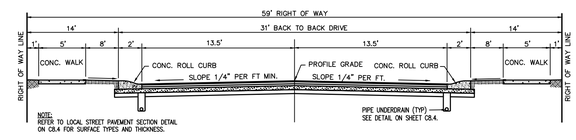
Br	Brookstone silty clay loam, 0 to 2 percent slopes
CrA	Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes
MmB2	Miami silt loam, 2 to 6 percent slopes, eroded

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1-C1.1A	OVERALL SITE PLAN
C1.2-C1.7	PRIMARY PLAT PLAN
C1.8-C1.9	EXISTING CONDITIONS & DEMOLITION PLAN
C1.10-C1.15	DEVELOPMENT PLAN
C1.16	OVERALL OPEN SPACE PLAN
L1.0-L1.5	LANDSCAPE PLAN
L1.6-L1.7	LANDSCAPE DETAILS



SITE MAP
NOT TO SCALE



TYPICAL STREET CROSS SECTION
NOT TO SCALE

DEVELOPMENT STANDARDS
ATWATER
ZONING: ATWATER PUD (-, 2019)
LOTS: 275
DISTRICT A, B, C

Standard	Area A	Area B	Area C
Minimum Lot Area	6,850sqft	8,700sqft	5,600sqft
Minimum Lot Frontage	35'	35'	35'
Minimum Building Setback			
Front Yard	25'	25'	25'
Side Yard	5'	6'	5'
Rear Yard	20'	20'	20'
Minimum Lot Width	55'	70'	45'
Maximum Building Height	1 ½ Stories	2 ½ Stories	1 Stories
Maximum Dwelling Units Per Building	1	1	2
Minimum Living Area (Total)			
Single Story	1,400sqft	1,900sqft	1,300sqft
Two Story	N/A	2,000sqft	N/A

PREPARED BY:
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
P: 317-347-3663

LEGAL DESCRIPTION

Part of the Southwest Quarter of Section 22 and part of the Northwest Quarter of Section 27, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, as depicted on an original boundary survey prepared by Michael G. Judt, Professional Surveyor Number 21500017, HWC Engineering Job Number 2019-157, dated June 13, 2019, more particularly described as follows:

BEGINNING at the southeast corner of the Northwest Quarter of said Northwest Quarter of said Section 27, marked by a Harrison monument; thence South 89 degrees 24 minutes 00 seconds West (grid bearing based upon InGCS "Hamilton" Zone) along the south line of said Northwest Quarter of said Northwest Quarter a distance of 657.72 feet to the southerly extension of a north-south fence line; thence North 00 degrees 22 minutes 26 seconds East along said extension and said fence line a distance of 1325.40 feet to the south line of the Southwest Quarter of said Section 22; thence South 89 degrees 25 minutes 51 seconds West along said south line a distance of 681.92 feet to the southwest corner of said Southwest Quarter, marked by a 5/8-inch rebar with cap stamped "DLDS 0064"; thence North 00 degrees 08 minutes 17 seconds West along the west line of said Southwest Quarter a distance of 1299.34 feet to a 5/8-inch rebar with cap stamped "HWC ENGINEERING FIRM #0114"; thence North 89 degrees 25 minutes 51 seconds East a distance of 2654.48 feet (passing through a 5/8-inch rebar with cap stamped "HWC ENGINEERING FIRM #0114" at a distance of 2604.48 feet) to the east line of said Southwest Quarter; thence South 00 degrees 09 minutes 34 seconds East along said east line a distance of 760.18 feet to the northeast corner of a 4.58-acre tract of land as described in Instrument Number 200600053225 in the Office of the Recorder of Hamilton County, Indiana, the following four (4) courses being along the north, east, and west lines of said tract; (1) South 89 degrees 13 minutes 40 seconds West a distance of 655.94 feet; (2) North 00 degrees 10 minutes 13 seconds East a distance of 267.50 feet; (3) South 89 degrees 13 minutes 40 seconds West a distance of 234.54 feet; (4) South 00 degrees 10 minutes 13 seconds West along said west line and the west line of a 4.08-acre tract as described in Deed Book 296, page 391 in said Recorder's Office a distance of 1559.75 feet to the southwest corner of said 4.08-acre tract; thence South 00 degrees 00 minutes 26 seconds East along the west line of a 3.06-acre tract as described in Instrument Number 2018050192 in said Recorder's Office a distance of 568.92 feet to the south line of the Northeast Quarter of said Northwest Quarter of said Section 27; thence South 89 degrees 27 minutes 18 seconds West along said south line a distance of 428.26 feet to the POINT OF BEGINNING, containing 99.656 acres, more or less.

UTILITY CONTACT INFORMATION:

DUKE ENERGY (ELECTRIC)
BILL OLDHAM
100 SOUTH MILL CREEK ROAD
NOBLESVILLE, INDIANA 46062
P: 317-776-5331
WILLIAM.OLDHAM@DUKE-ENERGY.COM

CITIZENS GAS OF WESTFIELD (GAS)
RICHARD MILLER
2150 DR. MARTIN LUTHER KING JR. ST.
INDIANAPOLIS, INDIANA 46202
P: (317) 927-4684
MILLER@CITIZENSENERGYGROUP.COM

INDIANA GAS / VECTREN
CHAD MILLER
P.O. BOX 1700
NOBLESVILLE, INDIANA 46061
P: (317) 776-5550
CRMILLER@VECTREN.COM

CITIZENS WASTEWATER OF WESTFIELD, LLC (SEWER)
BRANDON CARTER
2150 DR. MARTIN LUTHER KING JR. ST.
INDIANAPOLIS, INDIANA 46202
P: (317) 263-6456
BCARTER@CITIZENSENERGYGROUP.COM

CITIZENS WESTFIELD (WATER)
BRANDON CARTER
2150 DR. MARTIN LUTHER KING JR. ST.
INDIANAPOLIS, INDIANA 46202
P: (317) 263-6456
BCARTER@CITIZENSENERGYGROUP.COM

COMCAST CABLE (CABLE)
EARL SMALL JR.
533 EAST 65TH STREET
INDIANAPOLIS, INDIANA 46220
P: (317) 275-6493
C: (317) 491-2432
EARL.SMALL@CABLE.COMCAST.COM

FRONTIER COMMUNICATION (TELECOM)
STEVE COSTILOW
20905 HAGUE ROAD
NOVLESVILLE, INDIANA 46060
P: (317) 987-9010
STEVE.COSTILOW@FTR.COM

Indiana 811
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
Call 811 or 800-382-5544 Before you Dig!

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA

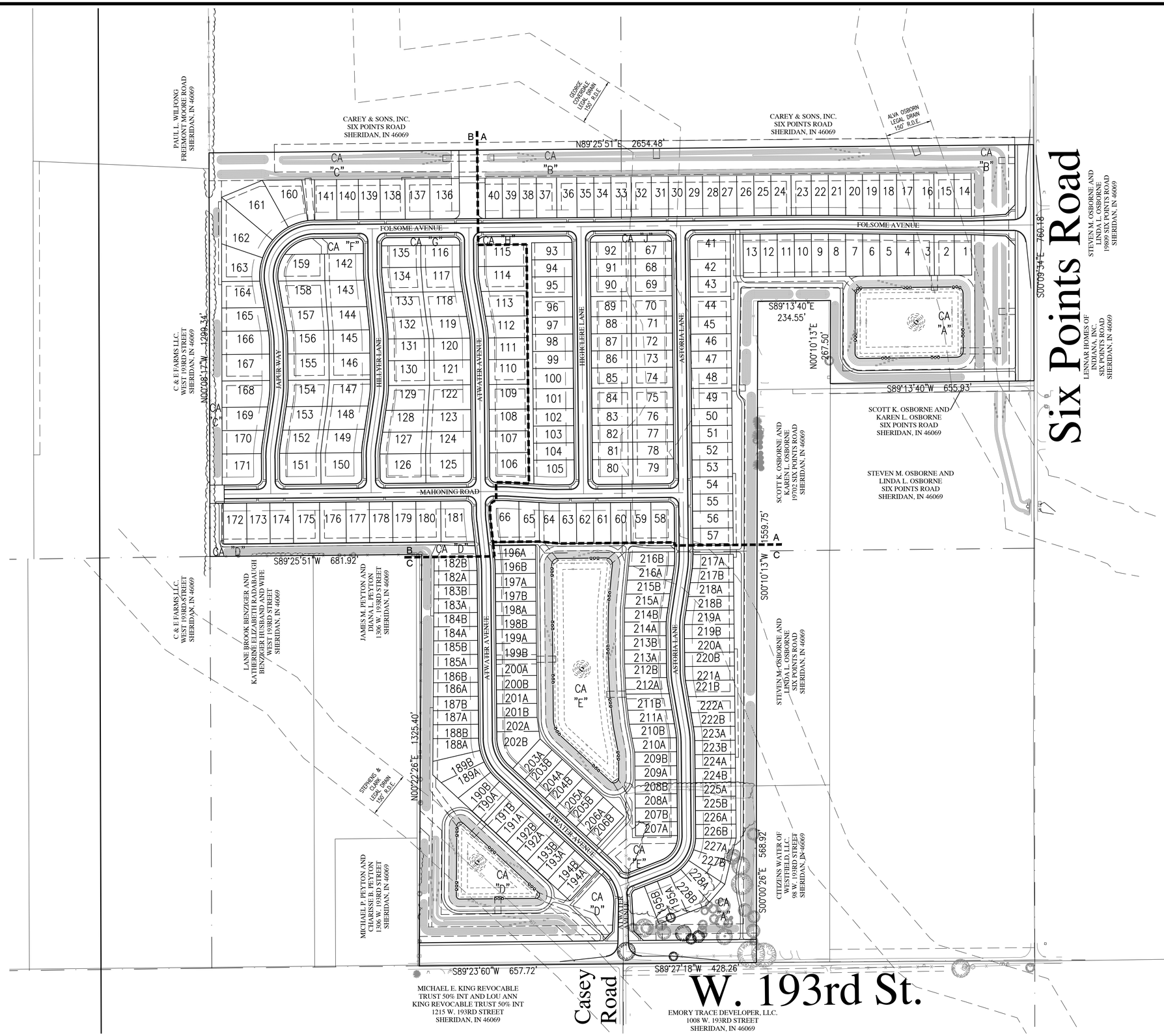
COVER

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN
REGISTERED
No. PE11700154
STATE OF INDIANA

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.0 COVER	

© 2019

Plot Date: Dec 06, 2019 Plot Time: 9:44am File Name: W:\Oltof Homes\2019-157-S Oltof- Carey Property\Design\CAD\19157.PP - Cover Sheet.dwg, Layout: C1.0 By: tdavis



Indiana 811
KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.

Call 811 or 800-382-5544 Before you Dig!

GRAPHIC SCALE

0' 150' 300' 450'

(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	TREE LINE	

ABBREVIATIONS:

C.A. – COMMON AREA
25 – LOT NUMBER

LEGAL DESCRIPTION

Part of the Southwest Quarter of Section 22 and part of the Northwest Quarter of Section 27, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, as depicted on an original boundary survey prepared by Michael G. Judt, Professional Surveyor Number 21500017, HWC Engineering Job Number 2019-157, dated June 13, 2019, more particularly described as follows:

BEGINNING at the southeast corner of the Northwest Quarter of said Northwest Quarter of said Section 27, marked by a Harrison monument; thence South 89 degrees 24 minutes 00 seconds West (grid bearing based upon InGCS "Hamilton" Zone) along the south line of said Northwest Quarter a distance of 657.72 feet to the southerly extension of a north-south fence line; thence North 00 degrees 22 minutes 26 seconds East along said extension and said fence line a distance of 1325.40 feet to the south line of the Southwest Quarter of said Section 22; thence South 89 degrees 25 minutes 51 seconds West along said south line a distance of 681.92 feet to the southwest corner of said Southwest Quarter, marked by a 5/8-inch rebar with cap stamped "DLDS 0064"; thence North 00 degrees 08 minutes 17 seconds West along the west line of said Southwest Quarter a distance of 1299.34 feet to a 5/8-inch rebar with cap stamped "HWC ENGINEERING FIRM #0114"; thence North 89 degrees 25 minutes 51 seconds East a distance of 2654.48 feet (passing through a 5/8-inch rebar with cap stamped "HWC ENGINEERING FIRM #0114" at a distance of 2604.48 feet) to the east line of said Southwest Quarter; thence South 00 degrees 09 minutes 34 seconds East along said east line a distance of 760.18 feet to the northeast corner of a 4.58-acre tract of land as described in Instrument Number 200600053225 in the Office of the Recorder of Hamilton County, Indiana, the following four (4) courses being along the north, east, and west lines of said tract; (1) South 89 degrees 13 minutes 40 seconds West a distance of 655.94 feet; (2) North 00 degrees 10 minutes 13 seconds East a distance of 267.50 feet; (3) South 89 degrees 13 minutes 40 seconds West a distance of 234.54 feet; (4) South 00 degrees 10 minutes 13 seconds West along said west line and the west line of a 4.08-acre tract as described in Deed Book 296, page 391 in said Recorder's Office a distance of 1559.75 feet to the southwest corner of said 4.08-acre tract; thence South 00 degrees 00 minutes 26 seconds East along the west line of a 3.06-acre tract as described in Instrument Number 2018050192 in said Recorder's Office a distance of 568.92 feet to the south line of the Northeast Quarter of said Northwest Quarter of said Section 27; thence South 89 degrees 27 minutes 18 seconds West along said south line a distance of 428.26 feet to the POINT OF BEGINNING, containing 99.656 acres, more or less.

SEE SHEET C1.0 FOR ZONING STANDARDS.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN
REGISTERED
No. PE11700157
STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.1 OVERALL SITE PLAN	

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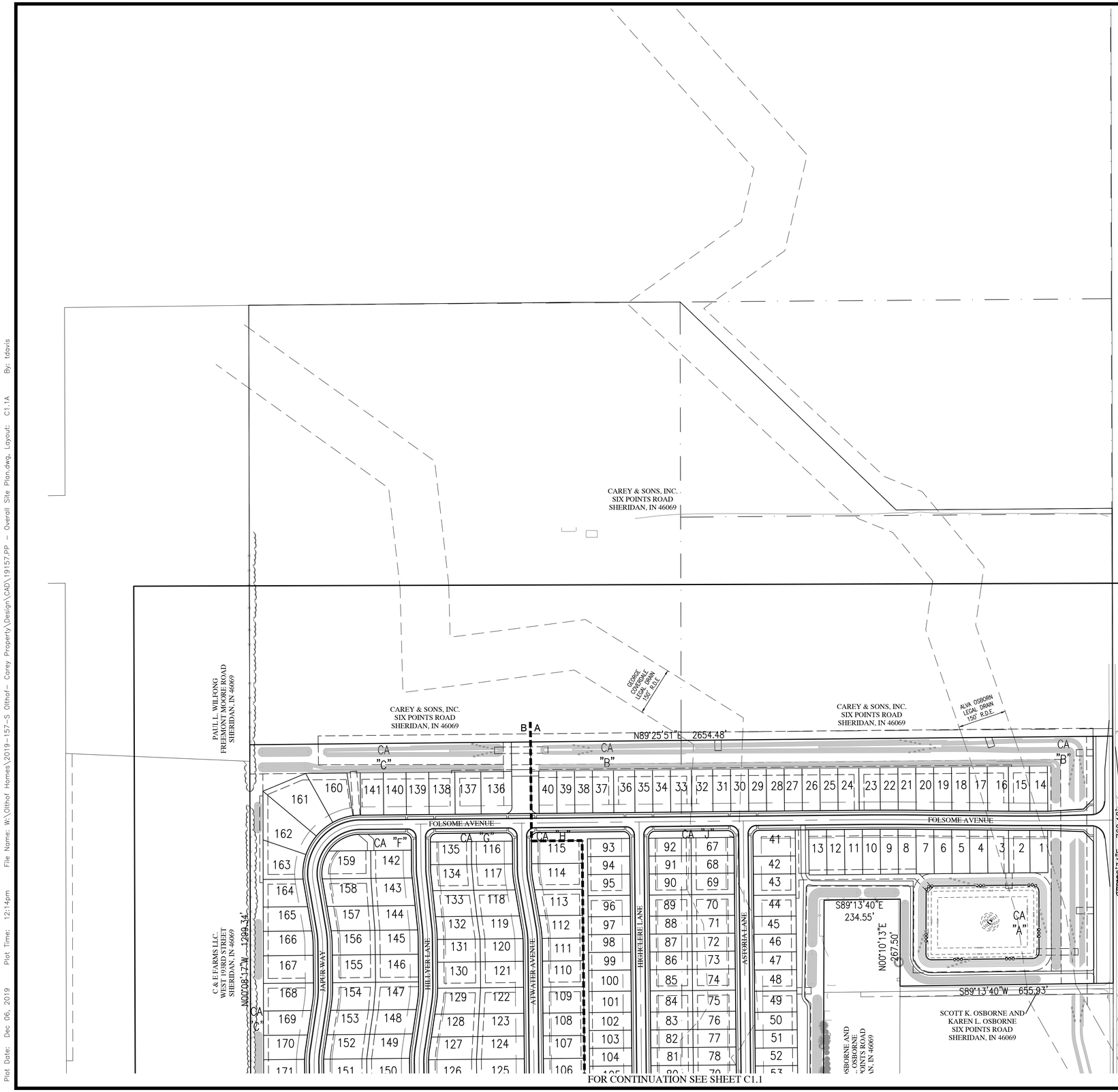
Plot Date: Dec 05, 2019 Plot Time: 5:23pm File Name: W:\Olthof Homes\2019-157-S Olthof- Carey Property\Design\CAD\19157PP - Overall Site Plan.dwg, Layout: C1.1 By: tdavis



Indiana 811
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CALL BEFORE YOU DIG.

