



CITY OF WESTFIELD, IN

Board of Zoning Appeals Meeting Agenda

BOARD OR COMMISSION: Board of Zoning Appeals Meeting

MEETING DATE: Tuesday, September 8, 2026 at 7:00 PM

MEETING PLACE: Westfield City Hall - Assembly Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF BOARD OF ZONING APPEALS

Mark Keen, Chairman | Advisory Plan Commission Appointed | 2-year term | 2/11/25-1/4/27

Jeff Boller, Pro-Tempore | Mayoral Appointed | 4-year term | 1/23/24-1/5/26

Larry Clarino | Mayoral Appointed | 4-year term | 1/23/24-1/3/28

Jacob Plummer | Council Appointed | 4-year term | 8/17/26-1/4/27

Public input can be submitted in 1 of 2 ways:

-Submit comments via email to planners@westfield.in.gov (Include petition number in the subject line.)

-Attend the meeting at Westfield City Hall for an opportunity to participate and publicly comment on a public hearing.

OPENING OF REGULAR MEETING

Note the presence of a quorum

Approval of Minutes - August 11, 2026

Review Rules of Procedure

ITEMS OF BUSINESS

2609-VS-09 [PUBLIC HEARING]

4509 E 169th Street

Robert Bahler

The Petitioner requests multiple Variances of Development Standard in order to accommodate an Accessory Building on 2.0 acres +/- in the SF2: Single-family Low-Density District (Articles 4.5(E)(2)(b), 6.1(B)(2), 6.1(D)(2)(a), 6.1(F)).

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

2609-VS-10 [PUBLIC HEARING]

1415 E 191st Street

Collect Towers II, LLC & AT&T Mobility by Church, Church, Hittle + Antrim

The Petitioner requests a Special Exception to permit a Wireless Communication Service Facility in the AG-SF1 zoning district and Variances of Development Standard to permit the Facility to be located in the US 31 Overlay and closer to the west lot line than Article 6.20(E)(2) requires.

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Liaison

Community Development Department

ADJOURNMENT

Adjourn



CITY OF WESTFIELD, IN
Board of Zoning Appeals Meeting Minutes - 8/11/2026
Tuesday, August 11, 2026 at 7:00 PM

OPENING OF REGULAR MEETING

7:00pm

[YouTube: 0:00](#)

Recording is not available until 7:17pm.

Note the presence of a quorum

BZA Members Present In-Person: Jake Plummer, Larry Clarino.

BZA Members Present Virtually: Jeff Boller.

BZA Members Absent: Mark Keen.

City Staff Present In-Person: Kevin Todd, Community Development Director.

City Staff Present Virtually: None.

Legal Counsel Present Virtually: Nicole Buskill, City of Westfield.

Not recorded.

Elect President Pro Tem for the meeting. Nominated - Jake Plummer

Motion: Elect President Pro Tem for Meeting

By: Jake Plummer

Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino

No: None

Abstain: None

Motion Determination: Passed (3-0)

Approval of Minutes - June 9, 2026

Motion: Approve June 9, 2026, Meeting Minutes

By: Larry Clarino

Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino

No: None

Abstain: None

Motion Determination: Passed (3-0)

Review Rules of Procedure

Todd reviewed Rules of Procedure.

ITEMS OF BUSINESS

2608-VS-07 [PUBLIC HEARING]

18010 Gasparilla Court

Kathy Miracle

The Petitioner requests approval of a Variance of Development Standard to encroach three (3) feet into the twenty-five (25) foot Rear Yard Setback to accommodate a covered patio where an open-air patio currently exists on 0.21 acres +/- in the SF4: Single-family High Density District (Article

4.7(D)(3)).

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

YouTube Time: Not recorded

Staff presentation / BZA comments / Staff responses.

Public Hearing for 2608-VS-07 opened at 7:07 p.m.

-No public comments.

Public Hearing for 2608-VS-07 closed at 7:09 p.m.

BZA comments / Petitioner responses / Staff responses.

Motion: Approve 2608-VS-07

By: Larry Clarino

Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino

No: None

Abstain: None

Motion Determination: Passed (3-0)

Motion: Adopt Staff's Findings of Fact for 2608-VS-07

By: Larry Clarino

Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino

No: None

Abstain: None

Motion Determination: Passed (3-0)

2608-VS-08 [PUBLIC HEARING]

3155 Joshua Circle

Justin and Samantha Olson by Tyler Stupp

The Petitioner requests approval of a Variance of Development Standard to encroach eighteen (18) feet into the thirty (30) foot Side Yard Setback to accommodate a detached garage on 1.2 acres +/- in the AG-SF1: Agriculture/Single-Family Rural District (Article 4.2(E)(2)).

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

[YouTube Time: 0:00](#)

Staff presentation / BZA comments / Staff responses.

Public Hearing for 2608-VS-08 opened at 7:07 p.m.

-One (1) public comment.

Public Hearing for 2608-VS-08 closed at 7:09 p.m.

BZA comments / Petitioner responses / Staff responses.

Motion: Approve 2608-VS-08

By: Larry Clarino

Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino

No: None
Abstain: None

Motion Determination: Passed (3-0)

Motion: Adopt Staff's Findings of Fact for 2608-VS-08
By: Larry Clarino
Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino
No: None
Abstain: None

Motion Determination: Passed (3-0)

REPORTS/COMMENTS

[YouTube Time: 5:05](#)

Plan Commission Liaison

Community Development Department

ADJOURNMENT

Adjourn

Motion: Adjourn
By: Larry Clarino
Seconded: Jeff Boller

Yes: Jake Plummer, Jeff Boller, Larry Clarino
No: None
Abstain: None

Motion Determination: Passed (3-0)



Petition Number: 2609-VS-09

Subject Site Address: 4509 E 169th Street (the "Property")

Petitioner: Robert Bahler (the "Petitioner")

Request: The Petitioner requests multiple Variances of Development Standard to permit an Accessory Building on 2.0 acres +/- in the SF2: Single-Family Low-Density District (Article 4.5).

Current Zoning: SF-2: Single-Family Low Density

Current Land Use: Residential

Approximate Acreage: 2.0 acres +/-

Exhibits:

1. Staff Report
2. Location Map
3. Site Plan
4. Building Plans

Staff Reviewer: Daine Crabtree, Current Planning Manager

PROPERTY INFORMATION & BACKGROUND

The subject Property is approximately two (2) acres in size located at 4509 E 169th Street as seen in the Location Map (**Exhibit 2**).

While the property is zoned SF-2: Single-Family Low-Density, it more closely resembles an AG-SF1 zoned property as it is significantly larger than most SF-2 properties, which are required to be a minimum 15,000 square feet in size (0.34 +/- acres).

REQUEST FOR VARIANCE

The Petitioner is requesting four (4) variances in order to build a new Accessory Building on the property in a manner consistent with the Site Plan (**Exhibit 3**) and Building Elevations (**Exhibit 4**).

The variances being sought are:

- Permission to build the Accessory Building in an Established Front Yard (Article 6.1(D)(2)(a));
- Permission for the Accessory Building to be greater than eighteen (18) feet in height (Article 6.1(F));
- Permission for the Accessory Building to encroach ten (10) feet into the thirty (30) foot west Side Yard Setback (Article 4.5(E)(2)(b); and

- Permission for the cumulative square footage of Accessory Buildings on the Property to be greater than the square footage of the Principal Building (Article 6.1(B)(2))

PROCEDURAL

Public Notice: The Board of Zoning Appeals is required to hold a public hearing on its consideration of a Variance of Development Standard. This petition is scheduled to receive its public hearing at the September 8, 2026, Board of Zoning Appeals meeting. Notice of the public hearing was properly advertised in accordance with Indiana law and the Board of Zoning Appeals' Rules of Procedure.

Conditions: The UDO and Indiana law provide that the Board of Zoning Appeals may impose reasonable conditions and limitations concerning use, construction, character, location, landscaping, screening, and other matters relating to the purposes and objectives of the UDO upon any Lot benefitted by variance as may be necessary or appropriate to prevent or minimize adverse effects upon other property and improvements in the vicinity of the subject Lot or upon public facilities and services. Such conditions shall be expressly set forth in the order granting the variance.

Acknowledgment of the Variance: If the Board of Zoning Appeals approves this petition, then the UDO requires the approval of the variance shall be memorialized in an acknowledgment of variance instrument prepared by Department. The acknowledgment shall: (i) specify the granted variance and any commitments made or conditions imposed in granting of the variance; (ii) be signed by the Director, Property Owner and Applicant (if Applicant is different than the Property Owner); and (iii) be recorded against the subject property in the Office of the Recorder of Hamilton County, Indiana. A copy of the recorded acknowledgment shall be provided to the Department prior to the issuance of any subsequent permit or commencement of uses pursuant to the granted variance.

Variance of Development Standard: The Board of Zoning Appeals shall approve or deny variances from the development standards (such as height, bulk, or area) of the underlying zoning ordinance. A variance may be approved under Indiana Code § 36-7-4-918.5 only upon a determination in writing that:

1. The approval will not be injurious to the public health, safety, morals, and general welfare of the community;
2. The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner; and
3. The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property.

DEPARTMENT COMMENTS

If the Board is inclined to approve 2609-VS-09, The Department recommends the following findings and conditions:

Recommended Conditions:

- That the Accessory Structure be developed in substantial compliance with the Site Plan (**Exhibit 3**) and Building Plans (**Exhibit 4**);
- That the Building Height for the Accessory Structure be limited to twenty-six (26) feet in height or less;
- The Accessory Structure shall be for personal use only; no business shall operate out of the Accessory Structure;
- Any materials associated with activities taking place within the Accessory Structure shall be stored inside said Structure;
- New trees shall be planted in substantially similar locations as shown in **Exhibit 5**; and
- That the Petitioner record an acknowledgement of this approval with the Hamilton County Recorder's Office and return a copy of the recorded instrument to the Community Development Department.

Recommended Findings for Variance of Development Standards (2609-VS-09):

- 1) ***The approval will not be injurious to the public health, safety, morals, and general welfare of the community:***

Finding: It is unlikely that approving the requested variances would be injurious to the public health, safety, morals, and general welfare of the community because the proposed use of the Property as residential will remain unchanged and the improvements will otherwise comply with the applicable standards of the SF-2: Single-Family Low-Density District.

- 2) ***The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner:***



Finding: It is unlikely the use and value of adjacent property will be affected in a substantially adverse manner. The proposed variance should not have a negative impact on adjacent surrounding properties because the use of the Property as a residence is not changing.

3) ***The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property.***

Finding: Strict adherence to the zoning ordinance would result in the Petitioner not being able to locate the detached garage in a way that is most conducive based on the placement of the existing home, existing large, mature trees, and associated well and septic fields. Further, additional, larger Accessory Buildings - such as the one proposed - are more likely to exist harmoniously with existing neighborhood character due to the Property's dimensions more closely resembling a large estate lot rather than a small subdivision lot.

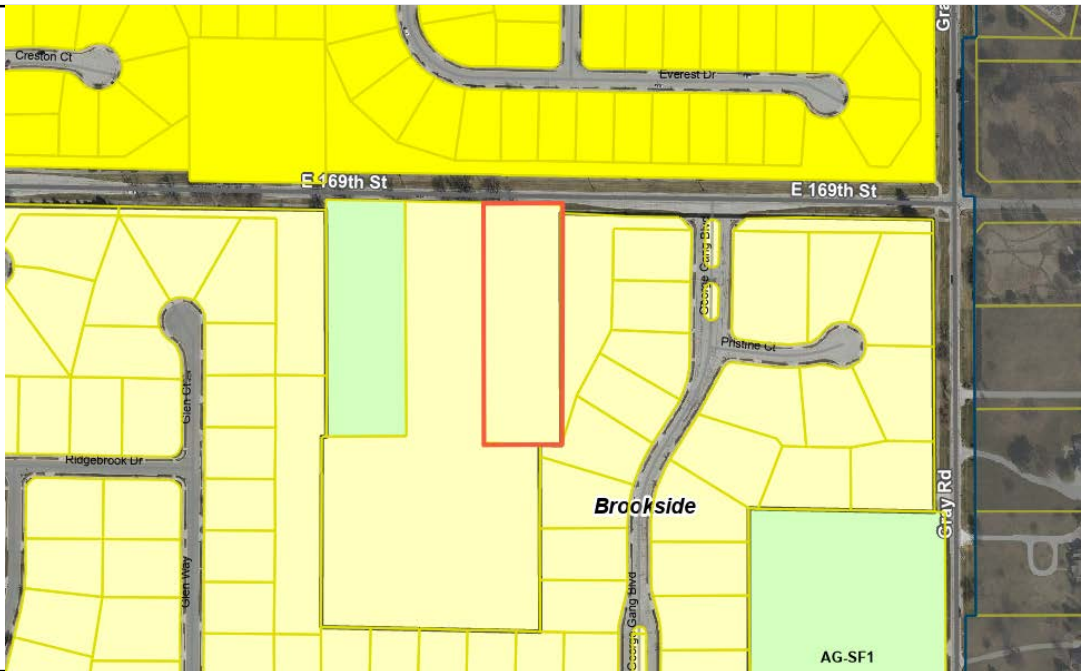
Denial: If the Board is inclined to reject or deny the Variance of Development Standard, then the Department recommends denying the Variances of Development Standard, and then tabling the adoption of findings until the Board's next meeting with direction to the Department to prepare the findings pursuant to the public hearing evidence and Board discussion.

Aerial Location Map

 Site



Zoning Map

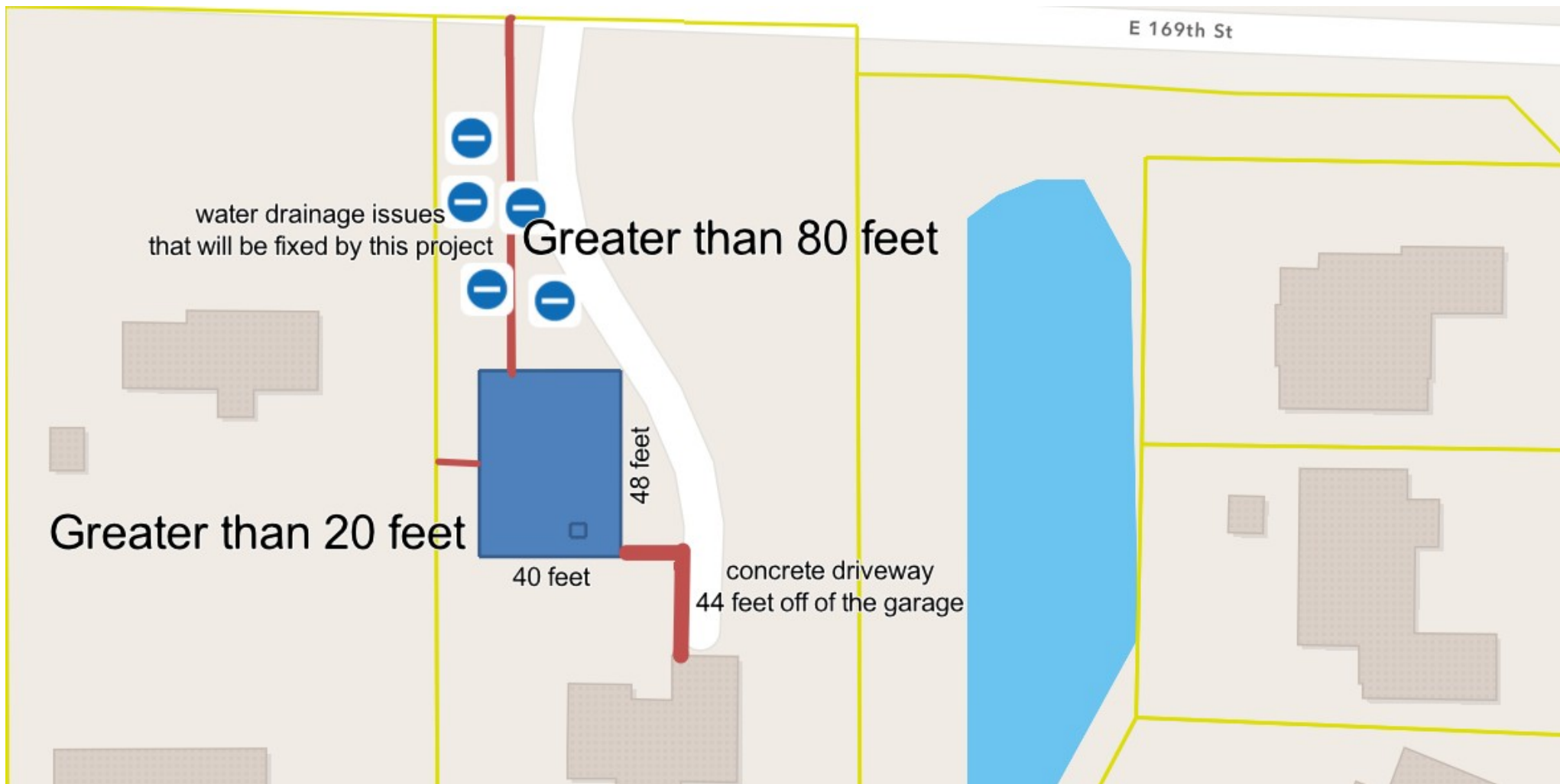


Zoning

-  AG-SF1 (Agriculture - Single Family Rural)
-  SF-2 (Single-family Low Density)
-  SF-3 (Single-family Medium Density)

0 0.05 0.1
Miles











WESTFIELD-WASHINGTON
BOARD OF ZONING APPEALS

September 8, 2026
2609-SE-01 & 2609-VS-10
Exhibit 1

Petition Number: 2609-SE-01 & 2609-VS-10

Subject Site Address: 1415 E 191st Street (the “Property”)

Petitioner: Collect Towers II, LLC & AT&T Mobility by Church, Church, Hittle + Antrim (the “Petitioner”)

Request: The Petitioner requests a Special Exception to permit a Wireless Communication Service Facility on 9.4 acres +/- in the AG-SF1: Agriculture/Single-Family Rural District as well as Variances of Development Standard to permit the Facility to be located in the US Highway 31 Overlay and closer to the west lot line than Article 6.20(E)(2) requires.

