



CITY OF WESTFIELD, IN
Parks and Recreation Board Meeting Agenda

BOARD OR COMMISSION: Parks and Recreation Board Meeting

MEETING DATE: Wednesday, July 8, 2026 at 7:00 PM

MEETING PLACE: Westfield City Hall- Assembly Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF PARKS AND RECREATION BOARD

Julia Grimmer, President | Mayor Appointed | 3-year term | 1/1/25-12/31/26

Mike Hall, Vice President | 4-year term | 1/1/25-12/31/28

Terri Wolf, Secretary | City Council Appointed | 1-year term | 1/1/26-12/31/26 (non-voting)

Mike Antrim | Mayor Appointed | 4-year term | 1/1/26-12/31/29

LeAnne Zentz | Mayor Appointed | 2-year term | 1/1/25-12/31/27

Kurtis Baumgartner, | Mayor Appointed | 4-year term | 1/1/25-12/31/28

CALL TO ORDER

NOTICE PRESENCE OF A QUORUM

PLEDGE OF ALLEGIANCE

CHANGES TO AGENDA

PUBLIC COMMENTS

APPROVAL OF MINUTES

June 3, 2026

OLD BUSINESS

NEW BUSINESS

1. Action Item — GMP #3 for the Park Street project
 - a. A133 Exhibit A-2019
 - b. Exhibit C—City of Westfield Park Street Improvements
2. Action Item — Aaron Coleman PSA—Hold the Stars
3. Action Item — 900 N PSA—Hold the Stars
4. Action Item — Signing Authority — 2026 Freedom Trail Restroom and Pickle Ball project

DIRECTOR'S REPORT

OTHER BUSINESS

NEXT REGULAR MEETING

August 5, 2026

ADJOURNMENT



CITY OF WESTFIELD, IN
Parks and Recreation Board Meeting Minutes

Wednesday, June 3, 2026, at 7:00 PM
Meeting Place: Westfield City Hall — Assembly Room
WESTFIELD, INDIANA

CALL TO ORDER

Attendance:

President: Julia Grimmer – Present

Vice President — Mike Hall — Absent

Board Member — Mike Antrim — Present

Board Member — Kurtis Baumgartner — Present

Board Member — Leanne Zentz — Absent

NOTE - PRESENCE OF A QUORUM

President Julia Grimmer noted the presence of a quorum and called the meeting to order at 7:00 PM

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was recited.

CHANGES TO AGENDA

None

Motion to approve: Kurtis Baumgartner

Second: Mike Antrim

Yes: Kurtis Baumgartner, Mike Antrim, Julia Grimmer

No: None

Motion Determination: Passed

PUBLIC COMMENTS

APPROVAL OF MINUTES

May 11, 2026, Parks and Recreation Board Minutes

Motion to approve: Kurtis Baumgartner

Second: Mike Antrim

Yes: Kurtis Baumgartner, Mike Antrim, Julia Grimmer

DIRECTOR'S REPORT

Parks Director Chris McConnell provided an update on department programming, special events, and capital projects. He reported that the department is currently in the midst of its "90 in 80" initiative, featuring 90 events and programs over an 80-day period.

Director McConnell shared that the Farmers Market is in its fourth week and continues to see strong attendance, averaging between 1,200 and 1,500 visitors each week. The May 14 market featured an IndyCar promotional event, including an IndyCar, a pace car, 200 Indy 500 porch party kits, a ceremonial bottle of milk presentation, and an estimated attendance of approximately 2,000 people. He also noted that WISH-TV Channel 8 will broadcast live from the July 2 Farmers Market.

He reported that the Jams at the Junction concert series opened with an estimated attendance of approximately 2,000 people. The Movies in the Park series also began, with approximately 350 attendees at the first showing, while the Kids Summer Series launched with an estimated 350 to 400 participants and will continue weekly for the next nine weeks. Additional programming, including Creek Stomps, Workout Wednesdays, Salsa in the Park, and other recreational activities, is ongoing throughout the summer.

Director McConnell also provided an update on the City's America 250 celebration, noting that Parks and Recreation is partnering with the Community Engagement Department to host a downtown parade and concert on July 3, followed by the annual Westfield Rocks the 4th celebration at Grand Park on July 4.

Regarding capital projects, Director McConnell reported that the Freedom Trail Pickleball Courts and Restroom Project reached the 100% construction document phase and is currently out for bid. Bid openings are expected at the end of June, with contract awards anticipated in mid-July. Construction is expected to begin immediately thereafter, with the pickleball courts targeted for completion by the end of the year and the restroom facility anticipated to open in the spring.

He also reported that the final Guaranteed Maximum Price (GMP) for the Park Street Project came in under budget. Demolition and utility relocation activities have begun, and traffic will be maintained throughout construction.

Director McConnell provided an update on the Simon Moon project, noting that construction has been delayed due to issues involving the general contractor and engineer. The department is working to have those issues corrected and to obtain an updated project schedule and anticipated completion date.

Finally, he announced that the winning entry in the "Name the Crane" contest was Ichabod. He also shared that the department will soon announce the selected public art installation, which will honor Westfield's Quaker heritage and Underground Railroad history and will be located in the Art Plaza at the Grand on Main development.

OTHER BUSINESS

NEXT REGULAR MEETING

Wednesday, July 1, 2026, at 7:00 PM

ADJOURNMENT

President Julia Grimmer adjourned the meeting at 7:24 PM



AIA® Document A133® – 2019 Exhibit A

Guaranteed Maximum Price Amendment

This Amendment dated the 24th day of June in the year 2026, is incorporated into the accompanying AIA Document A133™–2019, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price dated the 24th day of February in the year 2026 (the "Agreement")
(In words, indicate day, month, and year.)

for the following **PROJECT:**
(Name and address or location)

City of Westfield Park Street Project
Park Street Improvements Project

THE OWNER:
(Name, legal status, and address)

City of Westfield
Parks and Recreation Department
2728 East 171st Street
Westfield, IN 46074

THE CONSTRUCTION MANAGER:
(Name, legal status, and address)

F.A. Wilhelm Construction Co., Inc.
3914 Prospect Street
Indianapolis, IN 46203

TABLE OF ARTICLES

- A.1 GUARANTEED MAXIMUM PRICE**
- A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION**
- A.3 INFORMATION UPON WHICH AMENDMENT IS BASED**
- A.4 CONSTRUCTION MANAGER'S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS**

ARTICLE A.1 GUARANTEED MAXIMUM PRICE

§ A.1.1 Guaranteed Maximum Price

Pursuant to Section 3.2.6 of the Agreement, the Owner and Construction Manager hereby amend the Agreement to establish a Guaranteed Maximum Price. As agreed by the Owner and Construction Manager, the Guaranteed Maximum Price is an amount that the Contract Sum shall not exceed. The Contract Sum consists of the Construction Manager's Fee plus the Cost of the Work, as that term is defined in Article 6 of the Agreement.

§ A.1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed Eight Million Seven Hundred Five Thousand Nine Hundred Ninety-Six Dollars (\$

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

AIA Document A201™–2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

Init.

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User Notes:

(2002021936)

8,705,996.00), subject to additions and deductions by Change Order as provided in the Contract Documents.

§ A.1.1.2 Itemized Statement of the Guaranteed Maximum Price. Provided below is an itemized statement of the Guaranteed Maximum Price organized by trade categories, including allowances; the Construction Manager’s contingency; alternates; the Construction Manager’s Fee; and other items that comprise the Guaranteed Maximum Price as defined in Section 3.2.1 of the Agreement.

(Provide itemized statement below or reference an attachment.)

Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

§ A.1.1.3 The Construction Manager’s Fee is set forth in Section 6.1.2 of the Agreement.

§ A.1.1.4 The method of adjustment of the Construction Manager’s Fee for changes in the Work is set forth in Section 6.1.3 of the Agreement.

§ A.1.1.5 Alternates

§ A.1.1.5.1 Alternates, if any, included in the Guaranteed Maximum Price:

Item	Price
N/A	

§ A.1.1.5.2 Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Exhibit A. Upon acceptance, the Owner shall issue a Modification to the Agreement.

(Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance
N/A		

§ A.1.1.6 Unit prices, if any:

(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)
Fill Operations	Cubic Yard	\$19.00
Cut Operations	Cubic Yard	\$9.00
Export Soils Off Site	Cubic Yard	\$48.00
Import Fill Material	TON	\$36.00
Stone Base (Import Material & Install)	TON	\$46.00
Senior Project Manager	Hours	\$100.00
Project Manager	Hours	\$90.00
Project Engineer	Hours	\$70.00
Superintendent	Hours	\$100.00
Safety Manager	Hours	\$80.00
Quality Manager	Hours	\$80.00
Layout Engineer	Hours	\$90.00

ARTICLE A.2 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ A.2.1 The date of commencement of the Work shall be:
(Check one of the following boxes.)

The date of execution of this Amendment.

Established as follows:
(Insert a date or a means to determine the date of commencement of the Work.)

Mobilization & Construction Start – May 11, 2026

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of execution of this Amendment.

§ A.2.2 Unless otherwise provided, the Contract Time is the period of time, including authorized adjustments, allotted in the Contract Documents for Substantial Completion of the Work. The Contract Time shall be measured from the date of commencement of the Work.

§ A.2.3 Substantial Completion

§ A.2.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Construction Manager shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

Not later than () calendar days from the date of commencement of the Work.

By the following date: December 3, 2027

§ A.2.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Construction Manager shall achieve Substantial Completion of such portions by the following dates:

Portion of Work	Substantial Completion Date
Bid Release #1 Utility Infrastructure & Mass Grading	October 31 st , 2026
Park Street Substantial Completion (Final Landscaping)	April 23 rd , 2027

§ A.2.3.3 If the Construction Manager fails to achieve Substantial Completion as provided in this Section A.2.3, liquidated damages, if any, shall be assessed as set forth in Section 6.1.6 of the Agreement.

ARTICLE A.3 INFORMATION UPON WHICH AMENDMENT IS BASED

§ A.3.1 The Guaranteed Maximum Price and Contract Time set forth in this Amendment are based on the Contract Documents and the following:

§ A.3.1.1 The following Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages
N/A			

§ A.3.1.2 The following Specifications:

(Either list the Specifications here, or refer to an exhibit attached to this Amendment.)

100% Construction Document Specifications dated 4/30/2026, and enumerated in the attached "Exhibit C - City of Westfield – Park Street Improvements Project - GMP #3 2026.06.24"

Section	Title	Date	Pages
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§ A.3.1.3 The following Drawings:

Init.

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User Notes:

(2002021936)

(Either list the Drawings here, or refer to an exhibit attached to this Amendment.)

100% Construction Document Drawings dated 4/30/2026, and enumerated in the attached "Exhibit C - City of Westfield – Park Street Improvements Project - GMP #2 2026.06.24"

Number	Title	Date
--------	-------	------

§ A.3.1.4 The Sustainability Plan, if any:

(If the Owner identified a Sustainable Objective in the Owner’s Criteria, identify the document or documents that comprise the Sustainability Plan by title, date and number of pages, and include other identifying information. The Sustainability Plan identifies and describes the Sustainable Objective; the targeted Sustainable Measures; implementation strategies selected to achieve the Sustainable Measures; the Owner’s and Construction Manager’s roles and responsibilities associated with achieving the Sustainable Measures; the specific details about design reviews, testing or metrics to verify achievement of each Sustainable Measure; and the Sustainability Documentation required for the Project, as those terms are defined in Exhibit C to the Agreement.)

Title	Date	Pages
N/A		

Other identifying information:

§ A.3.1.5 Allowances, if any, included in the Guaranteed Maximum Price:
(Identify each allowance.)

Item	Price
Gas Piping from Proposed Meter Locations to Fire Pits	\$55,000

§ A.3.1.6 Assumptions and clarifications, if any, upon which the Guaranteed Maximum Price is based:
(Identify each assumption and clarification.)

Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

§ A.3.1.7 The Guaranteed Maximum Price is based upon the following other documents and information:
(List any other documents or information here, or refer to an exhibit attached to this Amendment.)

Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

ARTICLE A.4 CONSTRUCTION MANAGER’S CONSULTANTS, CONTRACTORS, DESIGN PROFESSIONALS, AND SUPPLIERS

§ A.4.1 The Construction Manager shall retain the consultants, contractors, design professionals, and suppliers, identified below:

(List name, discipline, address, and other information.)

Reference listed awarded contractors in the attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

This Amendment to the Agreement entered into as of the day and year first written above.

OWNER *(Signature)*

CONSTRUCTION MANAGER *(Signature)*

(Printed name and title)

(Printed name and title)

Additions and Deletions Report for AIA® Document A133® – 2019 Exhibit A

This Additions and Deletions Report, as defined on page 1 of the associated document, reproduces below all text the author has added to the standard form AIA document in order to complete it, as well as any text the author may have added to or deleted from the original AIA text. Added text is shown underlined. Deleted text is indicated with a horizontal line through the original AIA text.

Note: This Additions and Deletions Report is provided for information purposes only and is not incorporated into or constitute any part of the associated AIA document. This Additions and Deletions Report and its associated document were generated simultaneously by AIA software at 14:23:52 ET on 06/24/2026.

PAGE 1

This Amendment dated the 24th day of June in the year 2026, is incorporated into the accompanying AIA Document A133™–2019, Standard Form of Agreement Between Owner and Construction Manager as Constructor where the basis of payment is the Cost of the Work Plus a Fee with a Guaranteed Maximum Price dated the 24th day of February in the year 2026 (the "Agreement")

...

City of Westfield Park Street Project
Park Street Improvements Project

...

City of Westfield
Parks and Recreation Department
2728 East 171st Street
Westfield, IN 46074

...

F.A. Wilhelm Construction Co., Inc.
3914 Prospect Street
Indianapolis, IN 46203

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§ A.1.1.1 The Contract Sum is guaranteed by the Construction Manager not to exceed Eight Million Seven Hundred Five Thousand Nine Hundred Ninety-Six Dollars (\$ 8,705,996.00), subject to additions and deductions by Change Order as provided in the Contract Documents.

PAGE 2

Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

...

N/A

...

N/A

...

<u>Fill Operations</u>	<u>Cubic Yard</u>	<u>\$19.00</u>
<u>Cut Operations</u>	<u>Cubic Yard</u>	<u>\$9.00</u>
<u>Export Soils Off Site</u>	<u>Cubic Yard</u>	<u>\$48.00</u>
<u>Import Fill Material</u>	<u>TON</u>	<u>\$36.00</u>
<u>Stone Base (Import Material & Install)</u>	<u>TON</u>	<u>\$46.00</u>
<u>Senior Project Manager</u>	<u>Hours</u>	<u>\$100.00</u>
<u>Project Manager</u>	<u>Hours</u>	<u>\$90.00</u>
<u>Project Engineer</u>	<u>Hours</u>	<u>\$70.00</u>
<u>Superintendent</u>	<u>Hours</u>	<u>\$100.00</u>
<u>Safety Manager</u>	<u>Hours</u>	<u>\$80.00</u>
<u>Quality Manager</u>	<u>Hours</u>	<u>\$80.00</u>
<u>Layout Engineer</u>	<u>Hours</u>	<u>\$90.00</u>

PAGE 3

Established as follows:

...

Mobilization & Construction Start – May 11, 2026

...

By the following date: December 3, 2027

...

Bid Release #1 Utility Infrastructure & Mass Grading October 31st, 2026
Park Street Substantial Completion (Final Landscaping) April 23rd, 2027

...

N/A

...

100% Construction Document Specifications dated 4/30/2026, and enumerated in the attached "Exhibit C - City of Westfield – Park Street Improvements Project - GMP #3 2026.06.24"

PAGE 4

100% Construction Document Drawings dated 4/30/2026, and enumerated in the attached "Exhibit C - City of Westfield – Park Street Improvements Project - GMP #2 2026.06.24"

...

N/A

...

Gas Piping from Proposed Meter Locations to Fire Pits \$55,000

...
Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

...
Reference attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"

...
Reference listed awarded contractors in the attached "Exhibit C – City of Westfield – Park Street Improvements Project – GMP #3 2026.06.24"



Certification of Document's Authenticity

AIA® Document D401™ – 2003

I, _____, hereby certify, to the best of my knowledge, information and belief, that I created the attached final document simultaneously with its associated Additions and Deletions Report and this certification at 14:23:52 ET on 06/24/2026 under Order No. 3104240305 from AIA Contract Documents software and that in preparing the attached final document I made no changes to the original text of AIA® Document A133™ – 2019 Exhibit A, Guaranteed Maximum Price Amendment, other than those additions and deletions shown in the associated Additions and Deletions Report.