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GRAPHIC SCALE

0' 150' 300' 450'

(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	TREE LINE	

ABBREVIATIONS:

C.A. – COMMON AREA
25 – LOT NUMBER

LEGAL DESCRIPTION

Part of the Southwest Quarter of Section 22 and part of the Northwest Quarter of Section 27, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, as depicted on an original boundary survey prepared by Michael G. Judt, Professional Surveyor Number 21500017, HWC Engineering Job Number 2019-157, dated June 13, 2019, more particularly described as follows:

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THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA

OVERALL SITE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	

SHEET
C1.1A
OVERALL SITE PLAN

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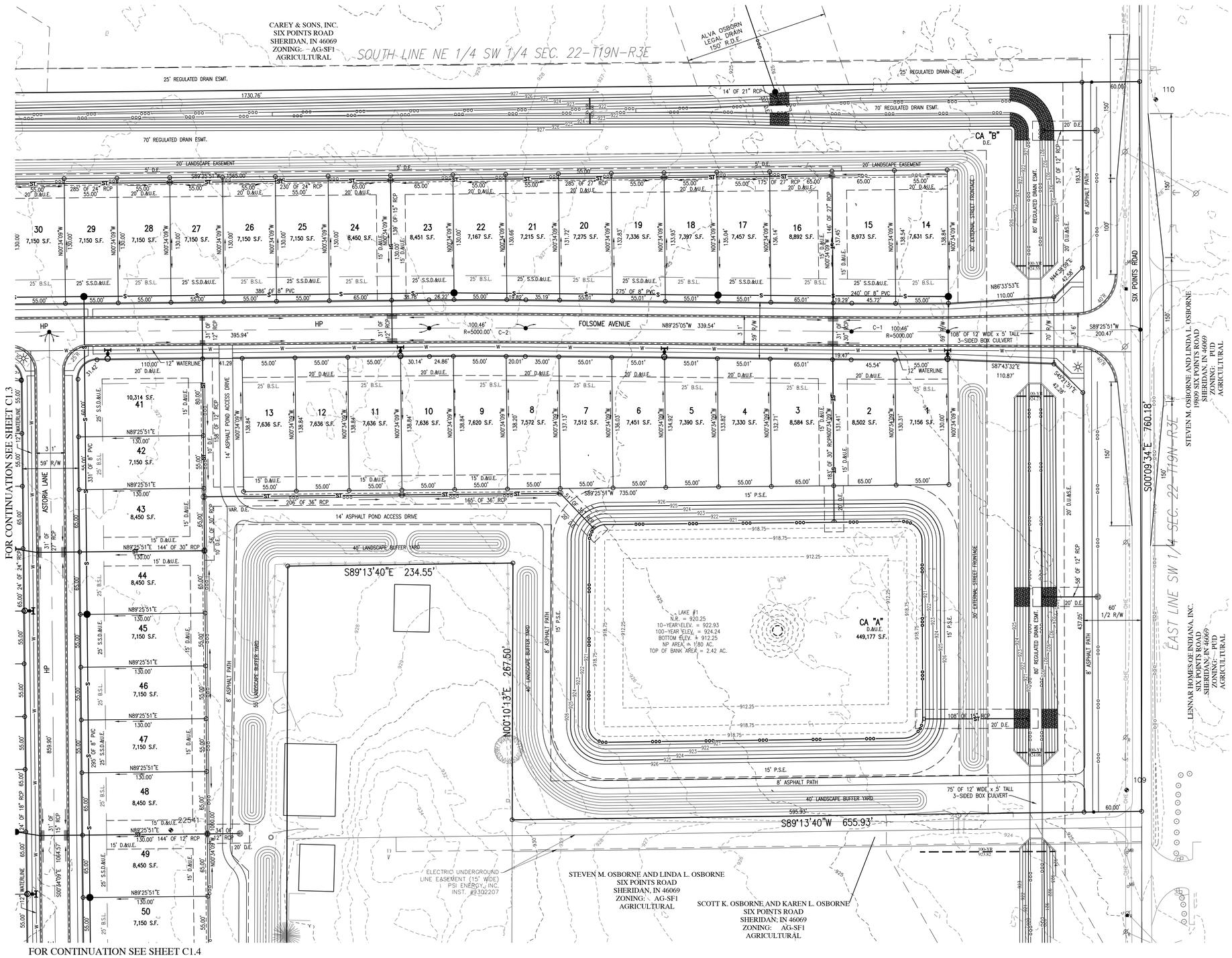
Plot Date: Dec 06, 2019 Plot Time: 12:14pm File Name: W:\Olthof Homes\2019-157-S Olthof- Carey Property\Design\CAD\19157.PP - Overall Site Plan.dwg, Layout: C1.1A By: tdavis



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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
	FENCE	
	TREE LINE	
S	SANITARY MANHOLE	
ST	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
N/A	FLOW ARROW	
	STREET LIGHT	
	6" X 6" VEHICLE BARRIER POST	

ABBREVIATIONS:

BC	– BACK OF CURB
CL	– CENTERLINE
FL	– FLOW LINE
NP	– NORMAL POOL (ELEVATION)
PVC	– POLYVINYL CHLORIDE PIPE
RCP	– REINFORCED CONCRETE PIPE
C.A.	– COMMON AREA
D.E.	– DRAINAGE EASEMENT
S.S.D.&U.E.	– SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
D.&U.E.	– DRAINAGE AND UTILITY EASEMENT
P.S.E.	– PERPETUAL STORMWATER EASEMENT
P.A.E.	– PEDESTRIAN ACCESS EASEMENT
ESMT.	– EASEMENT
25	– LOT NUMBER
B.S.L.	– BUILDING SETBACK LINE
S.F.	– SQUARE FEET
R/W	– PUBLIC RIGHT-OF-WAY

FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.7.

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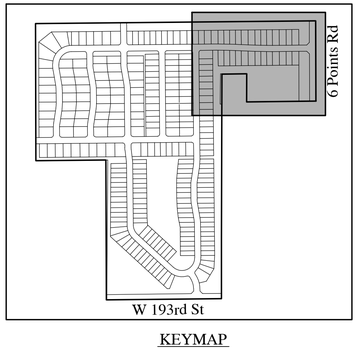

KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN
REGISTERED
No. PE11700015
STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.2 PRIMARY PLAT PLAN	

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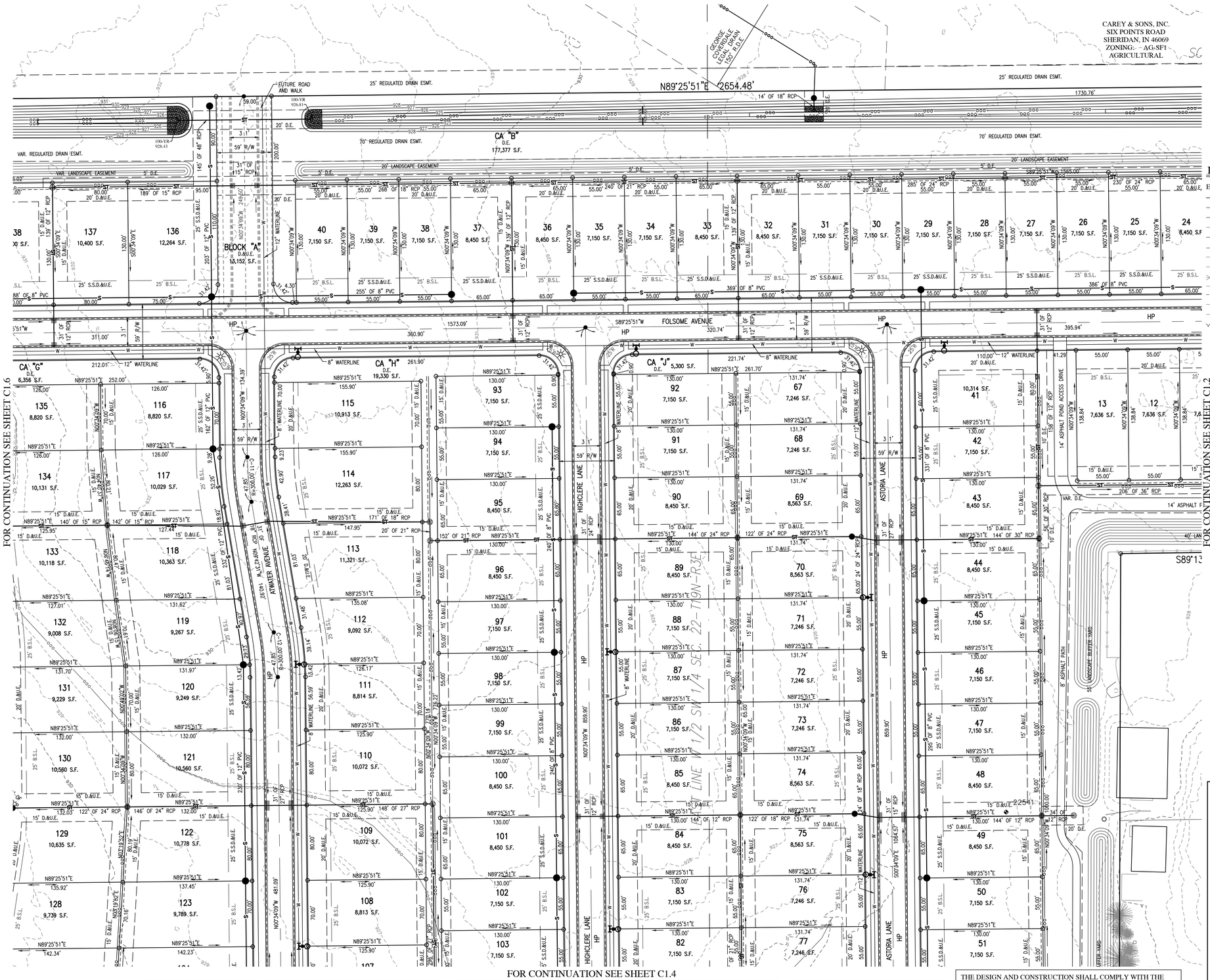

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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM CULVERT	
	WATER MAIN	
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
	FENCE	
	TREE LINE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
N/A	FLOW ARROW	
	STREET LIGHT	
	6" X 6" VEHICLE BARRIER POST	

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S.F.	– SQUARE FEET
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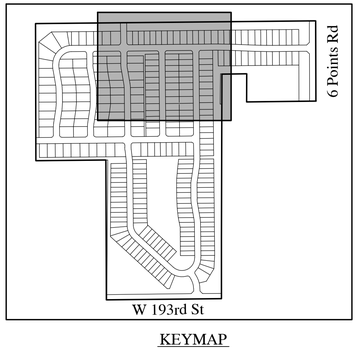

KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700015 STATE OF INDIANA

DRAWN BY TD/KS	JOB NUMBER 2019–157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	

SHEET
C1.3
PRIMARY PLAT PLAN

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FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.7.

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
	FENCE	
	TREE LINE	
(S)	SANITARY MANHOLE	
(ST)	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
N/A	FLOW ARROW	
	STREET LIGHT	
	6" X 6" VEHICLE BARRIER POST	

ABBREVIATIONS:

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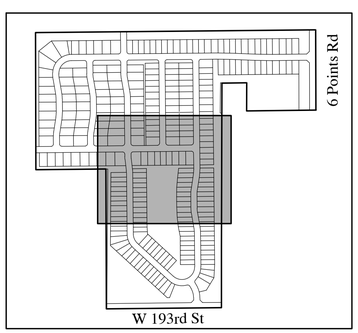

KEYMAP
NOT TO SCALE

REVISIONS		
DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.4 PRIMARY PLAT PLAN	

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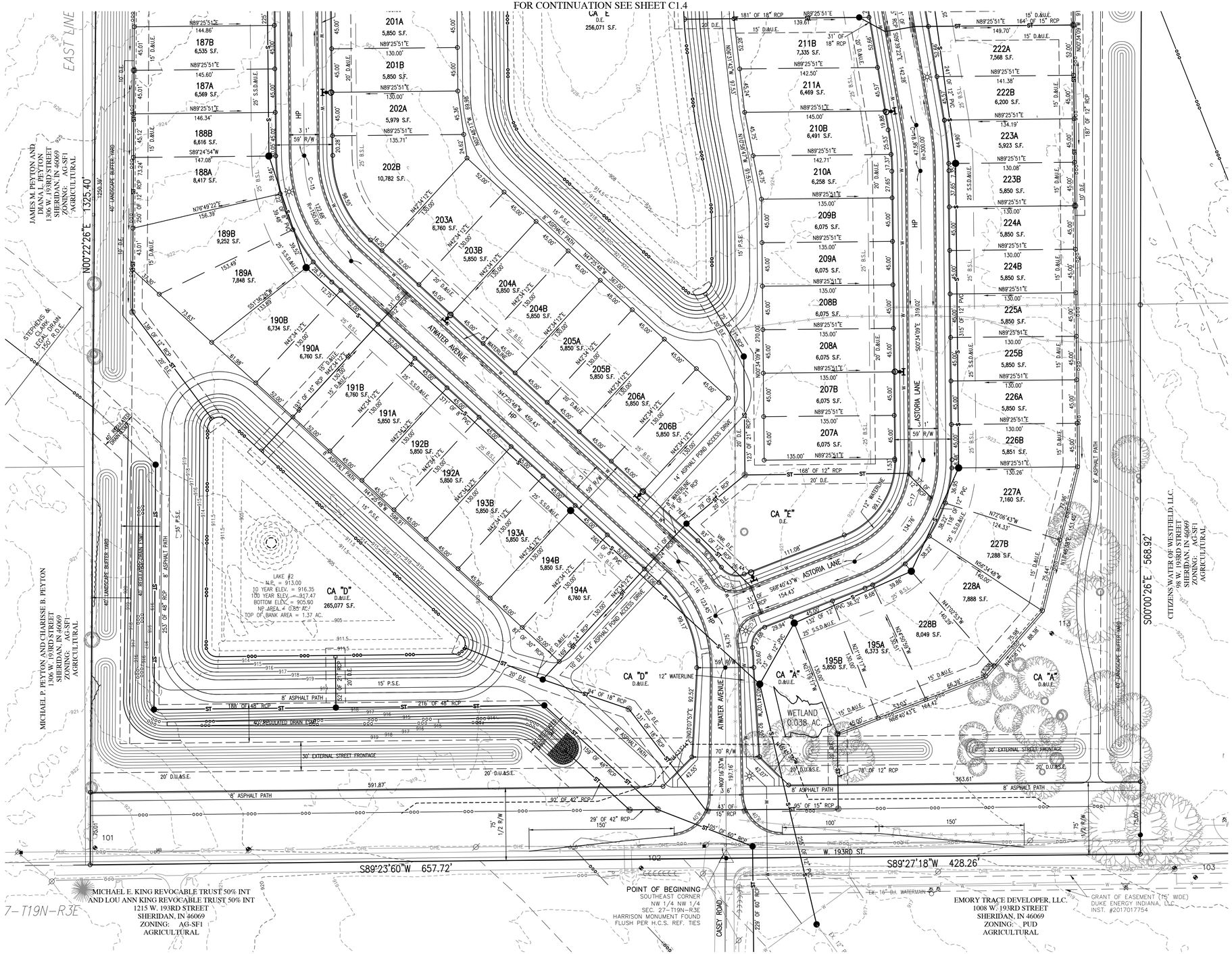
Plot Date: Dec 05, 2019 Plot Time: 5:24pm File Name: W:\Olthof Homes\2019-157-S Olthof- Carey Property\Design\CAD\19157.PP - Primary Plat Plan.dwg, Layout: C1.4 By: tdavis

FOR CONTINUATION SEE SHEET C1.4



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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
ooo	SWALE / FLOWLINE	ooo
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
x x x x	FENCE	x x x x x x
	TREE LINE	
(S)	SANITARY MANHOLE	
(ST)	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
N/A	FLOW ARROW	
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	6" X 6" VEHICLE BARRIER POST	

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ESMT.	– EASEMENT
25	– LOT NUMBER
B.S.L.	– BUILDING SETBACK LINE
S.F.	– SQUARE FEET
R/W	– PUBLIC RIGHT-OF-WAY

FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.7.

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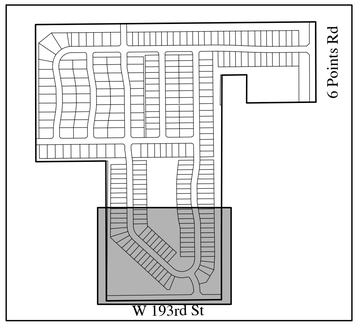

KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN
REGISTERED
No. PE11700154
STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.5 PRIMARY PLAT PLAN	

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FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.7.