Current Zoning: AG-SF1: Agriculture/Single-Family Rural

Current Land Use: Institutional

Approximate Acreage: 9.4 acres +/-

Exhibits:

1. Staff Report
2. Location Map
3. Project Narrative
4. Statement of Need
5. Site Plan and Pole Elevation
6. Map of Existing Towers in the Vicinity

Staff Reviewer: Daine Crabtree, Current Planning Manager

OVERVIEW

Property Location: The subject property is approximately 9.4 acres +/- in size and is located at 1415 E 191st Street (see **Exhibit 2**), home to the Trinity Baptist Church. The Property is zoned AG-SF1: Agriculture/Single-Family Rural. The real estate west of the Property is also zoned AG-SF1 while the Hahn Plaza PUD (which defaults to GB: General Business uses) exists to the east, the Grand Universe PUD (which defaults to GB and LB: Local Business uses) exists to the south and the Chatham Commons PUD (which defaults to GB uses) exists to the north across 191st Street.



The subject Property is of the “Institutional” placetype in the City’s Comprehensive Plan while the aforementioned adjacent parcels south of 191st Street are located within the “Destination Development” placetype. Parcels north of 191st Street are located within the “Master-Planned Mixed Use” placetype.

Special Exception Request: The Petitioner is requesting a Special Exception to permit a Wireless Communication Service Facility in the AG-SF1: Agriculture/Single-Family zoning district.

Variance Requests: The Petitioner is requesting two (2) variances for the aforementioned Wireless Communication Service Facility (the “Facility”): that the Facility be permitted in the US 31 Overlay Zone and that the Facility be permitted closer to the west lot line than Article 6.20(E)(2) allows.

Both the Westfield Economic Development Department and the City Administration are in support of these requests as it is recognized that additional coverage around Grand Park and north Westfield is needed and the likelihood of eventual redevelopment of a higher intensity for existing AG-SF1 parcels in this area is high.

SPECIAL EXCEPTIONS

UDO Article 10.11(B) states “[a] Special Exception is a use that requires a greater degree of scrutiny and review because of its potential adverse impact upon the immediate neighborhood and the community. The Board reviews a Special Exception and its characteristics and impacts to determine its suitability in a given location for the Zoning District in which it is permitted. The determination of whether the Special Exception is approved shall be contingent upon: (i) the Special Exception meeting the standards of this Ordinance and those standards as set forth in this Article; and (ii) the Board weighing, in each case, the public need and benefit against the local impact, giving effect to the proposals of the Applicant for ameliorating adverse impacts through special site planning and development techniques and contributions to the provisions of public, sites, right-of-way and services.”

ANALYSIS

The below analysis coincides with the review criteria for a Special Exception set forth in the Unified Development Ordinance, as summarized herein.



- 1) The establishment, maintenance, or operation of the Special Exception will not be detrimental to or endanger the public health, safety, morals, or general welfare.

Comment: It is unlikely that approving the extension of the Special Exception would be injurious to the public health, safety, morals, and general welfare of the community as there will be no change to the day-to-day use of the Property as it currently exists.

- 2) The Special Exception will be designed, constructed, operated, and maintained so as to:
(i) not be injurious to the use and enjoyment of other property in the immediate vicinity for the purposes already permitted; (ii) not substantially diminish and impair property value within the neighborhood; (iii) be harmonious and appropriate in appearance with the existing or intended character of the immediate vicinity; and (iv) not change the essential character of the area.

Comment: It is unlikely the use and value of adjacent property will be affected in a substantially adverse manner. The property will largely continue to operate in an institutional manner and will not have a negative impact on surrounding properties.

- 3) The establishment of the Special Exception will not impede the normal and orderly development and improvement of surrounding property for uses permitted in the Zoning District.

Comment: The operation and design of the use should not impact surrounding properties and will not impede the use and development of adjacent properties. The property will continue to maintain its commercial character and the extension would be compatible with adjacent land uses permitted in the GB and LB Districts.

- 4) Adequate public facilities and services such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewer, and schools have been or are being provided and the Special Exception will not result in excessive additional requirements at public expense for such public facilities and services.

Comment: Approving the Special Exception will have no effect on existing public facilities and services.

- 5) Adequate measures have been or will be taken to provide ingress and egress designed to minimize traffic congestion and have vehicular approaches are designed as not to create an interference with traffic on surrounding rights-of-way.



Comment: No traffic improvements are proposed or necessitated by this proposal.

- 6) The Special Exception will be harmonious with and in accordance with the objectives of the Comprehensive Plan.

Comment: The Westfield-Washington Township Comprehensive Plan identifies this Property within the “Institutional” land use classification because of the existing church on the Property. Adjacent properties are deemed either “Destination Development” or “Master-Planned Mixed Use Development” placetypes which will likely benefit from the Facility proposed in their daily use.

- 7) The Special Exception will be located in a Zoning District where such use is permitted and that all other requirements of the Zoning District and the Unified Development Ordinance, and as may be applicable to such use, will be met.

Comment: Wireless Communication Facilities are only permitted by-right in Enclosed Industrial and Open Industrial zoning districts, which severely limits the coverage range for a city the size of Westfield. The AG-SF1 zoning district is the only district which would allow the Facility use via the granting of a Special Exception. Two (2) additional variances are being sought due to the Property’s location being located within the US 31 Overlay and adjacent to a residential use.

The below analysis coincides with the review criteria for Variances of Development Standard set forth in the Unified Development Ordinance, as summarized herein.

- 1) ***The approval will not be injurious to the public health, safety, morals, and general welfare of the community:***

Finding: It is unlikely that approving the requested variances would be injurious to the public health, safety, morals, and general welfare of the community because the proposed use of the Property as institutional will remain unchanged and the improvements will otherwise comply with the applicable standards of the AG-SF1: Agricultural Zoning District

- 2) ***The use and value of the area adjacent to the property included in the variance will not be affected in a substantially adverse manner:***



Finding: It is unlikely the use and value of adjacent property will be affected in a substantially adverse manner. The proposed variance should not have a negative impact on adjacent surrounding properties because the use of the Property as institutional is not changing and most of the surrounding properties are commercial in nature and will likely benefit from the Facility requiring the variances. Additionally, due to the high likelihood of redevelopment on either the subject Property or adjacent properties, such a use may increase the property value.

3) ***The strict application of the terms of the zoning ordinance will result in practical difficulties in the use of the subject property.***

Finding: Strict adherence to the zoning ordinance would result in the Petitioner not being able to locate the Facility on the Property, which is located near an area of need. Further, permitting the use of a Wireless Communication Service Facility by-right only within industrial-zoned areas severely limits the range of coverage for a growing city.

PROCEDURAL

Public Notice: The Board of Zoning Appeals is required to hold a public hearing on its consideration of this petition. This petition is scheduled to receive its public hearing at the September 8, 2026, Board of Zoning Appeals meeting. Notice of the public hearing was properly advertised in accordance with Indiana law and the Board of Zoning Appeals' Rules of Procedure.

Conditions: The UDO and Indiana law provide that the Board of Zoning Appeals in granting a Special Exception, may prescribe conditions and limitations concerning the use, construction, character, location, landscaping, screening, parking and other matters relating to the purposes and objectives of this Ordinance upon the premises benefited by a Special Exception as may be necessary or appropriate to prevent or minimize adverse effects upon other property and improvements in the vicinity of the subject property or upon public facilities and services. Any conditions prescribed by the Board shall be recorded in the Office of the Recorder of Hamilton County, Indiana. Violation of any such condition or limitation shall be a violation of this Ordinance and shall constitute grounds for revocation of the Special Exception or related Improvement Location Permit, pursuant to Chapter 11: Enforcement & Penalties.



Review Criteria: The Board of Zoning Appeals may approve a Special Exception only upon a determination that the Special Exception at the proposed location meets the above review criteria.

DEPARTMENT COMMENTS

Approval: If the Board finds that adequate evidence is shown that the Special Exception meets the applicable review criteria, then the Department recommends approving the Special Exception and adopting the written review criteria findings as summarized herein.

Additionally, if the Board finds that adequate evidence is shown to support the Variances of Development Standard, then the Department recommends approving said Variances and adopting the written review criteria findings as summarized herein

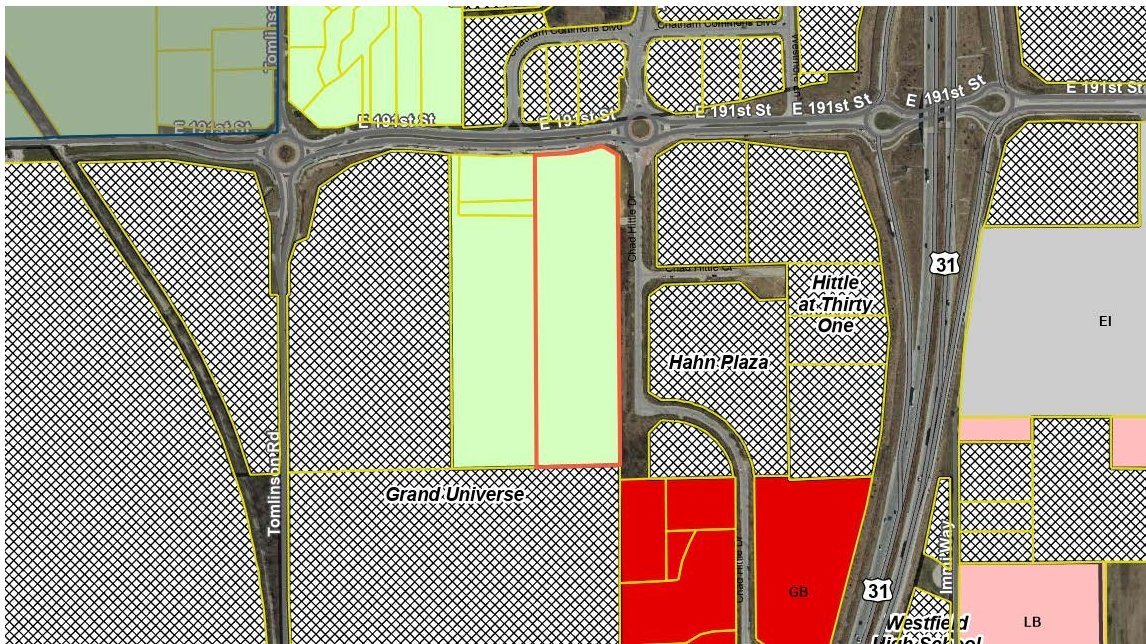
Denial: If the Board is inclined to reject or deny the Special Exception or associated Variances of Development Standard, then the Department recommends denying the Special Exception and/or Variances, and then tabling the adoption of findings until the Board's next meeting with direction to the Department to prepare the findings pursuant to the public hearing evidence and Board discussion.

Aerial Location Map

 Site



Zoning Map



Zoning

-  AG-SF1 (Agriculture - Single Family Rural)
-  GB (General Business)
-  LB (Local Business)
-  EI (Enclosed Industrial)

0 0.05 0.1
Miles



**NARRATIVE STATEMENT
CELLECT TOWERS II, LLC**

Cellect Towers II, LLC, with AT&T Mobility as the anchor tenant, plans to install a Wireless Communication Service Facility on the south end of the Trinity Baptist Church of Westfield's property located at 1415 E 191st Street. AT&T Mobility is the federally approved wireless communication provider for FirstNet; a nationwide broadband network specifically designed for public safety. FirstNet provides additional coverage and capacity for public safety and first responders. With Grand Park as a major draw and US 31 as a major thoroughfare, FirstNet will make sure public safety always has high-speed capacity throughout the area. Additionally, the Wireless Communication Facility will be constructed to accommodate at least three other potential wireless communication providers/carriers.

After exhausting any opportunity to locate elsewhere, this site was selected with the help of Westfield City staff as the best and most reasonable location. The planned improvements will increase reliable wireless communication services for the growing Westfield community and will increase coverage and capacity for Grand Park, the nearby hotels and restaurants, and the High School. This site is also heavily shielded by existing trees and vegetation, which will mask the presence of the structure.

July 23, 2026

TO: Town of Westfield
Board of Zoning Appeals

RE: Proposed AT&T Wireless Communications Facility
Site Name: INL02311
Type & height of Tower: 195' Monopole
Location: Southwest corner of Trinity Baptist Church, Westfield, IN 46074

To Whom It May Concern:

As a radio frequency engineer for AT&T, I am providing this letter to state the need for the AT&T wireless site called INL02311 at the requested RAD center of 170'. The INL02311 wireless communications site is necessary to improve coverage and capacity in Westfield, IN. The proposed site will help resolve a large gap in coverage along the intersection of route 31 and E 191st Street, covering areas from Grand Park in the west to Shady Nook Road to the east.

The height requested is necessary to provide continuous coverage to other existing network sites, offload for our existing network and it gives AT&T the opportunity for growth on a structurally sound facility. The proposed tower would connect to 4 existing AT&T Wireless sites: INL00373, INL00318, INL00765, and INL00089.

AT&T Wireless cares about the communities and prefers to collocate on existing structures but no suitable structures were available in the search area of interest.

The INL02311 site will allow AT&T to provide continuous coverage in a portion of Hamilton County and along portions of major roadways in its vicinity. The site will provide the quality coverage our customers expect and rely on. Customers will experience access to mobile voice and wireless data services that may have been previously unavailable, and support FirstNet and Homeland Security through enhanced 911 services.

This wireless communications site has been designed, and will be constructed and operated in a manner that satisfies regulations and requirements of all applicable governmental agencies that have been charged with regulating tower specifications, operation, construction, and placement, including the FAA and FCC.

RF emission readings at this site in the accessible areas would be well below the applicable limits for FCC Uncontrolled/General Population and FCC Controlled /Occupational environments as outlined in 47 CFR 1.1301 through 1.1319. The site would carry appropriate RF emission signage to the public entering the site area.

This site would transmit frequencies within the licensed frequency bands and the power limitations set by FCC regulatory authority. The site will go through a complete rigorous regulatory process before it comes on-air to provide service to our customers.

AT&T currently holds multiple FCC licenses in Hamilton County in order to provide multiple forms of wireless services to its current and prospective customers.

Sincerely,

Santanu Sarkar

Santanu Sarkar
RF Engineer, AT&T

 SCALE: NONE



**CHAD HITTLE DRIVE
WESTFIELD, IN 46074 - WESTFIELD COUNTY
MONOPOLE TOWER
CDS PROJECT #26-07-01**

LATITUDE: N40° 03' 40.02" (40.061118°)
LONGITUDE: W86° 07' 59.00" (-86.133056°)
ELEVATION AT GRADE: 898.6'
TOWER TYPE: PROPOSED MONOPOLE

CUSTOMER:
CELLECT TOWERS II LLC
3620 DEVELOPERS ROAD
INDIANAPOLIS, IN 46227
(317) 727-3671

PROPERTY OWNER:
TRINITY BAPTIST CHURCH OF
WESTFIELD, INC.
1415 E 191ST STREET
WEST FIELD, IN 46074
(317) 896-9104
PARCEL#
08-05-25-00-00-054.000

DESIGN FIRM:
PBM WIRELESS SERVICES
3620 DEVELOPERS ROAD
INDIANAPOLIS, IN 46227
JACK GIUFFRE
(317) 432-2616

[illegible]

JURISDICTION:
CITY OF WESTFIELD

ZONING:
R1

TOWER TYPE:
195' MONOPOLE



1-800-382-5544

1. PROPOSED COLLECT TOWERS II LEASE AREA WITH A FENCED GRAVEL COMPOUND WITH ACCESS GATE AND UTILITY RACK.
2. PROPOSED COLLECT TOWERS II 195" MONOPOLE TOWER INSIDE FENCED COMPOUND w/HUNTER GREEN VINYL SLATS AND 5' LIGHTNING ROD.

NOTE:

1. PROJECT DESCRIPTION DOES NOT INCLUDE ALL EQUIPMENT & MATERIALS FOR A COMPLETE INSTALLATION.
2. DRAWINGS BASED ON COLLECT TOWERS II SURVEY FOR PROPERTY PARCEL NUMBER 08-05-25-00-00-054.000 DATED 03/30/26.
3. THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE; NO SANITARY SEWER SERVICE, POTABLE WATER, OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

ELECTRICAL UTILITY CONTACT: DUKE ENERGY
(800) 777-9898

COMMUNICATIONS
UTILITY CONTACT:

TIPMONT
(800) 726-3953

WORK SHALL BE PERFORMED AND MATERIALS INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY CITY OF WESTFIELD/COUNTY OF WESTFIELD/ STATE OF INDIANA & OTHER GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

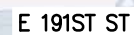
INDIANA BUILDING CODE: TIA/EIA-222H OR
(2012 IBC w/ 2014 STATE AMENDMENTS) LATEST ADOPTED EDITION

INDIANA MECHANICAL CODE:
(2012 IMC w/ 2014 STATE AMENDMENTS)

INDIANA ELECTRICAL CODE:
(NFPA 70-2008 w/ 2014 STATE AMENDMENTS)

CONTRACTOR SHALL VERIFY PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE DESIGN FIRM IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

 SCALE: NONE



CHAD HITTLE DR

SITE LOCATION

PROFESSIONAL CERTIFICATION

PROJECT

CDS
Complete Design Solutions

2719 W. SUNNYSIDE AVE.
CHICAGO, IL 60625
(847) 274-8456

—	04/02/26	INTERNAL REVIEW	MN
A	06/04/26	REV. SURVEY	MN
B	06/05/26	TOWER HEIGHT	MN
C	06/26/26	REV. PER SURVEY	JK
D	07/08/26	REV. CLIENT	JG

IN0031 - GRAND PARK

CHAD HITTLE DRIVE
WESTFIELD, IN 46074 - WESTFIELD COUNTY
MONOPOLE TOWER

CHKD BY: JMD

DWG BY: MN

PROJ #:26-07-01

SHEET TITLE
TITLE
SHEET

SHEET NUMBER
T-1

ELECTRICAL NOTES:

1. WORK UNDER THIS CONTRACT SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE MUNICIPAL, STATE, AND LOCAL ELECTRICAL CODES THAT GOVERN EACH PARTICULAR TRADE AND THE NATIONAL ELECTRICAL CODE (LATEST EDITION).