(Signed)

(Title)

(Dated)

June 24th, 2026

Mr. Christopher McConnell
Director of Parks and Recreation, City of Westfield
2728 East 171st Street
Westfield IN 46074

RE: Exhibit C – City of Westfield – Park Street Improvements Project – Guaranteed Maximum Price #3

Mr. McConnell,

Included in the enclosed document, please find our Guaranteed Maximum Price #3 for the City of Westfield – Park Street Improvements project. The F.A. Wilhelm Construction team, herein referred to as the Construction Manager, has prepared this submission for your review and approval.

We have made a limited number of necessary assumptions in the development of this proposal. A detailed list of our major assumptions, qualifications, and exclusions is provided for your reference.

Below is a summary of project costs submitted to date:

• Guaranteed Maximum Price #1	\$2,835,560.00
• Guaranteed Maximum Price #2	\$4,520,133.00
• Guaranteed Maximum Price #3	\$1,350,303.00
• Total Project Costs Thru all Amendments and Exhibits	\$8,705,996.00

Guaranteed Maximum Price #3 Table of Contents

1. Cover Letter
2. Clarifications and Assumptions
3. Drawing and Specifications Log
4. GMP #3 Cost Summary
5. GMP #3 General Conditions and General Requirements
6. Subcontractor Bid Analysis Sheets and Proposal Back-up
7. Project Schedule and Site Logistics Plan

We look forward to the opportunity to working with the City of Westfield Parks Board on this project. Should you have any questions regarding this proposal please don't hesitate to contact us directly.

Best Regards,



Ariana Binder
Estimator
F.A. Wilhelm Construction Co., Inc.



GMP #3 Clarifications and Assumptions

This document consists of allowances, clarifications, and assumptions that are integral to the City of Westfield – Park Street Improvements Project – Guaranteed Maximum Price #3 (GMP #3) to provide The Parks and Recreation Department herein after referred to as the Owner with a full and completely accounted for project per the received contractual drawings, specifications, and documents.

We are more than willing to discuss or elaborate on any and all of the below at request.

Allowances (Labor, Material & Equipment)

1. (\$45,000) – Electrical & Communication Duct Bank & Vault Scope Development – Allocated from GMP #1 to BP 31A Sitework
2. (\$70,875) – Existing Sanitary Lateral Replacement (Qty 3) – Allocated from GMP #2 to BP 31A Sitework
3. +\$55,000 – Gas Piping from Proposed Meter Locations to Fire Pits – New Allowance in GMP #3

General:

1. Pricing is based on the following drawings, specifications, and documents:
 - a. Final Construction Plans dated 04/30/2026
 - b. Final Construction Specifications dated 04/30/2026
 - c. Addendum #1 dated 5/22/2026
 - d. Addendum #2 dated 5/29/2026
2. Certain assumptions that have been made from interpretation of the drawings. Please see the clarifications below for further cost breakdowns beyond the scope within this GMP.
3. No engineering or design has been included other than where the documents call for delegated design.
4. All scope and systems are assumed to be complete and functional as drawn and indicate the entire design intent.
5. These clarifications and assumptions shall control and govern in the event of an omission or conflict between any provisions of the contract documents.
6. GMP excludes furnishing, unloading, and installation of any FF&E (Furniture, Fixtures and Equipment) marked as Owner Furnished.
7. We have not included offsite parking or storage.
8. In Wilhelm's capacity as Construction Manager under the Agreement, its permissibility to self-perform a part of the work of the total value of the Project is guided by the parameters set forth in subsection (3) of Indiana Code § 5-32-3-7. Considering the anticipated final and total Guaranteed Maximum Price, as reflected in the April 29, 2026 Proposed 50% CD Budget, Wilhelm's proposal conforms with the statutory requirements and permissibility's and it is reasonable to foresee that awarding Bid Package 32D Site Furnishings to F.A. Wilhelm Construction Co., Inc. would contravene Indiana Code § 5-32-3-7.
9. Accordingly, with respect to BP 32D: Site Furnishings, although the proposal submitted by F.A. Wilhelm Construction was initially the lowest, the work has been awarded to the complete proposal as required. J.C. Ripberger Construction was the next lowest and, being fully responsive, was deemed the "lowest and best" proposal as required by statute.
10. A credit of \$115,875 has been issued to the Owner as a result of allocated allowances in GMP #1 and GMP #2. GMP #3 includes a new allowance of \$55,000 for Gas Piping from Proposed Meter



Locations to Fire Pits. This results in a net revised allowance credit of \$60,875 for the project as noted in the GMP #3 Cost Summary.

11. A credit of \$243,866 has been provided to the Owner through a reduction in Estimate Contingency as part of GMP reconciliation.

Schedule:

1. Work to be completed during 1st Shift work times (7:00 AM to 3:30 PM, Monday-Friday, No Holidays, or as deemed necessary by the Construction Manager).
2. Substantial Completion for Park Street is scheduled for April 23, 2027 with Final Completion for the Plaza scheduled for December 3, 2027.
3. This GMP is based on a Mobilization/Construction start date of May 11, 2026 pending receipt of all permitting.

Site Furnishings Inclusions:

1. This GMP includes:
 - a. Trash and recycling receptacles
 - b. Wood parklet benches
 - c. Swings
 - d. Terrace seating and planters
 - e. Terrace platforms
 - f. Planters
 - g. Fire pit table modules
 - h. Dining tables and chairs
 - i. Café tables and chairs
 - j. Bar tables and chairs
 - k. Chairs
 - l. Coffee tables
 - m. Fire pit stones
 - n. Post and panel pylon signage
 - o. Wood deck steps and railing infill

Performance Platform Inclusions:

1. This GMP includes:
 - a. Aluminum paneling
 - b. Ipe wood decking
 - c. Aluminum diamond plating ramp
 - d. Structural tube framing, structural reinforcing, and supports

Exclusions:

1. All CEG and others utility connections, tapping fees, connection fees, and associated permits.
2. Water utilities.
3. Gas utility upstream of fire pit meter locations. Gas meter to be provided by others.
4. Alternates or Value Engineering.
5. Architectural, Engineering, or Legal fees.
6. Any FM Global requirements.
7. 3rd Party commissioning agent.
8. Sales tax.



9. Any hazardous abatement, mold eradication, or hazardous material mitigation.
10. Handling, transporting, or disposal of material not defined as clean-fill.
11. Remediation or abatement of any materials deemed to be hazardous or contaminated.
12. Any utility consumption costs after Substantial Completion (i.e. Electric, Water, Gas, Chilled Water, etc.), assessment fees, excess facility charges, and installation costs and any furnishing of meters (Water, Irrigation, Steam, Gas, Etc.).
13. Cleanup of debris and dumpsters from Owner activities and Owner subcontracted work.
14. Scope associated with Golf Cart Parking (Plan Area E).



Drawing Log:

1 - Title Sheet
2 - Typical Cross Sections
3 - Plat No. 1
4 - Phasing Plan
5 - Vehicular Maintenance of Traffic Detour Route
6 - Pedestrian Maintenance of Traffic Detour Route
7 - Plan & Profile Line C
8 - Plan & Profile Line C
9 - Construction Details Line C
10 - Construction Details Line C
11 - Construction Details Line C
12 - Construction Details Plaza
13 - Spot Elevation Details
14 - Spot Elevation Details
15 - Spot Elevation Details
16 - Spot Elevation Details
17 - Spot Elevation Details – ADD #2
18 - Spot Elevation Details – ADD #2
19 - Spot Elevation Details
20 - Plan & Profile Water Line
21 - Plan & Profile Water Line
22 - Plan & Profile Distribution & Communication
23 - Plan & Profile Distribution & Communication
24 - Utility Details
25 - Utility Details
26 - Utility Details
27 - Utility Details
28 - Street Signage Line C – ADD #2
29 - Street Signage Line C – ADD #2
30 - Erosion Control Existing Conditions
31 - Erosion Control Existing Conditions
32 - Storm Water Pollution Prevention Construction Plan Elements and General Notes
33 - Storm Water Pollution Prevention Construction Plan Soil Map
34 - Storm Water Pollution Prevention Construction Plan Flood Map
35 - Miscellaneous Details
36 - Miscellaneous Details
37 - Miscellaneous Tables – ADD #2
XS1 - Cross Sections Line C
XS2 - Cross Sections Line C
XS3 - Cross Sections Line C
XS4 - Cross Sections Line C
XS5 - Cross Sections Line C
XS6 - Cross Sections Line C
XS7 - Cross Sections Line C
XS8 - Cross Sections Line C
XS9 - Cross Sections Line C
XS10 - Cross Sections Line C
XS11 - Cross Sections Line C
SD1 - Plan Areas Key Map
SD2 - Demolition Plan - Area A
SD3 - Demolition Plan - Area B
SD4 - Demolition Plan - Area C
SD5 - Demolition Plan - Area D
SD6 - Keynote Plan - Area A
SD7 - Keynote Plan - Area B
SD8 - Keynote Plan - Area C
SD9 - Keynote Plan - Area D
SD10 - Site Layout Plan - Area A
SD11 - Site Layout Plan - Area B
SD12 - Site Layout Plan - Area C
SD13 - Site Layout Plan - Area D
SD14 - Site Paver Plan - Area A
SD15 - Site Paver Plan - Area B
SD16 - Site Paver Plan - Area C
SD17 - Site Paver Plan - Area D
SD18 - Soil Plan - Area A
SD19 - Soil Plan - Area B
SD20 - Soil Plan - Area C
SD21 - Soil Plan - Area D
SD22 - Planting Plan - Area A
SD23 - Planting Plan - Area B
SD24 - Planting Plan - Area C
SD25 - Planting Plan - Area D
SD26 - Planting Schedule
SD27 - Planting Details
SD28 - Hardscape Details
SD29 - Hardscape Details
SD30 - Hardscape Details
SD31 - Curb Ramp Details
SD32 - Tree Grate Details
SD33 - Stormwater Planter Details
SD34 - Stormwater Planter Details
SD35 - Stair and Ramp Details
SD36 - Stair and Ramp Details
SD37 - Site Furnishing Details
SD38 - Fire Pit Details
SD39 - Fire Pit Details
SD40 - Gateway Details
SD41 - Gateway Details
SD42 - Gateway Details
SD43 - Gateway Details
SD44 - Performance Platform Details
SD45 - Performance Platform Details
SD46 - Performance Platform Details
S1 - Structural Notes
S2 - Gateway Structural Plan and Sections
S3 - Gateway Structural Perspective
S4 - Swing Foundation
E2 - Electrical Site Plan - Area A
E3 - Electrical Site Plan - Area B
E4 - Electrical Site Plan - Area C
E5 - Electrical Site Plan - Area D
E6 - Electrical Riser Diagram – ADD #2
E7 - Electrical Symbols and Details – ADD #2
E8 - Electrical Details – ADD #2
T1 - Overall Technology Site Plan
T2 - Technology Site Plan - Area A
T3 - Technology Site Plan - Area B
T4 - Technology Site Plan - Area C
T5 - Technology Site Plan - Area D
T6 - Technology Details
T7 - Technology Details
IR1 - Site Irrigation Plan - Area A
IR2 - Site Irrigation Plan - Area B
IR3 - Site Irrigation Plan - Area C
IR4 - Site Irrigation Plan - Area D
IR5 - Irrigation Details
IR6 - Irrigation Details



Specifications Log:

00 - PROCUREMENT AND CONTRACTING REQUIREMENTS

- 00 0101 - Project Title Page
- 00 0110 - Table of Contents
- 00 0115 - List of Drawing Sheets
- 01 - GENERAL REQUIREMENTS
- 01 1000 - Summary
- 01 2200 - Unit Prices
- 01 2500 - Substitution Procedures
- 01 3300 - Submittal Procedures
- 01 4000 - Quality Requirements
- 01 5639 - Temporary Tree and Plant Protection
- 01 6000 - Product Requirements
- 01 7300 - Execution
- 01 7700 - Closeout Procedures
- 01 7823 - Operation and Maintenance Data
- 01 7839 - Project Record Documents
- 01 7900 - Demonstration and Training

02 - EXISTING CONDITIONS

- 02 4119 - Selective Demolition
- 02 4120 - Photo Documentation and Protection of Existing Buildings

03 - CONCRETE

- 03 3000 - Cast-in-Place Concrete

04 - MASONRY

- 04 2613 - Masonry Veneer – ADD #1
- 04 4300 - Stone Masonry

05 - METALS

- 05 1200 - Structural Steel Framing
- 05 5213 - Pipe and Tube Railings

10 - SPECIALTIES

- 10 1426 - Post and Panel-Pylon Signage

26 - ELECTRICAL

- 26 0000 - Electrical Summary
- 26 0031 - Electrical Cutting and Patching
- 26 0070 - Electrical Closeout Procedures
- 26 0090 - Electrical Earthwork
- 26 0519 - Low-Voltage Electrical Power Conductors and Cables
- 26 0526 - Grounding and Bonding for Electrical Systems
- 26 0529 - Hangers and Supports for Electrical Systems
- 26 0533 - Raceway and Boxes For Electrical Systems
- 26 0553 - Identification For Electrical Systems
- 26 0923 - Lighting Control Devices
- 26 2416 - Panelboards
- 26 2726 - Wiring Devices
- 26 5619 - LED Exterior Lighting

27 - COMMUNICATIONS

- 27 0500 - Common Work Results for Communications
- 27 0553 - Identification for Communications Systems
- 27 1100 - Communications Equipment Room Fittings
- 27 1323 - Communications Optical Fiber Backbone Cabling
- 27 1513 - Communications Copper Horizontal Cabling
- 27 5116 - Public Address Systems

31 - EARTHWORK

- 31 1000 - Site Clearing
- 31 2000 - Earth Moving

31 2324 - Structural Soil

32 - EXTERIOR IMPROVEMENTS

- 32 1216 - Asphalt Paving
- 32 1313 - Concrete Paving
- 32 1373 - Concrete Paving Joint Sealants
- 32 1400 - Unit Paving
- 32 1723 - Pavement Markings
- 32 1726 - Tactile Warning Surfacing
- 32 1813 - Synthetic Grass Surfacing
- 32 3300 - Site Furnishings – ADD #1
- 32 3300.01 - Fire Pit
- 32 3300.02 - Performance Platform – ADD #1
- 32 8400 - Landscape Irrigation
- 32 9115 - Soil Preparation (Performance Specification)
- 32 9200 - Turf and Grasses
- 32 9300 - Plants

33 - UTILITIES

- 33 1000 - Sanitary Sewer Utility
- 33 4100 - Storm Utility
- 33 7000 - Electrical Utility
- 33 8000 - Communication Utility

APPENDIX

- 25-1956-01G Park Street Improvements Geotechnical Report

City of Westfield - Park Street Improvements - Guaranteed Maximum Price #3

COST SUMMARY

June 24, 2026

Bid Package	Bid Package Description	Apparent Low Bidder	Bid Package Total
32D	Site Furnishings	J.C. Ripberger	\$778,000
32E	Performance Platform	Bomar Industries	\$189,500
04A	Masonry (Final CD Reconciliation)	F.A. Wilhelm	\$2,070
05A	Miscellaneous Metals (Final CD Reconciliation)	Bomar Industries	\$5,380
26A	Electrical (Final CD Reconciliation)	Huston Electrical	\$261,253
31A	Sitework (Final CD Reconciliation)	F.A. Wilhelm	\$289,339
32A	Site Concrete & Hardscape (Final CD Reconciliation)	J.C. Ripberger	\$2,188
32B	Unit Paving (Final CD Reconciliation)	Decorative Paving	\$0
32C	Landscaping & Irrigation (Final CD Reconciliation)	Midwest Landscape	\$15,671