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0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
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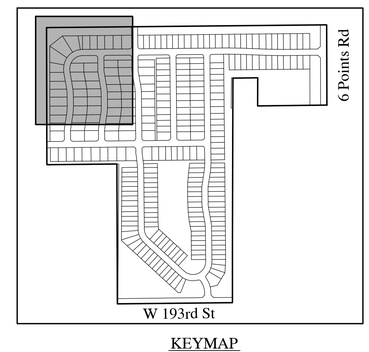
N/A	FLOW ARROW	
	STREET LIGHT	
	6" X 6" VEHICLE BARRIER POST	

ABBREVIATIONS:

BC	– BACK OF CURB
CL	– CENTERLINE
FL	– FLOW LINE
NP	– NORMAL POOL (ELEVATION)
PVC	– POLYVINYL CHLORIDE PIPE
RCP	– REINFORCED CONCRETE PIPE
C.A.	– COMMON AREA
D.E.	– DRAINAGE EASEMENT
S.S.D.&U.E.	– SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
D.&U.E.	– DRAINAGE AND UTILITY EASEMENT
P.S.E.	– PERPETUAL STORMWATER EASEMENT
P.A.E.	– PEDESTRIAN ACCESS EASEMENT
ESMT.	– EASEMENT
25	– LOT NUMBER
B.S.L.	– BUILDING SETBACK LINE
S.F.	– SQUARE FEET
R/W	– PUBLIC RIGHT-OF-WAY



KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
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LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.6 PRIMARY PLAT PLAN	

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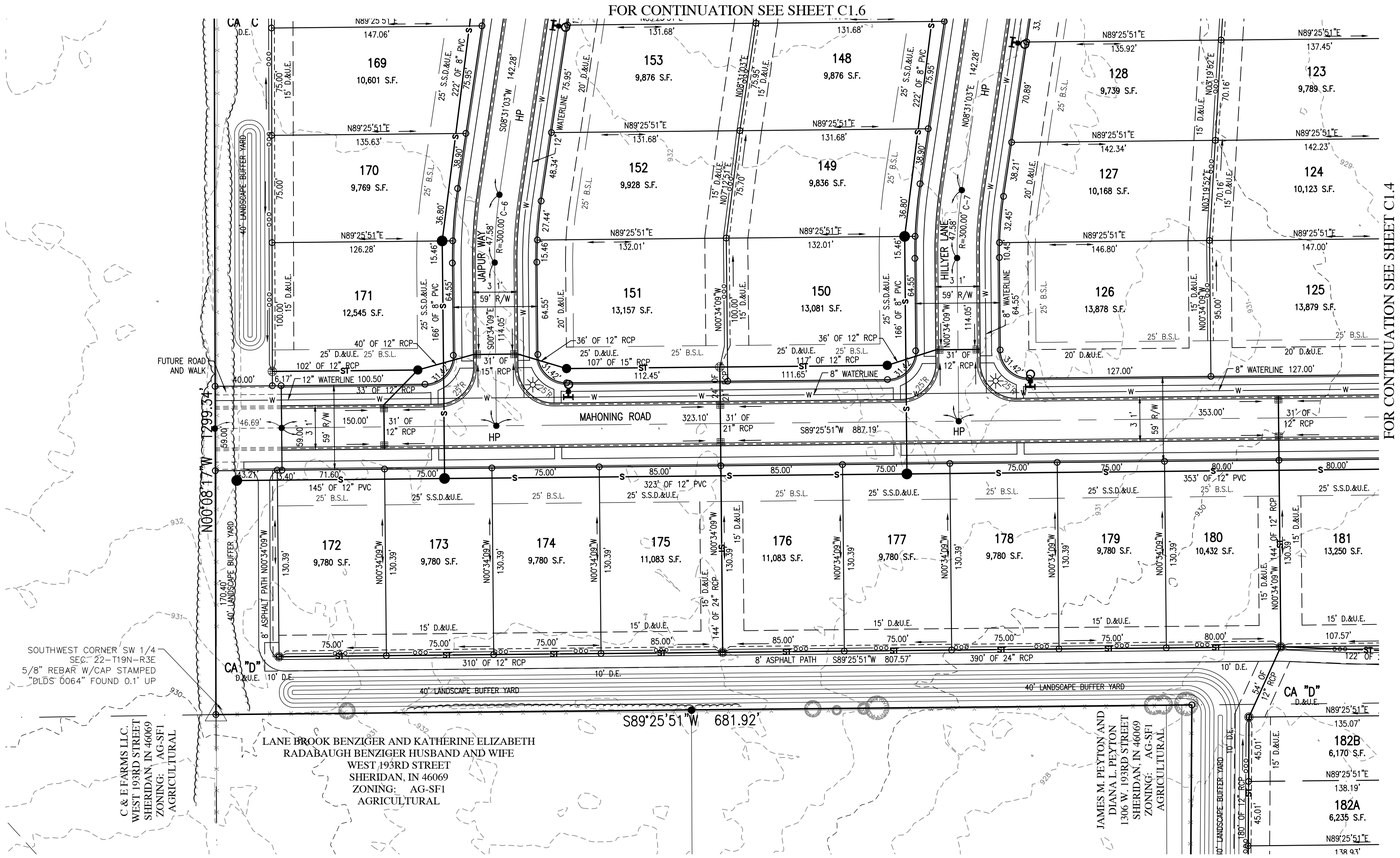

Curve Table

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	100.46'	5000.00'	100.46'	S89°59'37"E	1°09'04"
C-2	100.46'	5000.00'	100.46'	N89°59'37"W	1°09'04"
C-3	259.55'	150.00'	228.36'	S39°51'40"W	99°08'21"
C-4	47.85'	300.00'	47.80'	S05°08'20"E	9°08'21"
C-5	47.58'	300.00'	47.53'	S03°58'27"W	9°05'13"
C-6	47.58'	300.00'	47.53'	S03°58'27"W	9°05'13"
C-7	47.58'	300.00'	47.53'	N03°58'27"E	9°05'13"
C-8	47.58'	300.00'	47.53'	N03°58'27"E	9°05'13"
C-9	28.54'	300.00'	28.52'	N03°17'39"W	5°27'00"
C-10	28.54'	300.00'	28.52'	N03°17'39"W	5°27'00"
C-11	47.85'	300.00'	47.80'	N05°08'20"W	9°08'21"
C-12	47.85'	300.00'	47.80'	N05°08'20"W	9°08'21"
C-13	29.24'	300.00'	29.23'	N03°21'43"W	5°35'07"
C-14	29.24'	300.00'	29.23'	N03°21'43"W	5°35'07"
C-15	122.68'	150.00'	119.29'	N23°59'59"W	46°51'39"
C-16	123.45'	150.00'	119.99'	N23°51'10"W	47°09'15"
C-17	134.76'	111.50'	126.71'	N34°03'17"E	69°14'52"
C-18	47.58'	300.00'	47.53'	S05°06'46"E	9°05'13"
C-19	47.58'	300.00'	47.53'	S05°06'46"E	9°05'13"
C-20	47.85'	300.00'	47.80'	S04°00'01"W	9°08'21"
C-21	47.58'	300.00'	47.53'	S04°01'36"W	9°05'13"
C-22	33.53'	500.00'	33.53'	N88°38'52"W	3°50'34"
C-23	33.53'	500.00'	33.53'	N88°38'52"W	3°50'34"

FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.7.

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

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THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
ooo	SWALE / FLOWLINE	ooo
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
	FENCE	
	TREE LINE	
(S)	SANITARY MANHOLE	
(ST)	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
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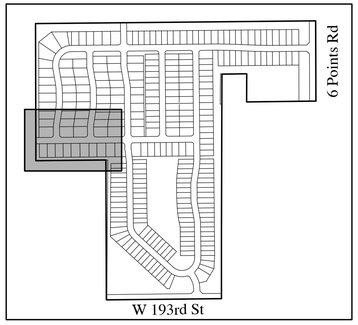

KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
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LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
PRIMARY PLAT PLAN

HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA
PRELIMINARY NOT FOR CONSTRUCTION
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
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SHEET C1.7 PRIMARY PLAT PLAN	

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DEMOLITION GENERAL NOTES:

1. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL MATERIALS INDICATED ON THE PLAN. GENERALLY, DEMOLITION AREAS AND FACILITIES ARE INDICATED WITH BOLD LINES AND/OR SHADED AREAS. DISPOSAL OF SITE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL GUIDELINES.

2. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FEATURES WHICH LIE ALONG THE PERIMETER OF THE SITE. THESE FEATURES INCLUDE, BUT ARE NOT LIMITED TO: BUILDINGS, PAVEMENTS, FENCES, VEGETATION, UTILITIES, PROPERTY MARKERS, ETC. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE WHICH OCCURS DURING OR AS A RESULT OF CONSTRUCTION ACTIVITY. REPLACEMENT OF DAMAGED PROPERTY SHALL BE EQUAL TO EXISTING CONDITIONS.

3. FOLLOWING REMOVAL OF INDICATED NATURAL FEATURES AND SITE IMPROVEMENTS, AND FOLLOWING THE COMPLETION OF EARTHWORK AS INDICATED ON THE GRADING PLAN, CONTRACTOR SHALL SUPPLY AND INSTALL TOPSOIL FILL TO THE FINISH GRADES INDICATED ON THE GRADING PLAN. TOPSOIL FILL SHALL BE FREE OF ROCK, RUBBISH, OR OTHER UNSUITABLE MATERIAL AND SHALL BE MODERATELY COMPACTED WHEN PLACED TO AVOID EXCESSIVE SETTLEMENTS. THE SURFACE OF ALL FILL SHALL BE UNIFORMLY AND SMOOTHLY GRADED IN ACCORDANCE WITH THE SITE GRADING PLAN. THE FINISHED SURFACE GRADES SHALL BE NOT MORE THAN 0.1 FOOT ABOVE OR BELOW THE GRADES INDICATED ON THE PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND THE ADJACENT FILL.

4. ALL TREES, BRUSH, STUMPS AND GRUBBING DEBRIS SCHEDULED FOR DEMOLITION ARE TO BE REMOVED FROM THE SITE.

5. CURRENT FIELD CONDITIONS MAY VARY SOMEWHAT FROM THOSE INDICATED ON THIS PLAN. THE INFORMATION SHOULD NOT BE CONSIDERED AS EXACT OR COMPLETE.

   A) THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO CONSTRUCTION. CONTACT THE INDIANA UNDERGROUND UTILITY PROTECTION SERVICE AT 1-800-382-5540.

   B) THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF WORK WHICH COULD DISRUPT THE RESPECTIVE UTILITY SERVICE.

   C) ANY DEVIATIONS FROM THE UTILITY LOCATIONS OR ELEVATIONS FROM THOSE SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION. ANY OTHER DEVIATIONS OF THE SITE IMPROVEMENTS FROM THOSE SHOWN ON THE PLANS THAT AFFECT THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION.

   D) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH THE IMPROVEMENTS SHOWN ON THE SITE PLANS.

   E) ANY DAMAGE TO EXISTING UTILITY LINES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

6. UNLESS NOTED OTHERWISE, ALL UNDERGROUND UTILITIES SCHEDULED FOR DEMOLITION SHALL BE COMPLETELY EXCAVATED AND REMOVED, AND THE TRENCH BACKFILLED WITH STRUCTURAL FILL PLACED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.

7. DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/ REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF CONSTRUCTION TO DOCUMENT THE EXISTING CONDITIONS OF THE RIGHT-OF-WAY.

DEMOLITION KEYNOTES: (#)

(NOT ALL KEY NOTES APPLY TO THIS SHEET)

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GRAPHIC SCALE
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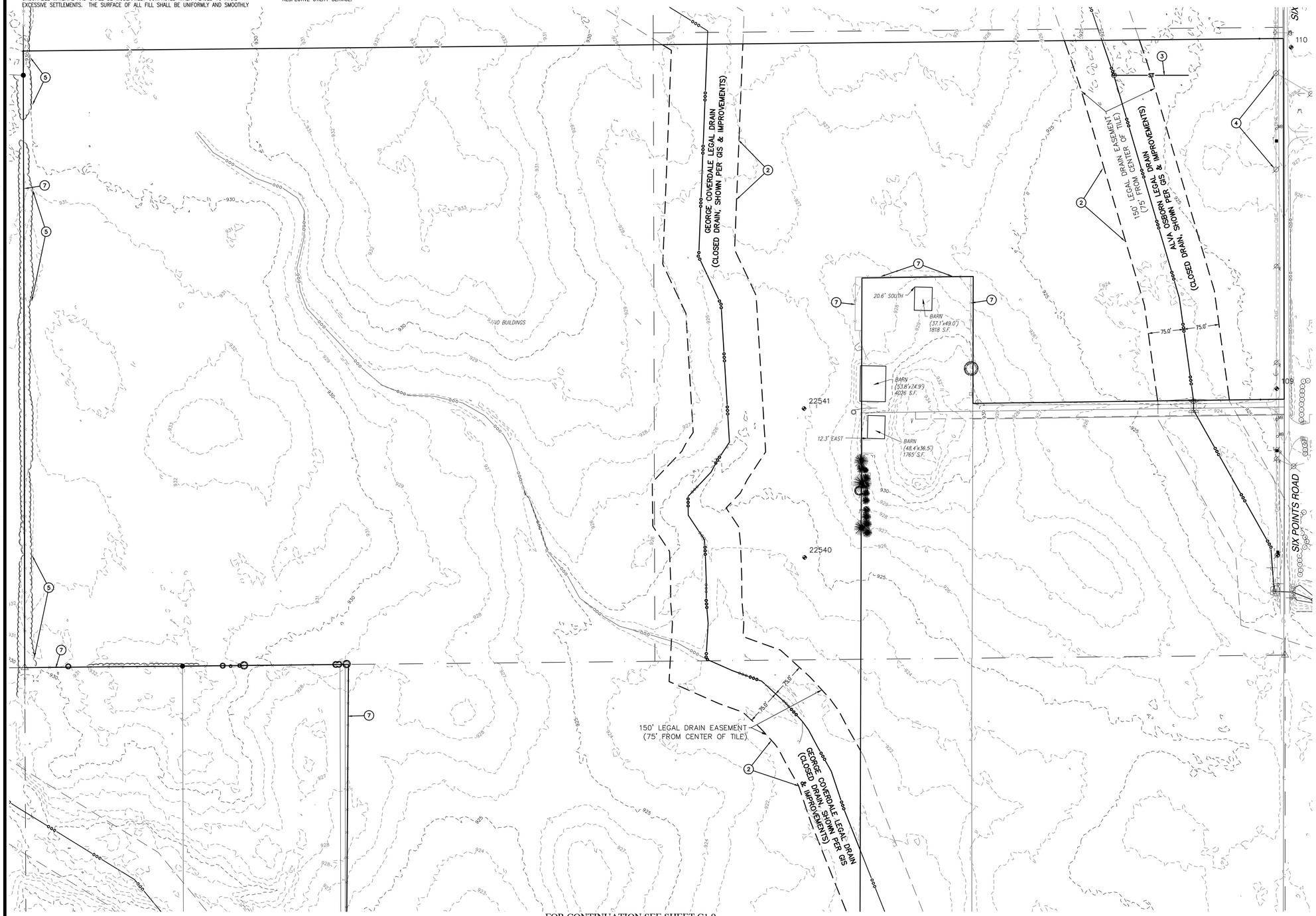

LEGEND:

EXISTING

- RIGHT-OF-WAY LINE
- CENTERLINE
- SWALE / FLOWLINE
- SANITARY SEWER
- STORM SEWER
- STORM CULVERT
- WATER MAIN
- CONTOUR, MAJOR
- CONTOUR, MINOR
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- TREE LINE
- SANITARY MANHOLE
- STORM MANHOLE
- STORM INLET
- STORM END SECTION
- FIRE HYDRANT

FOR CONTINUATION SEE SHEET C1.9

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REVISIONS

DATE	DESCRIPTION	BY

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INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA

EXISTING CONDITIONS & DEMOLITION PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA

Hope A. Martin

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SHEET C1.8 EXISTING CONDITIONS & DEMOLITION PLAN	

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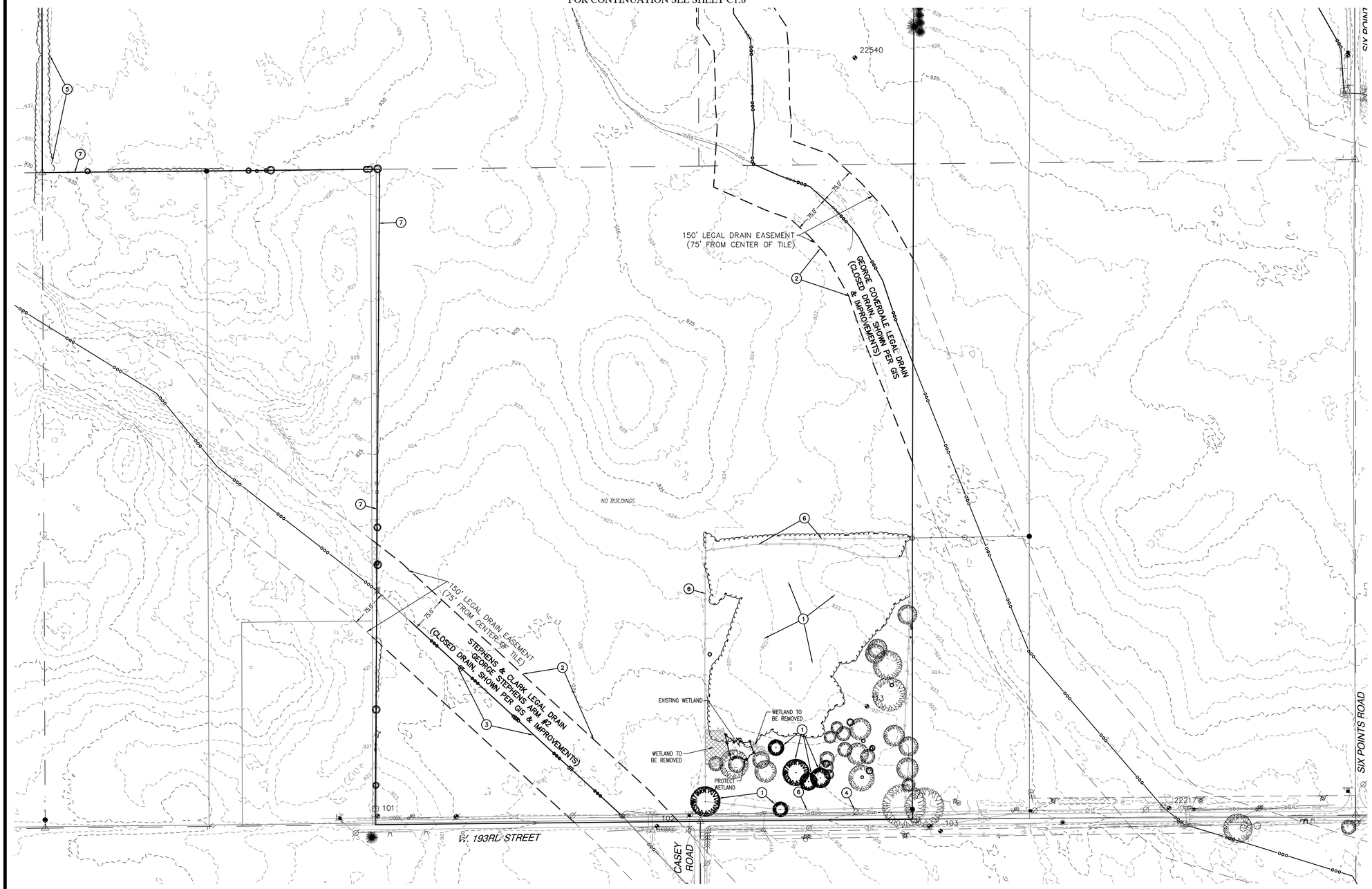
GRAPHIC SCALE
0' 100' 200' 300'
(IN FEET)

FOR CONTINUATION SEE SHEET C1.8



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REVISIONS

DATE	DESCRIPTION	BY

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LAFAYETTE - MUNCIE - NEW ALBANY
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ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
EXISTING CONDITIONS & DEMOLITION PLAN