2. THE CONTRACTOR SHALL EXAMINE DRAWINGS AND SHALL INSPECT THE EXISTING CONDITIONS OF THE SITE. FAILURE TO COMPLY WITH THIS REQUIREMENT WILL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR COMPLYING WITH THE CONTRACT DOCUMENTS.

3. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF THE ELECTRICAL INSTALLATIONS. DETAILS OF PROPOSED DEPARTURES DUE TO ACTUAL FIELD CONDITIONS OR OTHER CAUSES SHALL BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION. REWORK OF COMPLETED ITEMS DUE TO IMPROPER FIELD COORDINATION SHALL BE AT THE CONTRACTOR'S EXPENSE.

4. PROVIDE SUFFICIENT ACCESS AND CLEARANCE FOR ITEMS OR EQUIPMENT REQUIRING SERVICING AND MAINTENANCE.

5. THE CONTRACTOR SHALL PREPARE THREE (3) COPIES OF A RECORD AND INFORMATION BOOKLET. THE BOOKLET SHALL BE BOUND IN A THREE RING LOOSE-LEAF BINDER AND INCLUDE ITEMS OF ELECTRICAL EQUIPMENT.

6. UPON COMPLETION OF THE ELECTRICAL INSTALLATION, THE CONTRACTOR SHALL PROVIDE A COMPLETE SET OF PRINTS OF THE ELECTRICAL CONTRACT DRAWINGS WHICH SHALL BE LEGIBLY MARKED IN RED TO SHOW CHANGES AND DEPARTURES OF THE INSTALLATIONS COMPARED WITH THE ORIGINAL DESIGN. THEY SHALL BE SUITABLE FOR USE IN PREPARATION OF RECORD DRAWINGS.

7. GUARANTEE: NEW ELECTRICAL INSTALLATIONS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR BEGINNING THE DAY OF THE FINAL ACCEPTANCE OF THE WORK OR BENEFICIAL OCCUPANCY OF THE OWNER, WHICHEVER OCCURS FIRST. THE ABOVE SHALL NOT IN ANY WAY VOID OR ABROGATE EQUIPMENT MANUFACTURER'S GUARANTEE OR WARRANTY. CERTIFICATES OF GUARANTEE SHALL BE DELIVERED TO THE OWNER. UPON RECEIPT OF NOTICE FROM THE OWNER OF FAILURE OF ANY PART OF THE ELECTRICAL INSTALLATION DURING THE GUARANTEE PERIOD, NEW REPLACEMENT PARTS SHALL BE FURNISHED AND INSTALLED PROMPTLY AND AT NO COST TO OWNER.

8. ELECTRICAL WORK WHICH WILL INTERFERE WITH THE NORMAL USE OF THE ELECTRICAL SYSTEM IN ANY MANNER SHALL BE DONE AT SUCH TIME OR TIMES AS SHALL BE MUTUALLY AGREED UPON BETWEEN THE CONTRACTOR AND THE CONSTRUCTION MANAGER.

9. MOUNTING AND SUPPORTING OF EQUIPMENT PROVIDED BY THIS CONTRACTOR SHALL BE COORDINATED WITH CONSTRUCTION MANAGER IN THE FIELD.

CONDUIT AND BOXES NOTES:

1. CONDUIT BELOW GRADE SHALL BE SCHEDULED 40 PVC UNLESS NOTED OTHERWISE.

2. BOXES (WHETHER OUTLET, JUNCTION, PULL, OR EQUIPMENT) SHALL BE FURNISHED WITH APPROPRIATE COVERS.

3. NO SECTIONALIZED BOXES SHALL BE USED.

4. EMT CONDUIT FITTINGS SHALL BE COMPRESSION TYPE.

5. FIELD CUTS OR GALVANIZED ITEMS SHALL BE BRUSHED WITH MARINE GRADE GALVANIZING.

6. METALLIC OBJECTS EXPOSED TO WEATHER SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.

GROUNDING NOTES:

1. GROUND RODS WILL BE 5/8" X 10 FOOT COPPER CLAD NOT LESS THAN 10 FOOT OR MORE THAN 15 FOOT APART AND 6 INCHES BELOW LOCAL FROST DEPTH.

2. CONNECTIONS TO THE GROUND RING, AND PERIPHERAL EQUIPMENT WILL BE MADE VIA EXOTHERMIC PROCESS UNLESS OTHERWISE SPECIFIED.

3. BELOW GRADE GROUND WIRES SHALL BE SOLID TINNED BARE COPPER UNLESS OTHERWISE SPECIFIED.

4. METALLIC COMPONENTS ON THE SITE MUST BE GROUNDED TO THE GROUND RING. THIS INCLUDES STEEL CONDUITS USED TO DELIVER THE TELCO AND POWER UTILITY LINES TO THE SITE OR USED TO PROVIDE ACCESS BY UTILITIES OR CONTRACTORS TO THE VARIOUS CABINETS.

5. WHEN EARTH RESISTANCE TEST INDICATE THAT THE SOIL IS ABOVE MINIMUM ALLOWABLE RESISTANCE, THEN CONTRACTOR SHALL ESTIMATE THE TYPE, NUMBER AND ARRANGEMENT OF EARTH ELECTRODES. CONTRACTOR SHALL ALSO CONSIDER OWNER'S SITE SPECIFIC APPROACHES FOR IMPROVING EARTH RESISTANCE AT THE SITE BY THE METHODS INDICATED BELOW:

A. USE MULTIPLE RODS.

B. LENGTHEN THE EARTH ELECTRODE.

C. TREAT THE SOIL.

D. USE CHEMICAL RODS.

6. GROUNDING MATERIALS AND INSTALLATION METHODS SHALL BE DONE IN ACCORDANCE WITH OWNER SPECIFICATIONS.

7. THE CONTRACTOR MUST VERIFY THAT NEW GROUNDING SYSTEM RESISTANCE IS EQUAL TO OR LESS THAN FIVE (5) OHMS PER OWNER SPECIFICATIONS.

8. RUN GROUND WIRES IN AN ORGANIZED MANNER, C-TAPPING PER OWNER SPECIFICATIONS WHERE POSSIBLE TO REDUCE THE NUMBER OF GROUND WIRES. AVOID CROSSING OF WIRES WHEREVER POSSIBLE.

9. INSTALL GROUND WIRES IN A DOWNWARD SLOPE FOR MAXIMUM LIGHTNING PROTECTION.

10. MAINTAIN MINIMUM BENDING RADII OF THE GROUNDING WIRES.

11. DO NOT REMOVE MORE INSULATION FROM THE GROUND WIRES THAN NECESSARY WHEN EXOTHERMICALLY WELDING OR CRIMPING. IF EXCESS INSULATION IS REMOVED, THE CONNECTION WILL BE CONSIDERED UNACCEPTABLE AND WILL BE CORRECTED PER THE OWNER PROJECT MANAGER'S DIRECTION.

GENERAL NOTES:

1. THE EXISTING TOPOGRAPHY AND VERTICAL GEOMETRY REPRESENTED ON THESE DRAWINGS IS TO BE VERIFIED BY CONTRACTOR. CONTRACTOR SHALL CONTACT UTILITY LOCATE SERVICES A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION TO IDENTITY THE EXISTENCE AND LOCATION OF UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES. CONTRACTOR IS TO IMMEDIATELY NOTIFY ENGINEER OF DISCREPANCIES OR INTERFERENCE THAT WILL EFFECT THIS PROJECT. EXISTING UTILITIES SHALL BE PROTECTED AND REPAIRED @ THE CONTRACTORS EXPENSE IF DAMAGED, EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW.

2. DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING ORIGINAL CONDITIONS AT THE CONTRACTOR'S EXPENSE.

3. EXISTING INACTIVE UTILITIES, WHICH PROHIBIT CONSTRUCTION, SHALL BE REMOVED, CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AS REQUIRED TO ALLOW CONSTRUCTION TO CONTINUE, COORDINATE WITH PROJECT MANAGER, OWNER, AND /OR LOCAL UTILITY COMPANIES FOR APPROVAL.

4. CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER OF THE CONSTRUCTION START WELL IN ADVANCE (MIN. 1 WEEK) OF THE CONSTRUCTION DATE.

5. PROVIDE LABOR, MATERIAL, TOOLS, EQUIPMENT, TRANSPORTATION AND TEMPORARY POWER SERVICES NECESSARY FOR, AND INCIDENTAL TO COMPLETION OF WORK AS INDICATED ON THE DRAWINGS AND/OR AS SPECIFIED HEREIN.

6. THE CONTRACTOR SHALL FURNISH AND INSTALL MATERIALS AS REQUIRED FOR COMPLETE SYSTEMS, INCLUDING PARTS OBVIOUSLY OR REASONABLY INCIDENTAL TO A COMPLETE INSTALLATION, WHETHER SPECIFICALLY INDICATED OR NOT. SYSTEMS SHALL BE COMPLETELY ASSEMBLED, TESTED, ADJUSTED AND DEMONSTRATED TO BE READY FOR OPERATION PRIOR TO OWNER'S ACCEPTANCE.

7. THE CONTRACTOR SHALL OBTAIN, PAY FOR AND DELIVER REQUIRED PERMITS, CERTIFICATES OF INSPECTION, INCLUDING UTILITY CONNECTION FEES, ETC.REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. DELIVER CERTIFICATES TO THE OWNER PRIOR TO FINAL ACCEPTANCE OF THE WORK.

8. THE CONTRACTOR SHALL MAINTAIN BENCHMARKS, CONSTRUCTION STAKING, AND OTHER ELEVATION CONTROL POINTS AND SHALL REESTABLISH, IF DISTURBED OR DESTROYED, AT NO ADDITIONAL COST TO THE OWNER.

9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIR AND OR RESTORATION OF DAMAGE TO THE EXISTING ACCESS ROADWAY AND ADJACENT SITE AREAS AS A RESULT OF USE DURING CONSTRUCTION. DISTURBED AND DAMAGED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER UPON COMPLETION OF WORK AT THE EXPENSE OF THE CONTRACTOR.

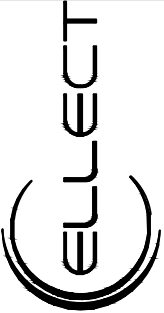
10. THE CONTRACTOR SHALL REMOVE WASTE, DEBRIS AND TRASH FROM SITE AND DISPOSE OF IN A LEGAL MANNER ON A DAILY BASIS.

11. CONTRACTOR SHALL COORDINATE THE CONSTRUCTION STAGING AREA AND PARKING WITH THE PROPERTY OWNER PRIOR TO THE CONSTRUCTION START DATE.

12. THE CONTRACTOR SHALL NOT INTERFERE w/ THE NORMAL OPERATIONS. ACCESS TO THE WORK AREA SHALL BE AS DIRECTED BY THE FACILITY'S OWNER.

13. THE CONTRACTOR SHALL CONFINE THEIR OPERATIONS TO THE DESIGNATED AREAS AND SHALL KEEP THE CONSTRUCTION AREA CLEAN. AISLES AND PATHWAYS SHALL BE KEPT UNOBSTRUCTED.

14. THE CONTRACTOR SHALL COORDINATE THE WORK OF VARIOUS TRADES SO AS TO INSURE PROPER SEQUENCING AND INSTALLATION.



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MONOPOLE TOWER

PROJ #26-07-01

DWG BY: MN

CHKD BY: JMD

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

N-1

STRUCTURAL NOTES:

1. PLATFORM DESIGN LOADS

a. ASCE 7-10/IBC 2015 100 MPH WIND LOAD, EXPOSURE B.

b. MAX. AXIAL COMPRESSION PER LEG = 3000 LBS

c. MAX. UPLIFT PER LEF = 600 PSF APPROX.

d. MAX.HORIZONTAL SHEAR = 800 PSF.
2. PRESUMPTIVE SOUL PARAMETERS:

a. SOIL UNIT WEIGHT, Y=90 PCF

b. ANGLE OF INTERNAL FRICTION = 30"
3. SEISMIC DESIGN PARAMETERS

a. OCCUPANCY CATEGORY II

b. SITE CLASS = D

c. SEISMIC USE GROUP = SUG II

d. SEISMIC DESIGN CATEGORY = D

e. MAPPED SPECTRAL RESPONSE ACCELERATION, 0.2 S PERIOD = 0.4

f. MAPPED SPECTRAL RESPONSE ACCELERATION, 1.0S PERIOD = 0.15
4. FABRICATION AND INSTALLATION SHOULD BE DONE BY A CONTRACTOR EXPERIENCED IN SIMILAR WORK.
5. CONTRACTOR SHOULD OBSERVE OSHA AND OTHER APPLICABLE SAFETY GUIDELINES DURING INSTALLATION.
6. FABRICATION AND INSTALLATION PRECEURE AND SITE SAFETY ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHOULD FIELD VERIFY DIMENSIONS AND FIT BEFORE FABRICATION.
8. THE DRAWINGS DO NOT INCLUDE ALL THE EXISTING FIELD CONDITIONS, SOME OF WHICH MAY INTERFERE WITH THE INSTALLATION. CONTRACTOR SHOULD CONDUCT A FIELD SURVEY TO IDENTIFY POTENTIAL DIFFICULTIES IN THE INSTALLATION BEFORE WORK COMMENCES. CONTACT THE ENGINEER IF THE FIELD CONDITIONS REQUIRE CHANGES IN THE DESIGN.
9. CONTRACTOR IS RESPONSIBLE FOR OBTAINING LICENSES, PERMITS AND OTHER APPROVALS REQUIRED FOR CONSTRUCTION.
10. PAINT THE NEW MEMBERS TO MATCH THE EXISTING STRUCTURE.
11. THE STRUCTURAL STEEL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ANCHOR BOLT LOCATION, ELEVATIONS OF TOP SCREW PIER AND BEARING PLATES, ALIGNMENT ETC. PRIOR TO START OF STEEL ERECTION.
12. THE LATEST EDITION OF THE FOLLOWING SPECIFICATIONS SHALL GOVERN:

a. AISC – "ALLOWABLE STRESS DESIGN SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS"

b. AISC – "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES"

c. AWS – "D1.1 STRUCTURAL WELDING CODE – STEEL"
13. MATERIAL, UNLESS OTHERWISE NOTED, SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:

a. STRUCTURAL WIDE FLANGE & M SHAPES

b. OTHER STRUCTURAL SHAPES AND PLATES

c. STRUCTURAL TUBING

d. HIGH STRENGTH BOLTS

e. THREADED RODS

f. ANCHOR BOLTS

g. PIPE (HANDRAIL)

A992 OR A572, Fy = 50KSI

A36, Fy – 36KSI

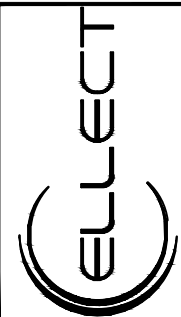
A500, GRADE B, Fy = 46KSI

A325

A36

A307 OR A36

SCH 40 PIPE
14. STEEL SHALL BE HOT DIPPED GALVANIZED AS PER ASTM A123 SPECIFICATION.
15. STEEL HARDWARE SHALL BE HOT DIPPED GALVANIZED PER ASTM A153.
16. BOLTS SHALL BE DOMESTIC, NEW ½ INCH DIAMETER HIGH STRENGTH GALVANIZED BOLTS, BEARING TYPE "X", UNLESS NOTED OTHERWISE IN THE DRAWINGS AND SHALL CONFORM TO ASTM A325 SPECIFICATIONS. USE ANCO LOCKNUTS & FLAT WASHERS ON BOLTS.
17. FINISHED BOLT HOLES SHALL NOT BE MORE THAN 1/16 INCH LARGER THAN THE BOLT DIAMETER UNLESS NOTED OTHERWISE.
18. BOLTS SHALL BE TIGHTENED USING TURN-OF-THE-NUT METHOD.
19. BOLT HOLES EDGE DISTANCES SHALL BE 1 ½ INCH UNLESS OTHERWISE NOTED.
20. WELDING SHALL BE DONE USING E-70 ELECTRODES AND IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY STANDARDS AND SPECIFICATIONS.
21. FIELD CUTS MUST BE THOROUGHLY CLEANED AND DOUBLE COATED w/ RUST PROHIBITIVE PRIMER AND PAINT.
22. DO NOT HEAT STRUCTURAL MATERIAL FOR STRAIGHTENING BENT OR WARPED MEMBERS.
23. CLEAN THE SITE OF DEBRIS UPON COMPLETION OF THE WORK. STORE SURPLUS MATERIALS NEATLY IN AN AREA APPROVED BY THE OWNER.
24. BEFORE FIELD WELDING CLEAN PAINT AND GALVANIZING TO BARE METAL. PREHEATING AND POSTHEATING OF THE BASE METAL SHOULD BE AS PER AWS D1.1 SPECIFICATION AND APPLICABLE CODES REGARDING PREHEATING AND POSTHEATING.
25. CONTRACTOR TO PROVIDE FIRE PROTECTION BEFORE FIELD WELDING.
26. HOLES IN STEEL SHALL BE DRILLED OR PUNCHED. SLOTTED HOLES SHALL BE PROVIDED WITH SMOOTH EDGES. BURNING OF HOLES AND TORCH CUTTING AT THE SITE IS NOT PERMITTED. HOLES IN BEARING PLATES SHALL BE DRILLED.
27. EPOXY ANCHORS TO BE INSTALLED PER MANUFACTURER’S SPECIFICATIONS.