\$1,543,401

Electrical & Comm Duct Bank & Vault Scope Development Allowance	-\$45,000
Existing Sanitary Lateral Replacement Allowance	-\$70,875
Gas Piping from Meters to Fire Pit Locations Allowance	\$55,000
General Conditions & Requirements	\$20,100
Remove Estimate Contingency from GMP #1 and GMP #2	-\$243,866
Construction Contingency 3.00%	\$37,763
Builders Risk Insurance 0.26%	\$3,371
General Liability Insurance 0.54%	\$7,019
Performance and Payment Bond 0.80%	\$10,455
Construction Management Fee 2.50%	\$32,934

TOTAL	\$1,350,303
--------------	--------------------

GENERAL CONDITIONS / GENERAL REQUIREMENTS



Project: City of Westfield - Park Street Improvements - Guaranteed Maximum Price #3

Date: 6/24/26 8:32 AM

Months: 6

Weeks: 26

Calendar Days: 182

Work Days: 130

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL		LABOR		SERVICE/SUBCONTRACT		LINE ITEM TOTALS	
		QUANTITY	UNIT	UNIT PRICE	MATERIAL DOLLARS	UNIT PRICE	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS
	General Conditions / Staffing										
	Project Executive / Ops Manager										
	Senior Project Manager	0	wks			\$4,000.00					
	Project Manager	0	wks			\$3,600.00					
	Project Engineer	0	wks			\$2,800.00					
	MEP Manager	0	wks			\$3,800.00					
	General Superintendent	0	wks			\$4,600.00					
	Superintendent	0	wks			\$4,000.00					
	Safety Manager / Coordinator	0	wks			\$3,200.00					
	Quality Manager / Coordinator	0	wks			\$3,200.00					
	Layout	0	wks	\$500.00		\$3,600.00					
	Intern										
	Admin Assistant										
	VP of Preconstruction Services										
	Preconstruction Manager										
	Senior Estimator										
	Estimator										
	BIM / VDC Engineer										
ea	dyl/wk										
-	-										
	GC Staff Travel and Lodging		days	\$150.00							
	Office Trailer(s)		mo	\$3,000.00							
	Office Trailer Set-up & Tear Down		ls	\$4,000.00							
	Office Equipment & Supplies		mo	\$1,000.00							
	Phones / Internet / Computers		mo	\$500.00							
	Monthly Power for Trailer(s)		mo	\$300.00							
	Drinking Water		mo	\$200.00							
	Furniture in Trailer(s)										
	Plans / Reprographics										
	Additional Travel / Lodging										
	Procure Project Management 0.075%			\$	0.075%						
	General Requirements										
	Initial Benchmark and Surveying		ls	\$6,000.00							
	Temporary Fencing & Maintenance		lf					\$22.00			
	Concrete Jersey Barriers for Fence		lf					\$30.00			
	Temporary Gravel (Staging / Road)										
	Utility Locates / Vac Truck	20	hrs			\$80.00	\$1,600	\$250.00	\$5,000	\$330.00	\$6,600
	Exploratory Camera Work	1	ls					\$5,000.00	\$5,000	\$5,000.00	\$5,000
	Lull		mo	\$2,100.00		\$6,192.00					
	Hoisting: Tower Crane										
	Scaffolding										
	Temporary Stairs										
	Street Sweeper										
	General Project Cleaning		hrs			\$65.00					
	Final Cleaning										
	Safety & Fire Extinguishers		mo	\$800.00							
	Dumpsters		ea					\$500.00			
	Temporary Restrooms		mo	\$400.00							
	Temporary Heat During Construction										
	Temporary Water Hookup										
	Temporary Electrical Hookup										
	Temporary Generator	1	ls						\$8,500	\$8,500.00	\$8,500
*	Electrical Usage During Construction										
*	Water Usage During Construction										
	Temporary Enclosures/Protection										
	Temporary Sidewalks										
	Temporary Signage		ls	\$5,000.00							
	Traffic Control		hrs			\$65.00					
	Gate Security										
	Materials Testing		ls					\$44,900.00			
	Community Relations		ls	\$5,000.00							
	Permits & Fees		ls	\$3,750.00							
	Trucking		hrs	\$25.00		\$60.00					
	Small Tools										
	TOTALS					\$0	\$1,600		\$18,500		\$20,100

Bid Package - 32D - Site Furnishings	F.A. Wilhelm Mohammed El-Hafy 317-332-0634 MohammedElHafy@fawilhelm.com	J.C. Ripberger Michael Ripberger 317-502-8015 michaelr@icripberger.com	Verkler Ryan Albright 317-508-7943 rcalbright@verkler.com	Midwest Landscape Steve Hastings 317-379-6980 shastings@mli-in.com
BASE BID	\$717,000	\$778,000	\$908,382	\$908,895
Bid Submittals				
Bid Package 32D Site Furnishings – Bid Form	included	included	included	included
Bid Form Attachment 1 – Combined Bid (if applicable)	included	included	included	included
Bid Form Attachment 2 – Supplemental Bid Information	included	included	included	included
Subcontractor/Supplier Qualification Form	included	included	included	included
Contractor’s Bid for Public Work – Form 96	included	included	included	included
Specifications/General				
Specifications				
Division 01 - General Requirements	yes	yes		
323300 - Site Furnishings	yes	yes		
323300.01 - Fire Pit	yes	yes		
Documents				
Final Construction Plans dated 04/30/2026	yes	yes		
Final Construction Specifications dated 04/30/2026	yes	yes		
00 Project Bid Manual - Bid Event #3	yes	yes		
General Scope of Work for Bid Packages	yes	yes		
Bid Package 32D Site Furnishings - Specific Scope of Work	yes	yes		
01 Project Schedule	yes	yes		
02 Site Logistics Plan	yes	yes		
03 Site Safety Plan	yes	yes		
04 Tax Exemption Form	yes	yes		
05 Wilhelm Sample Subcontract Agreement - Confirm will execute with no exceptions	yes	yes		
06 Custom Fire Pit Scope Delineation	yes	yes		
Addendum #1 dated 5/22/2026	yes	yes		
Addendum #2 dated 5/29/2026	yes	yes		
Scope Verification				
Subcontractor to provide all labor, materials, and equipment for all site furnishings work for the project.	yes	yes		
Subcontractor shall furnish and install all site furnishings, including:				
Trash and recycling receptacles	yes	yes		
Wood parklet benches	yes	yes		
Swings	yes	yes		
Terrace seating and planters	yes	yes		
Terrace platforms	yes	yes		
Planters	yes	yes		
Fire pits	yes	yes		
Dining tables and chairs	yes	yes		
Café tables and chairs	yes	yes		
Bar tables and chairs	yes	yes		
Chairs	yes	yes		
Coffee tables	yes	yes		
Fire pit stones	yes	yes		
Post and panel pylon signage	yes	yes		
Deck steps and railing infill	yes	yes		
Subcontractor shall provide all post and pylon signage, including all signage panels, posts, supports, brackets, fasteners, etc. as required for a complete installation.	yes	yes		
Subcontractor shall provide deck steps and railing infill, including step railings, handrails, top rails, top supports, bottom supports, balusters, deck steps, tread boards, skirt boards, miter joints, posts, post bases, joists, ledger boards, sleepers, blocking, fasteners, etc. as required for a complete installation.	yes	yes		
Subcontractor shall make modifications to existing deck and railing system as required to complete this installation.	yes	yes		

Bid Package - 32D - Site Furnishings	F.A. Wilhelm	J.C. Ripberger	Verkler	Midwest Landscape
	Mohammed El-Hafy 317-332-0634 MohammedElHafy@fawilhelm.com	Michael Ripberger 317-502-8015 michaelr@jcripberger.com	Ryan Albright 317-508-7943 rcalbright@verkler.com	Steve Hastings 317-379-6980 shastings@mli-in.com
Subcontractor shall provide all components and accessories for site furnishings, including aluminum, steel, iron, stainless steel, wood, anchors, fasteners, fittings, hardware, grout, anchoring cement, and galvanizing for a complete installation.	yes	yes		
Subcontractor shall provide all required shop-applied coatings and field-applied painting and staining for this scope of work.	yes	yes		
Subcontractor shall provide all warranties as required.	yes	yes		
Proper care shall be taken to avoid tracking of debris, trash, and mud onto public streets or adjacent properties. Mud or excess dirt on public streets resulting from work operations shall be cleaned daily. Bidder shall have necessary equipment and personnel available onsite during all working hours to handle any emergency cleanup.	yes	yes		
Dust control is included for this scope.	yes	yes		
Traffic control, permitting, flagmen, barricades, temporary officers, etc. as required for this scope of work is included.	yes	yes		
Subcontractor shall furnish and install all mock-ups as required by the contract documents.	yes	yes		
Exclusions:				
Tree grates and tree grate frames	yes	yes		
Performance platform	yes	yes		
Synthetic turf	yes	yes		
Detectable warning plates	yes	yes		
Concrete foundations and bases	yes	yes		
Relocated signage at Nyla's and The Italian House	yes	yes		
Limestone blocks, boulders, and stepping stones	yes	yes		
TOTALS	\$717,000	\$778,000	\$908,382	\$908,895

Alternates				
1 Payment & Performance Bond		\$7,780.00	\$9,000.00	\$22,722.38
2 Voluntary Alternate:				
3 Voluntary Alternate:				
4 Voluntary Alternate:				

Bid Breakdown (For Accounting Purposes Only)				
1 Park Street (Plan Area A, B, C)				
a. Trash & Recycling Receptacles	\$105,000.00	\$30,000.00	\$45,791.00	\$26,714.29
b. Wood Parklet Benches	\$132,000.00	\$130,000.00	\$152,035.00	\$182,143.86
c. Swings	\$20,000.00	\$20,000.00	\$45,794.00	\$43,500.66
d. Terrace Seating & Planters	\$87,000.00	\$75,000.00	\$71,596.00	\$94,144.48
e. Planters	\$125,000.00	\$130,000.00	\$158,584.00	\$192,277.58
f. Fire Pits	\$45,000.00	\$25,000.00	\$40,777.00	\$34,980.88
g. Coffee Tables	\$26,000.00	\$22,000.00	\$40,111.00	\$34,822.65
h. Post & Panel Pylon Signage	\$20,000.00	\$5,000.00	\$18,754.00	\$17,155.02
i. Deck Steps & Railings	\$2,000.00	\$8,500.00	\$24,315.00	\$16,800.00
2 Plaza (Plan Area D)				
a. Trash & Recycling Receptacles	\$13,000.00	\$32,000.00	\$48,023.00	\$41,113.27
b. Terrace Platforms	\$24,000.00	\$32,000.00	\$60,674.00	\$34,058.60
c. Dining Tables & Chairs	\$44,000.00	\$75,000.00	\$69,085.00	\$62,962.28
d. Café Tables & Chairs	\$27,000.00	\$27,000.00	\$47,467.00	\$29,326.54
e. Bar Tables & Chairs	\$32,000.00	\$7,000.00	\$42,854.00	\$37,037.41
f. Chairs	\$13,000.00	\$9,000.00	\$24,067.00	\$8,148.08
g. Fire Pit Stones	\$2,000.00	\$2,500.00	\$18,455.00	\$5,881.82
3 Miscellaneous Items	\$0.00	\$148,000.00	\$0.00	\$47,827.58
4 Total Base Bid Amount	\$717,000.00	\$778,000.00	\$908,382.00	\$908,985.00



**BID PACKAGE 32D – SITE FURNISHINGS
BID FORM**

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: F. A. Wilhelm Construction Co. Inc.
 Address: 3914 Prospect Street, Indianapolis, IN 46203
 Contact: Mohammed El-Hafy
 Phone: (317) 359-5411
 Email: MohammedElHafy@fawilhelm.com
 Date: June 3, 2026
 State License Number (if applicable): C8054000

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID:
 Total Bid price for all work, complete, in accordance with the Bidding Documents:
 Bid Amount (in words): Seven hundred seventeen thousand dollars.
 Dollars: \$ \$717,000

1.5 BID BREAKDOWN (For Accounting Purposes Only):

- 1. Park Street (Plan Area A, B, C)
 - a. Trash & Recycling Receptacles \$ 105,000
 - b. Wood Parklet Benches \$ \$132,000
 - c. Swings \$ \$20,000
 - d. Terrace Seating & Planters \$ \$87,000
 - e. Planters \$ \$125,000
 - f. Fire Pits \$ \$45,000
 - g. Coffee Tables \$ \$26,000
 - h. Post & Panel Pylon Signage \$ \$20,000
 - i. Deck Steps & Railings \$ \$2,000
- 2. Plaza (Plan Area D)
 - a. Trash & Recycling Receptacles \$ \$13,000
 - b. Terrace Platforms \$ \$24,000

c. Dining Tables & Chairs	\$ <u>\$44,000</u>
d. Café Tables & Chairs	\$ <u>\$27,000</u>
e. Bar Tables & Chairs	\$ <u>\$32,000</u>
f. Chairs	\$ <u>\$13,000</u>
g. Fire Pit Stones	\$ <u>\$2,000</u>
3. Miscellaneous Items	\$ _____
4. Total Base Bid Amount	\$ <u>\$717,000</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
ADD / DEDUCT \$ _____
2. Alternate #2: Voluntary Alternate: _____
ADD / DEDUCT \$ _____
3. Alternate #3: Voluntary Alternate: _____
ADD / DEDUCT \$ _____
4. Alternate #4: Voluntary Alternate: _____
ADD / DEDUCT \$ _____

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.

E. RECEIPT OF ADDENDA

Addendum No. 1 Dated 05/22/2026
 Addendum No. 2 Dated 05/29/2026
 Addendum No. _____ Dated _____
 Addendum No. _____ Dated _____

F. Information to be provided with Bid Proposal:

1. Bid Package 32D Site Furnishings – Bid Form
2. Bid Form Attachment 1 – Combined Bid (if applicable)
3. Bid Form Attachment 2 – Supplemental Bid Information
4. Subcontractor/Supplier Qualification Form
5. Contractor’s Bid for Public Work – Form 96

G. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as**



specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: Andrew S. Lock (Member of Firm Authorized to Sign Bid)

Title: Vice President Preconstruction Services Date: June 3, 2026



BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: F. A. Wilhelm Construction Co., Inc. DATE: June 3, 2026

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Combined Bid Amount: Dollars \$ _____

A. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.**

Signed By:  _____
Andrew S. Lock (Member of Firm Authorized to Sign Bid)

Title: Vice President Preconstruction Services Date: June 3, 2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: F. A. Wilhelm Construction Co., Inc. DATE: June 3, 2026

BID PACKAGE: 32D - Site Furnishings

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>Superintendent</u>	<u>50%</u>
<u>Project Manager</u>	<u>50%</u>
<u>Project Engineer</u>	<u>100%</u>
<u> </u>	<u> </u>

B. MAJOR EQUIPMENT *(individual pieces of equipment over \$10,000.00)*

Equipment and Manufacturer	Quantity	Lead Time
<u>n / a</u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
n / a				

Signed By: 
Andrew S. Lock (Member of Firm Authorized to Sign Bid)
Title: Vice President Preconstruction Services Date: June 3, 2026

THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name:					Date:	
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Former Business Name (if applicable):						
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Telephone:		Fax:		Website Address:		
Contractor's License #:		State:		Expiration:		
State Sales Tax Registration #:		State Unemployment #:		Federal ID #:		
Primary Contact Info						
Contact Name:			Title:			
Telephone:			Location:			
Email:						
Secondary Contact Info (if applicable)						
Contact Name:			Title:			
Telephone:			Location:			
Email:						
Contractor Type	<input type="checkbox"/> General Contractor <input type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input type="checkbox"/> Yes <input type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) _____ 4.) _____ 2.) _____ 5.) _____ 3.) _____ 6.) _____			
Contract Size			Area of Operation			
-Maximum contract amount your company can effectively manage? (\$) _____ -What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) _____ -Largest Project completed in the past 3 years? (\$) _____ -What percentage of work does your company sub-contract on a typical job? (\$) _____			<input type="checkbox"/> Metro Indianapolis <input type="checkbox"/> Indiana <input type="checkbox"/> Central Indiana <input type="checkbox"/> NE Indiana <input type="checkbox"/> NW Indiana <input type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois <input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International			

THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

Licenses/Product Certifications (*)	
State License Numbers Indiana Department of Administration (IDOA) License Number _____ Expiration Date _____ Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____ (*) Please attach current IDOA and/or INDOT Certification	City License Number City of _____ License Type: _____ License Number _____ Expiration Date _____ City of _____ License Type: _____ License Number _____ Expiration Date _____ (*) Please attach current City Certification and/or license

(*) If requested, please provide any documentation which substantiates licenses.