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SHEET C1.9 EXISTING CONDITIONS & DEMOLITION PLAN	

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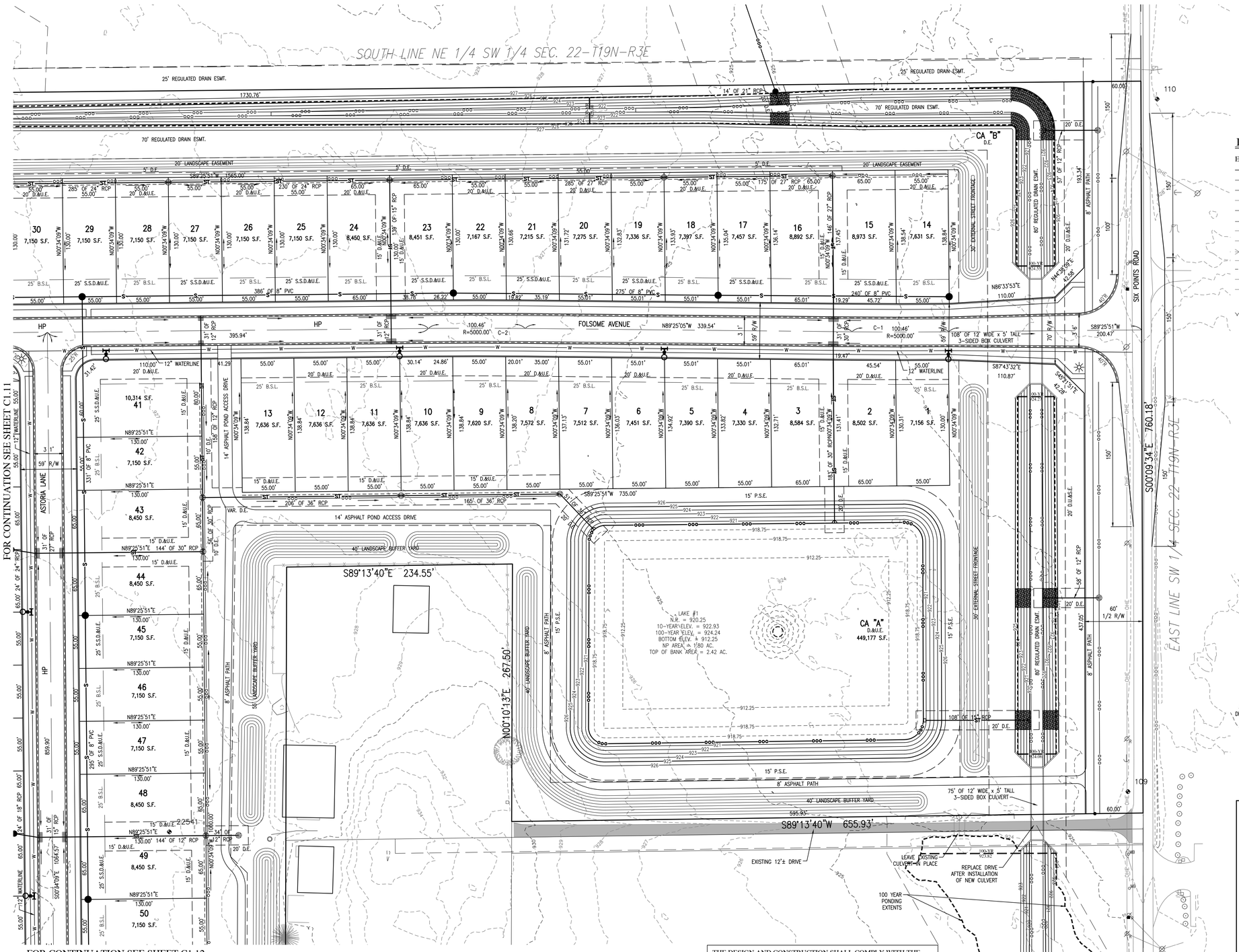

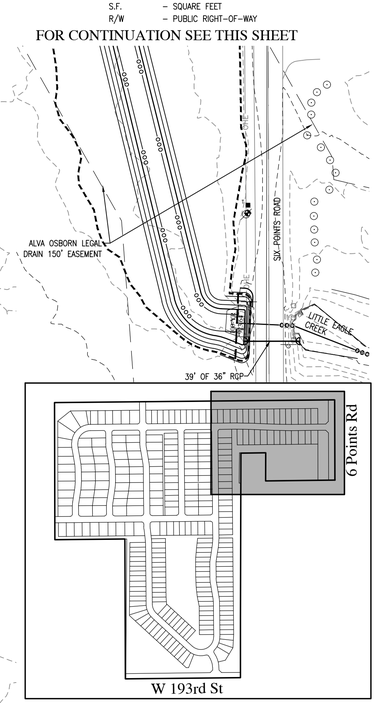

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ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
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	FENCE	
	100 YEAR PONDING EXTENTS	
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CITY OF WESTFIELD, INDIANA
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SHEET C1.10 DEVELOPMENT PLAN	

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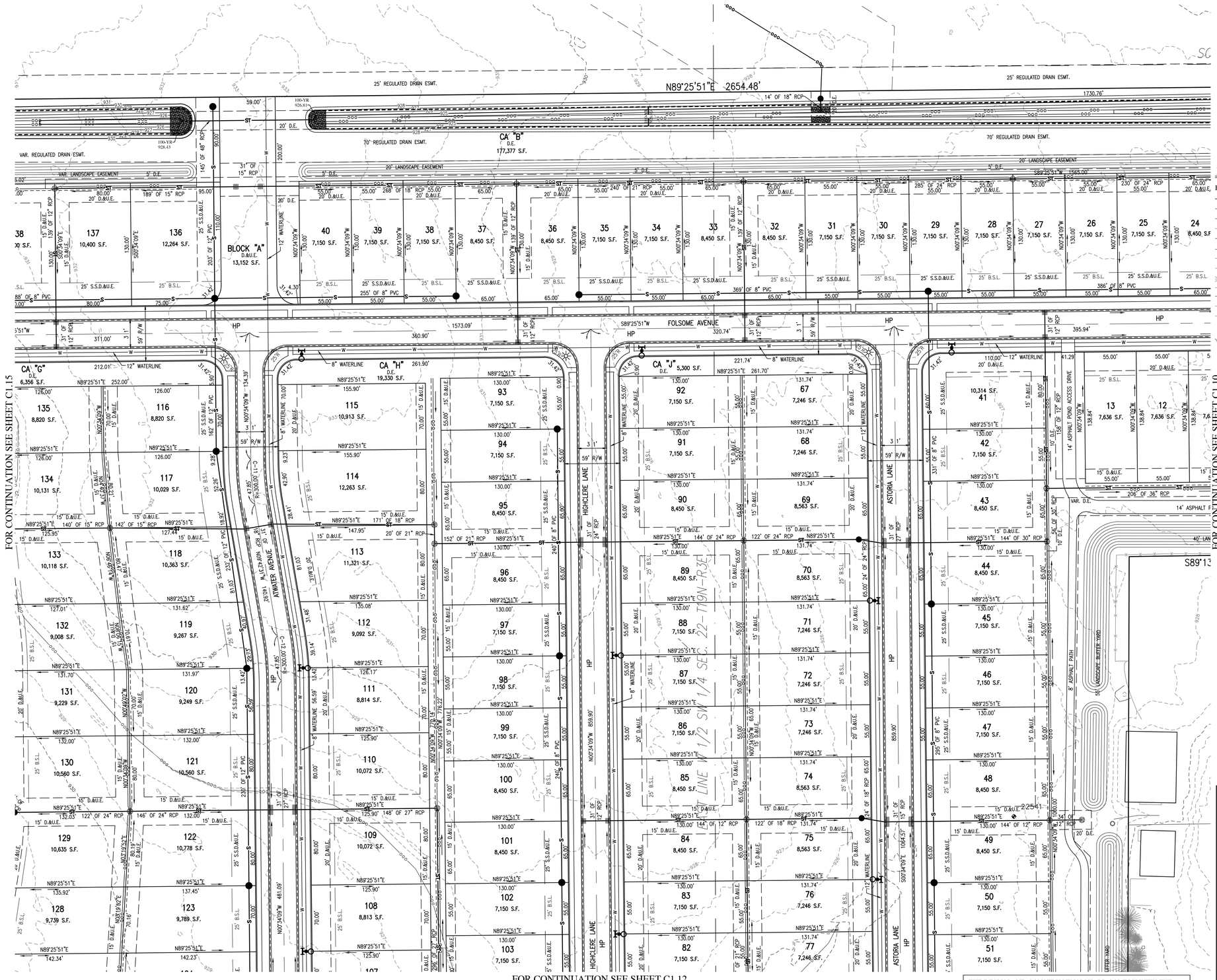

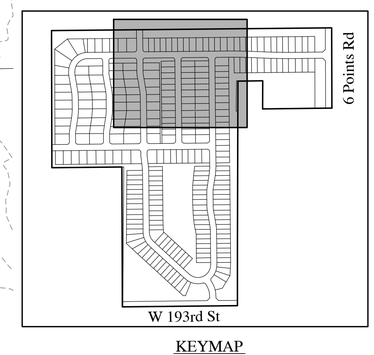

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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
	FENCE	
	100 YEAR PONDING EXTENTS	
	TREE LINE	
S	SANITARY MANHOLE	
ST	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
N/A	FLOW ARROW	
	STREET LIGHT	
	6" X 6" VEHICLE BARRIER POST	

ABBREVIATIONS:

BC	– BACK OF CURB
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FL	– FLOW LINE
NP	– NORMAL POOL (ELEVATION)
PVC	– POLYVINYL CHLORIDE PIPE
RCP	– REINFORCED CONCRETE PIPE
C.A.	– COMMON AREA
D.E.	– DRAINAGE EASEMENT
S.S.D.&U.E.	– SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
D.&U.E.	– DRAINAGE AND UTILITY EASEMENT
P.S.E.	– PERPETUAL STORMWATER EASEMENT
P.A.E.	– PEDESTRIAN ACCESS EASEMENT
ESMT.	– EASEMENT
25	– LOT NUMBER
B.S.L.	– BUILDING SETBACK LINE
S.F.	– SQUARE FEET
R/W	– PUBLIC RIGHT-OF-WAY

FOR CENTERLINE CURVE DATA TABLES, SEE SHEET C1.15.

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REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN
REGISTERED
No. PE11700154
STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET C1.11	
DEVELOPMENT PLAN	

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FOR CONTINUATION SEE SHEET C1.11

FOR CONTINUATION SEE SHEET C1.13

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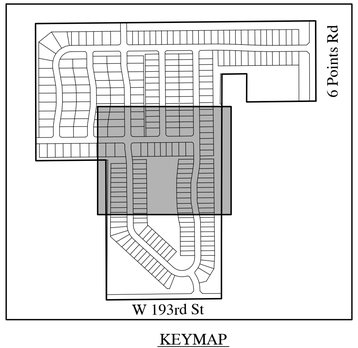

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CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

PRELIMINARY
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA
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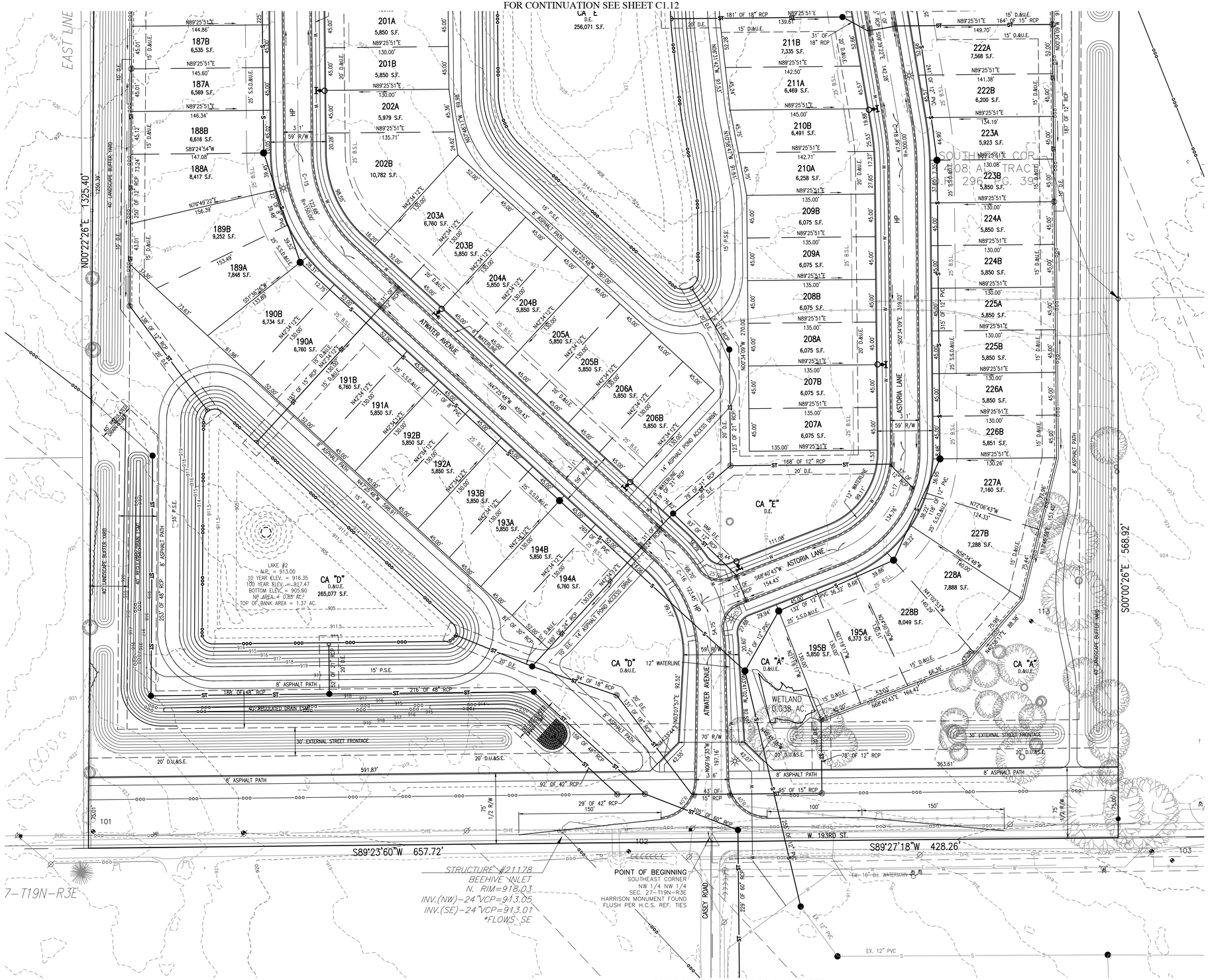

FOR CONTINUATION SEE THIS SHEET

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ooo	SWALE / FLOWLINE	ooo
	SUBSURFACE DRAIN	
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
800	CONTOUR, MAJOR	800
799	CONTOUR, MINOR	799
x x x x	FENCE	x x x x x
	100 YEAR PONDING EXTENTS	
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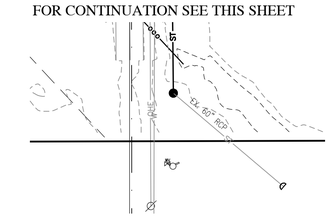

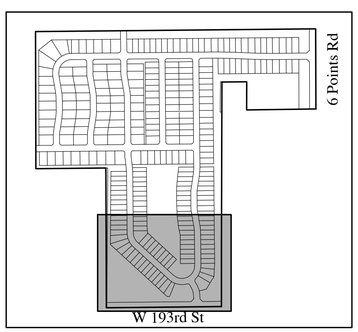

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CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

PRELIMINARY
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HOPE A. MARTIN
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DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
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DEVELOPMENT PLAN	

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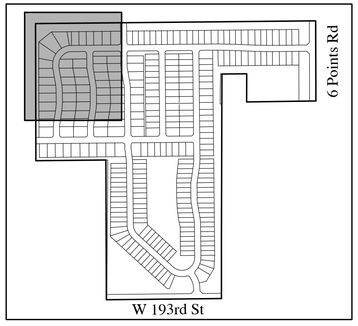

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CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

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STATE OF INDIANA

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DEVELOPMENT PLAN

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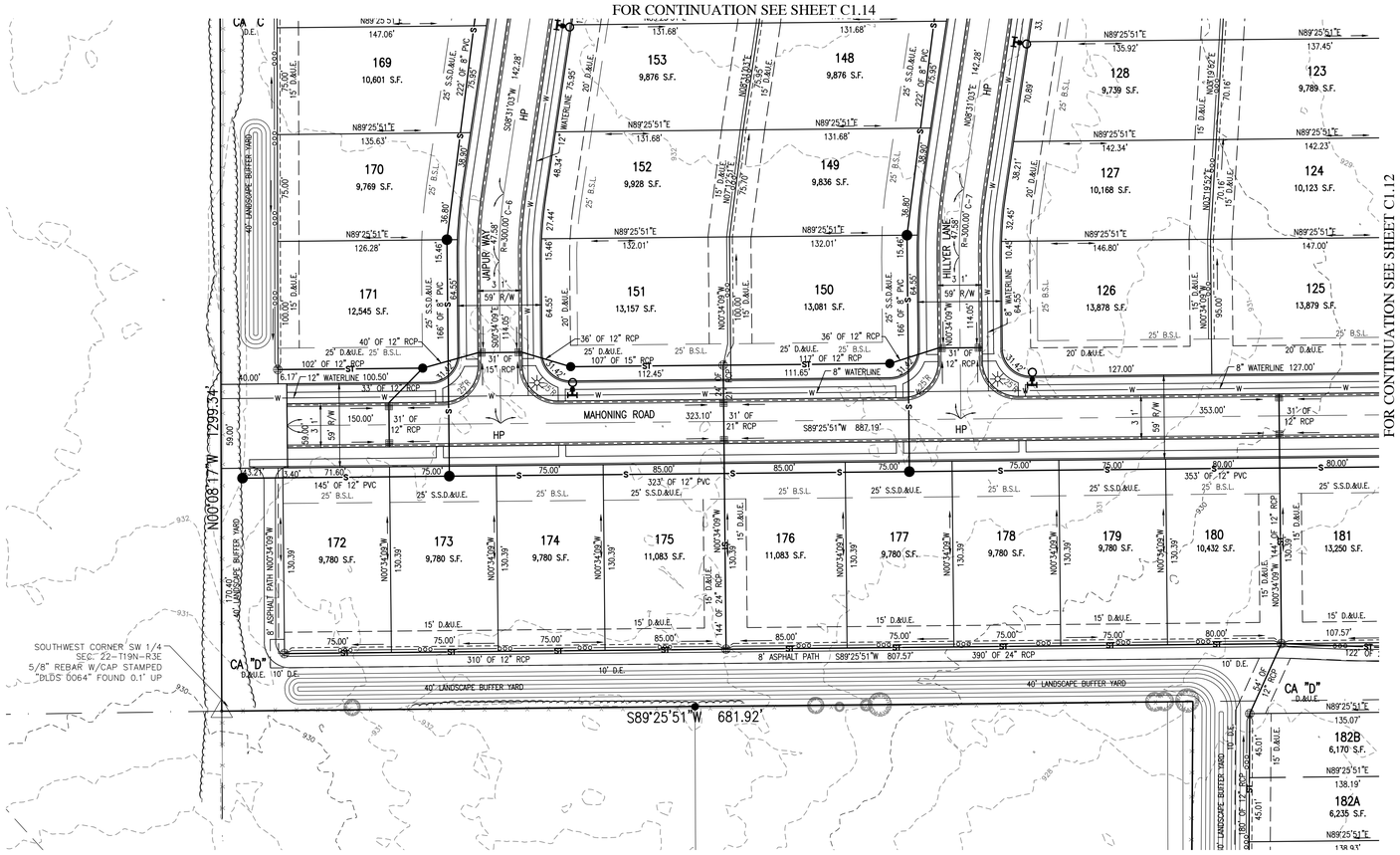