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IN0031 - GRAND PARK

CHAD HITTLE DRIVE

WESTFIELD, IN 46074 - WESTFIELD COUNTY

MONOPOLE TOWER

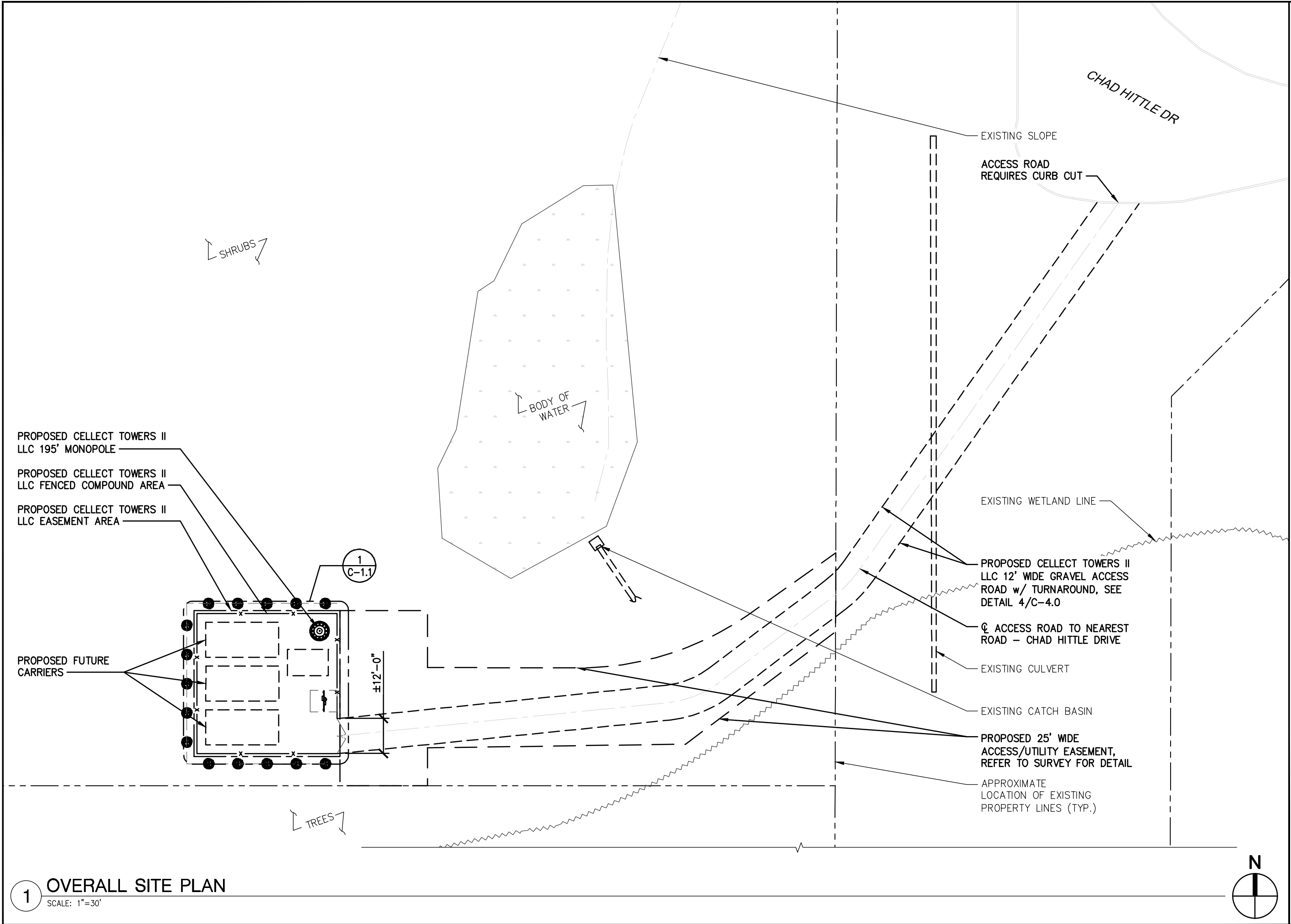
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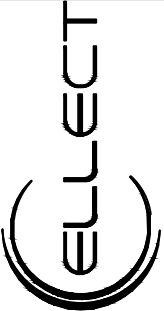
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SHEET TITLE
GENERAL
NOTES

SHEET NUMBER
N-2





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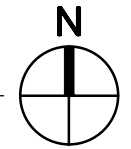
SHEET TITLE

OVERALL
SITE PLAN

SHEET NUMBER

C-1.0

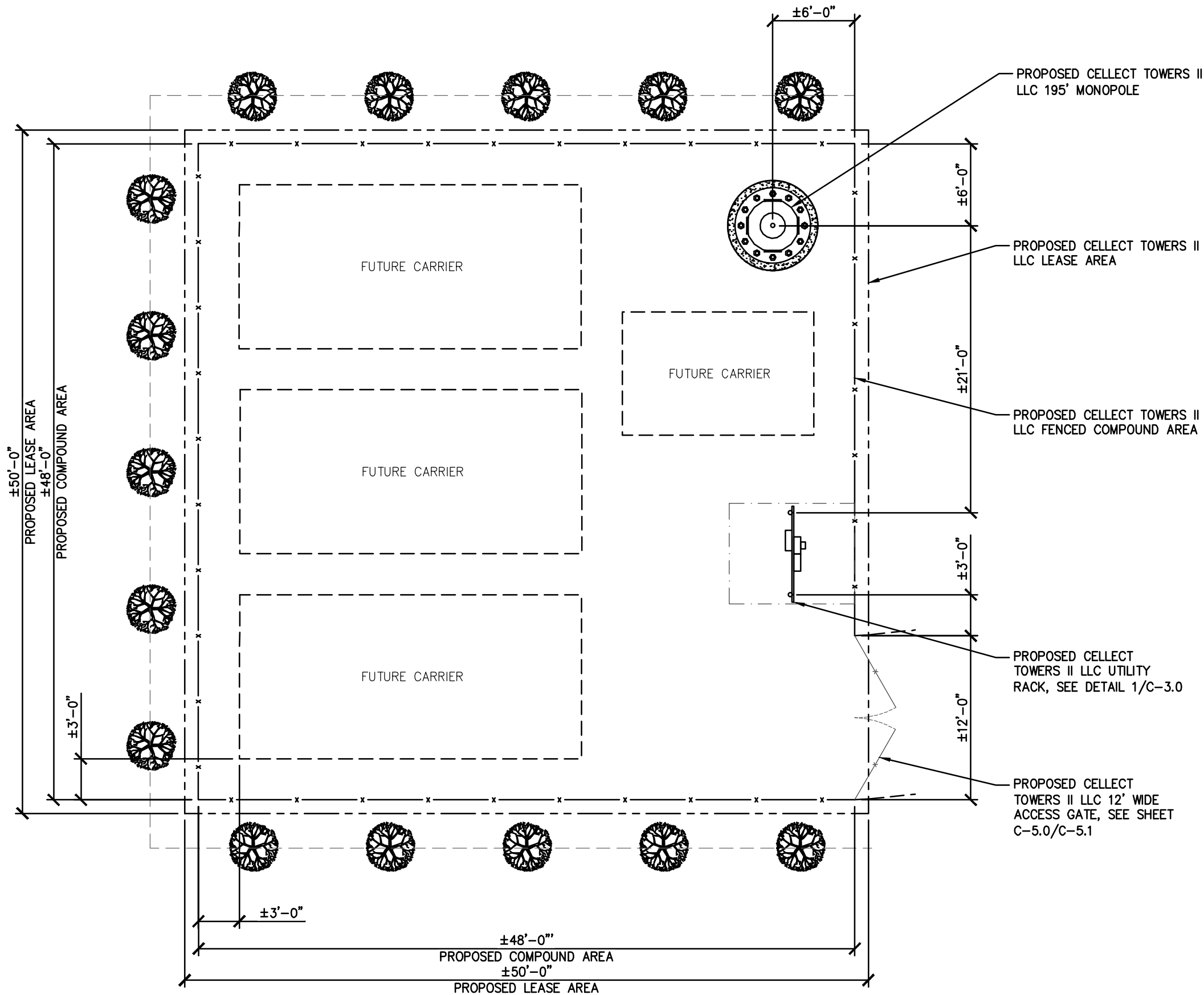
1 OVERALL SITE PLAN
SCALE: 1"=30'



1

COMPOUND PLAN

SCALE: 1/8"=1'-0"



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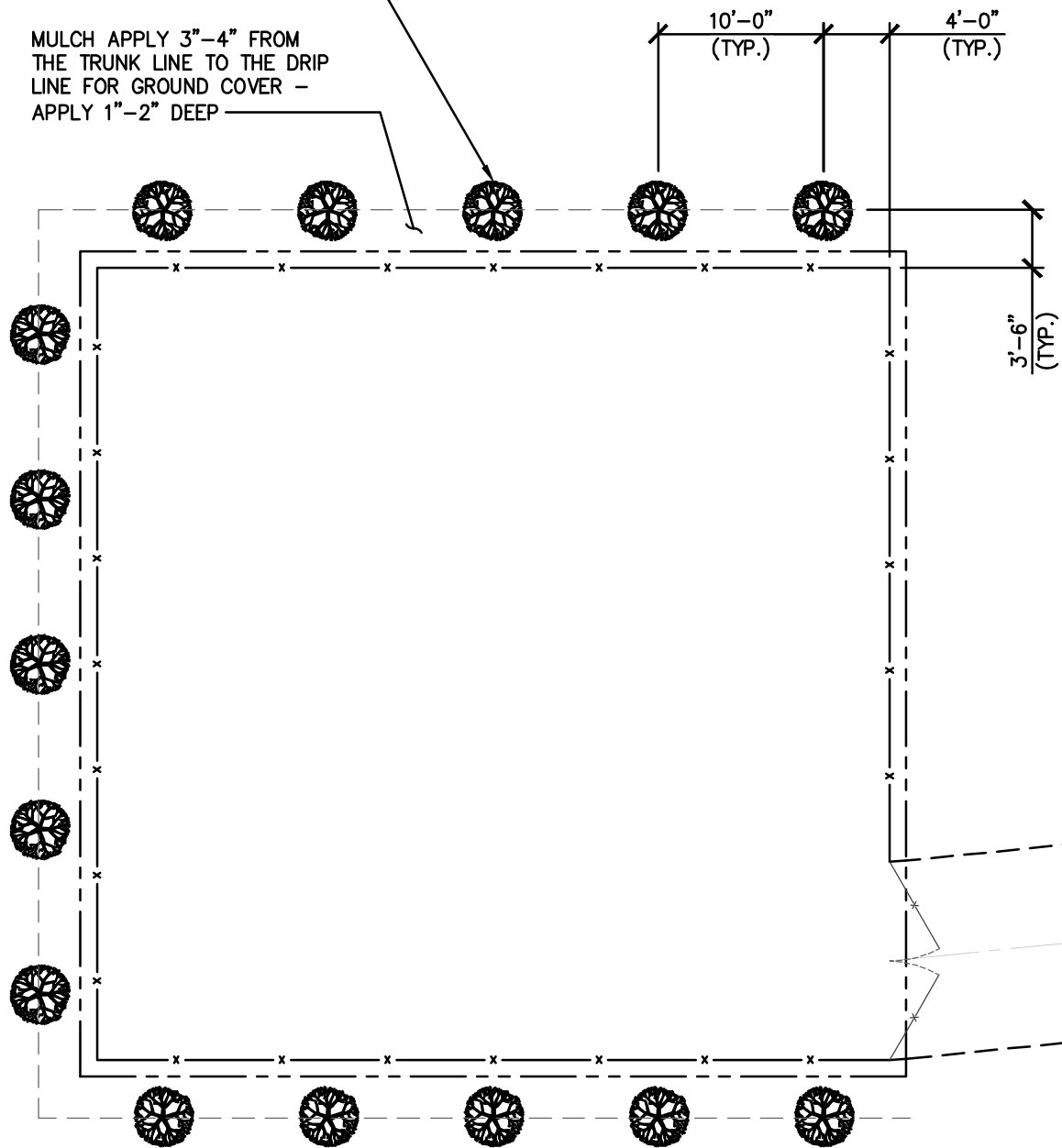
CHKD BY: JMD

SHEET TITLE
COMPOUND
PLAN

SHEET NUMBER
C-1.1

PROPOSED COLLECT
LANDSCAPING, SEE DETAIL 2

MULCH APPLY 3"-4" FROM
THE TRUNK LINE TO THE DRIP
LINE FOR GROUND COVER -
APPLY 1"-2" DEEP



1

LANDSCAPE PLAN

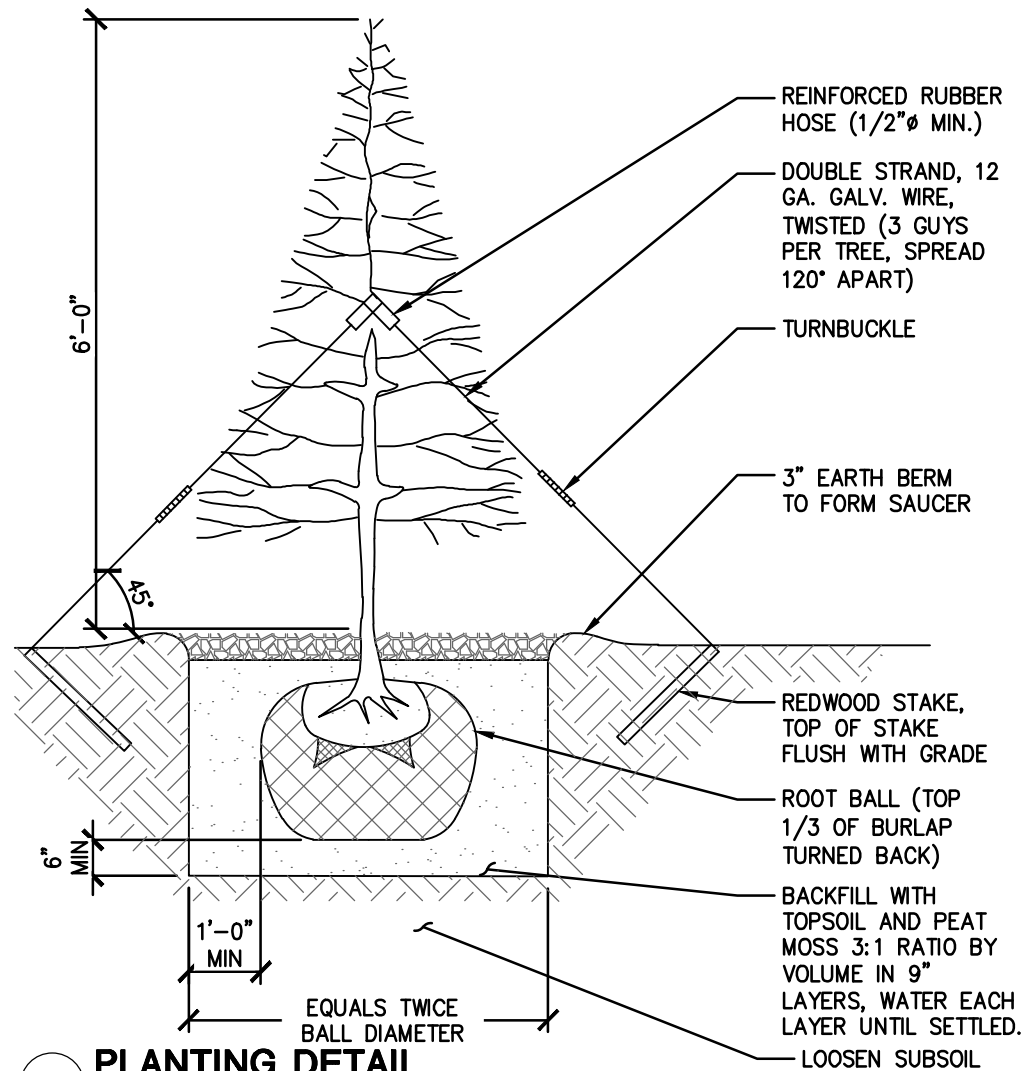
SCALE: 3/32" = 1'-0"



LANDSCAPE SCHEDULE				
DESCRIPTION: COMMON NAME	BOTANICAL NAME	MATURE SPREAD	MATURE HEIGHT	QTY.
ARBORVITAE GLOBE	THUJA OCCIDENTALIS , 'GLOBE'	4'-6'	4'-6'	4

LANDSCAPING NOTES:

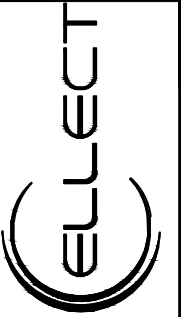
1. TOPSOIL TO BE PROVIDED BY SITE CONTRACTOR IN ROUGH GRADE TO WITHIN 1" OF FINISHED GRADE.
2. EACH PLANT TO BE IN THE TOP OF ITS CLASS AFTER SHEARING AND PRUNING
3. EACH PLANT TO BE FREE FROM DISEASE, INSECT INFESTATION, MECHANICAL INJURIES, AND IN RESPECTS BE SUITABLE FOR FIELD PLANTING
4. PLANTS TO BE FULLY GUARANTEED (LABOR AND MATERIALS) FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF INSTALLATION.
5. PLANTS SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z60.1-2004, IN REGARD TO SIZING, GROWING AND B&B SPECIFICATIONS
6. THE CONTRACTOR SHALL PROTECT ALL EXISTING TREES AND SHRUBS WITHIN THE CONSTRUCTION AREA IDENTIFIED AS "TO REMAIN" FROM DAMAGE BY EQUIPMENT AND CONSTRUCTION ACTIVITIES



2

PLANTING DETAIL

SCALE: NONE



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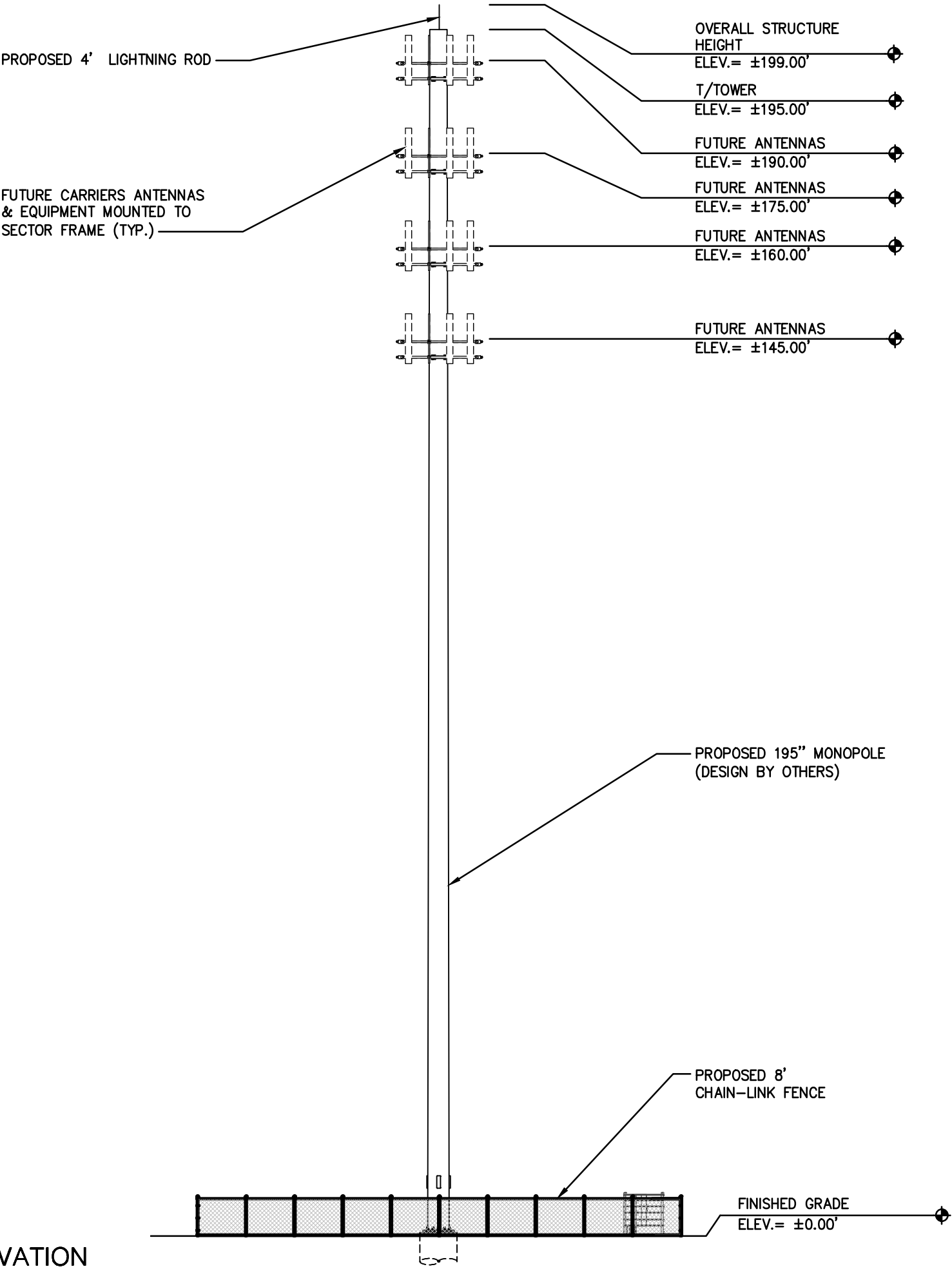
IN0031 - GRAND PARK	CHAD HITTLE DRIVE WESTFIELD, IN 46074 - WESTFIELD COUNTY MONOPOLE TOWER	DWG BY: MN	CHKD BY: JMD
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SHEET TITLE
LANDSCAPING
PLAN

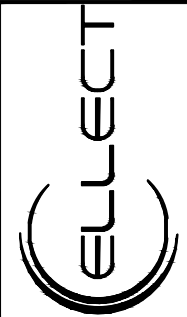
SHEET NUMBER
C-12

GENERAL NOTES

- 1. ELEVATION IS FOR REFERENCE PURPOSE ONLY.
- 2. CONTRACTOR SHALL PERFORM WORK DONE TO OR ON STRUCTURE IN ACCORDANCE WITH PROVIDED STRUCTURAL ANALYSIS SEPARATE FROM PBM WIRELESS DRAWINGS.



1 ELEVATION
SCALE: 1" = 20'



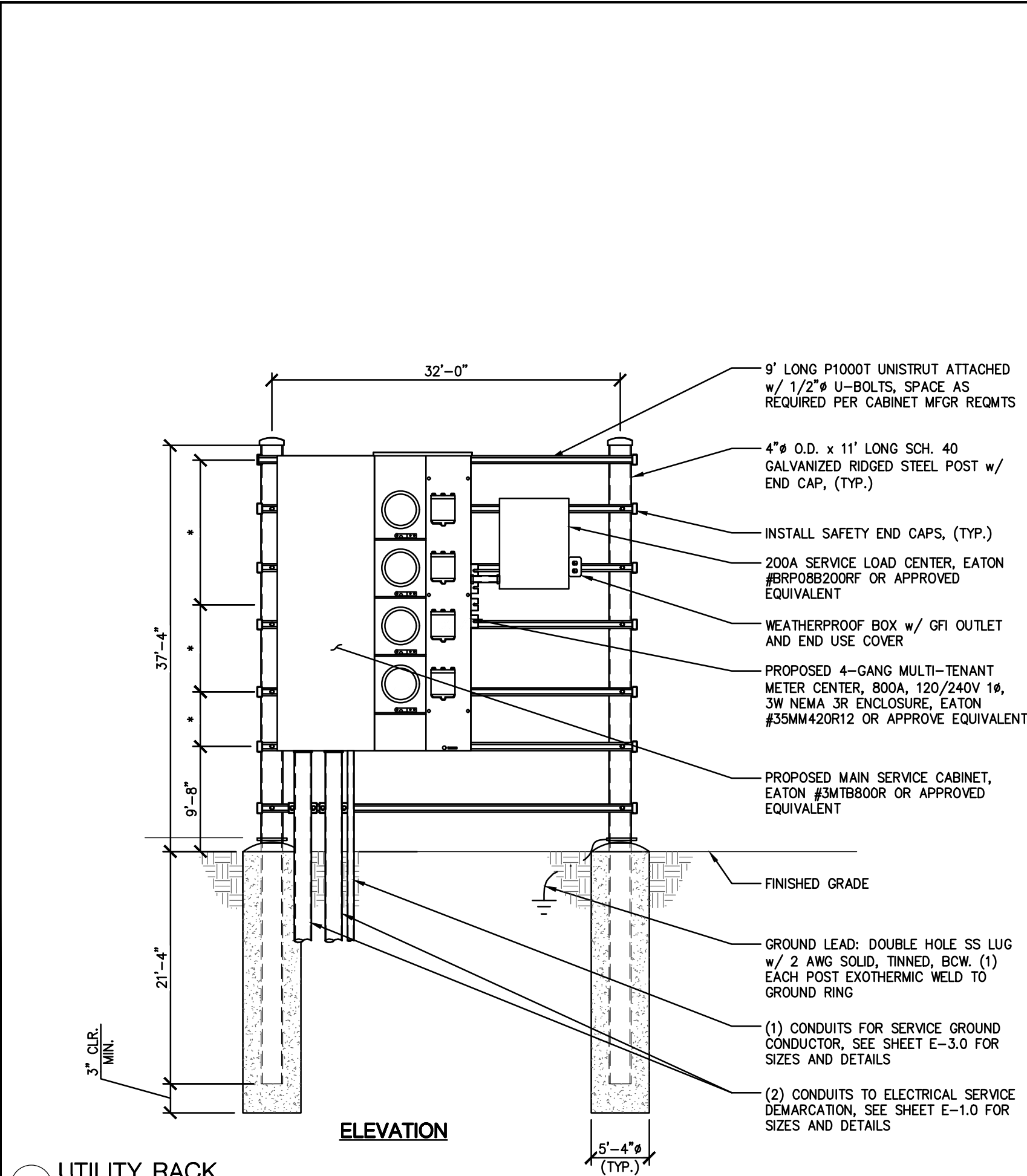
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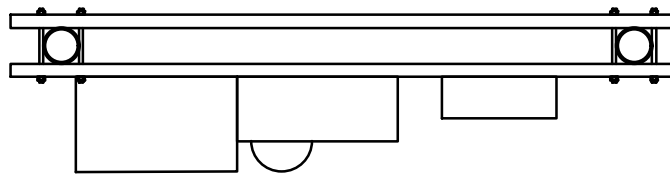
SHEET TITLE
ELEVATION

SHEET NUMBER
C-2.0



NOTES:

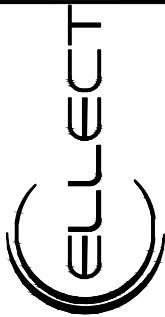
- *- COORDINATE ELEVATIONS WITH EQUIPMENT/MOUNTING HEIGHT.
- STEEL SHALL BE HOT DIP GALVANIZED.
- CABINETS SHALL BE MOUNTED WITH STAINLESS STEEL BOLTS.
- METAL POSTS ARE NOT ALLOWED TO SERVE AS EQUIPMENT GROUNDING CONDUCTOR.
- UNISTRUT SHALL NOT EXTEND BEYOND POST & MUST HAVE SAFETY END CAPS FOR SAFETY REASONS.
- METALLIC PARTS SHALL BE BONDED ACCORDING TO THE NEC.
- GROUNDING SHALL CONFORM TO NEC AND SECTION 436-439.
- ELECTRICAL EQUIPMENT SHALL BE INSTALLED IN CONFORMANCE WITH NFPA 70 (LATEST REVISION). THE RESPECTIVE EQUIPMENT MANUFACTURER'S DIRECTION AND OTHER APPLICABLE LOCAL CODES, LAWS, ORDINANCES AND REQUIREMENTS IN FORCE. ANY INSTALLATION WHICH WOULD VOID THE U.L. LISTING (OR OTHER THIRD PARTY LISTING) AND/OR THE MANUFACTURER'S WARRANTY OF A DEVICE SHALL NOT BE PERMITTED.
- COORDINATE ELECTRIC SERVICE WITH LOCAL POWER UTILITY COMPANY. COORDINATE WITH UTILITY FOR METER TYPE AND CONNECTION.
- CONDUIT SHALL BE SEALED WATERTIGHT UNTIL FINAL TERMINATIONS ARE MADE.
- PROVIDE PULL CORD IN CONDUITS. SECURE AT EACH END.
- ADJUST DEPTH OF CONDUITS TO PASS ABOVE GROUNDING SYSTEM.
- PROVIDE 18 INCH (MIN.) RADIUS ELBOWS FOR BENDS.
- PROVIDE PHENOLIC ENGRAVED NAMEPLATES AT THE SERVICE DISCONNECT LABELED: "SERVICE DISCONNECT" & "NOTE ENGINE GENERATOR NEUTRAL IS ALSO BONDED TO GROUND AT THE SERVICE DISCONNECT." PROVIDE ADDITIONAL NAMEPLATES NOTING TYPE AND LOCATION OF STANDBY POWER SOURCE.



1 UTILITY RACK

SCALE: NONE

METAL UTILITY RACK



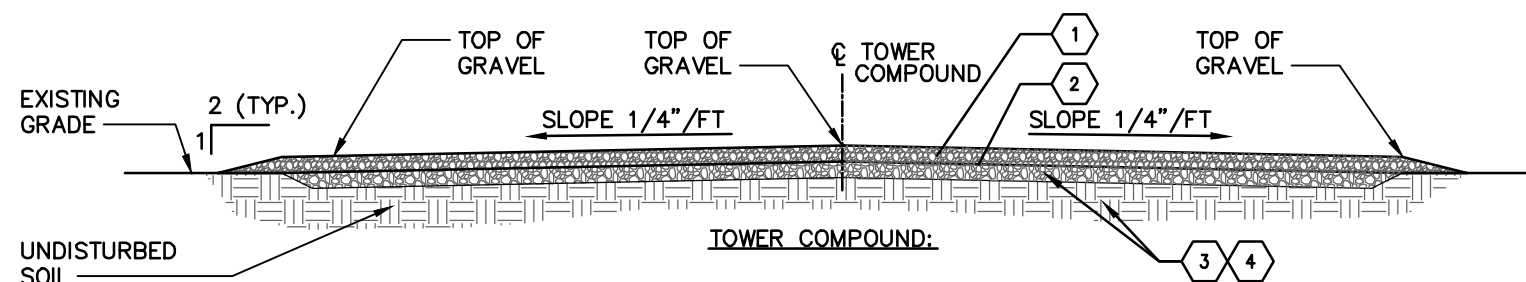
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C	06/26/26	REV. PER SURVEY	JK
D	07/08/26	REV. CLIENT	JG

IN0031 - GRAND PARK	CHAD HITTLE DRIVE WESTFIELD, IN 46074 - WESTFIELD COUNTY MONOPOLE TOWER	PROJ #26-07-01	DWG BY: MN	CHKD BY: JMD
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SHEET TITLE
**ELECTRICAL
DETAILS**

SHEET NUMBER
C-3.0

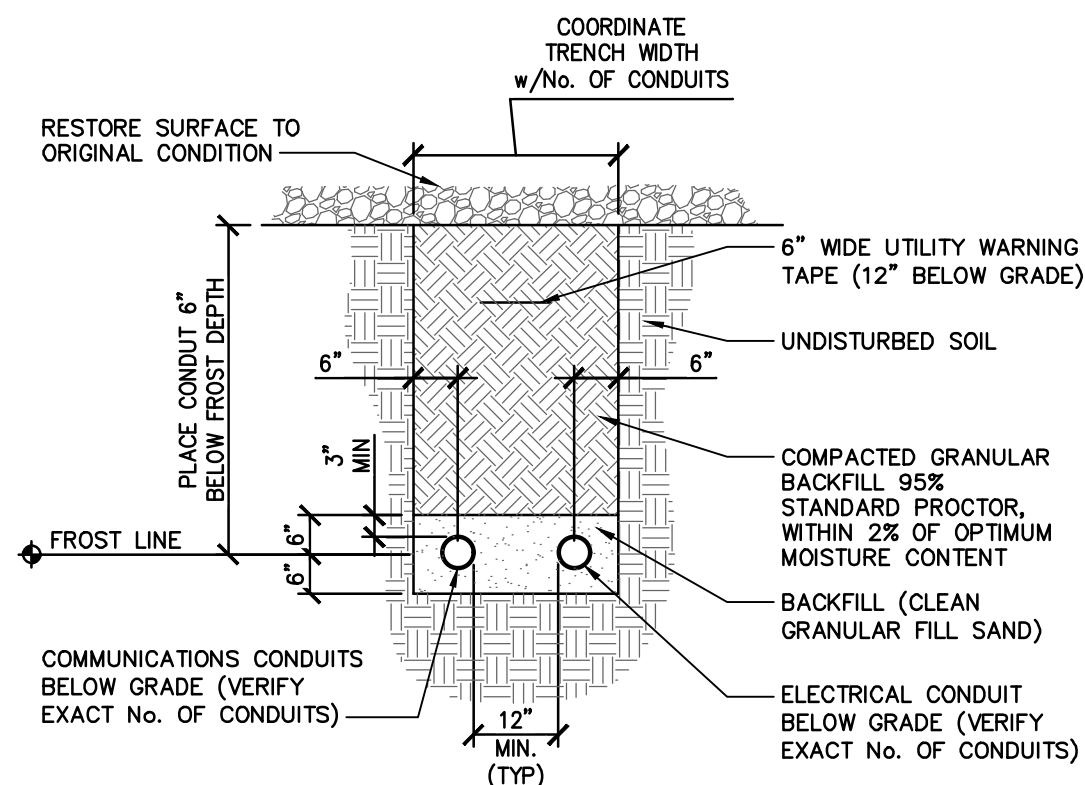


1. 3" OF 3/4"-1" MINUS (CHRUSHER RUN, FINE) ROCK.
2. WEED CONTROL FABRIC - MIRAFI 500X, OR APPROVED EQUIVALENT (WHEN SPECIFIED BY PROJECT MANAGER)
3. 5" BASE ROCK OF 3" DIA. ROCK (ROAD BASE), PROOF-ROLL PRIOR TO INSTALLATION OF FINISHED GRAVEL.
4. SITE SHALL BE CLEARED OF ORGANIC MATERIAL OR UNSUITABLE MATERIAL. SUBGRADE MUST BE COMPACTED TO 90% OF STANDARD PROCTOR DENSITY AND VERIFIED BY PROOF-ROLL OR GEOTECHNICAL RECOMMENDATIONS.
5. SITES WITH NO FENCE SHALL HAVE AN AREA COVERED WITH WEED BARRIER THAT IS A MINIMUM OF 5 FT WIDE AROUND THE SHELTER AND TOWER AREAS; THIS AREA SHALL BE USABLE AS PARKING SPACE OR FOR STORAGE OF A PORTABLE GENERATOR. LOCAL FIRE CODES MIGHT DICTATE MORE STRINGENT REQUIREMENTS.
6. THE FINISHED GRADE SHALL DIRECT WATER AWAY FROM THE SHELTER &/OR TOWER.