Trade Specific License	
Trade _____	Trade _____
License Number _____	License Number _____

(*) If requested, please provide any documentation which substantiates trade licenses.

Safety Questionnaire (*)				Part 2
OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025				
2024				
2023				
2022				
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025				
2024				
2023				
2022				
Totals				

- Do you have an OSHA compliant safety program in place? _____ Yes No
- Do you have a designated safety officer at your company? _____ Yes No
- Does this person conduct safety inspections on all job site(s)? _____ Yes No
- Have you implemented a hazardous communication plan(s)? _____ Yes No
- Have you implemented a drug testing program? _____ Yes No
- Do you have a light-duty program? _____ Yes No
- Do you review the safety procedures, and history of any sub-contractor you work with? _____ Yes No
- No Do you provide safety training to all employees? _____ Yes No
- Would you allow an audit of your company manuals relating to safety policy/procedure? _____ Yes No

No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:

() If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.*

() To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.*

Insurance Information (*)			Part 3
Insurance Agency:	Phone: ()		
Insurance Contact Name:	Fax: ()		
Street Address:			
City:	State:	Zip:	

Insurance Plan	Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		
General Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		
Excess Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		
Auto Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		
Professional Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		
Other	<input type="checkbox"/> Yes <input type="checkbox"/> No	(\$)		

() If requested, please include a copy of your current insurance certifications*

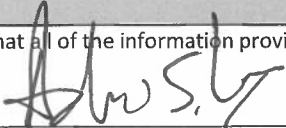
THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

Banking/Financial (*)				Part 4
Bank Name:		Contact Name:		
Phone: ()		Line of Credit Amount: (\$)		
Amount Available: (\$)		Secured: <input type="checkbox"/> Yes <input type="checkbox"/> No		
Description of Collateral:		Personal <input type="checkbox"/> Yes <input type="checkbox"/> No		
What is your current backlog of work?		D-U-N-S #:		
Please provide annual revenue for the past 3 years				
Year	2025	2024	2023	
Revenue	(\$)	(\$)	(\$)	
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>				

()If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.*

Bonding/Surety Information (*)			Part 5
Agent's Name:		Bonding/Surety Company:	
Phone: ()		Bonding Capacity: Total: (\$) Per Job: (\$)	
Personal Guarantee: <input type="checkbox"/> Yes <input type="checkbox"/> No		Dollar value of bonded work on hand: (\$)	

()If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.*

Authorization
<p>I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.</p> <div style="display: flex; justify-content: space-between; align-items: center;">  <div style="text-align: right;"> <p>Andrew S. Lock, Vice President Preconstruction Services</p> </div> </div>

() By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.*



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)

Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): June 3, 2026

1. Governmental Unit (Owner): City of Westfield

2. County : Hamilton County

3. Bidder (Firm): F. A. Wilhelm Construction Co., Inc.

Address: 3914 Prospect Street

City/State/ZIPcode: Indianapolis, IN 46203

4. Telephone Number: (317) 359-5411

5. Agent of Bidder (if applicable): N/A

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield Park Street Improvement

(Governmental Unit) in accordance with plans and specifications prepared by Rundell Ernstberger Associates

and dated March 2026 for the sum of

Seven hundred seventeen thousand dollars \$ \$717,000

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS

(If applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, _____, subject to the following conditions: _____

Contracting Authority Members:

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: City of Westfield

Bidder (Firm) F. A. Wilhelm Construction Co., Inc.

Date (month, day, year): June 3, 2026

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
Please see "Major Projects Completed" attachment			

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
Please see "Works in Progress" attachment			

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

IU Health	Wabash College	Churchill Downs, Inc.
Jim Mladucky	Adriann Rhoades	Ryan Jordan
340 West 10th Street	301 W. Wabash Avenue	700 Central Avenue
Indianapolis, IN 46202	Crawfordsville, IN 47933	Louisville, KY 40208
(317) 962-3915	(765) 361-6100	(502) 636-4400

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

Manage, supervise and perform the work in accordance with the bid documents.

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

Over the past five (5) years we have performed over 25 public works projects in which we have employed over 200 subcontractors in various scopes of work. The largest among these are Leach & Russell (mechanical), Long Electric (electrical), Ermco Electric (electrical), ISI (drywall), Circle B (fireproofing, drywall) and PCI (drywall).

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

To be determined

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

Any required equipment or tools required to complete the project.

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

We have received quotes for some materials. We have not contracted for anything at this time.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

SECTION IV CONTRACTOR'S NON – COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to include anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

SECTION V OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

F. A. Wilhelm
Dated at Construction Co., Inc. this 3rd day of June, 2026

F. A. Wilhelm Construction Co., Inc.
(Name of Organization)

By [Signature]

Andrew S. Lock, Vice President Preconstruction Services
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF INDIANA)
) ss
COUNTY OF MARION)

Before me, a Notary Public, personally appeared the above-named Andrew S. Lock and swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this 3rd day of June, 2026.

[Signature]
Norma Martinez Notary Public

My Commission Expires: September 18, 2033

County of Residence: Hendricks



BID OF

F.A. Wilhelm Construction Co., Inc.

(Contractor)

3914 Prospect Street, Indpls., IN 46203

(Address)

FOR

PUBLIC WORKS PROJECTS

OF

Filed _____, _____

Action taken _____



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
IPS GW Carver School 87 - Masonry	Indianapolis Public Schools	147,000	100	
Republic Airways Parking Garage - Masonry	Republic Airways	1,322,471	100	
Nucor Steel Crawfordsville Augercast Piles	Nucor Sheet Mill Group	22,662	100	
HUMS Elementary School - Mishawaka	School City of Mishawaka	75,500	100	
Millipore FRP Building 1	No Customer	90,106	100	
Millipore Sigma-Masonry	Exelead Merck Millipore	147,304	100	
Republic Airways Garage - General Trades Package	Republic Airways	199,372	100	
Exelead - Masonry	Exelead Pharma	238,500	100	
CHE Bldg. 3 2nd Floor Oncology Renovation -Masonry	Community Health Network-East	241,400	100	
IDOC - MCP - Wall & Tunnel Repair	Build Westville	257,402	100	
Community Surgery Center South Addition - Masonry	Community Health Network	376,245	100	
Fed Ex South Campus Freight Building Expansion	FedEx Express	589,154	100	
Hudnut Commons Beam Replacement	Capital Improvements Board	604,000	100	
Roche Building D Facade-Masonry	Roche Diagnostics	699,413	100	
Elanco Global HQ - Carpentry	F. A. Wilhelm Construction Co., Inc.	945,053	100	
Nucor/Beacon - Electrical Duct Banks	Beacon Electric	961,649	100	
FWSB Casino Bar - Carpentry	Pokagon Band of Potawatomi	1,572,053	100	
Purdue Ross Ade Stadium SEZ - Masonry	Purdue University	1,908,848	100	
River Road Well #17	Citizens Energy Group	920,671	100	
Millipore Sample Booth	Exelead Merck Millipore	1,098,570	100	
Millipore Building One Re-Roof	Exelead Merck Millipore	1,789,329	100	
MRU/CTIC Warehouse Fit-Out Project	Confidential Client Non-OCIP Work	10,589,489	99	
Eskenazi Health, Misc Health System Projects	Eskenazi Health	3,735,226	99	
Spectron RX Cyclotron - Masonry	SpectronRx	76,000	98	
Purdue OTR Services	Purdue University	101,500	98	
Confidential Client LP2 - Masonry	Confidential Client	362,283	96	
M48 Domino 4	Confidential Client	27,302,462	95	
Republic Airways P6 Perimeter Walls FL 1-3	Republic Airways	532,765	95	



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Noblesville Event Center - Concrete & Masonry	Patch Innovation Mile LLC	21,050,767	94	
Crusader T.I.	Prologis	24,262,770	93	
Republic Airways HQ - Masonry	Republic Airways	520,100	92	
Purdue Hillenbrand General Trades	Purdue University	788,920	90	
Simtra Project Greenlight - Elevator Shafts	Simtra BioPharma Solutions	346,300	90	
Millipore Building One - Concrete	Exelead Merck Millipore	319,310	80	
Indianapolis Animal Care Services - Civil	TPC Mechanical Contractors LLC	3,010,530	78	
Ampacet - 2024 Terre Haute Exp. 30% Design	Ampacet	50,000	70	
Simtra - Project HyperDrive EXTERIOR	Simtra BioPharma Solutions	621,680	60	
P&G Project Benuu - RRL Self Perform Concrete	Procter & Gamble Company	20,046,123	60	
Purdue - Mitch Daniels School of Business - Concrete	The Trustees of Purdue University	8,209,228	60	
Westfield Fire Station 84 - Masonry	City of Westfield	879,948	54	
Indianapolis Animal Care Services (IACS) - Concrete	Indianapolis Department of Business & Neighborhood Services	1,842,768	53	
Sheraton Garage Phase 2 & 4	Premier Project Management LLC	2,785,715	50	
IUHW - Vertical Expansion & Renovation - Masonry	Indiana University Health, Inc.	609,090	44	
BLDG 0 Footing Exploratory Excavation	Roche Diagnostics	19,185	43	
Millipore Building One - Demo	Exelead Merck Millipore	119,140	41	
IUH - Plaza Area G Lab - Concrete	IUH Health Arnett	128,643	32	
Sullivan County Community Hospital	Sullivan County Community Hospital	50,000	27	
I-70 Centerville Welcome Center	Indiana Department of Transportation	40,096,000	25	
IACS - General Trades	Indianapolis Department of Business & Neighborhood Services	1,337,770	19	
IU Indy - James T. Morris Arena	Trustees of Indiana University	91,716,070	17	
Turtle Creek Apartments	RDoor Housing Corporation	1,166,000	15	
BSU - College of Architecture & Planning Renovations	Ball State University	23,660,575	14	
JLL Projects - NN	Confidential Client AS	52,000	14	
BSU - ACM/UTH	Ball State University	43,955,234	11	
Confidential Client Medicine Foundry	The Foundry Partners	72,323,352	9	
SpectronRX - Building D	SpectronRx	2,569,147	9	



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
501 Indiana Avenue	Arrow Street Development	360,612	8	
IndyGo Blue Line	Indianapolis Public Transportation Corp	34,702,000	7	
Bloomington-Monroe Chemical Feed-CMA	No Customer	122,600	2	
Veteran's Way Carmel Stairs	Village Capital Corporation	1,109,800	2	
RayzeBio Expansion	Bristol-Myers Squibb-TT0(0111)	5,945,947	2	
Community South - West Parking Lot	Community Health Network	1,002,915	1	
CEG Chilled Water & Steam - James T. Morris Arena	Citizens Energy Group	363,586	0	
INAW Sheridan Regional Lift Station	Indiana American Water Company, Inc.	6,335,478	0	
Novonosis-ISO Tank Yard	Novonosis Manufacturing	13,412,099	0	
Simitra Project Greenlight - General Trades	Simitra Biopharma Solutions	1,108,675	0	
Confidential Client - Central Corridor Foundations	The Foundry Partners	3,644,606	0	
Republic Airways Hotel Expansion	Republic Airways	21,186,435	0	
Confidential Client 196 Chilled Water System Expansion	Confidential Client	349,000	0	
IU Ft. Wayne Hospital MOB	Pepper Construction	1,120,200	0	
Confidential Client - Hybrid Foundations	The Foundry Partners	16,049,927	0	
Kenyon College West Quad	Kenyon College	18,156,241	100	7/31/21
Confidential Client Loom Room - QC Lab Renovation	Confidential Client	8,095,846	100	1/1/22
Cardinal Health, Preconstruction	Cardinal Health	20,207,178	100	1/1/22
Confidential Client - Packaging B Project	Confidential Client	10,661,283	100	1/31/22
The Corner Garage, Carmel	Buckingham Construction	8,705,911	100	3/21/22
Cummins CTC Office Tower Renovation	Cummins, Inc.	26,055,099	100	5/31/22
FedEx FSSM	FedEx Express	917,605	100	6/30/22
Confidential Client Southeast Parking Lot	Confidential Client	7,726,753	93	6/30/22
City of Lafayette, Public Safety Building & Garage	Kettelhut Construction, Inc.	588,434	100	8/30/22
Carmel-CHS Performing Arts Center Building Additions and Ren	CARMEI CLAY SCHOOLS	2,641,720	100	8/31/22
Four Winds South Bend Gaming Expansion CONCRETE	Pakagon Gaming Authority	1,486,671	83	8/31/22
Amazon DIN4 Project Bolt	Amazon.com Services, LLC	298,634	100	9/28/22
Churchill Downs Turn 1 Concrete 2022	Churchill Downs Improvements	5,037,686	100	9/30/22



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Spectron Rx Cyclotrons	SpectronRx	8,443,109	100	9/30/22
Four Winds Casino & Hotel South Bend, Ph-2	Polakagon Gaming Authority	189,525,509	100	10/21/22
Fort Wayne Shaft Liners	Sahni Impregilo/Healy Joint Venture	15,921,643	100	10/31/22
1st on Main	Lauth Group, Inc.	1,637,024	100	11/1/22
Churchill Downs Paddock Concrete	Churchill Downs Improvements	12,130,091	100	11/30/22
CEC-New Belmont Ferrous Building	Citizens Energy Group	2,753,964	100	11/30/22
Racine Murphy Museum of Art - Masonry	University of Notre Dame	3,866,117	100	11/30/22
Poet Cloverdale CL0-10	POET Bio-refining-Alexandria	474,393	100	12/20/22
Terre Haute Casino Resort - Earthwork	Churchill Downs Improvements	15,509,224	100	12/23/22
Miller Residence	Pacernac LLC c/o Rodney Miller	8,610,266	100	12/31/22
Studio M & K850 Headquarters	Studio M Architecture & Planning	9,731,287	100	1/1/23
UND LaFortune Student Center Demolition	University of Notre Dame	437,911	100	1/31/23
McCormick Flying Cardinal	McCormick & Company, Inc.	772,993	100	1/27/23
Louisville VA Hospital Foundations	Walsh Construction Company II, LLC	8,830,803	100	1/29/23
Republic Airways (Hamilton Crossing)	Republic Airways	87,145,635	100	1/31/23
CRH at Nexus Park - Masonry	Columbus Regional Health	1,027,929	100	2/17/23
Confidential Client Pegasus BP 02-05 Concrete	Confidential Client	2,951,960	100	3/1/23
Purdue Hyperionics & Applied Research Facility Project	Purdue University	34,044,259	99	3/1/23
CEG-CSO 011 MH Improvements	Citizens Energy Group	1,256,398	100	3/31/23
Forensics & Coroner's Mass Grading	City of Indianapolis	5,477,056	100	3/31/23
FedEx Warehouse Cage	FedEx Express	945,409	100	4/14/23
Churchill Downs Paddock Experience	Churchill Downs Improvements	7,707,239	100	4/15/23
University of Notre Dame - Research Bldg Phase 2 -Concrete	Shiel Sexton Company	10,755,718	100	4/21/23
Duke Energy Cayuga Closure, LADA	Duke Energy Indiana, Inc.	28,602,398	100	4/22/23
UPS Northwest Aircraft Maintenance Complex	UPS Air Region Building & Systems Engineering	2,297,776	100	5/1/23
Bottlenworks Building 13 Concrete	Hendricks Commercial Properties	4,772,238	100	5/22/23
Terre Haute Casino Resort- Concrete	Churchill Downs Improvements	13,765,100	100	5/23/23
Elanco Bovaer Estimate Support	Elanco US, Inc.	40,000	100	6/9/23