Curve Table

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	100.46'	5000.00'	100.46'	S89°59'37"E	1°09'04"
C-2	100.46'	5000.00'	100.46'	N89°59'37"W	1°09'04"
C-3	259.55'	150.00'	228.36'	S39°51'40"W	99°08'21"
C-4	47.85'	300.00'	47.80'	S05°08'20"E	9°08'21"
C-5	47.58'	300.00'	47.53'	S03°58'27"W	9°05'13"
C-6	47.58'	300.00'	47.53'	S03°58'27"W	9°05'13"
C-7	47.58'	300.00'	47.53'	N03°58'27"E	9°05'13"
C-8	47.58'	300.00'	47.53'	N03°58'27"E	9°05'13"
C-9	28.54'	300.00'	28.52'	N03°17'39"W	5°27'00"
C-10	28.54'	300.00'	28.52'	N03°17'39"W	5°27'00"
C-11	47.85'	300.00'	47.80'	N05°08'20"W	9°08'21"
C-12	47.85'	300.00'	47.80'	N05°08'20"W	9°08'21"
C-13	29.24'	300.00'	29.23'	N03°21'43"W	5°35'07"
C-14	29.24'	300.00'	29.23'	N03°21'43"W	5°35'07"
C-15	122.68'	150.00'	119.29'	N23°59'59"W	46°51'39"
C-16	123.45'	150.00'	119.99'	N23°51'10"W	47°09'15"
C-17	134.76'	111.50'	126.71'	N34°03'17"E	69°14'52"
C-18	47.58'	300.00'	47.53'	S05°06'46"E	9°05'13"
C-19	47.58'	300.00'	47.53'	S05°06'46"E	9°05'13"
C-20	47.85'	300.00'	47.80'	S04°00'01"W	9°08'21"
C-21	47.58'	300.00'	47.53'	S04°01'36"W	9°05'13"
C-22	33.53'	500.00'	33.53'	N88°38'52"W	3°50'34"
C-23	33.53'	500.00'	33.53'	N88°38'52"W	3°50'34"

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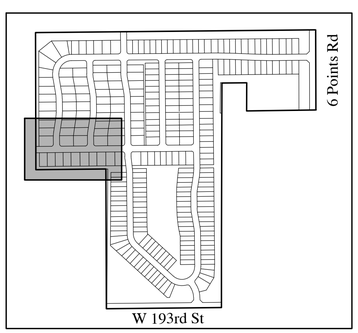

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ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
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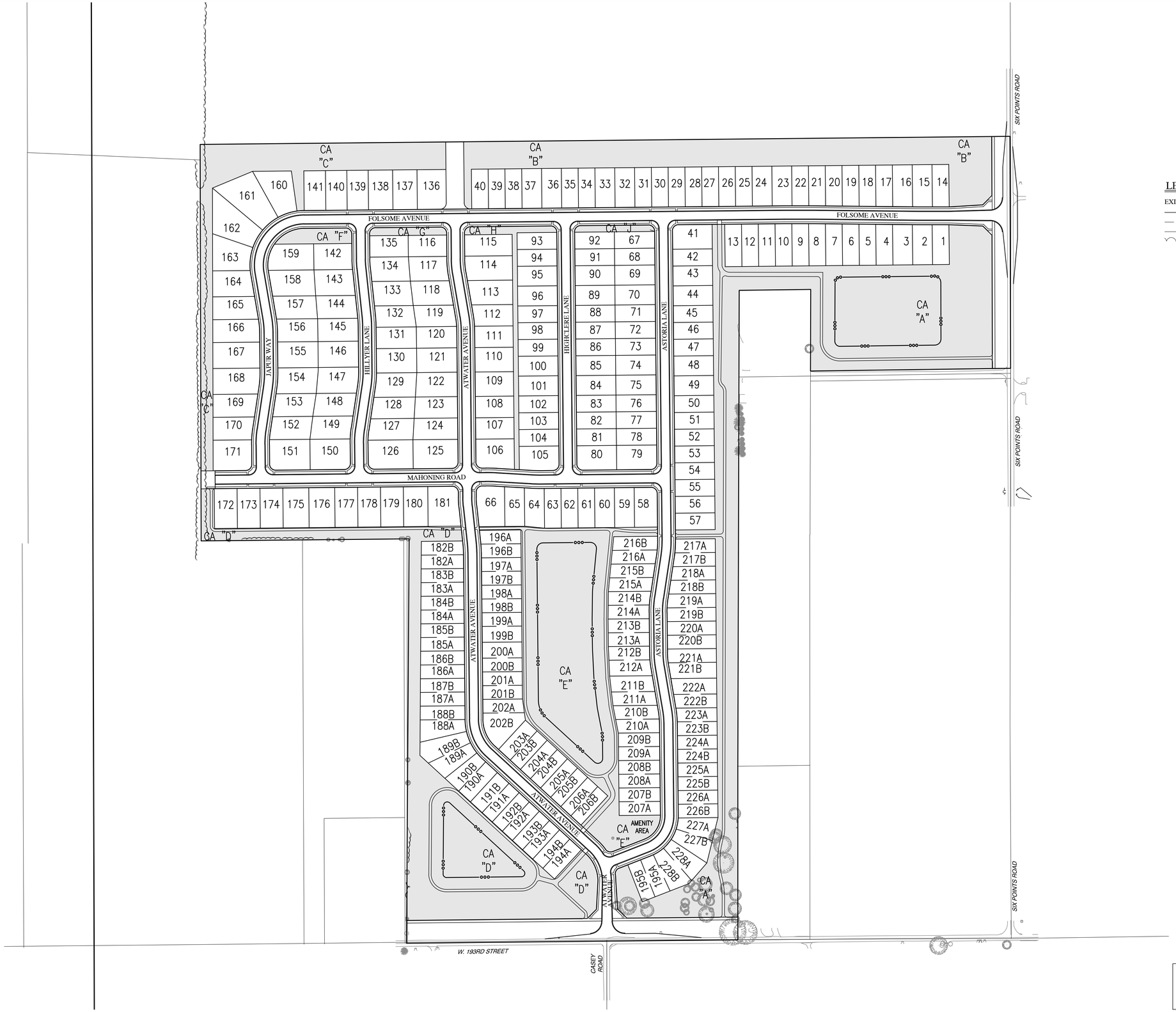

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0' 150' 300' 450'
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	SETBACK LINE	
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ABBREVIATIONS:

C.A. – COMMON AREA
25 – LOT NUMBER

COMMON AREA SUMMARY (OPEN SPACE)
CA "A" = 449,177 SF
CA "B" = 177,377 SF
CA "C" = 119,354 SF
CA "D" = 265,077 SF
CA "E" = 256,071 SF
CA "F" = 11,214 SF
CA "G" = 6,356 SF
CA "H" = 19,330 SF
CA "J" = 5,300 SF
TOTAL COMMON AREA = 1,309,256 SF
TOTAL COMMON AREA = 30.056 ACRES

OPEN SPACE REQUIRED = 20.0%

OPEN SPACE PROVIDED

$$\frac{\text{OPEN SPACE AREA} = 30.056\text{ AC.}}{\text{TOTAL ACREAGE} = 99.656\text{ AC.}} = 30.16\%$$

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ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL OPEN SPACE PLAN

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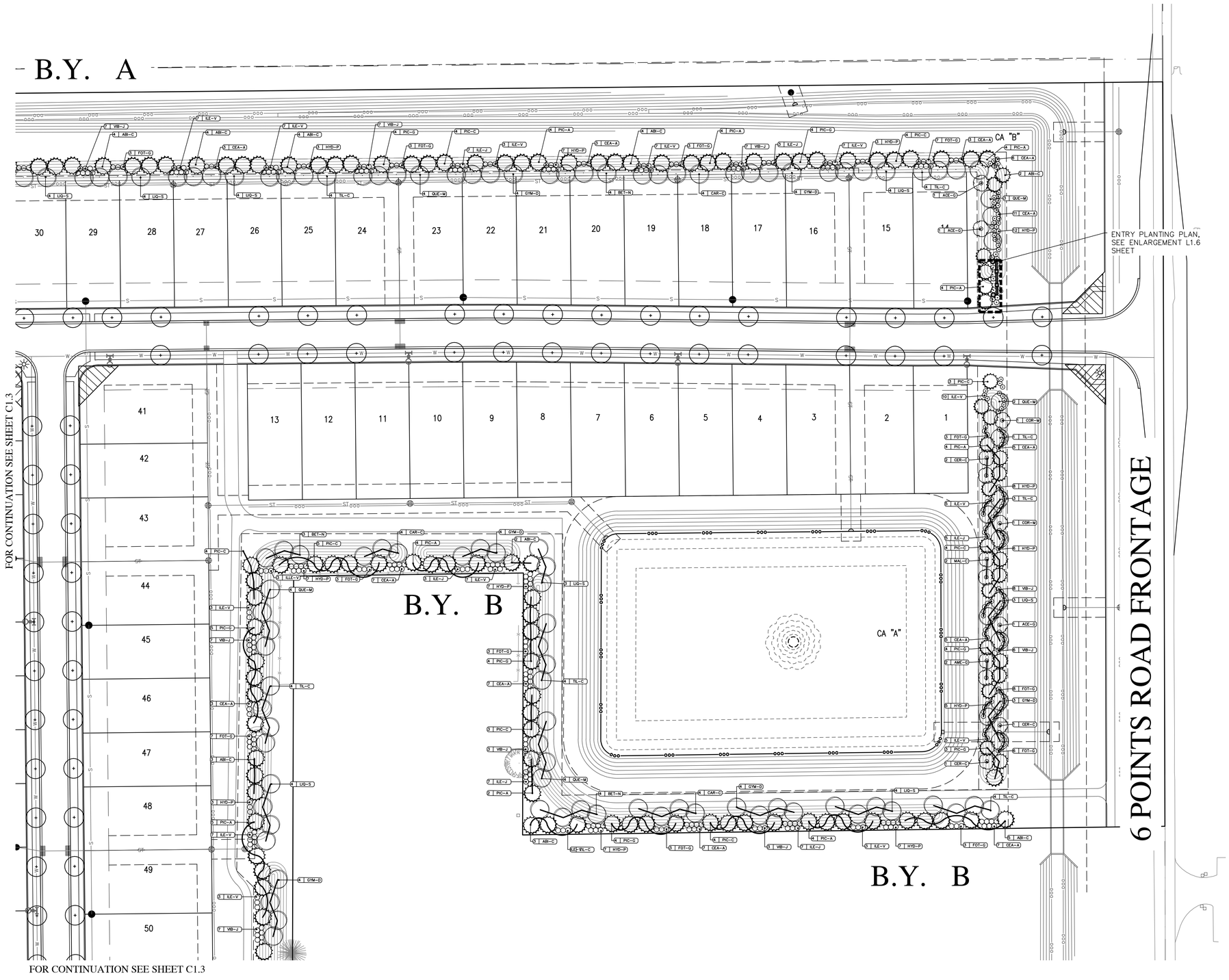

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GRAPHIC SCALE
0' 50' 100' 150'
(IN FEET)

LEGEND:

- XXX QUANTITY KEY
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- SHRUB – 18" TALL (MIN)
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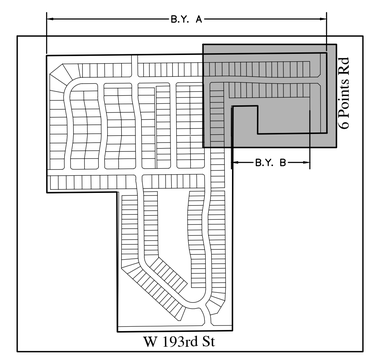

KEYMAP
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REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA

LANDSCAPE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700157 STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
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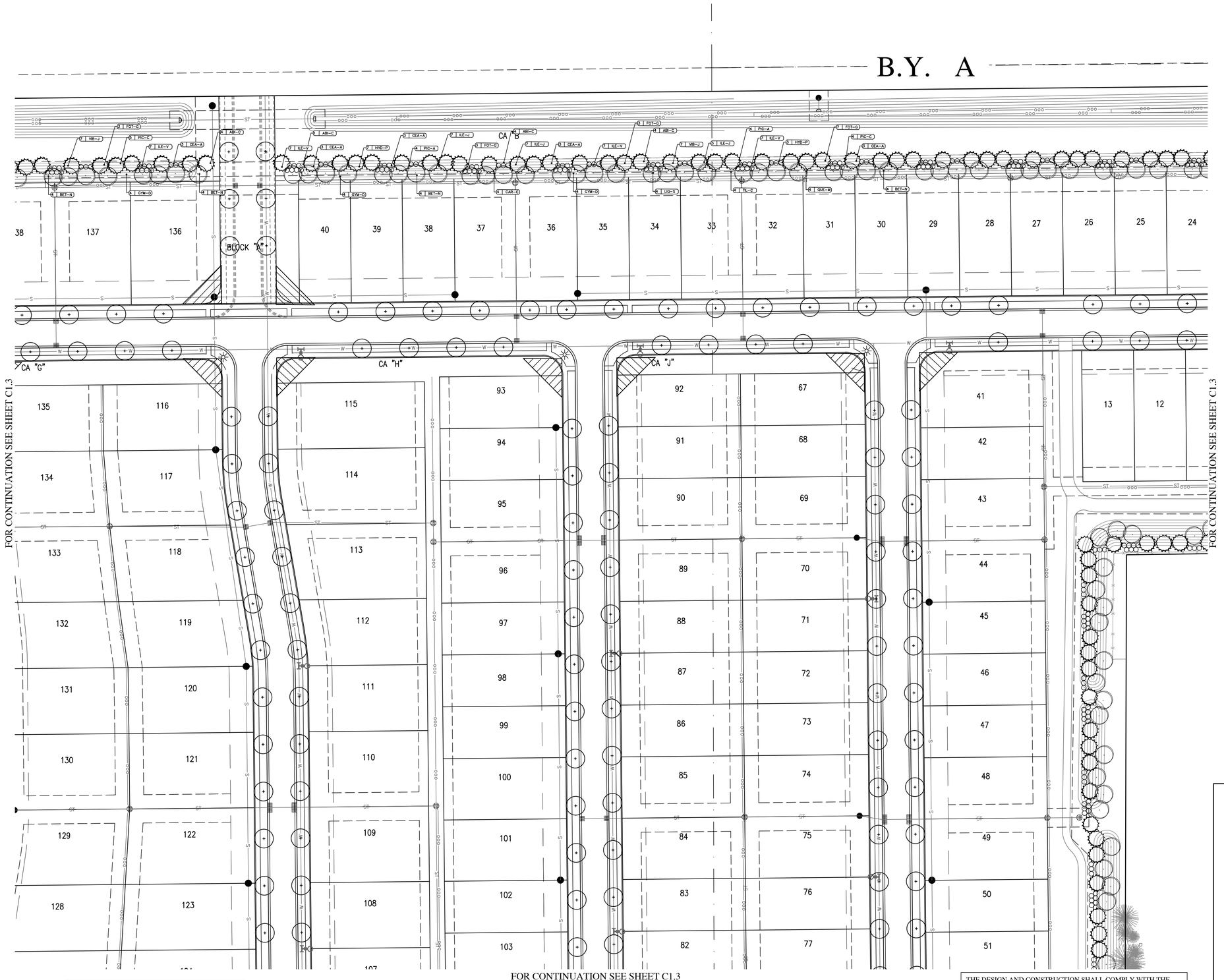

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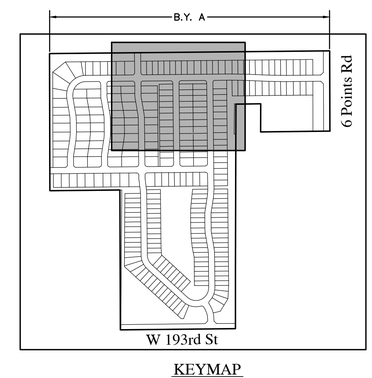

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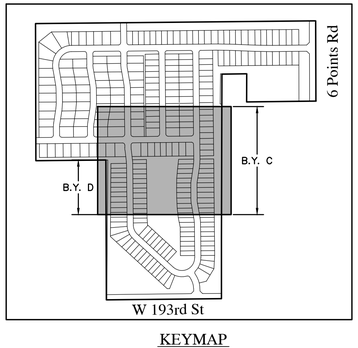