1 TYPICAL COMPOUND SECTION

SCALE: NONE

TYPICAL-COMPOUND-SECTION



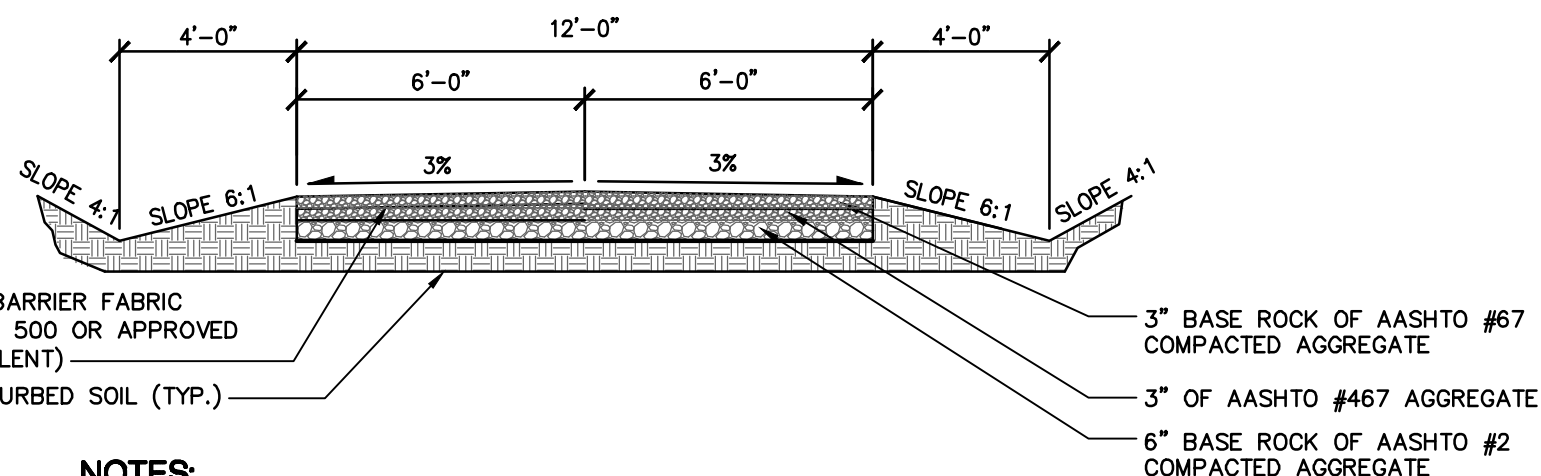
NOTES:

1. SEPARATION DIMENSION TO BE VERIFIED WITH LOCAL UTILITY COMPANY REQUIREMENTS

3 JOINT TRENCH ELECTRIC/COMMUNICATIONS

SCALE: NONE

JOINT-TRENCH-001



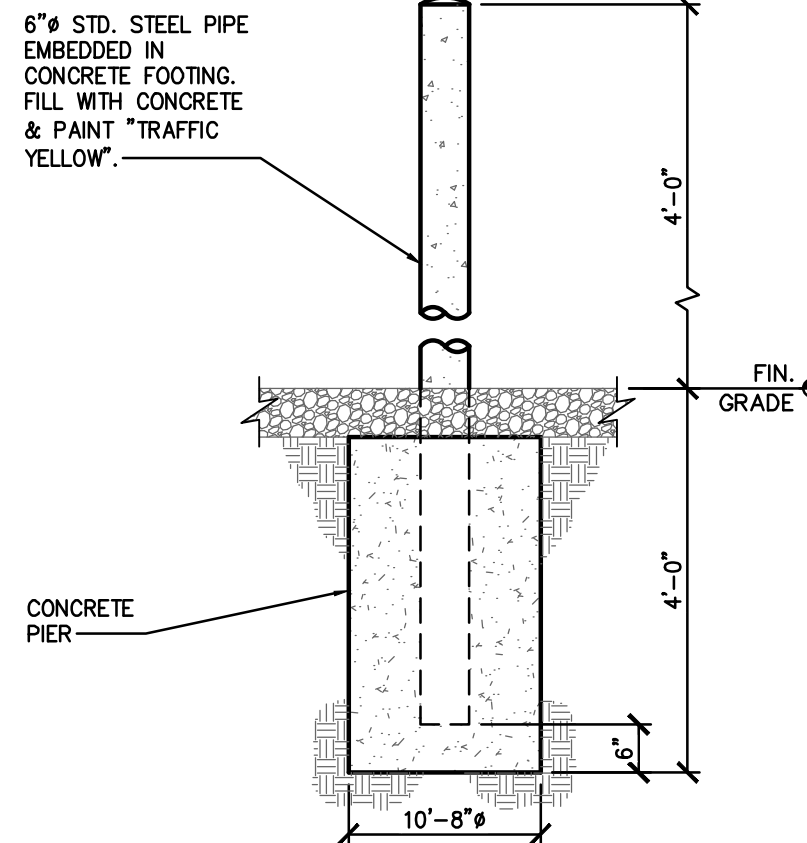
NOTES:

1. BASE ROCK TO BE INSTALLED FOR CONSTRUCTION TRAFFIC, FINISH STONE APPLIED FOR FINAL GRADE AND TRAFFIC.
2. ROAD SHALL BE CLEARED OF ORGANIC MATERIAL OR UNSUITABLE MATERIAL. SUBGRADE MUST BE COMPACTED TO 90% OF STANDARD PROCTOR DENSITY AND VERIFIED BY PROOF-ROLL OR GEOTECH RECOMMENDATIONS.
3. USE TENCATE OR APPROVED EQUIVALENT WHEN WATER IS PREVALENT NEAR SURFACE.

4 TYPICAL GRAVEL ROAD SECTION

SCALE: NONE

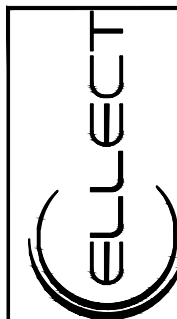
GRAVEL ROAD SECTION



2 TYPICAL BOLLARD DETAIL

SCALE: NONE

TYPICAL BOLLARD DETAIL



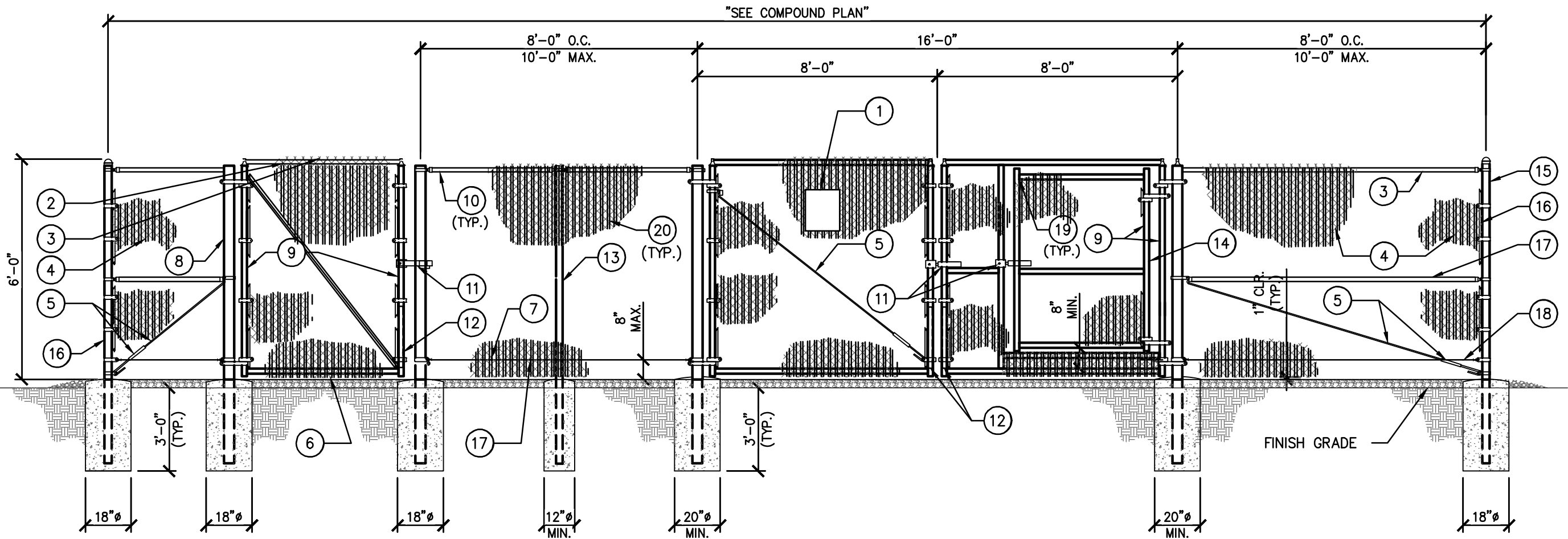
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-	04/02/26	INTERNAL REVIEW	MN
A	06/04/26	REV. SURVEY	MN
B	06/05/26	TOWER HEIGHT	MN
C	06/26/26	REV. PER SURVEY	JK
D	07/08/26	REV. CLIENT	JG

IN0031 - GRAND PARK
CHAD HITTLE DRIVE
WESTFIELD, IN 46074 - WESTFIELD COUNTY
MONOPOLE TOWER
PROJ #26-07-01
DWG BY: MN
CHKD BY: JMD

SHEET TITLE
CONSTRUCTION DETAILS

SHEET NUMBER
C-4.0



KEY NOTES:

- ① RF SIGNAGE
- ② 9 GA. ALUMINUM FABRIC TIES EVERY 24 INCHES ON TOP RAIL AND EVERY 14 INCHES ON LINE POSTS
- ③ CHAIN LINK FABRIC TOP SELVAGE TWISTED
- ④ 9 GA 2"x2" FENCE FABRIC (TYP.)
- ⑤ 3/8" STL. TRUSS ROD w/ TURNBUCKLES @ CORNERS (TYP.)
- ⑥ BOTTOM SELVAGE KNUCKLE
- ⑦ HOG RING
- ⑧ SCH. 40 GATE POST (TYP.) 4'-6" OPENING WIDTH 3-1/2" O.D.
- ⑨ SCH. 40 GATE FRAME (TYP.) 1-5/8" O.D.
- ⑩ SCH. 40 TOP RAIL (TYP.) 1-5/8" O.D.
- ⑪ GATE LATCH, SEE DETAIL 1/C-5.1
- ⑫ GATE STOP, SEE DETAIL 2/C-5.1
- ⑬ SCH. 40 LINE POST (TYP.) 2-7/8" O.D.
- ⑭ 4' WIDE MAN ACCESS GATE
- ⑮ SCH. 40 CORNER, END, AND PULL POST (TYP.) 3-1/2" O.D.
- ⑯ TENSION BAR
- ⑰ SCH. 40 MID RAIL @ CORNERS ONLY (TYP.) U.N.O., 1-5/8" O.D.
- ⑱ TENSION WIRE 7 GA MINIMUM TIE WIRE: MINIMUM 11 GA GALVANIZED STEEL AT POSTS AND RAILS. A SINGLE WRAP OF FABRIC TIE. AT TENSION WIRE: HOG RINGS SPACED AT 24" INTERVALS MAX.
- ⑲ WELD GATE FRAMES AT JOINTS TO PROVIDE RIGID WATERTIGHT CONSTRUCTION
- ⑳ HUNTER GREEN VINYL SLATS, COORDINATE w/OWNER FOR EXACT COLOR.

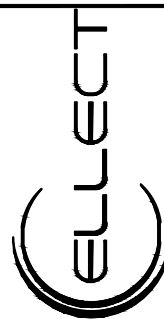
CHAIN LINK FENCE SECTION (HUNTER GREEN)

SCALE: 1/4"=1'-0"

NOTES:

1. MATERIALS SHALL BE PER LATEST ASTM REQUIREMENTS.
2. FOR ADDITIONAL INFORMATION, SEE SHEET C-5.1

6 FOOT HIGH CHAIN LINK FENCE



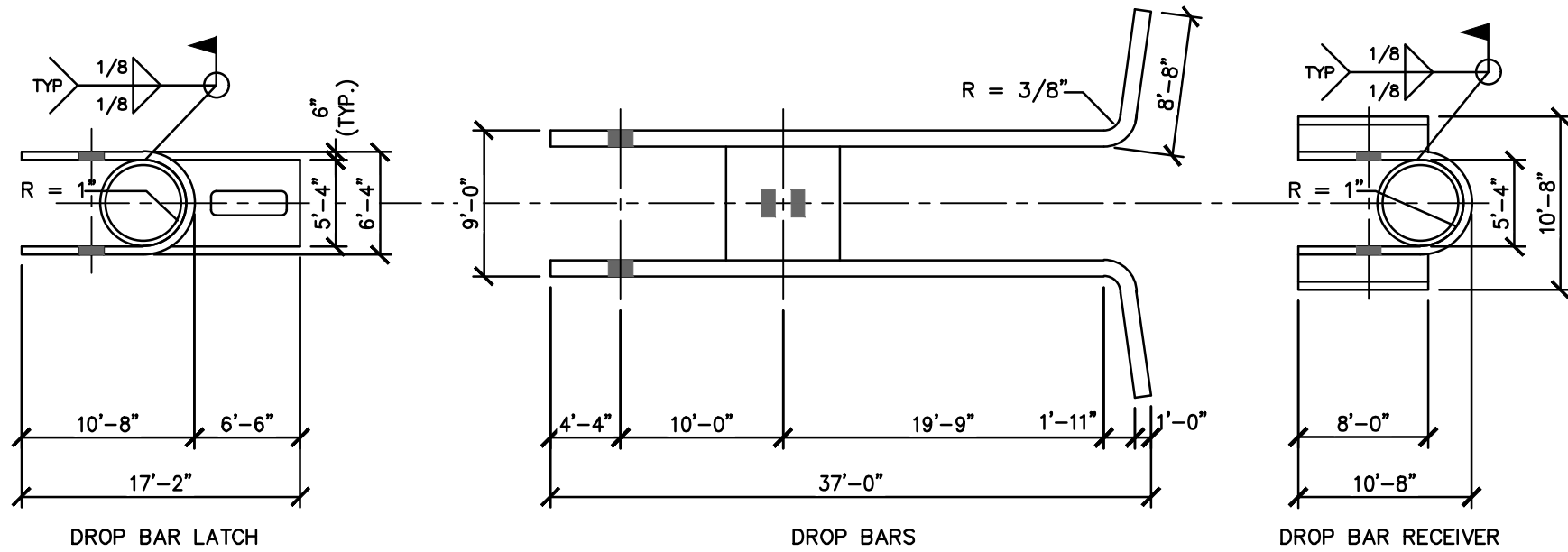
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IN0031 - GRAND PARK
CHAD HITTLE DRIVE
WESTFIELD, IN 46074 - WESTFIELD COUNTY
MONOPOLE TOWER
PROJ #26-07-01
DWG BY: MN
CHKD BY: JMD

SHEET TITLE
FENCE DETAILS

SHEET NUMBER
C-5.0

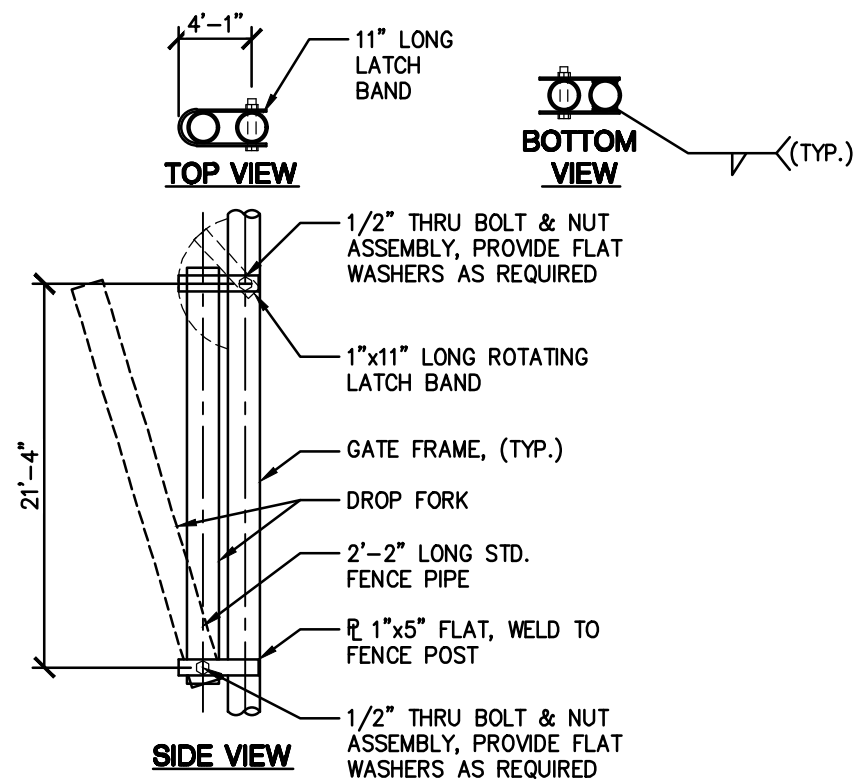


- NOTES:**
1. STEEL SHALL BE HOT DIPPED GALVANIZED, SPOT WELD GATE LATCHES.
 2. DETAIL BASED ON A-1 FENCE COMPANY HEAVY DUTY COMMERCIAL GATE LATCH FOR DOUBLE DRIVE GATES.
 3. VERIFY DIMENSIONS & LATCH MANUFACTURER w/ VERTICAL BRIDGE PROJECT MANAGER PRIOR TO INSTALLATION.