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Community Justice Center-Garages	City of Indianapolis	29,386,473	100	7/28/23
Allpoints Midwest 3 Rebuild - Masonry	Prologis	116,330	100	7/31/23
Federal Hill - Building B Concrete	Old Town Construction, LLC	3,234,336	100	7/31/23
Schleman Hall, Stewart Center & Related Renovations: GMP-3	Purdue University	189,457	100	7/31/23
863 Mass Ave Renovation	863 Landmark, LLC	5,727,582	85	7/31/23
Confidential Client Freezer Farm	Confidential Client	13,216,012	95	8/1/23
Par Air Stabilization	AECOM Hunt	1,243,717	100	8/15/23
Republic Airways Parking Structure	Republic Airways	18,698,656	100	8/31/23
Hobbs Station Mixed Use Concrete	Shel Sexton Company	15,682,066	100	8/31/23
Republic Airways Headquarters	Republic Airways	70,972,375	84	8/31/23
Earlham College - Dorm Remodel	Earlham College	5,050,587	100	9/15/23
Republic HQ - Concrete Pkg	Republic Airways	2,302,144	100	9/30/23
All Points Rebuild Project - Concrete (Walmart)	Duke Realty	12,433,025	100	9/30/23
Cardinal Health - D-B Modular Clean Rooms	Cardinal Health	9,161,275	100	9/30/23
Purdue Whistler Hall-Mechanical Systems Replacement	Purdue University	10,209,638	100	10/14/23
Kellogg's South Hog Food Room Upgrades	Bahlsen, Inc.	447,665	99	10/15/23
Messer SOMD	Messer Construction Co.	20,423	100	10/24/23
Cummins Office Sidewalk Replacement	Cummins, Inc.	485,500	100	11/3/23
Praxair VEGA 2, 5, & 45	Praxair Surface Technologies, Inc.	3,348,313	100	11/22/23
Carmel High School Natatorium	CARMEI CLAY SCHOOLS	3,425,394	100	11/30/23
Columbus FCC Clock Tower	First Christian Church	2,694,689	100	11/30/23
Republic HQ - Earthwork	Republic Airways	1,340,675	98	11/30/23
Confidential Client Tier II Projects	Confidential Client	31,716	100	12/1/23
Indy Go Purple Line-Crider & Crider Concrete	Indianapolis Public Transportation Corp	1,316,986	100	12/1/23
Stellantis Samsung Battery Plant	Stellantis/Samsung	2,832,294	99	12/1/23
Four Winds Casino Bar	Pokagon Band of Potawatomi	5,526,393	100	12/22/23
Kellogg's HR Room	KELLOGG	15,000	87	12/29/23
Kellogg's - Warehouse Orange Bar Install	KELLOGG	6,743	57	12/29/23



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Republic Garage - Concrete Pkg	Republic Airways	10,583,380	100	12/31/23
All Points Midwest 3 Rebuild	Duke Realty	64,986,203	100	12/31/23
Three Rivers Protection & Overflow Reduction Tunnel	Board of Public Works of the City of Fort Wayne	68,216,195	98	12/31/23
Town of Syracuse - WWTPLS Upgrades/Waterline Install	Town of Syracuse	2,082,515	97	12/31/23
Confidential Client - Pegasus Project	Confidential Client	89,276,303	100	1/1/24
Kellanova - Additional Backstops and Freight	KELL06G	19,494	24	1/19/24
Kellanova Cary Warehouse Sprinkler Protection	KELL066	158,470	57	1/26/24
Kellogg's Warehouse Orange Bar Moving Labor	KELL06G	2,090,996	91	1/31/24
Praxair-VIGA 35	Linde AMT Inc.	4,138,358	96	2/1/24
Parker-Lord Indianapolis Relocation	Parker Hannifin Corporation	11,178,632	83	2/1/24
IAA Parking Garage Expansion	Indianapolis International Airport	21,260,464	100	2/5/24
S&S Engine Pad R/R	Shambaugh & Son, L.P.	22,250	100	2/29/24
Evansville West WWTP CHP	City of Evansville-Evansville Water & Sewer Utility	5,745,755	84	3/31/24
Terre Haute Casino Resort - Flooring	Churchill Downs Improvements	3,739,491	99	4/1/24
INAW-JCO London Bulk Storage	Indiana American Water Company, Inc.	589,794	100	4/30/24
Elanco Parking Garage - Masonry	Elanco US, Inc.	977,262	100	4/30/24
Rolls-Royce - Project Riehle	Rolls-Royce Corporation	50,037,489	100	4/30/24
FedEx Customs Renovation	FedEx Express	5,146,863	96	4/30/24
Terre Haute Casino Resort	Churchill Downs Improvements	206,049,575	100	5/6/24
FedEx USS1	FedEx Express	351,137	100	5/31/24
Flying Cardinal - McCormick	McCormick & Company, Inc.	45,325,880	100	5/31/24
Nucor Crawfordsville-Castor 2 Shear Foundation	Nucor Sheet Mill Group	258,444	100	6/4/24
Duke Edwardsport Slag Pad	Duke Energy Indiana, Inc.	1,409,583	100	6/5/24
Elanco - Bovaer Facility - Construction Schedule Consulting	Elanco US, Inc.	60,000	100	6/28/24
Parker-Lord Plant Relocation - General Trades	Parker Hannifin Corporation	75,000	100	6/30/24
Community Hospital Anderson - Cardiovascular Project	W.R. Dunkin & Son, Inc	4,648,711	100	6/30/24
Elanco Global HQ - Rough Carpentry	F. A. Wilhelm Construction Co., Inc.	1,162,176	88	7/1/24
Project Riehle - WL-WP-10	Purdue University	1,090,372	99	7/15/24



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Rolls Royce - Project Riehle - Abatement	Rolls-Royce Corporation	90,756	100	7/31/24
Millipore Sigma 6" Sigma	Exeled Merck Millipore	214,376	96	7/31/24
Purdue Schlemmer Hall - Demolition	Purdue University	1,609,921	100	8/1/24
Purdue Schlemmer Hall - Stewart Center & Related Renovations	Purdue University	39,771,712	100	8/1/24
Forensics & Coroner's Office - Building Construction	CITY OF INDIANAPOLIS-MARION COUNTY AUDITOR'S OFFICE	44,441,032	100	8/1/24
Praxair - VIGA 250	Praxair Surface Technologies, Inc.	2,883,660	91	8/1/24
Duke-Purdue CHP 125# Steam Study	Duke Energy Indiana, Inc.	17,900	100	8/30/24
Carmel Midtown Parking Garage	Buckingham Construction	11,832,633	95	8/30/24
Andretti HQ - Concrete Package	Andretti Motor Sports	8,159,225	89	8/30/24
First Citizens Bank Screen Wall	First Citizens Bank	961,823	88	8/30/24
Elanco Headquarters - Masonry	F. A. Wilhelm Construction Co., Inc.	4,238,230	100	8/31/24
Purdue-Made Utility Chiller 7 Replacement	Purdue University	7,671,797	100	8/31/24
Headwaters Loft-Concrete	Barrett and Stokely, Inc.	16,938,667	100	8/31/24
Westfield YMCA - Masonry	YMCA of Greater Indianapolis	1,385,123	100	9/15/24
RHIT Residence Hall - Concrete	Rose-Hulman Institute of Technology	4,333,296	100	9/20/24
Bottlenworks Building 9-12: Concrete	Shiel Sexton Company	9,987,713	99	9/27/24
Rushville Community Center - Flooring	Weddle Bros. Construction Co., Inc.	522,287	100	9/30/24
Purdue Hillenbrand BP-33A Site Utilities	Purdue University	8,407,803	87	9/30/24
The Children's Museum Gable Screen Wall	The Children's Museum of Indianapolis	302,622	100	10/4/24
Sheraton Level III Slab Replacement	NEW Group	863,278	100	10/4/24
Republic HQ- Concrete Package	Republic Airways	7,399,688	99	10/29/24
Cardinal Health - Phase III	Cardinal Health	11,889,961	95	10/31/24
Linde Plant Consolidation Project	Linde AMT Inc.	759,804	63	11/4/24
Ingredion Slurry Building - Concrete	Ingredion, Inc.	1,890,653	98	11/13/24
Marion County YFS Center - Building	City of Indianapolis	39,579,652	99	11/24/24
Fishers Event Center - Flooring	City of Fishers, Indiana	1,125,819	100	11/30/24
Elanco Global HQ - Soft Flooring	Elanco US, Inc.	2,202,253	89	11/30/24
100N Recapitalization	Confidential Client	25,900,239	94	12/15/24



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Greenfield WWTP Improvements	F. A. Wilhelm Construction Co., Inc.	71,803,058	98	12/24/24
Spectron Bunker Hill II - Concrete	SpectronRx	1,762,144	94	12/27/24
Spectron Bunker Hill II - Earthwork	SpectronRx	554,453	65	12/27/24
Exelead - Phase I - A&B Expansion - Demo	Exelead Merck Millipore	180,500	100	12/31/24
Exelead - Phase I - A&B Expansion - Concrete	Exelead Merck Millipore	430,279	100	12/31/24
Ingredion Cofen Foundations	Ingredion, Inc.	1,631,500	100	12/31/24
Confidential Client Parenteral, DAP and Logistics Buildings	Confidential Client	134,540,762	100	12/31/24
Elanco Global HQ - BP01 - Concrete	Elanco US, Inc.	35,976,825	98	12/31/24
Purple Line-IndyGo	Indianapolis Public Transportation Corp	18,530,386	97	12/31/24
Marion County YFS Center - Mass Grading & Site Utilities	City of Indianapolis	3,627,679	96	12/31/24
LKC - Phase 1	Confidential Client-Wisconsin	4,184,566	89	12/31/24
CEG- Lift Station Replacement Program	Citizens Energy Group	12,056,608	82	12/31/24
White River Innovation District	City of Indianapolis - Marion County DPW	40,024,655	77	12/31/24
Exelead - Phase I - A&B Expansion	Exelead Merck Millipore	48,886,907	88	1/1/25
Jaewon Industries	Eastern Contractors Corporation	2,784,587	100	1/31/25
JCTS Parking Garage	Calhoun Construction Services	10,598,496	98	1/31/25
IPM Fit & Finish Phase II	Confidential Client	7,315,278	98	1/31/25
Simtra Greenlight - Concrete	Simtra BioPharma Solutions	5,206,337	88	1/31/25
5th & Main - Evansville	CRG Residential LLC	8,594,047	95	2/6/25
Refresco Waste Neutralization System Upgrades Project	Refresco US, Inc	85,318	77	2/14/25
IU Health CUP	Indiana University Health, Inc.	2,890,199	93	2/28/25
IU Health Hospital Indianapolis	Indiana University Health, Inc.	201,014,800	93	2/28/25
Project Crusader - Masonry	Prologis	73,407	93	2/28/25
Indiana University Wright Quad-Tile	Trustees of Indiana University	721,378	100	3/1/25
Ingredion PA Tank 181 Foundation	Ingredion, Inc.	122,408	91	3/3/25
Elanco Project Skyline	Elanco US, Inc.	178,080,948	97	3/12/25
Indiana Archives & Records Building	Indiana Department of Administration- Public Works Division	16,197,402	89	3/14/25
Cummins CTC Verizon	Cummins, Inc.	72,949	87	3/15/25



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Novartis Production Lines	Novartis Manufacturing LLC	11,042,318	95	3/25/25
Linde Switchgear Project	Snodgrass	24,815	79	3/28/25
Carmel High School Polytechnic Addition	CARMEL CLAY SCHOOLS	1,386,888	94	3/31/25
Purdue University Hall & Related Renovations - Flooring	Purdue University	866,129	98	4/4/25
UND Football Operations Facility - SLAM	University of Notre Dame	5,846,872	99	4/7/25
Elanco Sirework Masonry	Elanco US, Inc.	1,743,910	96	4/7/25
Republic Airways Hardscape - Masonry	Republic Airways	163,136	35	4/10/25
Churchill Downs Starting Gate Club	Churchill Downs Improvements	971,408	100	4/18/25
Exurban/ASM – EPC - Preconstruction	Exurban	350,000	60	4/25/25
Rolls Royce - ATC Annex Renovation	Rolls-Royce Corporation	1,258,001	84	4/29/25
IUH4 Hybrid OR Addition	Indiana University Health, Inc.	261,966	89	4/30/25
Project LuxSpeed - Masonry	Novartis Manufacturing LLC	1,406,887	80	5/5/25
Millipore Sigma - Parking Lot	Exelrad Merck Millipore	71,700	100	5/9/25
Noblesville Event Center (Innovation Mile - Site)	Patch Innovation Mile LLC	149,813,553	97	5/25/25
Millipore - Door Replacement	Exelrad Merck Millipore	565,874	100	5/30/25
Noblesville Event Center - Flooring	Patch Innovation Mile LLC	1,164,708	95	5/30/25
Confidential Client 101 - Concrete	Industrial Electric, Inc.	124,451,879	69	5/31/25
CHE Bldg. III - 2nd Floor Oncology	Community Health Network-East	12,115,312	92	6/1/25
Marion County Public Health Lab - Masonry	Health & Hospital Corp. of Marion County	1,891,725	65	6/1/25
CEG - Pleasant Run CCS	Citizens Energy Group	78,212,114	88	6/30/25
INAW Middle Fork Dam Rehabilitation	Indiana American Water Company, Inc.	3,891,469	87	6/30/25
SpectronRx Bunker Hill Phase II	SpectronRx	7,980,158	81	6/30/25
IU Health Site Improvements GMP#1	Harrison Walsh JV	26,021,697	72	6/30/25
Sullivan Steel Reinforcement	American Water	110,319	65	6/30/25
Sisters of St. Benedict Our Lady of Grace (OLG) Monastery	Sisters of St. Benedict of Beech Grove	22,474,527	45	6/30/25
Ingredion Cogen HRSG Foundation	Ingredion, Inc.	1,707,345	42	7/3/25
Culver Academy - Concrete	Culver Academies	2,669,875	91	7/9/25
Riverview Health Westfield Endoscopy Center	RIVERVIEW HOSPITAL	4,415,124	89	7/10/25



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Ingreddon East Site Electric Phase I	Ingreddon, Inc.	333,159	0	7/14/25
Confidential Client – Small Molecule Foundations	McFarland JV	6,929,146	55	7/22/25
St. John's Parish Hall	Archdiocese of Indianapolis	3,302,717	99	7/31/25
Evonik Linc Early Release	Evonik Corporation Tippecanoe Labs	21,568,709	97	7/31/25
The Benjamin Ft. Harrison Garage	Keystone Construction Corporation	4,116,258	91	7/31/25
Crusader - Concrete & Demo	Prologis	413,481	71	8/1/25
Purdue Chilled Water Plant/ADS CSA	The Trustees of Purdue University	8,671,533	66	8/8/25
Purdue Chilled Water Express Civil/Mech	The Trustees of Purdue University	2,557,000	60	8/8/25
Purdue Chilled Water Capacity Enhancement - 2023	Purdue University	52,570,652	82	8/28/25
IU Memorial Stadium - Corner Patios	Trustees of Indiana University	491,028	63	8/29/25
IU South Support Building	Indiana University Health, Inc.	666,118	49	8/31/25
IU New Downtown Hospital - Masonry	Indiana University Health, Inc.	4,313,796	29	8/31/25
Republic Airways - Hardscape	Republic Airways	1,992,627	89	9/1/25
Purdue Nursing - Concrete Package	Pepper Construction	5,981,545	93	9/15/25
Indy Convention Center Hotel & Ballroom - Masonry	Capital Improvements Board	4,034,576	74	9/15/25
Republic Airways Phase II Flooring	Republic Airways	2,201,766	77	9/25/25
Eianco Clinton Substation - Relocation & Modernization	Eianco US, Inc.	19,305,095	86	9/30/25
Confidential Client M22 Siding Replacement	Confidential Client	1,605,543	4	9/30/25