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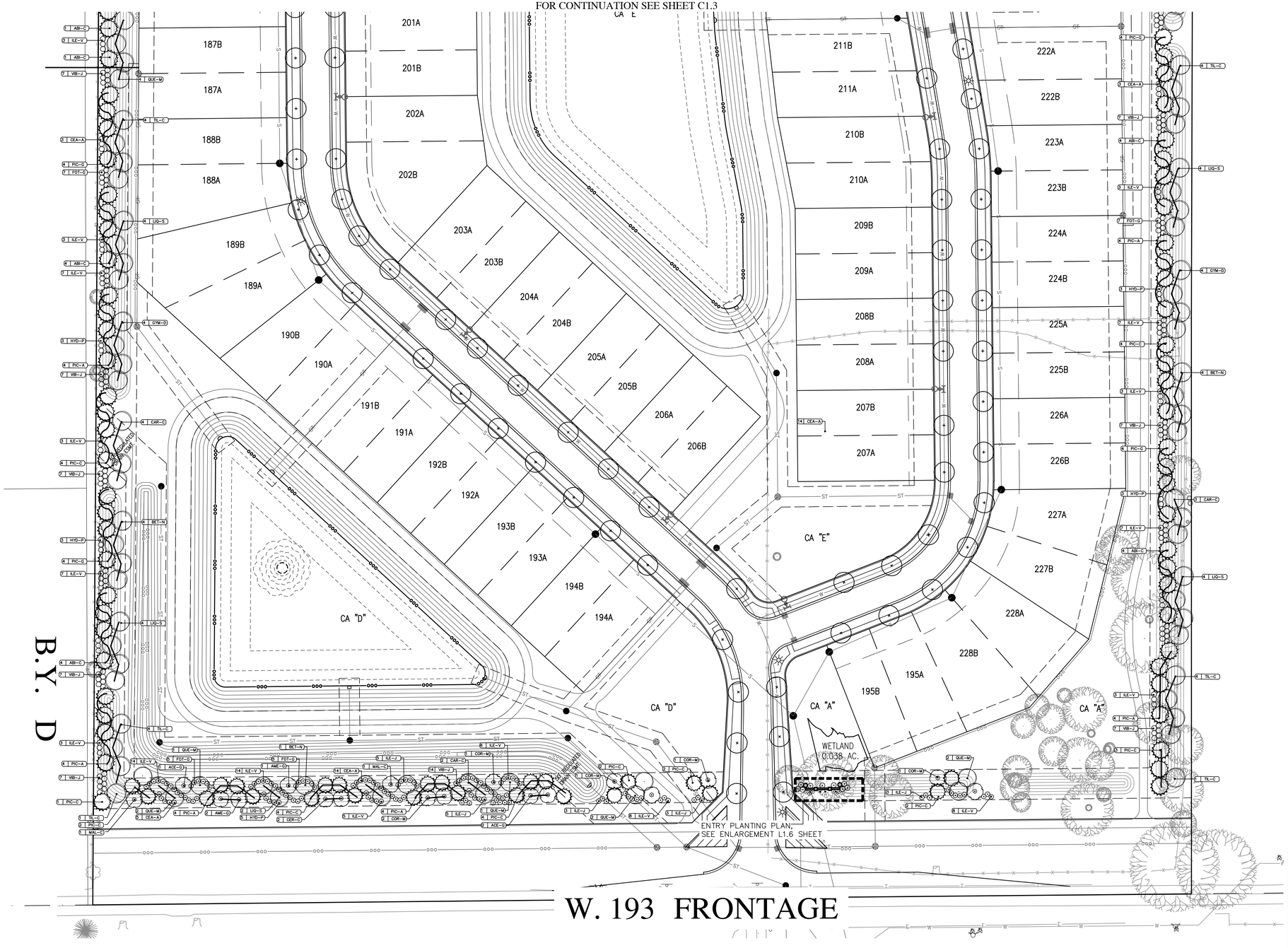

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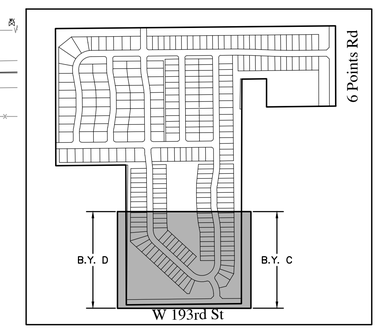

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L1.3
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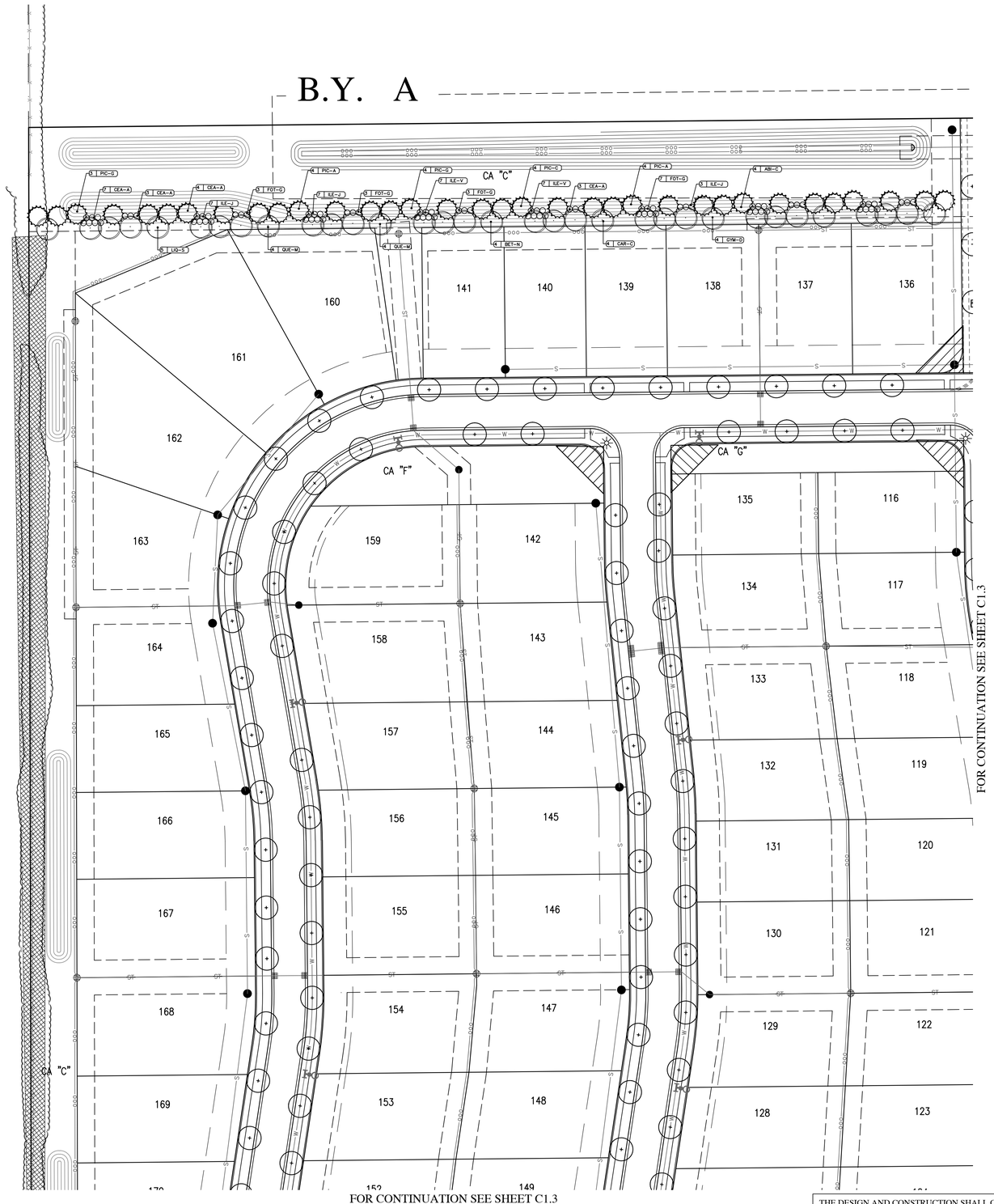

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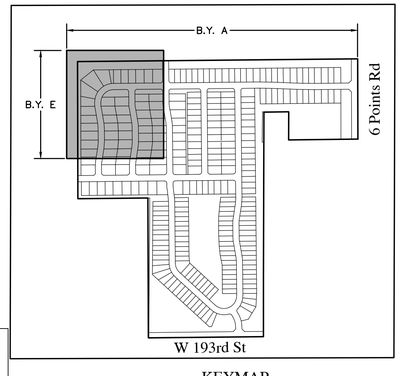

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L1.4
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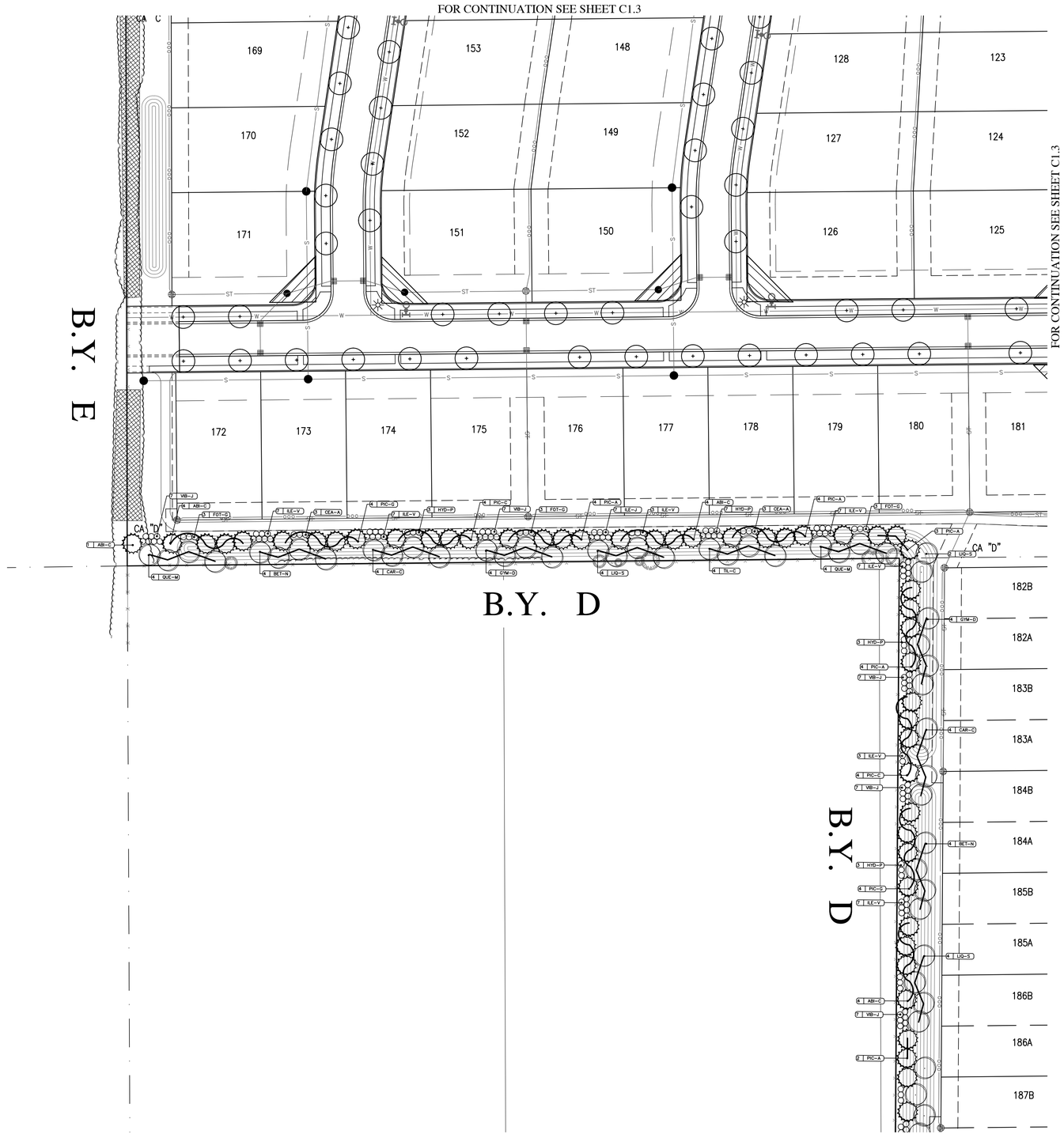

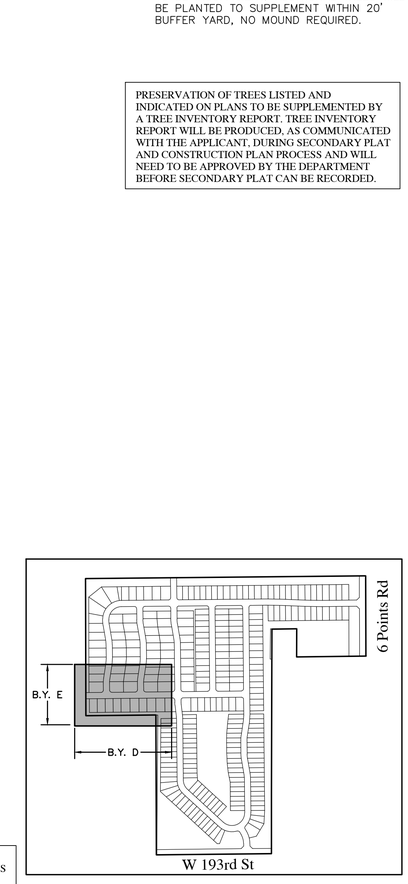

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MASTER PLANTING SCHEDULE:

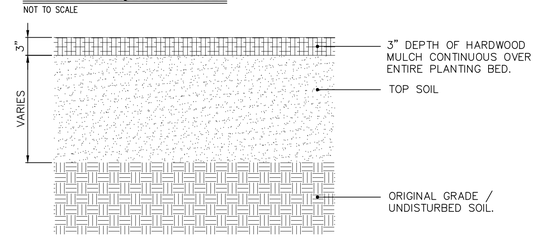
KEY	QTY	BOTANICAL NAME	COMMON NAME	CALIPER	HGT	ROOT	SPACING	REMARKS
SHADE TREES								
BET-N	52	BETULA NIGRA 'CULLY'	RIVER BIRCH	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
CAR-C	45	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
GYM-D	71	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
LIQ-S	79	LIQUIDAMBAR STYRACIFLUA 'ROTUNDALOBA'	FRUITLESS SWEETGUM	2.5"	8'	B&B	SEE PLAN	CENTRAL LEADER
QUE-M	62	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
TIL-C	60	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2.5"	8'	B&B	SEE PLAN	CENTAL LEADER
STREET TREES								
ACE-F	73	ACER FREEMANII	FREEMAN MAPLE	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
ACE-P	73	ACER PSEUDOPLATANUS	SYCAMORE MAPLE	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
LIR-T	73	LIRIODENDRON TULIPIFERA	TULIPTREE	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
TIL-T	72	TILIA TOMENTOSA 'STERLING SILVER'	STERLING SILVER LINDEN	2.5"	8'	B&B	SEE PLAN	CENTRAL LEADER
ULM-A	72	ULMUS 'MORTON'	ACCOLADE ELM	2.5"	12'	B&B	SEE PLAN	CENTRAL LEADER
ORNAMENTAL TREES								
ACE-G	6	ACER GINNALA	AMUR MAPLE	2"	8'	B&B	SEE PLAN	CENTRAL LEADER
AME-G	5	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	2"	8'	B&B	SEE PLAN	CENTRAL LEADER
CER-C	6	CERCIS CANADENSIS	REDBUD	2"	8'	B&B	SEE PLAN	CENTRAL LEADER
COR-M	8	CORNUS MAS	CORNELIAN CHERRY	2"	6'	B&B	SEE PLAN	CENTRAL LEADER
EVERGREEN TREES								
ABI-C	90	ABIES CONCOLOR	WHITE FIR	-	7'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIC-A	109	PICEA ABIES	NORWAY SPRUCE	-	7'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
PIC-C	91	PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE	-	6'	B&B	SEE PLAN	FULL, DENSE BRANCHING
PIC-G	87	PICEA GLAUCA	WHITE SPRUCE	-	7'	B&B	SEE PLAN	FULL, DENSE BRANCHING, WIDTH NOT LESS THAN 60% OF HEIGHT
DECIDUOUS SHRUBS								
CEA-A	175	CEANOTHUS AMERICANUS	NEW JERSEY TEA	-	18"	#3 CONT	36" O.C.	FULL IN POT
FOT-G	130	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	-	18"	#3 CONT	36" O.C.	FULL IN POT
HYD-P	166	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	-	24"	#5 CONT	30" O.C.	FULL IN POT
ILE-V	277	ILEX VERTICILLATA 'RED SPRITE'	RED SPRITE WINTERBERRY	-	18"	#3 CONT	30" O.C.	FULL IN POT
ILE-J	102	ILEX VERTICILLATA 'JIM DANDY'	JIM DANDY WINTERBERRY	-	24"	#3 CONT	48" O.C.	FULL IN POT - MALE, BRED TO POLLINATE MOST WINTERBERRIES
VIB-J	227	VIBURNUM X JUDDII	JUDD VIBURNUM	-	24"	#5 CONT	5' O.C.	FULL IN POT

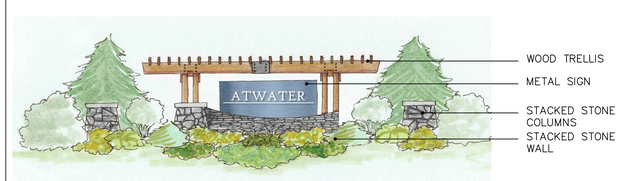
LANDSCAPE GENERAL NOTES:

1. ALL PLANT MATERIAL IS TO BE PROVIDED WITH A ONE-YEAR REPLACEMENT GUARANTEE AND SHALL BE REPLACED IF DEAD, DYING, OR OTHERWISE UNACCEPTABLE TO THE CIVIL ENGINEER OR LANDSCAPE ARCHITECT.
2. NOTIFY THE LANDSCAPE ARCHITECT IF SITE CONDITIONS ARE UNSUITABLE OR OTHER UNFORESEEN CONDITIONS ARE FOUND.
3. CONTRACTOR SHALL LOCATE AND VERIFY EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK, AND SHALL COORDINATE ALL LANDSCAPE WORK WITH CIVIL AND ELECTRICAL DRAWINGS, PROVIDE ADEQUATE MEANS OF PROTECTION OF UTILITIES AND SERVICES DESIGNATED TO REMAIN, AND REPAIR UTILITIES DAMAGED DURING OPERATIONS AT CONTRACTOR'S EXPENSE.
4. ALL PLANT MATERIAL SHALL BE IN CONFORMANCE WITH THE "AMERICAN STANDARD FOR NURSERY STOCK" ANSI Z60.1 LATEST EDITION.
5. ALL LANDSCAPING SHALL BE INSTALLED PER LOCAL ZONING REQUIREMENTS.
6. THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER SHALL INSPECT THE QUALITY OF PLANT MATERIAL UPON ARRIVAL ON-SITE BEFORE PLANTS ARE PLACED IN THE GROUND. THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER MAY REJECT ANY PLANT MATERIAL, AND IT SHALL BE REPLACED WITH ACCEPTABLE MATERIAL BY THE LANDSCAPE CONTRACTOR.
7. NO SUBSTITUTIONS FOR THE SPECIFIED LANDSCAPE MATERIAL ARE ALLOWED UNLESS ACCEPTED IN WRITING BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO PLANTING OPERATIONS.
8. CONTRACTOR TO THOROUGHLY WATER ALL PLANT MATERIAL WITHIN SIX (6) HOURS OF INSTALLATION.
9. THE SITE IS TO BE LEFT IN A CLEAN AND NEAT CONDITION AT ALL TIMES.
10. MULCH: FINELY SHREDDED HARDWOOD BARK, AGED TO BE APPLIED AT A THREE (3) INCH DEPTH FOR ALL PLANTING BEDS AND TREE SAUCERS AND TO BE RENEWED EVERY GROWING SEASON DURING THE MAINTENANCE PERIOD.
11. SEED WITH TURF GRASS/LAWN ALL DISTURBED AREAS NOT SCHEDULED FOR OTHER IMPROVEMENTS.
12. ALL PLANTING BEDS WITH ADJOINING LAWN AREAS SHALL BE EDGED WITH A SPADE.
13. ALL PLANTS SHALL BE PUT INTO THE GROUND AFTER ALL ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
14. CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUALITY AND QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING AS SHOWN ON DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL TAKE PRECEDENCE. IF THERE IS A DISCREPANCY BETWEEN THE QUANTITY OF PLAN SYMBOLS AND THE QUANTITY LABEL, THE PLAN SYMBOLS SHALL TAKE PRECEDENCE.
15. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED.
16. THE DAY PRIOR TO PLANTING, THE LOCATIONS OF ALL TREES AND SHRUBS SHALL BE STAKED FOR APPROVAL BY THE OWNER'S REPRESENTATIVE. STAKES AND GUY WIRES SHALL BE REMOVED AT END OF WARRANTY PERIOD.
17. ALL PLANTS SHALL BE BALLED AND WRAPPED OR CONTAINER GROWN AS SPECIFIED. NO CONTAINER GROWN STOCK WILL BE ACCEPTED IF IT IS ROOTBOUND. ALL ROOT WRAPPING MATERIAL MADE OF SYNTHETICS OR PLASTICS SHALL BE REMOVED AT THE TIME OF PLANTING. ALL TWINE OR ROPE SHALL BE REMOVED FROM AROUND CROWN OF TRUNK TO PREVENT GIRDLING OF TREE.
18. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE ROOT BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
19. LANDSCAPE CONTRACTOR SHALL GUARANTEE NEW PLANT MATERIAL THROUGH ONE CALENDAR YEAR FROM THE TIME OF PROVISIONAL ACCEPTANCE. ALL PLANT MATERIAL IS TO BE PROVIDED WITH A ONE-YEAR REPLACEMENT GUARANTEE AND SHALL BE REPLACED IF DEAD, DYING, OR OTHERWISE UNACCEPTABLE TO THE CIVIL ENGINEER OR LANDSCAPE ARCHITECT.
20. CONTRACTOR SHALL REPAIR ANY DAMAGE TO PROPERTY FROM PLANTING OPERATIONS AT NO COST TO THE OWNER.
21. ALL EXISTING LANDSCAPING SHALL BE MAINTAINED DURING CONSTRUCTION. ANY MATERIAL DEEMED DEAD OR UNSATISFACTORY BY CIVIL ENGINEER WILL BE REPLACED EQUIVALENT IN SIZE AND SHAPE AT NO COST TO THE OWNER.

TOP SOIL REQUIREMENTS

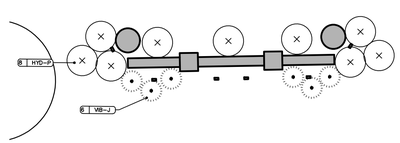
NOT TO SCALE





1 ENTRY SIGN SCHEMATIC DESIGN

NOT TO SCALE



2 ENTRY SIGN PLANTING PLAN

NOT TO SCALE

OPEN SPACE/ COMMON AREA LANDSCAPING REQUIREMENT:

1. OPEN SPACE LANDSCAPE REQUIREMENTS ARE MET WITH BUFFERYARDS AND EXTERNAL STREET FRONTAGE LANDSCAPING REQUIREMENTS. OPEN SPACE/ COMMON AREAS TO BE SEEDED.

EXTERNAL STREET FRONTAGE LANDSCAPING REQUIREMENT:

APPROX. 450 LF OF EXTERNAL STREET FRONTAGE FOR LANDSCAPING ALONG 6 POINT ROAD

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	18	25
3 SHADE	13	33
3 ORNAMENTAL	13	13
25 SHRUBS	112	143
MINIMUM 4' TALL UNDULATING MOUND		COMPLIANT

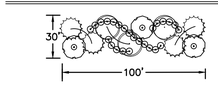
NOTES:
1. ADDITIONAL SHRUBS ARE PROVIDED AT ENTRY SIGNAGE.

APPROX. 600 LF OF EXTERNAL STREET FRONTAGE FOR LANDSCAPING ALONG W 193 STREET

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	24	26
3 SHADE	18	20
3 ORNAMENTAL	18	19
25 SHRUBS	150	133
MINIMUM 4' TALL UNDULATING MOUND		COMPLIANT

NOTES:
1. SOME EXTERNAL STREET FRONTAGE LANDSCAPING IS COVERED BY EX. TREES – SEE PLANS FOR EX. TREE LOCATIONS.
2. SOME EXTERNAL STREET FRONTAGE LANDSCAPE IS OMITTED DUE TO DITCH CONFLICT.
3. COUNTS DON'T MATCH REQ. TO ACCOUNT FOR AREAS WHERE EX. TREES ARE AND DITCH THAT WERE NOT INCLUDED IN OVERALL LENGTH.

EXTERNAL STREET FRONTAGE LANDSCAPING REQUIREMENT:



* ABOVE TYPICAL SECTION REFLECTS PLANTINGS WITHIN A 30' x 100' LANDSCAPE AREA

SUBJECT TO GAS PIPELINE, UTILITY AND DRAINAGE RESTRICTIONS.

LANDSCAPE NOTES:

1. LANDSCAPING AS SHOWN SUBJECT TO UTILITIES, GRADING AND DRAINAGE IMPROVEMENTS AND EASEMENTS.
2. SEE MASTER PLANTING SCHEDULE ON THIS SHEET FOR PLANT KEY AND QUANTITIES.
3. THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
4. STREET TREES:
   - 4.1. SHALL BE INSTALLED IN THE LOCATIONS SHOWN ON THE PLANS, DO NOT INSTALL THE SAME SPECIES NEXT TO EACH OTHER.
   - 4.2. TO BE SPACED APPROXIMATELY 50' O.C., (MIN. 25' O.C., MAX. 60' O.C. – DEPENDENT UPON STORM SEWER LOCATIONS).
   - 4.3. TREES SHALL BE PLANTED A MINIMUM DISTANCE OF 4' FROM THE EDGE OF A STREET CURB OR PEDESTRIAN PATHWAY/SIDEWALK.
   - 4.4. ALL STREET TREES TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST. USE A RANDOM MIX OF THE FOLLOWING TREES, AS SPECIFIED IN THE MASTER PLANTING SCHEDULE AS STREET TREE:

TOTAL QUANTITY:	NAME:
73	FREEMAN MAPLE
73	SYCAMORE MAPLE
73	TULIP TREE
72	STERLING SILVER LINDEN
72	ACCOLADE ELM

BUFFERYARD LANDSCAPING REQUIREMENT:

BUFFERYARD TYPE B:
- MINIMUM WIDTH – 40'
- MINIMUM 4' TALL UNDULATING MOUND
- STANDARD PER 100 LF:
  - 4 EVERGREEN TREES
  - 4 SHADE TREES
  - 10 SHRUBS

TREE PRESERVATION AREA
*TREE INVENTORY STUDY TO BE CONDUCTED AT A LATER DATE. IF TREE COUNT FOUND TO BE INSUFFICIENT, ADDITIONAL TREES WILL BE PLANTED TO SUPPLEMENT BUFFERYARD. BUFFER YARD NO MOUND REQUIRED.

BUFFERYARD A – 2400 LF TOTAL

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	96	96
4 SHADE	96	96
10 SHRUBS	240	240

BUFFERYARD B – 1000 LF TOTAL

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	40	40
4 SHADE	40	40
10 SHRUBS	100	107

BUFFERYARD C – 2050 LF TOTAL

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	82	82
4 SHADE	82	78
10 SHRUBS	255	200

NOTES:
1. PROVIDED DOES NOT MATCH REQUIRED BECAUSE SOME BUFFERYARD LANDSCAPING IS COVERED BY EX. TREES – SEE PLANS FOR EX. TREE LOCATIONS.

BUFFERYARD D – 1950 LF TOTAL

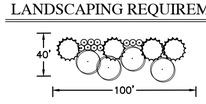
STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	78	79
4 SHADE	78	80
10 SHRUBS	195	200

BUFFERYARD E – 1100 LF TOTAL

STANDARD PER 100'	REQUIRED	PROVIDED
4 EVERGREEN	44	0
4 SHADE	44	0
10 SHRUBS	110	0

NOTES:
1. BUFFERYARD LANDSCAPING IS COVERED BY EX. TREES – SEE PLANS FOR EX. TREE LOCATIONS.

BUFFER YARD LANDSCAPING REQUIREMENT:



* ABOVE TYPICAL SECTION REFLECTS PLANTINGS WITHIN A 40' x 100' LANDSCAPE AREA

SUBJECT TO GAS PIPELINE, UTILITY AND DRAINAGE RESTRICTIONS.

VARIES FOR BUFFER YARD A TO FIT WITHIN REQUIRED EASEMENT SPACE.

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA

LANDSCAPE NOTES & SCHEDULES

PRELIMINARY
NOT FOR CONSTRUCTION
HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA
Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET L1.6 LANDSCAPE NOTES & SCHEDULES	

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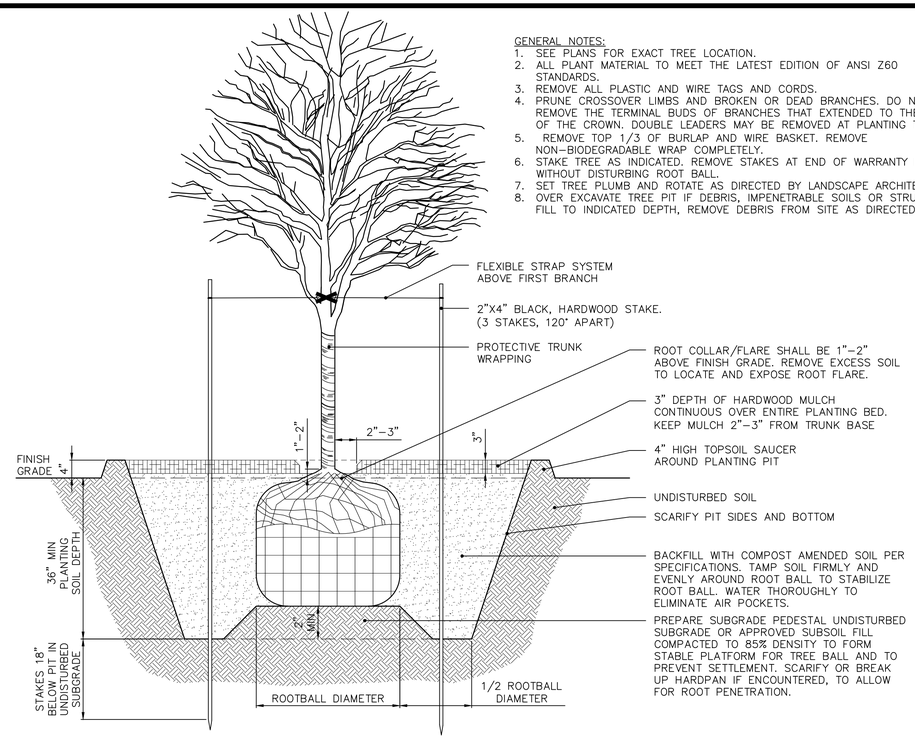
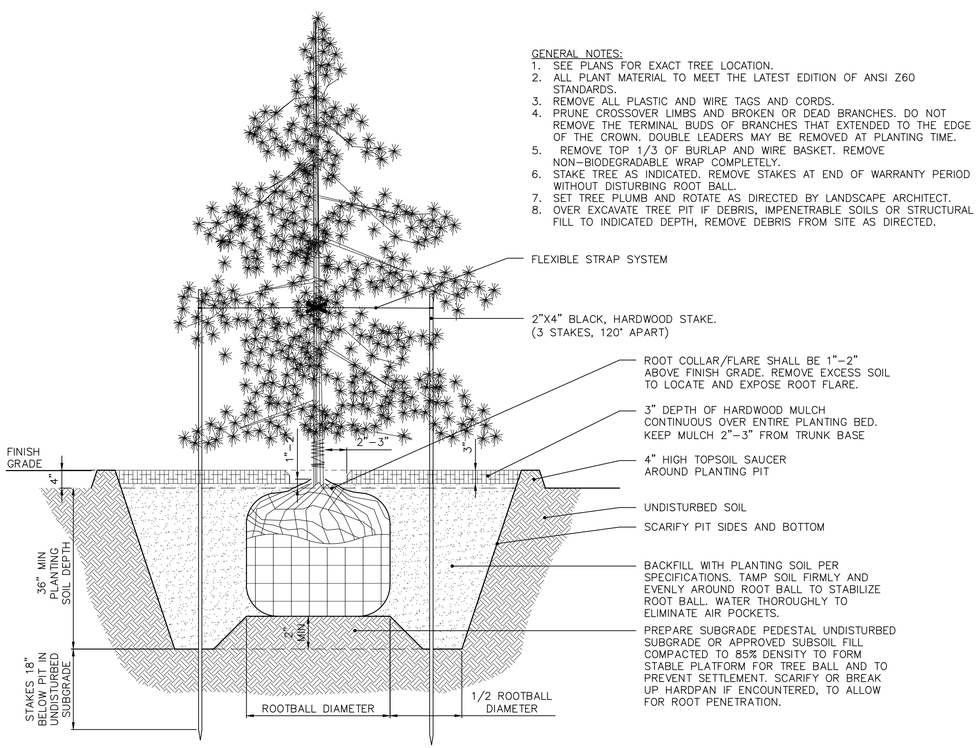
Plot Date: Dec 05, 2019 Plot Time: 5:29pm File Name: W:\Olthof Homes\2019-157-S Olthof- Carey Property\Design\CAD\19157.PP - Landscape Plan.dwg, Layout: L1.6 By: tdavis



GENERAL NOTES:
1. SEE PLANS FOR EXACT TREE LOCATION.
2. ALL PLANT MATERIAL TO MEET THE LATEST EDITION OF ANSI Z60 STANDARDS.
3. REMOVE ALL PLASTIC AND WIRE TAGS AND CORDS.
4. PRUNE CROSSOVER LIMBS AND BROKEN OR DEAD BRANCHES. DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTENDED TO THE EDGE OF THE CROWN. DOUBLE LEADERS MAY BE REMOVED AT PLANTING TIME.
5. REMOVE TOP 1/3 OF BURLAP AND WIRE BASKET. REMOVE NON–BIODEGRADABLE WRAP COMPLETELY.
6. STAKE TREE AS INDICATED. REMOVE STAKES AT END OF WARRANTY PERIOD WITHOUT DISTURBING ROOT BALL.
7. SET TREE PLUMB AND ROTATE AS DIRECTED BY LANDSCAPE ARCHITECT.
8. OVER EXCAVATE TREE PIT IF DEBRIS, IMPENETRABLE SOILS OR STRUCTURAL FILL TO INDICATED DEPTH, REMOVE DEBRIS FROM SITE AS DIRECTED.

1 SINGLE STEM TREE PLANTING
NOT TO SCALE



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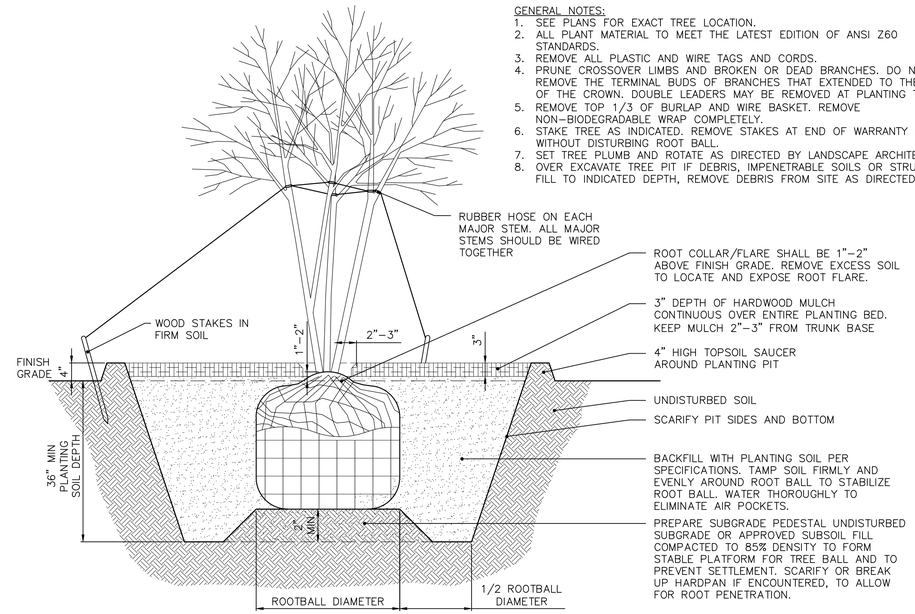
8. OVER EXCAVATE TREE PIT IF DEBRIS, IMPENETRABLE SOILS OR STRUCTURAL FILL TO INDICATED DEPTH, REMOVE DEBRIS FROM SITE AS DIRECTED.