1 GATE DROP BAR LATCH DETAIL

SCALE: 3" = 1'-0"

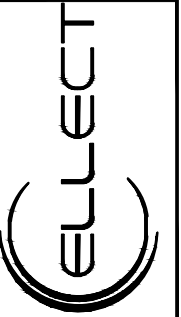
GATE BAR LATCH DETAIL



2 TYPICAL GATE STOP

SCALE: 1" = 1'-0"

GATE STOP DETAIL



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A	06/04/26	REV. SURVEY	MN
B	06/05/26	TOWER HEIGHT	MN
C	06/26/26	REV. PER SURVEY	JK
D	07/08/26	REV. CLIENT	JG

IN0031 - GRAND PARK CHAD HITTLE DRIVE WESTFIELD, IN 46074 - WESTFIELD COUNTY MONOPOLE TOWER	PROJ #26-07-01	DWG BY: MN	CHKD BY: JMD

SHEET TITLE
**ELECTRICAL
DETAILS**

SHEET NUMBER
C-5.1

KEY NOTES:

- 1

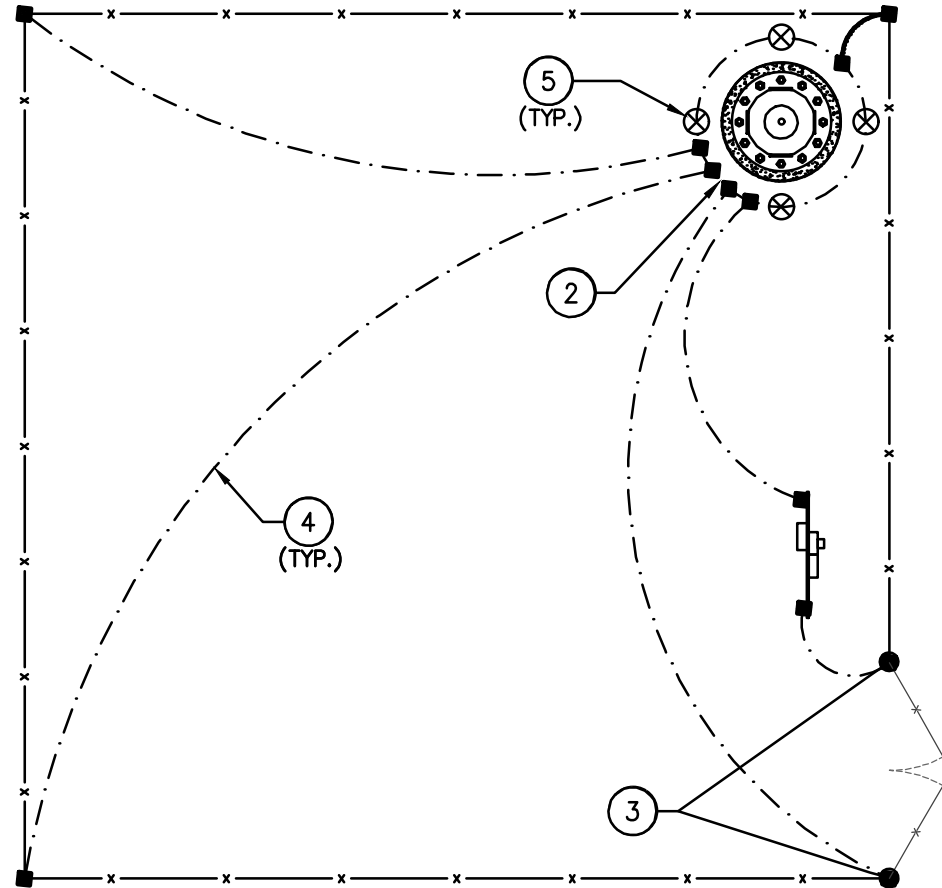
NOT USED
- 2

SOLID TINNED BARE COPPER WIRE,
TOWER GROUND RING, INSTALL 6"
BELOW FROST DEPTH, MIN. SEE NOTE 2.
- 3

FENCE/GATE GROUNDING, SEE DETAIL 2
& 3 THIS SHEET
- 4

2 AWG STRANDED INSULATED GREEN CU
GROUND WIRE, ROUTED IN 3/4" PVC
CONDUIT
- 5

COPPER CLAD STEEL GROUND ROD

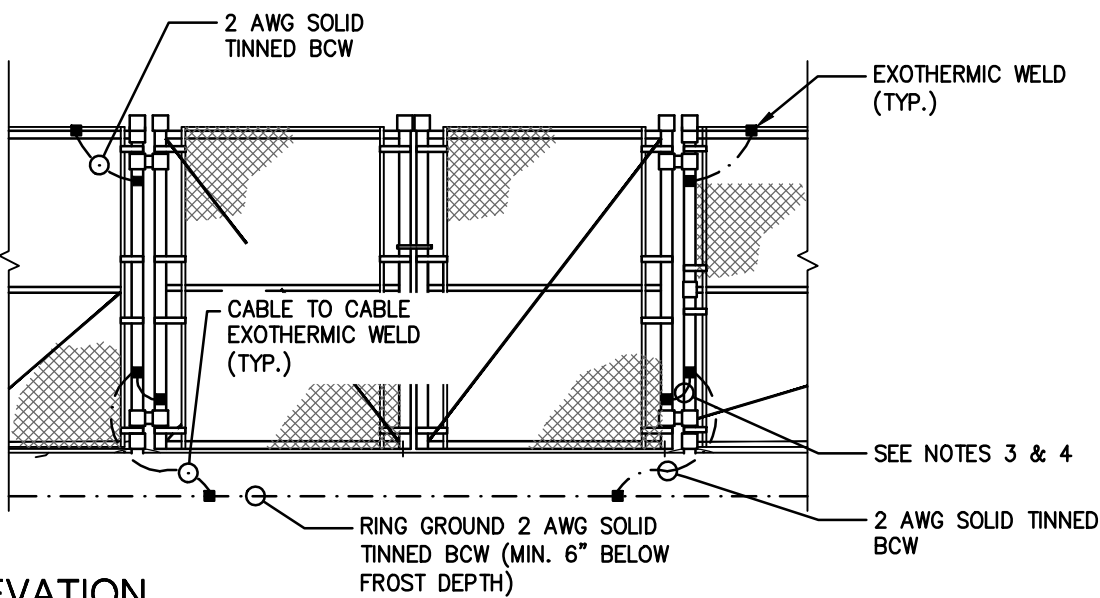


GROUNDING NOTES:

1. GROUND WIRES ARE 2 AWG SOLID TINNED BCW U.N.O.
2. EXOTHERMIC WELD, (3) 2 AWG SOLID TINNED BCW, @ TOWER BASE PLATE.
CONNECT TO TOWER GROUND RING w/ EXOTHERMIC WELD (TYP. 3 PLACES.)

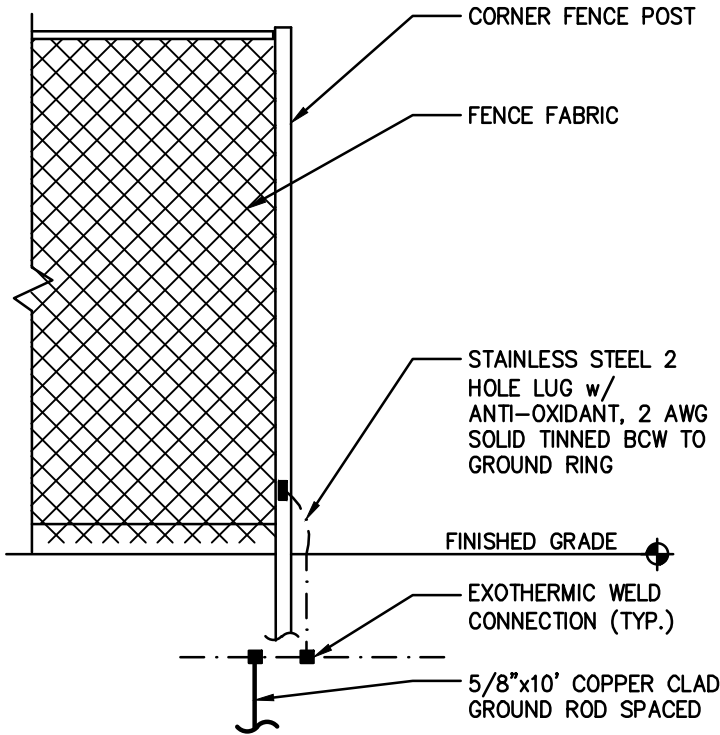
NOTES:

1. THE 2 INSULATED STRANDED COPPER FROM THE RING GROUND SHALL BE EXOTHERMIC WELDED TO THE POST ABOVE.
2. BOND EACH HORIZONTAL POLE/BRACE TO EACH OTHER AND TO EACH VERTICAL POLE BONDED TO THE EXTERIOR GROUND RING.
3. GATE JUMPER SHALL BE 2 AWG STRANDED INSULATED GREEN CU WITH SLEEVES ON EACH END DESIGNED FOR EXOTHERMIC WELDING.
4. GATE JUMPER SHALL BE INSTALLED SO THAT IT WILL NOT BE SUBJECTED TO DAMAGING STRAIN WHEN GATE IS FULLY OPEN IN EITHER DIRECTION.



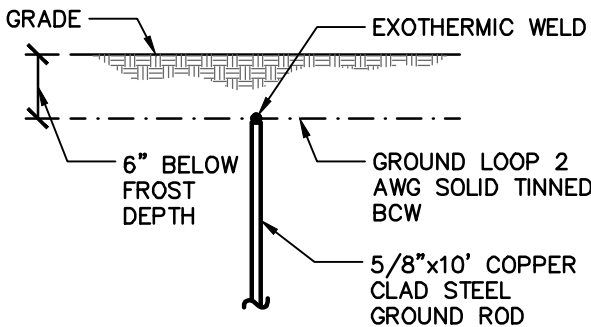
2 GATE GROUNDING ELEVATION

SCALE: NONE



3 FENCE POST GROUNDING

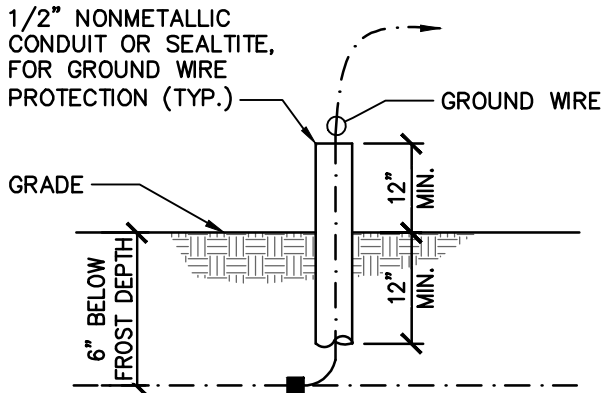
SCALE: NONE



5 GROUND ROD

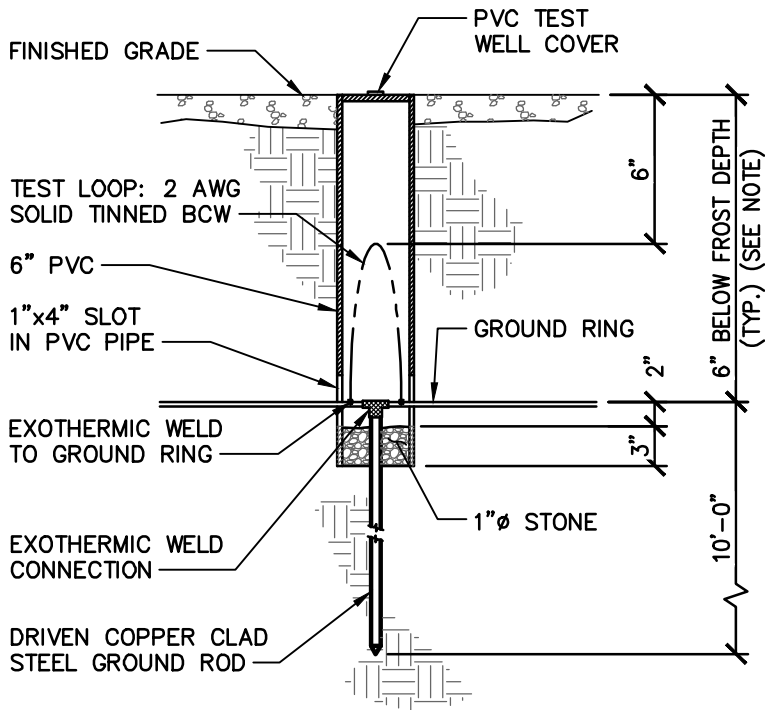
SCALE: NONE

GROUND ROD



4 GROUND WIRE PROTECTION

SCALE: NONE



NOTE: 6" BELOW FROST DEPTH, DEPTH MAY VARY, WORK SHALL CONFORM TO THE LOCAL BUILDING CODES.

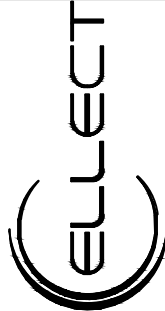
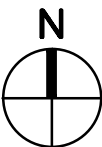
6 INSPECTION WELL DETAIL

SCALE: NONE

GROUND INSPECTION WELL

1 GROUNDING PLAN

SCALE: 3/32" = 1'-0"



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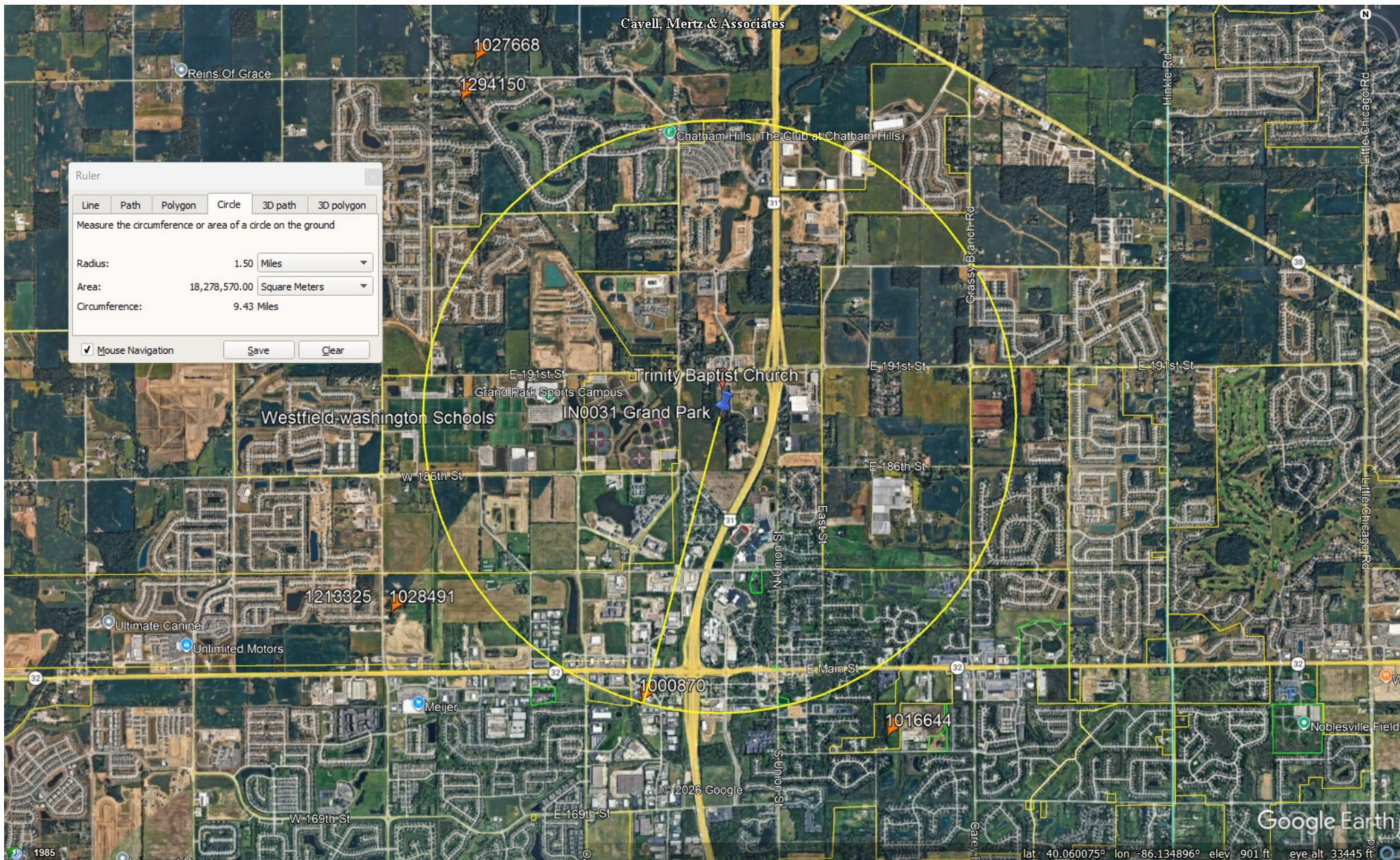
04/02/26	INTERNAL REVIEW	MN
06/04/26	REV. SURVEY	MN
06/05/26	TOWER HEIGHT	MN
06/26/26	REV. PER SURVEY	JK
07/08/26	REV. CLIENT	JG