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
Culpeper Drip Sab Repairs	Culpeper Wood Preservers	111,000	3	10/10/25
IU North Health ERCP Build Out	Indiana University Health, Inc.	845,781	15	10/30/25
CEG - Perry K	Citizens Energy Group	4,210,000	8	10/31/25
Ingredion Cogen Foundations	Ingredion, Inc.	1,895,947	4	10/31/25
Indiana Convention Center Hotel Ballroom	Capital Improvements Board	80,148,821	84	11/6/25
Linde Nitrogen Foundation	Linde AMT Inc.	427,000	0	11/17/25
Confidential Client T2P Phase 2	Confidential Client	243,072,049	100	12/31/25
IU Health South Support Building-Masonry	Indiana University Health, Inc.	5,642,425	85	12/31/25
Cardinal Health - IC Expansion	Cardinal Health	9,193,059	76	12/31/25
Ingredion Wall Infill	Ingredion, Inc.	213,051	0	12/31/25
IOC-5 Test Wing - Office Build-Out - Masonry	Rolls-Royce Corporation	219,800	46	2/3/26
Indianapolis Animal Care Services	Indianapolis Department of Business & Neighborhood Services	31,437,092	42	2/18/26
IACS - Hardscape	Indianapolis Department of Business & Neighborhood Services	794,053	9	2/18/26
141 Cafeteria Remodel	Confidential Client	5,357,528	3	2/23/26
Ingredion Cogen Equipment Setting	Ingredion, Inc.	3,034,374	4	2/27/26
Health & Hospital Lab	Health & Hospital Corp. of Marion County	6,491,892	65	3/26/26
Mulberry WWTP	Town of Mulberry, Indiana	7,497,262	33	3/27/26
Spectron Building D - Earthworks	SpectronRx	439,000	4	3/27/26
Spectron Building D - Concrete	SpectronRx	1,297,000	1	3/27/26
CEG Westfield - Midtown Lift Station	Citizens Energy Group	6,287,178	1	3/31/26
WIL Public Safety Building - Concrete	City of West Lafayette	7,117,000	1	3/31/26
KSPB Improvements - Ph. I Concrete	Kentucky State Fair Board	10,670,000	4	4/6/26
Purdue Hilenbrand Residence Hall South - Masonry	Purdue University	5,123,045	22	4/30/26
Community North - SPECT CT	Community Health Network-North	698,824	1	4/30/26
Community Howard - Curtainwall	Community Health Network	1,570,000	0	5/8/26
Monon Square NWQ Concrete	Monon Square Associates, LLC	17,760,000	24	5/15/26
Madison County Sheriff's Office & Jail - Masonry	C.H. Garmong & Son, Inc	9,731,770	39	5/21/26



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
Wabash College Campus Center & Central Utility Plant	Wabash College	12,292,604	60	5/29/26
Concrete-Purdue Hillenbrand	Purdue University	8,888,317	97	6/1/26
Purdue - Hillenbrand Residence Hall South	Purdue University	116,795,627	63	6/1/26
Wabash College CUP - Masonry	Wabash College	875,800	0	6/4/26
Wabash College Chiller Plant - General Trades	Wabash College	152,477	0	6/6/26
Airport Westin Hotel - Concrete	Shiel Sexton Company	10,868,578	17	6/16/26
Simitra Project Green Light	Simitra BioPharma Solutions	85,795,420	64	6/30/26
Poplars-Bloomington	BPIU Partners, LLC	54,567,059	49	7/27/26
ISU cTIED Flooring	Indiana State University	697,965	2	8/1/26
BSU - ACMU/TH	Ball State University	1,423,408	25	8/17/26
Wabash Chiller Plant - Concrete	Wabash College	1,148,000	0	8/27/26
Purdue Academic Success Building Concrete	The Trustees of Purdue University	13,743,527	25	8/31/26
LKC-Phase 2	Confidential Client-Wisconsin	146,744,799	14	9/5/26
Purdue Daniels School of Business - Carpentry	The Trustees of Purdue University	2,396,016	0	9/8/26
Henry Street Bridge	City of Indianapolis	44,150,003	52	10/9/26
Purdue Nursing & Pharmacy - Carpentry	The Trustees of Purdue University	278,204	1	10/15/26
IU Ft. Wayne Hospital - Masonry	Pepper Construction	5,733,500	10	11/2/26
CLWSP - Project B Booster Station and Tanks	Citizens Energy Group	8,018,000	0	11/2/26
Sheraton Garage - Phases 3 & 5	NEW Group	3,037,000	2	12/1/26
Union Flats at Fishers	Thompson Thrift	11,624,015	35	4/5/27
Purdue Aquatic Center HVAC Replacement	Purdue University	9,736,893	3	4/12/27
BCSC Maple Grove Elementary	Pepper Construction	975,000	0	5/21/27
HUMS Elementary School	School City of Mishawaka	38,161,022	1	5/28/27
Purdue Indianapolis Academic Science Building - Civil	Shiel Sexton Company	3,284,488	14	6/1/27
IU Health MDH - Doors, Frames & Hardware	Indiana University Health, Inc.	53,734,116	31	8/2/27
Westin Indy Airport BP #3 - Casework	Shiel Sexton Company	2,417,000	2	9/2/27
IUNDH - Flooring	Indiana University Health, Inc.	23,052,672	19	9/30/27



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
IUNDH - Towers Wall Protection	Indiana University Health, Inc.	8,625,600	6	9/30/27
IUNDH - Towers Millwork Installation	Indiana University Health, Inc.	6,481,591	2	9/30/27
Duke Wabash Basin Closure Phase II	Duke Energy Indiana, Inc.	65,956,777	38	11/30/28

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

Balance Sheets

December 31, 2025 and 2024

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

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*Independent Auditor's Report
on Supplementary Information*

Board of Directors and Stockholders
Wilhelm Construction, Inc.

We have audited the consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries as of and for the years ended December 31, 2025 and 2024, and have issued our report thereon dated February 24, 2026, which contained an unmodified opinion on those consolidated financial statements.

Our audits were performed for the purpose of forming an opinion on the consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries as a whole. The information included in the accompanying balance sheets of F.A. Wilhelm Construction Co., Inc. (a wholly-owned subsidiary of Wilhelm Construction, Inc.) as of December 31, 2025 and 2024, is presented for purposes of additional analysis and is not a required part of the consolidated financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the consolidated financial statements. The information has been subjected to the auditing procedures applied in the audit of the consolidated financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the consolidated financial statements or to the consolidated financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the accompanying balance sheets of F.A. Wilhelm Construction Co., Inc. as of December 31, 2025 and 2024, are fairly stated in all material respects in relation to the consolidated financial statements of its parent as a whole. However, the accompanying information should be read in conjunction with the consolidated financial statements and related notes.

Katz, Sapper & Miller, LLP

Indianapolis, Indiana
February 24, 2026

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

Balance Sheets
December 31, 2025 and 2024

	<u>2025</u>	<u>2024</u>
Assets		
Current assets		
Cash and equivalents	\$ 88,069,266	\$ 135,269,417
Contract receivables	341,524,129	262,797,278
Contract retainage	97,260,234	93,968,985
Note receivable from subsidiary - current	2,862,000	
Contract assets	2,038,224	3,305,851
Inventory	1,470,439	1,222,944
Other assets	6,471,064	5,790,247
Total Current Assets	<u>539,695,356</u>	<u>502,354,722</u>
Property and equipment		
Machinery and equipment	65,808,758	53,197,181
Autos and trucks	10,899,698	8,275,932
Office equipment	422,759	1,395,943
Leasehold improvements	7,000,567	6,354,330
	<u>84,131,782</u>	<u>69,223,386</u>
Accumulated depreciation	(52,616,808)	(45,749,863)
Total Property and Equipment, net	<u>31,514,974</u>	<u>23,473,523</u>
Operating lease right-of-use-assets	<u>490,922</u>	<u>627,247</u>
Note receivable from subsidiary - long-term	<u>24,784,997</u>	<u> </u>
	<u>\$ 596,486,249</u>	<u>\$ 526,455,492</u>
Liabilities and Division Equity		
Current liabilities		
Accounts payable		
Due currently	\$ 207,955,659	\$ 153,692,112
Retainage payable	66,224,378	60,951,663
Accrued expenses	54,435,730	36,745,337
Contract liabilities	216,995,533	231,213,530
Operating lease liabilities - current	213,193	181,713
Total Current Liabilities	<u>545,824,493</u>	<u>482,784,355</u>
Long-term liabilities		
Operating lease liabilities - long-term	277,729	445,534
Division equity	<u>50,384,027</u>	<u>43,225,603</u>
	<u>\$ 596,486,249</u>	<u>\$ 526,455,492</u>

See notes to consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries.



**BID PACKAGE 32D – SITE FURNISHINGS
BID FORM**

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: J. C. Ripberger Construction Corporation
 Address: 5300 West Old 106th Street, Zionsville, IN 46077
 Contact: William L. Ripberger, Jr., President
 Phone: 317-873-3383
 Email: billr@jcripberger.com
 Date: June 3, 2026
 State License Number (if applicable): C-0088900

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID: BP32D - Site Furnishings

Total Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Amount (in words): Seven hundred seventy eight thousand

Dollars: \$ 778,000.00

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)
 - a. Trash & Recycling Receptacles \$ 30,000.00
 - b. Wood Parklet Benches \$ 130,000.00
 - c. Swings \$ 20,000.00
 - d. Terrace Seating & Planters \$ 75,000.00
 - e. Planters \$ 130,000.00
 - f. Fire Pits \$ 25,000.00
 - g. Coffee Tables \$ 22,000.00
 - h. Post & Panel Pylon Signage \$ 5,000.00
 - i. Deck Steps & Railings \$ 8,500.00
2. Plaza (Plan Area D)
 - a. Trash & Recycling Receptacles \$ 32,000.00
 - b. Terrace Platforms \$ 32,000.00



c. Dining Tables & Chairs	\$ <u>75,000.00</u>
d. Café Tables & Chairs	\$ <u>27,000.00</u>
e. Bar Tables & Chairs	\$ <u>7,000.00</u>
f. Chairs	\$ <u>9,000.00</u>
g. Fire Pit Stones	\$ <u>2,500.00</u>
3. Miscellaneous Items	\$ <u>148,000.00</u>
4. Total Base Bid Amount	\$ <u>778,000.00</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
 ADD / DEDUCT \$ 7,780.00
2. Alternate #2: Voluntary Alternate: N/A
ADD / DEDUCT \$ N/A
3. Alternate #3: Voluntary Alternate: N/A
ADD / DEDUCT \$ N/A
4. Alternate #4: Voluntary Alternate: N/A
ADD / DEDUCT \$ N/A

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

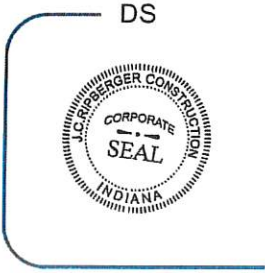
Addendum No. 1 Dated 5/22/2026
Addendum No. 2 Dated 5/29/2026
Addendum No. _____ Dated _____
Addendum No. _____ Dated _____

- F. Information to be provided with Bid Proposal:
 1. Bid Package 32D Site Furnishings – Bid Form
 2. Bid Form Attachment 1 – Combined Bid (if applicable)
 3. Bid Form Attachment 2 – Supplemental Bid Information
 4. Subcontractor/Supplier Qualification Form
 5. Contractor’s Bid for Public Work – Form 96
- G. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as**



specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: William L. Ripberger, Jr.
ADA59084E8854EB... (Member of Firm Authorized to Sign Bid)
William L. Ripberger, Jr. President Date: June 3, 2026





BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Not Applicable DATE: _____

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: Not Applicable

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Combined Bid Amount: Dollars \$ _____

- A. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.**

Signed By: _____
(Member of Firm Authorized to Sign Bid)

Title: _____ Date: _____



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: J. C. Ripberger Construction Corporation DATE: June 3, 2026

BID PACKAGE: 32D - Site Furnishings

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>Michael Ripberger, Project Manager</u>	<u>10%</u>
<u>Mitch Powell, General Superintendent</u>	<u>10%</u>
<u>Superintendent - TBD</u>	<u>100%</u>
<u> </u>	<u> </u>

B. MAJOR EQUIPMENT *(individual pieces of equipment over \$10,000.00)*

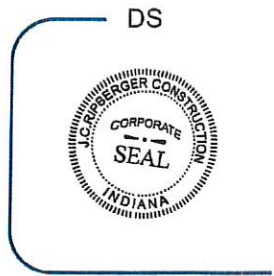
Equipment and Manufacturer	Quantity	Lead Time
<u>TBD</u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>
<u> </u>	<u> </u>	<u> </u>



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
TBD	TBD	TBD	TBD	TBD

Signed By: William L. Ripberger, Jr.
Signed by: ADA59084E8854EB... (Member of Firm Authorized to Sign Bid)
 Title: William L. Ripberger, Jr., President Date: June 3, 2026





City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information					Part 1
Legal Business Name: J.C. Ripberger Construction Corp.				Date: June 3, 2026	
Street Address: 5300 West Old 106th Street			Mailing Address: PO Box 493		
City: Zionsville	State: IN	Zip: 46077	City: Zionsville	State: IN	Zip: 46077
Former Business Name (if applicable):					
Street Address:			Mailing Address:		
City:	State:	Zip:	City:	State:	Zip:
Telephone: 317-873-3383		Fax: 317-873-3688		Website Address: www.jcripberger.com	
Contractor's License #: C-008890		State: Indiana		Expiration: 12/31/2026	
State Sales Tax Registration #: 0001861123001		State Unemployment #: 064023		Federal ID #: 35-1021671	
Primary Contact Info					
Contact Name: William L. Ripberger, Jr.			Title: President		
Telephone: 317-873-3383			Location: 5300 West Old 106th St., Zionsville, IN 46077		
Email: billr@cripberger.com					
Secondary Contact Info (if applicable)					
Contact Name: Tom Nolan			Title: Corporate Secretary		
Telephone: 317-873-3383			Location: 5300 West Old 106th St., Zionsville, IN 46077		
Email: tomn@cripberger.com					
Contractor Type	<input checked="" type="checkbox"/> General Contractor <input type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other				
Business Type	<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other				
Union Affiliation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) IN/KY Regl. Carpenter 4.) _____ 2.) Laborers 5.) _____ 3.) _____ 6.) _____		
Contract Size			Area of Operation		
-Maximum contract amount your company can effectively manage? (\$) <u>50,000,000</u>			<input type="checkbox"/> Metro Indianapolis <input checked="" type="checkbox"/> Indiana <input type="checkbox"/> Central Indiana		
-What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) <u>21,150,000</u>			<input checked="" type="checkbox"/> NE Indiana <input checked="" type="checkbox"/> NW Indiana <input checked="" type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois		
-Largest Project completed in the past 3 years? (\$) <u>21,150,000</u>			<input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International		
-What percentage of work does your company sub-contract on a typical job? (\$) <u>60%</u>					



Licenses/Product Certifications (*)	
State License Numbers Indiana Department of Administration (IDOA) License Number <u>0000030399</u> Expiration Date <u>6/20/2027</u> Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____ (*) Please attach current IDOA and/or INDOT Certification	City License Number City of _____ License Type: _____ License Number _____ Expiration Date _____ City of _____ License Type: _____ License Number _____ Expiration Date _____ (*) Please attach current City Certification and/or license

(*) If requested, please provide any documentation which substantiates licenses.

Trade Specific License	
Trade <u>General Contractor</u>	Trade _____
License Number <u>C-008890</u>	License Number _____

(*) If requested, please provide any documentation which substantiates trade licenses. *** See attached Sub & Supplier Qualification required forms file

Safety Questionnaire (*)				Part 2
OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025	1.07	3.70	0	0
2024	0.74	5.88	0	0
2023	0.72	2.55	0	0
2022	0.92	2.49	0	0
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025	0	1	0	
2024	0	1	1	
2023	0	0	3	
2022	0	0	1	
Totals	0	2	5	



Do you have an OSHA compliant safety program in place? Yes No

Do you have a designated safety officer at your company? Yes No

Does this person conduct safety inspections on all job site(s)? Yes No

Have you implemented a hazardous communication plan(s)? Yes No

Have you implemented a drug testing program? Yes No

Do you have a light-duty program? Yes No

Do you review the safety procedures, and history of any sub-contractor you work with? Yes No

Do you provide safety training to all employees? Yes No

Would you allow an audit of your company manuals relating to safety policy/procedure? Yes No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:
 CPR/First Aid/Bloodborne Pathogens Training, OSHA 30 hr Training - training is done through a third party

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:
 None

(*If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.

(* To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.