2 EVERGREEN TREE PLANTING
NOT TO SCALE



GENERAL NOTES:
1. SEE PLANS FOR EXACT TREE LOCATION.
2. ALL PLANT MATERIAL TO MEET THE LATEST EDITION OF ANSI Z60 STANDARDS.
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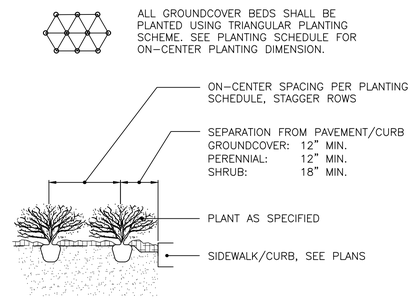
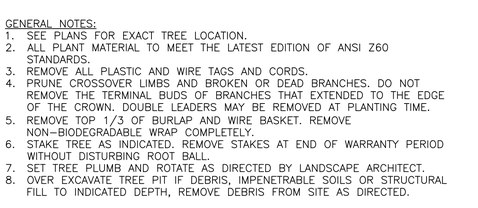
7. SET TREE PLUMB AND ROTATE AS DIRECTED BY LANDSCAPE ARCHITECT.
8. OVER EXCAVATE TREE PIT IF DEBRIS, IMPENETRABLE SOILS OR STRUCTURAL FILL TO INDICATED DEPTH, REMOVE DEBRIS FROM SITE AS DIRECTED.

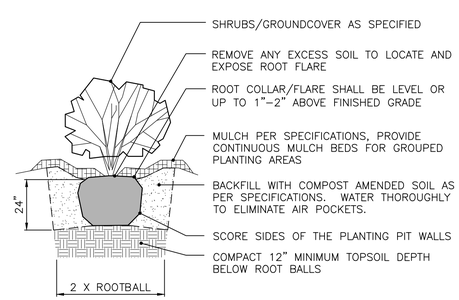
3 MULTI-STEM TREE PLANTING
NOT TO SCALE



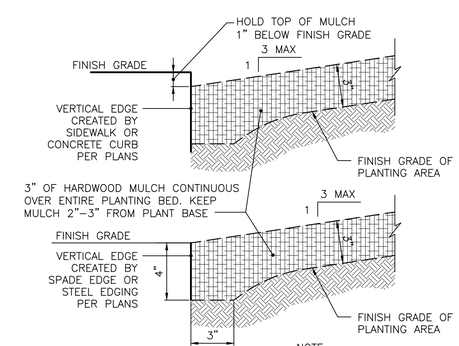
4 PLANT SPACING
NOT TO SCALE



6 PERENNIALS AND GRASSES
NOT TO SCALE



5 SHRUBS AND GROUNDCOVER
NOT TO SCALE



NOTE:
EDGING SHALL BE INSTALLED AT ALL JUNCTIONS OF PLANTING/ MULCH AREAS FOR CONTAINMENT OF MULCH.

7 PLANTING BED PERIMETER
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY

HWC ENGINEERING
INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

ATWATER PRIMARY PLAT / DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
LANDSCAPE DETAILS

PRELIMINARY
NOT FOR CONSTRUCTION

HOPE A. MARTIN REGISTERED No. PE11700154 STATE OF INDIANA

Hope A. Martin

DRAWN BY TD/KS	JOB NUMBER 2019-157
CHECKED BY HM	
DATE SEPTEMBER 27, 2019	
SCALE AS SHOWN	
SHEET L1.7 LANDSCAPE DETAILS	

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Plot Date: Dec 05, 2019 Plot Time: 5:29pm File Name: W:\Olthof Homes\2019-157-S Olthof - Carey Property\Design\CAD\19157.PP - Landscape Plan.dwg, Layout: L1.7 By: tdavis

Westfield-Washington Township Advisory Plan Commission
Minutes of the December 2, 2019 APC Meeting

Presented for approval: December 16, 2019

Westfield-Washington Advisory Plan Commission (APC) held a meeting on Monday, December 2, 2019 scheduled for 7:00 p.m. at Westfield City Hall.

OPENING OF MEETING: 7:00 p.m.

ROLL CALL: Noted presence of a quorum.

MEMBERS PRESENT: Randy Graham, Steve Hoover, Robert Horkay, Andre Maue, Robert Smith, Dave Schmitz, Scott Willis, and Chris Woodard.

MEMBERS ABSENT: Ginny Kelleher.

CITY STAFF PRESENT: Kevin Todd, Director; Pam Howard, Senior Planner; Daine Crabtree, Associate Planner; Jonathan Dorsey, Associate Planner; Caleb Ernest, Associate Planner; Corey Harris, Associate Planner; and Brian Zaiger, City Attorney with Krieg DeVault.

APPROVAL OF MINUTES

Motion: Approve November 6, 2019 meeting minutes as written.
Motion: Smith; Second: Woodard. Motion passed. Vote: 8-0.

Motion: Approve November 18, 2019 meeting minutes as written.
Motion: Maue; Second: Willis. Motion passed. Vote: 8-0.

APPROVAL OF THE 2020 APC SCHEDULE OF MEETINGS AND FILING DATES

Woodard mentioned that in the past, due to the school schedules, that the April and October meeting attendance numbers might be affected. Graham replied that so far there has been no issue meeting a quorum.

Motion: Approve the 2020 APC schedule of meetings and filing dates.
Motion: Smith; Second: Schmitz. Motion passed. Vote: 8-0.

REVIEW OF RULES AND PROCEDURES

Howard reviewed the meeting rules and procedures.

CONSENT AGENDA

1910-DDP-19

Grassy Branch Marketplace, Lot 3
3302 East State Road 32
Grassy Branch Partners, LLC by American Structurepoint, Inc. requests Detailed Development Plan approval for a 27,234 square foot commercial in-line tenant building on 4.16 acres +/- in the Grassy Branch Marketplace PUD District.
(Planner: Daine Crabtree ▪ DCrabtree@westfield.in.gov)

Motion: Approve Consent Agenda as presented.
Motion: Horkay; Second: Woodard. Motion passed. Vote: 8-0.

ITEMS OF BUSINESS

1910-PUD-39 **Maple Knoll PUD Amendment IV**

17145 Spring Mill Road

Meijer by Woolpert, Inc. requests an amendment to the Maple Knoll PUD District modifying the sign standards and architectural standards for the Meijer's property.

(Planner: Caleb Ernest ▪ CErnest@westfield.in.gov)

Ernest overviewed this request for an amendment to modify the sign and architectural standards. He said that following the last APC meeting this item was forwarded to the City Council with an unfavorable recommendation. He added that the Petitioner made modifications in response to Council and Staff comments prior to the City Council meeting and additionally changes were made at that meeting. The City Council gave this item a 5-2 recommendation for approval. He said one public comment had been received; however, given that it was received after-hours, it was not uploaded.

Ashley Mack, Real Estate Manager with Meijer, addressed the APC and stated that Meijer has diligently worked to incorporate changes based on the feedback from the APC, City Council, and Staff. She said that these modifications include reduced signage areas and signage heights. She added that architectural upgrades have been added to the buildings and that the use of unscreened outdoor sales was eliminated.

Hoover clarified the process that occurred since this item was last before the APC.

Willis asked Hoover if he was satisfied with the signage changes.

Hoover replied that, yes, he was satisfied with the changes presented before the City Council.

Willis asked Mack if there was an updated version of the exhibit showing the sign from the road.

Mack replied no.

Schmitz said that trees would be less of an issue since the sign was moved closer to the corner.

Maue said he believed that the multiple small signs were more in line with what the City wants to see.

Smith said he would like to send no recommendation and let City Council sort out the details.

Horkay is satisfied with the changes and is good with this petition being finished at this meeting.

Motion: Approve 1910-PUD-39.
Motion: Woodard; Second: Maue. Motion passed. Vote: 7-1 (Smith).

Plan Commission Order 19-03 **Grand Junction EDA Amendment**

Order of the Westfield-Washington Plan Commission determining that a resolution and an amended Economic Development Plan approved and adopted by the Westfield Redevelopment Commission conform to the plan of development for the City of Westfield and approving the resolution and amended plan.

Todd overviewed this item, explaining this action is to confirm that what is coming from the Westfield Redevelopment Commission is consistent with the Comprehensive Plan.

Motion: Approve Plan Commission Order 19-03.
Motion: Graham; Second: Horkay. Motion passed. Vote: 8-0.

PUBLIC HEARING ITEMS

1912-ODP-22 &	**Atwater**
1912-SPP-22	*North of the intersection of Casey Road & 193rd Street*
[PUBLIC HEARING]	Olthof Homes, LLC by Nelson & Frankenberger requests Overall Development Plan and Primary Plat review of 275 Lots on approximately 100 acres +/- in the Atwater PUD District. *(Planner: Jonathan Dorsey ▪ JDorsey@westfield.in.gov)*

Dorsey overviewed this request for an Overall Development Plan and Primary Plat review. He said that this petition is compliant with the previously presented concept plan. He said that this plan is subject to change with the alignment of the roads but the number of homes would stay the same. Staff had received no comments.

Public Hearing for 1912-ODP-22 &1912-SPP-22 opened at 7:21 p.m.

No public comments.

Public Hearing for 1912-ODP-22 &1912-SPP-22 closed at 7:22p.m.

No Commission comments.

1912-ODP-23 &	**Orchard View**
1912-SPP-23	*North of the intersection of Casey Road & State Road 32*
[PUBLIC HEARING]	Arbor Homes by American Structurepoint requests Overall Development Plan and Primary Plat review of 271 Lots on 104.7 acres +/- in the Orchard View PUD District. *(Planner: Corey Harris ▪ CHarris@westfield.in.gov)*

Harris overviewed this request for an Overall Development Plan and Primary Plat review.

Public Hearing for 1912-ODP-23 &1912-SPP-23 opened at 7:23 p.m.

Steven Newnam, 177922 Springmill Road; said he lives on the "missing piece" of this project. He said he had been in discussion with Arbor Homes prior to approval, but had not heard from them since that time. He stated he is concerned about drainage, and he wants his septic to remain for the residence and acquire a connection to water and sewer to the business. He said has been running business out of property for several years with no issues; however, he said is worried if the Orchard View HOA will have an issue with his business. He said he would like to have water and sewer connected on his property if possible.

Public Hearing for 1912-ODP-22 &1912-SPP-22 closed at 7:26 p.m.

The Petitioner responded that most of development will drain to pond in the Orchard View community then on to the Redwood community. He added only a few lots will drain to the legal drain. He said the existing use of Newnam's property should not be a concern. He said he was unaware that discussions with Newnam had stopped; however, Arbor is moving forward with this plan. He said Arbor will work with Newnam on the water and sewer concerns.

Woodard asked if any of the property drained to the wooded area.

The Petitioner replied yes, that is why they didn't clear the trees and there will be a swale to collect water.

Smith asked if Arbor had met with Mr. Newnam.

The Petitioner replied yes, prior to Council approval.

Schmitz asked the Petitioner if he would commit to working on providing water and sewer to Mr. Newnan.

Maue stated that the extension of water and sewer would be a good gesture by Arbor.

Motion: Approve 1912-ODP-23 &1912-SPP-23 with the following staff conditions:

- All necessary approvals be obtained from the Westfield Public Works Department and the Hamilton County Surveyor's Office prior to the issuance of an Improvement Location Permit.
- A visual tree inventory (the "Tree Inventory"), as described in the Orchard View PUD (Ord. 19-27), be submitted to the Department prior to the issuance of a Secondary Plat.

Motion: Maue; Second: Willis. Motion passed. Vote: 8-0.

1912-PUD-44	**Links PUD**
[PUBLIC HEARING]	*SE Corner of 191st Street & Tomlinson Road, approximately* Edgerock Development, LLC requests the rezoning of 68 acres +/- from the AG-SF1: Agriculture/Single-Family Rural district to the Links PUD District. *(Planner: Daine Crabtree ▪ DCrabtree@westfield.in.gov)*

Crabtree overviewed this rezone request for the Links PUD District. He said that a neighborhood meeting was held on November 26 for this item. He said that the property is currently zoned AG-SF1: Agriculture Single-Family Rural, and the PUD proposes that the real estate be split into five (5) districts, with four (4) being rezoned to an underlying zoning district of LB: Local Business, with a smaller area to remain AG-SF1 underlying for a public park. A hotel is proposed as an additional permitted use in District 1 and a Community Entertainment Center and associated go-kart race track is proposed as an additional permitted use in District 5. A technology center and observatory are shown on the Concept Plan as proposed uses in Districts 3 and 4 respectively, and are both permitted by right in LB zoned areas.

Petitioner, Birch Dalton of EdgeRock Development, summarized the project as it relates to the City's tourism plan. He said there was one comment from the neighborhood meeting concerning the noise from the proposed outside track and the Petitioners will be researching that item. He addressed some parking issues that relate to a nearby property and said he proposed access cuts at EdgeRock Development's expense to allow for better traffic flow. He also addressed the idea of creating a public bicycle park /trail head. He added that there is allowable land that in the future could be compatible for a hotel. He spoke to local race operation in the area and how this project is using racing themes such as the use of a Pagoda. He also spoke to an additional proposed entertainment facility including a laser flash business, a music meeting, conference spaces, and a jump/trampoline park.

Petitioner Greg McCauley, with Link Institute, spoke about the lack of a space/science center in Indianapolis, specifically in an area so close to Purdue's Aeronautics School and the Astro-Physics programs at Indiana University. This proposed "Grand Universe" would be home to the David Wolf Observatory with a technology center offering STEM education. He said partnerships with higher education facilities is a part of the mission of Link along with visiting astronauts.

Public Hearing for 1912-PUD-44 opened at 7:48 p.m.

Jim Steckley, 30 Shoshone Drive, Carmel; said he is concerned about drainage and the sewer, as well as the proposed location of the trash containers located along the southern portion of property. He said he is also

concerned about visual of the architecture/south elevation along his property. He said he wanted to know about ingress/egress to his property. He said he is not in favor of the go-cart feature.

Debra Sturm, 1312 East 191st Street; said her property is northeast of this proposed project and has concerns about traffic on 191st Street. She said it is currently very difficult to get out of local driveways on weekends and thinks road improvements should come prior to the project. She said there was talk to an exit on 191st, this would be an issue. She added that she has concerns about signage height, which is taller than Meijer's sign.

Public Hearing for 1912-PUD-44 closed at 7:55 p.m.

Dalton responded that ingress and egresses will not be needed as there is no road. He stated that the landscape plan was designed for shielding and security by providing a three to four foot berm, trees, and security fencing placed on south property line and limiting visibility of the building and trash enclosures. He said that the trash enclosures will be masonry and look nice and like be shielded by the berm. He said that most water drains to northeast towards Chad Hittle Drive. He responded to the concerns about the go-karts by saying that he will look at going to all electric carts versus gas carts to reduce noise and they would comply with the City's noise standards. He said that there is a curb cut on northeast corner on 191st Street across from Sturm property. He said the sign would be designed within current sign regulations and will be low light. Parking are lighting can be reduced at night

Maue asked if the lighting at Grand Park would cause a lighting problem with the observatory.

McCauley replied that there are two types of observatories and that this proposed design is a Public Urban Observatory which uses narrow band glass filters to filter out certain light. He said they have looked at the current level of light pollution and it is acceptable. He overviewed the Chicago Observatory's mitigation of a very high light pollution. This observatory would not a deep space research level facility but will have visiting astronauts conducting low level research.

Maue said he agreed with the south architecture concerns and wants to better understand the design as well as the management of tractor trailers.

Dalton responded that there will be screening consisting of a berm and fencing. As for the tractor trailers, he said there would be adequate turning radius areas and reinforced concrete.

Schmitz asked if Mr. Howard's uses consisted of a race team as well as go-kart track.

Dalton responded yes, he currently has a race driving school in town. He also has a local shop and recreational go cart track. The plan for this proposed track would designed for be recreational use only.

Maue commented that there are a lot more inspirational images in the family entertainment center character exhibit than are shown on the plans. He thinks the petitioner should pull out the ones not being used prior to PUD approval.

Crabtree responded that the PUD will require substantial compliance, if some of specific are missing then it could still be substantially compliant.

Woodard said he appreciates the introduction of STEM education; however, he said he has low confidence that this project will happen given the character exhibits and substantial compliance.

Dalton responded that he is taking the risk by purchasing this property now. Should the observatory not build, then he would have to come back to replat for commercial at a later date.

1912-PUD-45	**Monon Hills PUD Amendment I**
[PUBLIC HEARING]	*15701 Monon Hills Court*
	Noah Herron requests an amendment to the Monon Hills PUD District modifying the Development Standards.
	(Planner: Jonathan Dorsey ▪ JDorsey@westfield.in.gov)

Dorsey overviewed this request for an amendment to the Monon Hills PUD District involving garage architectural standards and open space/amenity standards. He said Staff had received no comments.

Public Hearing for 1912-PUD-45 opened at 8:12 p.m.

No public comments.

Public Hearing for 1912-PUD-45 closed at 8:13 p.m.

Hoover said that this request is the result of a language change in the original ordinance.

Motion: Forward 1912-PUD-45 to the City Council with a favorable recommendation.
Motion: Hoover; Second: Woodard. Motion passed. Vote: 8-0.

ITEMS CONTINUED TO A FUTURE MEETING

No Continued Items

REPORTS/COMMENTS

- Plan Commission Members
- City Council Liaison
- Board of Zoning Appeals Liaison
- Community Development Department

ADJOURNMENT

ADJOURNMENT

Motion: Adjourn Meeting
Motion: Graham; Second: Schmitz. Motion passed. Vote: 8-0
Meeting adjourned at 8:18 p.m.

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Randell Graham, President

_____
Andre Maue, Vice President

_____
Kevin M. Todd, Secretary