IN0031 - GRAND PARK	CHAD HITTLE DRIVE WESTFIELD, IN 46074 - WESTFIELD COUNTY MONOPOLE TOWER
PROJ #26-07-01	DWG BY: MN CHKD BY: JMD

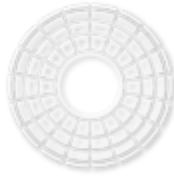
SHEET TITLE
COMPOUND
PLAN

SHEET NUMBER
C-6.0

SHEET 2		LEGAL DESCRIPTIONS:		   1012 S 4th Street, Suite 101 Louisville, Ky 40203 Phone: (502) 636-5111 Fax: (502) 636-5263			
 – LEGAL DESCRIPTIONS (LEASE AREA)		<i>This is a description for Collect Towers, of a lease area to be located on the property conveyed to Trinity Baptist Church of Westfield, Inc., in Instrument Number 9709706272 of the Hamilton County Recorder’s Office, and being a part of the Northwest Quarter of the Southeast Quarter of Section 25, Township 19 North, Range 3 East, Washington Township, Hamilton County, Indiana which is further described as follows:</i>					
 – LEGAL DESCRIPTIONS (ACCESS ESMT)		 PARENT TRACT DESCRIPTION (PROVIDED BY OTHERS) <i>Part of the Northwest Quarter of the Southeast Quarter of Section 25, Township 19 North, Range 3 East, Hamilton County, Indiana and being more particularly described as follows:</i>					
 – LEGAL DESCRIPTIONS (PARENT TRACT)		 LEASE AREA <i>Part of the Northwest Quarter of the Southeast Quarter of Section 25, Township 19 North, Range 3 East, Washington Township, Hamilton County, Indiana, and being located on part of the property conveyed to Trinity Baptist Church of Westfield, Inc., in Instrument Number 9709706272 of the Hamilton County Recorder’s Office, This description is certified by Nathan R. Grimes, PLS #LS21000194 on __/__/____, (No revisions) as Renaissance Design Build, Inc. Project No. 2026-086 (all references to monuments and courses herein are as shown on said plat of survey.) Which is further described as follows:</i> <i>Commencing at a Harrison Monument found at the Northeast corner of said Northwest Quarter of said Southeast Quarter and being on the northeast corner of said Trinity Baptist Church property, also being on the west right-of-way line of Chad Hittle Drive;</i> <i>thence with the east line of said Trinity Baptist Church and said right-of-way for the next two (2) calls: (1) S 00°09’57” W – 1248.27’ to a point;</i> <i>thence (2) S 00°09’57” W – 31.81’ to a point on the southeast corner of the Access & Utility Easement;</i> <i>thence leaving said property line and said Chad Hittle Drive and traversing said Trinity Baptist Church property with the perimeter of said Access & Utility Easement for the next five (5) calls: (1) S 51°58’09” W – 63.56’ to a point;</i> <i>thence (2) S 89°05’07” W – 89.80’ to a point;</i> <i>thence (3) S 00°54’53” E – 15.00’ to a point on the south line of said Trinity Baptist Church property;</i> <i>thence (4) with said south line S 89°05’07” W – 30.00’ to a point;</i> <i>thence (5) leaving said property line and traversing said Trinity Baptist Church property N 00°54’53” W – 10.00’ to a set 5/8” re-bar with a cap stamped “N GRIMES LS 21000194”, and being the True Point of Beginning of the Lease Area;</i> <i>thence S 89°05’07” W – 50.00’ to a set 5/8” re-bar with a cap stamped “N GRIMES LS 21000194”;</i> <i>thence N 00°54’53” W – 50.00’ to a set 5/8” re-bar with a cap stamped “N GRIMES LS 21000194”;</i> <i>thence N 89°05’07” E – 50.00’ to a set 5/8” re-bar with a cap stamped “N GRIMES LS 21000194”;</i> <i>thence S 00°54’53” E – 50.00’ to the point of beginning, containing 2,500.00 square feet, more or less.</i>					
	ACCESS & UTILITY EASEMENT	<i>Part of the Northwest Quarter of the Southeast Quarter of Section 25, Township 19 North, Range 3 East, Washington Township, Hamilton County, Indiana, and being located on part of the property conveyed to Trinity Baptist Church of Westfield, Inc., in Instrument Number 9709706272 of the Hamilton County Recorder’s Office, This description is certified by Nathan R. Grimes, PLS #LS21000194 on __/__/____, (No revisions) as Renaissance Design Build, Inc. Project No. 2026-086 (all references to monuments and courses herein are as shown on said plat of survey.) Which is further described as follows:</i> <i>Commencing at a Harrison Monument found at the Northeast corner of said Northwest Quarter of said Southeast Quarter and being on the northeast corner of said Trinity Baptist Church property, also being on the west right-of-way line of Chad Hittle Drive;</i> <i>thence with the east line of said Trinity Baptist Church and said right-of-way for the next two (2) calls: (1) S 00°09’57” W – 1248.27’ to the True Point of Beginning of the Access & Utility Easement;</i> <i>thence (2) S 00°09’57” W – 31.81’ to a point;</i> <i>thence leaving said property line and said Chad Hittle Drive and traversing said Trinity Baptist Church property S 51°58’09” W – 63.56’ to a point;</i> <i>thence S 89°05’07” W – 89.80’ to a point;</i> <i>thence S 00°54’53” E – 15.00’ to a point on the south line of said Trinity Baptist Church property;</i> <i>thence with said south line S 89°05’07” W – 30.00’ to a point;</i> <i>thence leaving said property line and traversing said Trinity Baptist Church property N 00°54’53” W – 60.00’ to a set 5/8” re-bar with a cap stamped “N GRIMES LS 21000194” on the northeast corner of the Lease Area;</i> <i>thence leaving said Lease Area N 89°05’07” E – 30.00’ to a point;</i> <i>thence S 00°54’53” E – 20.00’ to a point;</i> <i>thence N 89°05’07” E – 47.84’ to a point;</i> <i>thence along a curve to the left with a radius of 100.00’ and with a chord of N 70°31’38” E – 63.65’ to a point;</i> <i>thence N 51°58’09” E – 41.26’ to the point of beginning, containing 5,788.26 square feet, more or less.</i>		SURVEYORS REPORT <i>In accordance with Title 865, Chapters 1 thru 12 of the Indiana Administrative Code, the following observation and opinions are submitted regarding the various uncertainties in the locations of the lines and corners established on this survey as a result of:</i> a) Variances in the reference monuments b) Discrepancies in record descriptions and plats c) Inconsistencies in lines of occupation d) Random errors in measurement (Theoretical Uncertainty) <i>As a result of the above observations, it is my opinion that the uncertainties in the locations of the lines and corners established on this survey are as follows:</i> 1) Variances in the reference monuments: This survey is tied to a Harrison Monument found on the Northwest Corner of the Southeast Quarter of Section 25, and to a Harrison Monument found on the Northeast corner of the Northwest Quart of the Southeast Quarter of Section 25. 2) Discrepancies in record descriptions and plats: There are no known discrepancies. 3) Inconsistencies in lines of occupation: There are no known inconsistencies. 4) Random errors in measurement (Theoretical Uncertainty): The Theoretical Uncertainty (due to random errors of measurements) of the corners of the subject tract established this survey is within the specifications for a Class A Survey (0.10 feet) as defined in IAC 865. <i>I HEREBY CERTIFY THAT THIS SURVEY AND THE PLAT SHOWN HEREON WERE PREPARED UNDER MY SUPERVISION AND ACCORDING TO THE APPLICABLE REQUIREMENTS OF 865 IAC 1-12.</i> NATHAN R. GRIMES, P.L.S. LS-21000194			
				SITE NUMBER: IN0031 SITE NAME: GRAND PARK SITE ADDRESS: CHAD HITTLE DRIVE WESTFIELD, IN 46074 LEASE AREA: 2,500.00 SQ.FT. PROPERTY OWNER: TRINITY BAPTIST CHURCH OF WESTFIELD, INC. 1415 E 191ST STREET WESTFIELD, IN 46074 PARCEL NUMBER: 08-05-25-00-00-054.000 SOURCE OF TITLE: INST. #9709706272 DWG BY: SNS FIELD DATE: 03.18.26 DRAFT DATE: 03.30.26 CHKD BY: NRG FSTAN PROJECT NO.: 26-12666 R.D.B.I. PROJECT NO.: 2026-086 SHEET_2_ OF_2_ REVISIONS: SHIFT ACC OUT OF W.L. – 05.28.26 25’ A&U ESMT – 06.18.26 VACANT LAND			



The yellow circle represents a 1.5 miles radius from the proposed Collect Towers 195' monopole. The closest tower is ASR 1000870, which is slightly over 1.5 miles away. All existing towers are over 1.5 miles away represented by the orange pins and the ASR # associated with each tower. Attached is the ASR information for the (4) closest towers.



Capitol Airspace Group



New Search		Antenna Structure Registration 1000870	
Elevation Sketch	Registration Info	Registration Number: 1000870	
		File Number: A1370654	
		FAA Study: 2017-AGL-19631-OE	
		FAA Issue Date: 12/27/2017	
		Status: Constructed	
		Date Constructed: 08/20/1995	
		NEPA: N	
	Structure Info Map It	Structure Type: LTOWER	
		Structure Coordinates: 40-2-24.2 N 86-8-27.9 W (NAD 83)	
		Structure Coordinates: 40-02-24.1 N 86-08-27.9 W (Converted to NAD 27)	
Structure Address: 1004 Kendall Ct			
Structure City: Westfield, IN			
Painting & Lighting Info	Structure County: Hamilton County		
	FAA Chapters: NONE		
Elevation Info	Remarks: PRIOR STUDY 1995-AGL-2816-OE		
	Site Elevation: 274.3 meters (900 ft)		
	Height of Structure: 54.3 meters (178 feet)		
		Overall Height Above Ground: 59.4 meters (195 feet)	

		Overall Height Above Mean Sea Level: 333.7 meters (1095 feet)
	Owner Info	Crown Castle South LLC 2000 Corporate Drive Canonsburg, PA 15317 (724) 416-2400 Regulatory.Department@crowncastle.com
	Contact Info	Crown Castle 2000 Corporate Drive Canonsburg, PA 15317 Tom Anderson (724) 743-6330 Tom.Anderson@crowncastle.com

Study Date: 7/07/2026; Study Duration: 0.0024 Seconds.

Database Sources:

07/07/2026 FCC LMS,

7/7/2026 FCC ASR,

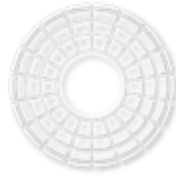
7/7/2026 FCC ULS Microwave, and

7/7/2026 FCC ULS Broadcast Land Mobile.

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Capitol Airspace Group



New Search		Antenna Structure Registration 1016644	
Elevation Sketch	Registration Info	Registration Number: 1016644	
		File Number: A1360672	
		FAA Study: 2003-AGL-2583-OE	
		FAA Issue Date: 07/08/2003	
		Status: Constructed	
		Date Constructed: 07/15/2003	
		FAA EMI: N	
	Structure Info Map It	NEPA: N	
		Structure Type: TOWER	
		Structure Coordinates: 40-2-15.0 N 86-7-3.0 W (NAD 83)	
Structure Coordinates: 40-02-14.9 N 86-07-03.0 W (Converted to NAD 27)			
Structure Address: E 171st & Grassy Branch Rd			
Painting & Lighting Info	Structure City: Westfield, IN		
	Structure County: Hamilton County		
	FAA Circular #: 70/7460-1J		
	FAA Chapters: 4, 8, 13		
	Remarks: PRIOR STUDY 1997-AGL-616-OE		
Remarks: Removed expiration date from determination. Scenario 1./jjs/case#635066			

		Remarks: OM&L TO REMAIN THE SAME AS PRIOR STUDY = A MED-DUAL SYSTEM
		Remarks: PRIOR STUDY 1997-AGL-616-OE
		Remarks: Removed expiration date from determination. Scenario 1./jjs/case#635066
	Elevation Info	Site Elevation: 262.1 meters (860 ft)
		Height of Structure: 77.7 meters (255 feet)
		Overall Height Above Ground: 77.7 meters (255 feet)
		Overall Height Above Mean Sea Level: 339.8 meters (1115 feet)
	Owner Info	STC Five LLC 12920 SE 38th Street Bellevue, WA 98006
		(425) 383-8401 FCCRegulatoryComplianceContact@t-mobile.com
	Contact Info	Crown Castle 2000 Corporate Drive Canonsburg, PA 15317
		Tom Anderson (724) 743-6330 Tom.Anderson@crowncastle.com

Study Date: 7/07/2026; Study Duration: 0.0028 Seconds.

Database Sources:

07/07/2026 FCC LMS,

7/7/2026 FCC ASR,

7/7/2026 FCC ULS Microwave, and

7/7/2026 FCC ULS Broadcast Land Mobile.

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New Search		Antenna Structure Registration 1213325	
Elevation Sketch	Registration Info	Registration Number: 1213325	
		File Number: A1365630	
		FAA Study: 2008-AGL-1967-OE	
		FAA Issue Date: 09/18/2008	
		Status: Constructed	
		Date Constructed: 04/17/2000	
		FAA EMI: N	
	Structure Info Map It	NEPA: N	
		Structure Type: TOWER	
		Structure Coordinates: 40-2-47.7 N 86-9-53.9 W (NAD 83)	
Structure Coordinates: 40-02-47.6 N 86-09-53.9 W (Converted to NAD 27)			
Structure Address: 17843 Sprintmill Road			
Painting & Lighting Info	Structure City: Westfield, IN		
	Structure County: Hamilton County		
	FAA Circular #: 70/7460-1K		
	FAA Chapters: 4, 8, 12		
Remarks: PRIOR STUDY 2006-AGL-5925-OE		Remarks: OM&L to remain the same as prior study = A MED-DUAL SYSTEM	

		Remarks: PRIOR STUDY 2006-AGL-5925-OE
		Remarks: OM&L to remain the same as prior study = A MED-DUAL SYSTEM
	Elevation Info	Site Elevation: 282.9 meters (928 ft)
		Height of Structure: 85.3 meters (280 feet)
		Overall Height Above Ground: 87.5 meters (287 feet)
		Overall Height Above Mean Sea Level: 370.4 meters (1215 feet)
	Owner Info	Pinnacle Towers Acquisition LLC 2000 Corporate Drive Canonsburg, PA 15317
		(724) 416-2400 Regulatory.Department@crowncastle.com
	Contact Info	Crown Castle 2000 Corporate Drive Canonsburg, PA 15317
		Tom Anderson (724) 743-6330 Tom.Anderson@crowncastle.com

Study Date: 7/07/2026; Study Duration: 0.0031 Seconds.

Database Sources:

07/07/2026 FCC LMS,

7/7/2026 FCC ASR,

7/7/2026 FCC ULS Microwave, and

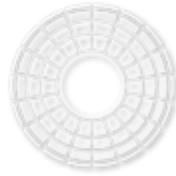
7/7/2026 FCC ULS Broadcast Land Mobile.

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New Search		Antenna Structure Registration 1294150	
Elevation Sketch	Registration Info	Registration Number: 1294150	
		File Number: A1193461	
		FAA Study: 2014-AGL-7215-OE	
		FAA Issue Date: 09/10/2014	
		Status: Constructed	
		Date Constructed: 05/07/2015	
	Structure Info Map It	Structure Type: MTOWER	
		Structure Coordinates: 40-5-2.6 N 86-9-29.9 W (NAD 83)	
		Structure Coordinates: 40-05-02.5 N 86-09-29.9 W (Converted to NAD 27)	
		Structure Address: Approximately 20441 Horton Rd. (hv880/sheridan)	
Structure City: Sheridan, IN			
Painting & Lighting Info	Structure County: Hamilton County		
	FAA Chapters: NONE		
Elevation Info	Remarks: Removed expiration date from determination. Scenario 1./jjs/case#635066		
	Site Elevation: 284.4 meters (933 ft)		
	Height of Structure: 50.3 meters (165 feet)		
		Overall Height Above Ground: 51.8 meters (170 feet)	

		Overall Height Above Mean Sea Level: 336.2 meters (1103 feet)
	Owner Info	Horvath Towers III, LLC 57 E Washington St Chagrin Falls, OH 44022 (440) 528-0333 rlepene@peppertreecapital.com
	Contact Info	Horvath Towers III, LLC 57 E Washington St Chagrin Falls, OH 44022 Greg Thompson (440) 263-8999 gthompson@k2towers.com

Study Date: 7/07/2026; Study Duration: 0.0025 Seconds.

Database Sources:

07/07/2026 FCC LMS,

7/7/2026 FCC ASR,

7/7/2026 FCC ULS Microwave, and

7/7/2026 FCC ULS Broadcast Land Mobile.

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