Insurance Information (*)		Part 3
Insurance Agency: Dimond Brow. Insurance, LLC	Phone: (317) 853-3588	
Insurance Contact Name: Julia Hoskins	Fax: (317) 873-3688	
Street Address: 11708 N. College Ave.		
City: Carmel	State: IN	Zip: 46032

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amerisure Ins. Co.	(\$) 1,000,000/1,000,000/1,000,000	0	11/1/2026
General Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amerisure Ins Co	(\$) 1,000,000/2,000,000	0	11/1/2026
Excess Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amerisure Ins Co	(\$) 10,000,000/10,000,000	0	11/1/2026
Auto Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amerisure Ins Co	(\$) 1,000,000	0	11/1/2026
Professional Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Other	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Amerisure Ins Co	(\$) 200,000/750,000/500,000	2,000/5,000	11/1/2026

(*If requested, please include a copy of your current insurance certifications



Banking/Financial (*)		Part 4
Bank Name: PNC Bank		Contact Name: Dawn Morris
Phone: (888) 762-2265		Line of Credit Amount: (\$) N/A
Amount Available: (\$) N/A		Secured: <input type="checkbox"/> Yes <input type="checkbox"/> No N/A
Description of Collateral: N/A		Personal <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
What is your current backlog of work? 40,000,000		D-U-N-S #: 01-643-8640
<i>Please provide annual revenue for the past 3 years</i>		
Year	2025	2024
Revenue	(\$) 32,407,620	(\$) 29,604,344
		2023
		(\$) 28,843,228
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date. *** See attached Sub & Supplier Qualification required forms file</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years. *** See attached Sub & Supplier Qualification required forms file</p>		

(*If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.

Bonding/Surety Information (*)		Part 5
Agent's Name: Rob Sherfick		Bonding/Surety Company: Dimond Brothers
Phone: (317) 853-3500		Bonding Capacity: Total: (\$) 100,000,000 Per Job: (\$) 50,000,000
Personal Guarantee: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Dollar value of bonded work on hand: (\$) 10,000,000

(*If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity. *** See attached Sub & Supplier Qualification required forms file

Authorization	
<p>I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.</p> <p style="font-size: 1.2em; font-family: cursive;">William L. Ripberger, Jr.</p> <p style="font-size: 0.8em;">ADA59084E8854EB</p>	

DS



William L. Ripberger, Jr., President

(* By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 62414 (R5 / 01-26) / Form 96 (Revised 2026)
Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): June 3, 2026

1. Governmental Unit (Owner): Park and Recreation Department, City of Westfield
2. County: Hamilton
3. Bidder (Firm): J.C. Ripberger Construction Corporation
Address: 5300 West Old 106th Street
City/State/ZIP code: Zionsville, IN 46077
4. Telephone Number: 317-873-3383
5. Agent of Bidder (if applicable): Not Applicable

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield - Park Street Improvements Project - Bid Event #3
BP 32D - Site Furnishings
(Governmental Unit) in accordance with plans and specifications prepared by Rundell Ernstberger Assoc. and dated May 2026 for the sum of See attached \$ See attached

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

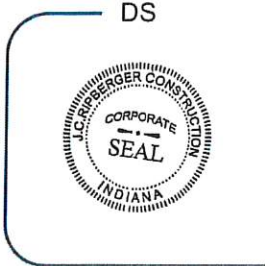
If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

Dated at Zionsville, IN this 3rd day of June, 2026



DS
J.C. Ripberger Construction Corp.
Signed by: (Name of Organization)
By William L. Ripberger, Jr.
ADA59084E8854EB... William L. Ripberger, Jr.
President
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF Indiana)
COUNTY OF Boone) ss Zionsville

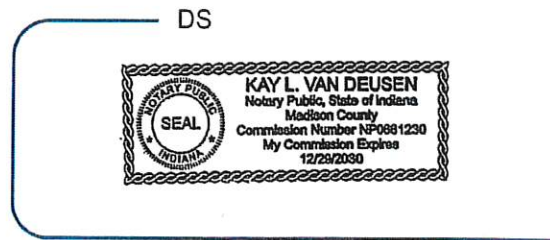
Before me, a Notary Public, personally appeared the above-named William L. Ripberger, Jr. and swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this 3rd day of June, 2026

DocuSigned by:
Kay L. Van Deusen
411EA31AF5ED42B... Notary Public
Kay L. Van Deusen

My Commission Expires: 12/29/2030

County of Residence: Madison



CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS
(If applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (1.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, subject to the following conditions: _____

Contracting Authority Members:

_____	_____
_____	_____
_____	_____

PART II
(For projects of \$300,000 or more- IC 36-1-12-4)

Governmental Unit: Parks and Recreation Department, City of Westfield
 Bidder (Firm) J.C. Ripberger Construction Corp.
 Date (month, day, year): June 3, 2026

These statements to be submitted under oath by each bidder with and as a part of his bid.
 Attach additional pages for each section as needed.

SECTION A: EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
21,150,000	General Trades	2025	Carmel HS Pool, Carmel, IN
5,450,000	General Trades	2025	Damen Center HQ Bldg., Indpls., IN
4,700,000	General Trades	2025	Carmel HS Polytechnic, Carmel, IN
2,900,000	General Trades	2025	Fishers Event Center-Hardscape, Fishers, IN

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
5,400,000	General Trades	2026	IPS 87 George Washington Carver Sch., Indpls., IN
10,500,000	General Trades	2026	Midland Crossing Elem., Westfield, IN
17,800,000	General Trades	2026	Madison Co. Shff's Off. & Detn. Ctr., Anderson, IN
9,100,000	General Trades	2026	ICCH&B-Hardscape, Indpls., IN

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

DePauw University, Greencastle, IN: Dinning Hall (Hoover Hall) Exterior General Trades
Citizen Energy Group, Indianapolis, IN: Package 2 Concrete
Butler University Hinkle Fieldhouse, Indpls, IN: Phase 1 BP Building Concrete & Foundation

SECTION B: PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. (Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)

Per the Architect and Engineer plan, specification, addenda, and schedule.

2. Please list the names and addresses of all subcontractors (i.e. persons or firms outside your own firm who have performed part of the work) that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

Blackmore & Buckner Roofing, 1256 Roosevelt Ave., Indianapolis, IN (Masonry Work)

Century Steel Fabrication Inc., 4421 East Co. Line Road, Camby, IN (Roofing Work)

Buddenbaum & Moore, 4830 Ashbrook Dr., Noblesville, IN (Pool Work)

Purdy Masonry, 7601 Indianapolis Road, Zionsville, IN (Masonry Work)

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

Not applicable.

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

As required, i.e., rentals and equipment owned by J.C. Ripberger Const. Corp.

- 5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

Yes. _____

SECTION C: CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

SECTION D: CONTRACTOR'S NON - COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to include anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

SECTION E: OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

Dated at Zionsville, IN this 3rd day of June, 2026



Signed by: J.C. Ripberger Construction Corp.
 (Name of Organization)
 By William L. Ripberger, Jr.
 ADA59084E8854EB... William L. Ripberger, Jr.
President
 (Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF Indiana
COUNTY OF Boone) ss Zionsville

Before me, a Notary Public, personally appeared the above-named William L. Ripberger, Jr. and swore that the statements contained in the foregoing document are true and correct.

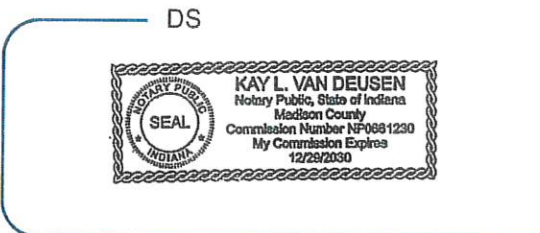
Subscribed and sworn to before me this 3rd day of June, 2026

DocuSigned by:
Kay L. Van Deusen
411EA31AF5ED42B... Notary Public

Kay L. Van Deusen

My Commission Expires: 12/29/2030

County of Residence: Madison



Part of State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)

BID OF

J.C. Ripberger Construction Corp.
(Contractor)

5300 West Old 106th Street

(Address)

Zionsville, IN 46077

FOR

PUBLIC WORKS PROJECTS

OF

Parks and Recreation Department, City of Westfield

Westfield, IN

Filed

Action taken

General Form No. 96-a
Prescribed by the State
Board of Accounts of In-
diana, Revised 1949.

Standard Questionnaires and Financial Statement for Bidders

Prescribed by

THE STATE BOARD OF ACCOUNTS OF INDIANA

For use in investigating and determining the qualifications of bidders on public construction when the aggregate cost of any such work or improvement will be Five Thousand Dollars or more.

These statements to be submitted under oath by each bidder with and as a part of his bid, as provided by Chapter 306, page 1248, Acts of 1947

Submitted to F.A. Wilhelm Const. Co, Inc.

By J. C. Ripberger Construction Corp. { A Corporation X
A Co-partnership
An Individual X

Address 5300 W Old 106th Street, PO Box 493 Zionsville, IN

46077

Date submitted June 3, 2026

Filed _____

Sec. 2 of an Act entitled "AN ACT concerning the awarding of contracts for the performance of public work and authorizing the board of accounts to prescribe certain forms to be used in ascertaining the responsibility of contractors who submit bids for the performance of such work, providing for plans and specifications, providing for bids repealing certain laws and declaring an emergency." (Approved March 13, 1947.)

Sec. 2. Whenever the aggregate costs of any work or improvement will be five thousand dollars (\$5,000.00) or more, for the purpose of enabling such board, commission, trustee, officer or agent to ascertain and determine which of the bidders submitting bids for the performance of any such public work is, in the judgment of such board, commission, trustee, officer or agent, the lowest and/or best bidder and to exercise intelligently the discretion hereby conferred on such board, commission, trustee, officer or agent each bidder shall be required to submit under oath with and as a part of his bid a statement of his experience, his proposed plan for performing such work and the equipment which he has available for the performance of such work and a financial statement. The statements hereby required shall be submitted on forms which shall be prescribed by the state board of accounts. The forms so prescribed shall be designated, respectively, as the experience questionnaire, the plan and equipment questionnaire and the contractor's financial statement, and shall be based, so far as applicable, on the standard questionnaires and financial statement for bidders as approved and recommended by the joint conference on construction practices, for use in investigating the qualifications of bidders on public construction work, and the forms so prescribed are hereby prescribed as the forms which shall hereafter be used by all such boards, commissions, trustees, officers and agents in obtaining the information which is required in the administration of this act. If the information submitted by any bidder on the forms herein prescribed is found, on examination, to be unsatisfactory, the bid submitted by such bidder shall not be considered (Burns Statutes 1933, Sec. 53-109) Sec. 2, Chapter 306, Acts of 1947.

TO THE BIDDER—

The following forms of questionnaires and financial statement are prescribed by the State Board of Accounts in conformity with the statute set out on the preceding page.

These forms, properly filled out and attested, must accompany each bid of five thousand dollars or more on any public work.

The forms are designed to cover all contracts for all kinds of work and the bidder is required to answer such questions as are pertinent to the work upon which he is bidding. The purpose of the questionnaire and financial statement, as set forth in the law, is to enable the awarding body to determine the qualifications of the bidder to carry out successfully the contract if the same is awarded to him.

The bidder will find it to his advantage to answer fully all questions coming within the range of the work upon which he is bidding. Particular attention should be given the "Financial Statement" and the details relative to the assets and liabilities set out. This form is made in extensive detail so that the bidder may explain his assets and liabilities in proper sequence and in a uniform manner.

KENNETH R. BEESLEY,
State Examiner

Submitted by J.C. Ripberger Construction Corporation

- A Corporation
- A Co-partnership
- An Individual

Principal Office at 5300 West Old 106th Street, Zionsville, IN 46077
F.A. Wilhelm Const. Co. Inc.

To _____

EXPERIENCE QUESTIONNAIRE

The signatory of this questionnaire guarantees the truth and accuracy of all statements and of all answers to interrogatories hereinafter made.

1. How many years has your organization been in business as a general contractor under your present business name? 65
2. How many years experience in General Contractor construction work has your organization had: (a) As a general contractor 65 (b) As a sub-contractor _____
3. What projects has your organization completed?

CONTRACT AMT.	CLASS OF WORK	WHEN COMPLETED	NAME AND ADDRESS OF OWNER
6,226,356	New Construction	2023	Hendricks Co Jail
2,621,732	New Construction	2023	Greenbriar Elementary
3,818,500	New Construction	2023	Monon Trail Elem.
881,040	Renovation	2023	Purdue University

3-A. What projects has your organization now in process of construction?

CONTRACT AMT.	CLASS OF WORK	WHEN TO BE COMPLETED	NAME AND ADDRESS OF OWNER
5,427,188	New Construction	2024	Eastridge Elem.
2,863,036	New Construction	2024	Fishers Event Center
4,234,600	New Construction	2025	Carmel Schools
5,315,700	Renovation	2026	Indiana Public Schools

4. Have you ever failed to complete any work awarded to you? No If so, where and why?

5. Has any officer or partner of your organization ever been an officer or partner of some other organization that failed to complete a construction contract? No If so, state name of individual, other organization and reason therefor.

6. Has any officer or partner of your organization ever failed to complete a construction contract handled in his own name? No If so, state name of individual, name of owner and reason therefor

7. In what other lines of business are you financially interested? None

8. For what corporations or individuals have you performed work, and to whom do you refer?

Cargill Tipton Truck Receiving Upgrade - John Schmidt
 Rieth Riley Western Gateway - Mike Silver
 Rolls Royce - Bryan Ness
 Allison Transmission
 Nestle Boost 8 Project
 AT&T

9. For what cities have you performed work and to whom do you refer?

City of Greenfield
 City of Lebanon - Parks Department
 Town of Zionsville Parks Department
 Rushville - City Center
 City of Lafayette - City Bus Center
 City of Carmel - Parks and Recreation

10. For what counties have you performed work and to whom do you refer?

Rush County - Sheriff's Office
 Hamilton County - County Commissioners
 Boone County - County Commissioners
 Marion County - County Commissioners
 Howard County - County Commissioners

11. For what State bureaus or departments have you performed work and to whom do you refer?

Indiana State Veterans Association
 Indiana State Office Building Commission
 Indiana State Fairgrounds
 Indiana Convention Center

12. Have you ever performed any work for the U. S. Government? Yes

If so, when and to whom do you refer?

US National Guard - Stout Field

13. What is the construction experience of the principal individuals of your organization?

INDIVIDUAL'S NAME	PRESENT POSITION OR OFFICE	YEARS OF CONSTRUCTION EXPERIENCE	MAGNITUDE AND TYPE OF WORK	IN WHAT CAPACITY
William L Ripberger Jr	President	35	Industrial/Commercial	President/PM
Sam Allgood	Superintendent	35	Industrial/Commercial	Superintendent
Brian Tenholder	Superintendent	27	Industrial/Commercial	Superintendent
Rick Masters	Superintendent	35	Industrial/Commercial	Superintendent
Mike Short	Superintendent	37	Industrial/Commercial	Superintendent
Mitch Powell	Superintendent	30	Industrial/Commercial	Superintendent
Tom Whitaker	Superintendent	30	Industrial/Commercial	Superintendent

PLAN AND EQUIPMENT QUESTIONNAIRE

The signatory of this questionnaire guarantees the truth and accuracy of all statements and of all answers to interrogatories hereinafter made.

1. In what manner have you inspected this proposed work? Explain in detail.

A. Examined plans, Specs, and Addenda

B. Attended Pre-Bid Meeting

C. Visited Project Site

2. Explain your plan or layout for performing the proposed work.

To proceed with work in accordance with plans, specs and addenda issued by the Architect/Engineer and per the construction schedule.

3. The work, if awarded to you, will have the personal supervision of whom? Bill Ripberger, Jr., President

Project Manager

On site project superintendent

*4. Do you intend to do the hauling on the proposed work with your own forces? Not known at this time.

If so, give amount and type of equipment to be used.

*5. If you intend to sublet the hauling or perform it through an agent, state amount of sub-contract or agent's contract, and if known, the name and address of sub-contractor or agent, amount and type of his equipment and financial responsibility. Not known at this time.

* Items 4, 5, 6 and 7 may not be applicable in all building contracts; if not, omit.

*6. Do you intend to do the grading on the proposed work with your own forces? Not known at this time.
 If so, give type of equipment to be used _____

*7. If you intend to sublet the grading or perform it through an agent, state amount of sub-contract or agent's contract, and, if known, the name and address of sub-contractor or agent, amount and type of his equipment and financial responsibility. Not known at this time.

8. Do you intend to sublet any other portions of the work? Yes If so, state amount of sub-contract, and, if known, the name and address of the sub-contractor, amount, and type of his equipment and financial responsibility. Various subcontractors, dependent on scope of work.

9. From which sub-contractors or agents do you expect to require a bond? None

10. What equipment do you own that is available for the proposed work?

QUANTITY	ITEM	DESCRIPTION, SIZE, CAPACITY, ETC.	CONDITON	YEARS OF SERVICE	PRESENT LOCATION
	see attached list				

11. What equipment do you intend to purchase for use on the proposed work, should the contract be awarded to you?

QUANTITY	ITEM	DESCRIPTION, SIZE, CAPACITY, ETC.	APPROXIMATE COST
	None		

12. How and when will you pay for the equipment to be purchased? Not applicable

13. Do you propose to rent any equipment for this work? Not known at this time If so, state type, quantity and reasons for renting.

14. Have you made contracts or received firm offers for all materials within prices used in preparing your proposal? Do not give names of dealers or manufacturers. Yes - firm prices. Contracts to be written upon receipt of letter of intent.

Dated at Zionsville, IN this 3 day of June, 2026



J.C. Ripberger Construction Corporation Signed by: (Name of Organisation)

By William L. Ripberger, Jr.

William L. Ripberger, Jr.

President

(Title of Person Signing)

STATE OF Indiana

COUNTY OF Boone

SS:

William L Ripberger, Jr.

President

being duly sworn, deposes and says that he is of the above J.C. Ripberger Construction Corporation (Name of Organisation)

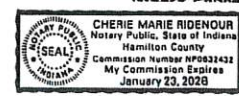
and that the answers to the questions in the foregoing questionnaires and all statements therein contained are true and correct.

Subscribed and sworn to before me this 3 day of June, 2026

Signed by: Cherie M. Ridenour

Cherie M. Ridenour

My Commission expires 1/23/2028



Contractor's Financial Statement

Submitted by J. C. Ripberger Construction Corporation

A Corporation
 A Co-partnership
 An Individual

with principal office at 5300 West Old 106th Street, Zionsville, IN
F.A. Wilhelm Const. Co. Inc.

To _____

Condition at close of business April 30, 2024

ASSETS	Dollars							Cts.
1. Cash: (a) On hand \$ _____, (b) In bank \$ _____, (c) Elsewhere \$ _____	5	2	6	6	7	0	7	
2. Notes receivable (a) Due within 90 days _____ (b) Due after 90 days _____ (c) Past due _____								
3. Accounts receivable from completed contracts, exclusive of claims not approved for payment _____								
4. Sums earned on uncompleted contracts as shown by engineer's or architect's estimate _____ (a) Amount receivable after deducting retainage _____ (b) Retainage to date, due upon completion of contracts _____	4	6	1	7	8	4	3	
5. Accounts receivable from sources other than construction contracts _____								
6. Deposits for bids or other guarantees: (a) Recoverable within 90 days _____ (b) Recoverable after 90 days _____							0	
7. Interest accrued on loans, securities, etc. _____								
8. Real estate: (a) Used for business purposes _____ (b) Not used for business purposes _____								
9. Stocks and bonds: (a) Listed—present market value _____ (b) Unlisted—present value _____	5	8	2	0	0	9	8	
10. Materials in stock not included in Item 4 (a) For uncompleted contracts (present value) _____ (b) Other materials (present value) _____								
11. Equipment, book value _____		3	5	4	8	8	1	
12. Furniture and fixtures, book value _____			12	1	1	2	8	
13. Other assets _____			2	3	0	1	9	3
Total assets _____	18	7	3	2	9	7	0	
LIABILITIES								
1. Notes payable: (a) To banks regular _____ (b) To banks for certified checks _____ (c) To others for equipment obligations _____ (d) To others exclusive of equipment obligations _____								
2. Accounts payable: (a) Not past due _____ (b) Past due _____	4	3	3	4	6	0	9	
3. Real estate encumbrances _____								
4. Other liabilities _____								
5. Reserves _____	7	4	1	1	3	2	3	
6. Capital stock paid up: (a) Common _____ (b) Common _____ (c) Preferred _____ (d) Preferred _____					1	0	0	0
7. Surplus (net worth) _____	6	9	8	3	1	5	8	
Total liabilities _____	18	7	3	2	9	7	0	
CONTINGENT LIABILITIES								
1. Liability on notes receivable, discounted or sold _____								
2. Liability on accounts receivable, pledged, assigned or sold _____								
3. Liability as bondsman _____								
4. Liability as guarantor on contracts or on accounts of others _____								
5. Other contingent liabilities _____								
Total contingent liabilities _____							0	

DETAILS RELATIVE TO ASSETS

1 (a) on hand _____ \$
Cash (b) deposited in banks named below _____
 (c) elsewhere—(state where) _____

NAME OF BANK	LOCATION	DEPOSIT IN NAME OF	AMOUNT
PNC Bank	Pittsburgh, PA	J.C. Ripberger	5,266,707

2* (a) due within 90 days _____ \$0
Notes receivable (b) due after 90 days _____
 (c) past due _____

RECEIVABLE FROM: NAME AND ADDRESS	FOR WHAT	DATE OF MATURITY	HOW SECURED	AMOUNT

Have any of the above been discounted or sold? N/A If so, state amount, to whom, and reason _____

3* Accounts receivable from completed contracts exclusive of claims not approved for payment _____ \$0

NAME AND ADDRESS OF OWNER	NATURE OF CONTRACT	AMOUNT OF CONTRACT	AMOUNT RECEIVABLE

Have any of the above been assigned, sold, or pledged? N/A If so, state amount, to whom, and reason _____

4* Sums earned on uncompleted contracts, as shown by engineer's or architect's estimate:
 (a) Amount receivable after deducting retainage _____ \$ 4,617,843
 (b) Retainage to date due upon completion of contract _____ 2,322,120

DESIGNATION OF CONTRACT AND NAME AND ADDRESS OF OWNER	AMOUNT OF CONTRACT	AMOUNT EARNED	AMOUNT RECEIVED	RETAINAGE		AMOUNT EXCLUSIVE OF RETAINAGE
				WHEN DUE	AMOUNT	
Various Contracts						

Have any of the above been sold, assigned, or pledged? No If so, state amount, to whom, and reason _____

* List separately each item amounting to 10 per cent or more of the total and combine the remainder.

DETAILS RELATIVE TO ASSETS (Continued)

5* Accounts receivable not from construction contracts \$

RECEIVABLE FROM: NAME AND ADDRESS	FOR WHAT	WHEN DUE	AMOUNT

What amount, if any, is past due \$

6 Deposits with bids or otherwise as guarantees \$ 0

DEPOSITED WITH: NAME AND ADDRESS	FOR WHAT	WHEN RECOVERABLE	AMOUNT
Plan Deposits for bidding			

7 Interest accrued on loans, securities, etc. \$ 0

ON WHAT ACCRUED	TO BE PAID WHEN	AMOUNT

8 Real estate book value { (a) Used for business purposes (b) Not used for business purposes \$ 0

DESCRIPTION OF PROPERTY	IMPROVEMENTS		TOTAL BOOK VALUE
	NATURE OF IMPROVEMENTS	BOOK VALUE	
1			
2			
3			
4			
5			
6			
7			

LOCATION	HELD IN WHOSE NAME	ASSESSED VALUE	AMOUNT OF ENCUMBRANCES
1			
2			
3			
4			
5			
6			
7			

* List separately each item amounting to 10 per cent or more of the total and combine the remainder.

9 Stocks and bonds: (a) Listed—present market value \$ 5,820,098
 (b) Unlisted—present value

	DESCRIPTION	ISSUING COMPANY	LAST INT. OR DIV. PAID		PAR VALUE	PRESENT MARKET VALUE	QUANTITY	AMOUNT
			DATE	%				
1	Various Stocks & Bonds	Merrill Lynch						5,820,098
2								
3								
4								
5								
6								
7								

	WHO HAS POSSESSION	IF ANY ARE PLEDGED OR IN ESCROW, STATE FOR WHOM AND REASON	AMOUNT PLEDGED OR IN ESCROW
1			
2			
3			
4			
5			
6			
7			

10 Materials in stock and not included in Item 4, Assets:
 (a) For use on uncompleted contracts (present value) \$ 0
 (b) Other materials (present value)

	DESCRIPTION OF MATERIAL	QUANTITY	PRESENT VALUE	
			FOR UNCOMPLETED CONTRACTS	OTHER MATERIALS

11 Equipment at book value \$ 354,881

QUANTITY	DESCRIPTION AND CAPACITY OF ITEMS	AGE OF ITEMS	PURCHASE PRICE	DEPRECIATION CHARGED OFF	BOOK VALUE

Are there any liens against the above? No If so, state total amount \$

* If two or more items are lumped above, give the sum of their ages.

DETAILS RELATIVE TO ASSETS (Continued)

12	Furniture and fixtures at book value	\$ 121,128
13	Other assets	\$ 230,193

DESCRIPTION	AMOUNT

TOTAL ASSETS : 18,732,970

DETAILS RELATIVE TO LIABILITIES

1	Notes payable	(a) To banks, regular (b) To banks for certified checks (c) To others for equipment obligations (d) To others exclusive of equipment obligations	\$
----------	---------------	---	----

TO WHOM: NAME AND ADDRESS	WHAT SECURITY	WHEN DUE	AMOUNT

2	Accounts payable	(a) Not past due (b) Past due	\$ 4,334,609
----------	------------------	----------------------------------	--------------

TO WHOM: NAME AND ADDRESS	FOR WHAT	DATE PAYABLE	AMOUNT
Various Subcontractors and Material Suppliers			

3	Real estate encumbrances (See Item 8, Assets)	\$ 0
----------	---	------

4	Other liabilities	\$ 7,411,323
----------	-------------------	--------------

DESCRIPTION	AMOUNT
Retainage Payable, Accrued Expenses, Payroll Withholdings	
Union Payables, Contract Overbillings	

5	Reserves	\$
----------	----------	----

INTEREST	INSURANCE	BLDG. & FIXT.	PLANT DEPR.	TAXES	BAD DEBTS		
\$	\$	\$	\$	\$	\$	\$	\$

6	Capital stock paid up	(a) Common (b) Preferred	\$ 1,000 2,880
----------	-----------------------	-----------------------------	-------------------

7	Surplus	\$ 983,158
----------	---------	------------

TOTAL LIABILITIES : 18,732,970

If a corporation answer this:

Amount for which incorporated _____

Capital paid in cash _____ \$ 1,000.00

When incorporated 1958 _____

In what state Indiana _____

Names and titles of all persons having authority to execute and receipt estimate vouchers and to conduct other business for the corporation, including its officers, the signatures of whom are legally binding.

William L. Ripberger Jr., President _____

Tom Nolan, Corporate Secretary _____

Do you have necessary "certificate of authority" to transact corporate business in this state, under the terms of Chapter 215, Acts of 1929, and acts amendatory thereto? Yes _____

If a co-partnership answer this:

Date of organization _____

State whether co-partnership is general, limited or association _____

Give the names, addresses and proportional interests of all parties:

Name	Address	Share
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____
_____	_____	\$ _____

The name of the partnership firm under which the above partners are operating is _____

Give names and titles of all persons having authority to execute and receipt estimate vouchers and to conduct other business for the partnership, the signatures of whom are legally binding.

The undersigned hereby declares that the foregoing is a true statement of the financial condition of the individual, co-partnership or corporation herein first named, as of the date herein first given; that this statement is for the express purpose of inducing the party to whom it is submitted to award the submitter a contract; and that any depository, vendor or other agency herein named is hereby authorized to supply such party with any information necessary to verify this statement.

Signed by: William L. Ripberger, Jr.
ADA599B4E8854EB
William L. Ripberger, Jr., President
J. C. Ripberger Construction Corporation



NOTE: A co-partnership must give firm name and signatures of all partners. A corporation must give full corporate name, signature of official and affix corporate seal.

Affidavit for Individual

STATE OF _____ }
COUNTY OF _____ } ss:

_____ being duly sworn, deposes and says that the foregoing financial statement, taken from his books, is a true and accurate statement of his financial condition as of the date thereof and that the answers to the foregoing interrogatories are true.

Subscribed and sworn to before me this

_____ day of _____ 19____ (Applicant must sign here)

Notary Public

Affidavit for Co-Partnership

STATE OF _____ }
COUNTY OF _____ } ss:

_____ being duly sworn, deposes and says that he is a member of the firm of _____; that he is familiar with the books of the said firm showing its financial condition; that the foregoing financial statement, taken from the books of the said firm, is a true and accurate statement of the financial condition of the said firm as of the date thereof and that the answers to the foregoing interrogatories are true.

Subscribed and sworn to before me this

_____ day of _____ 19____ (Member of firm must sign here)

DS

Notary Public



STATE OF Indiana }
COUNTY OF Boone } ss:

William L. Ripberger, Jr. being duly sworn, deposes and says that he is President of the J. C. Ripberger Construction Corp.

_____, the corporation described in and which executed the foregoing statement; that he is familiar with the books of the said corporation showing its financial condition; that the foregoing financial statement, taken from the books of the said corporation, is a true and accurate statement of the financial condition of said corporation as of the date thereof and that the answers to the foregoing interrogatories are true.

Subscribed and sworn to before me this

Signed by: William L. Ripberger, Jr.
ADA599B4E8854EB
William L. Ripberger, Jr., President (Officer must sign here) DS

Signed by: _____ day of June 2026

Cherie M. Ridenour
Notary Public
Notary expiration 1/23/28





2026 Advertise Bidding Opportunities - Submission Form

Thank you for advertising to certified minority, women, veteran, and disabled-owned business owners!

After question 17, there is the option to provide information for 2 other upcoming bidding opportunities. Questions 17 through 41 are optional. Click the "Next" button after each section if you do not have additional bidding information to provide to submit the form.

If you have bidding documents or PDFs you would like included in the advertisement please email them to OMWBD@indy.gov.

Please email OMWBD@indy.gov if you have any questions and/or concerns.

When you submit this form, it will not automatically collect your details like name and email address unless you provide it yourself.

* Required

Share your company's upcoming bidding opportunities with all OMWBD tier levels!

OMWBD ensures equal opportunities for minority, women, veteran, and disabled-owned businesses. Please fill out the information below to advertise upcoming bid opportunities with our XBE directory.

1.

Your Name & Title *

Kay Van Deusen, Administrative Assistant

2. Your Email *

kayv@jcripberger.com

3.

Name of Company / Prime Contractor / Developer *

J. C. Ripberger Construction Corporation

4. Company Website

*

Enter N/A if your company does not have a website.

www.jcripberger.com

5. Type of Request/Invitation

*

- Invitation to Bid
- Informal Quote - RFQ (under \$50,000)
- Sealed Written Quote - RFQ (\$50,000 - \$149,999)
- Competitive Sealed Bidding - RFB (\$150,000 or more)
- Request for Proposal - RFP
- Request for Information - RFI
- Request for Qualifications - RFQ
- Other

6. Open Date *

5/12/2026



7. Close Date / Due Date *

6/3/2026



8. Deadline to submit time in Eastern Standard Time *

2:00 p.m.

9. Submission Location & Format Preferred *

Example: Address, Email, etc

Michael Ripberger, michaelr@jcripberger.com

10.

Project / Bid Number *

City of Westfield - Park Improvement Project - Bid Event #3

11. Project / Bid Title (name)

*

City of Westfield - Park Improvement Project - Bid Event #3

12.

Bid Description *

BP #32D - Site Furnishings

13.

Type of Trade/Service Needed *

Please select all that apply.



Construction



Retail



Supplier/Distributor



Manufacturer



Service (ie: plumbing, electrical, etc.)



Broker (ie: procurement specialist)



Professional Service



Other

14. List vendor opportunities on this bid *

J. C. Ripberger Construction Corporation will be bidding BP 32D - Site Furnishings


15. Contact Information for Questions *

Name, Phone, & Email

Michael Ripberger, michaelr@jcripberger.com

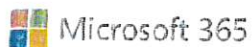
16. Additional Information about Bid/Company (i.e.: Pre-Bid Meeting Information and/or Bidding Document Link)

Enter your answer

17. Would you like to view a draft of the advertisement before it is sent out? 

Yes

No



This content is created by the owner of the form. The data you submit will be sent to the form owner. Microsoft is not responsible for the privacy or security practices of its customers, including those of this form owner. Never give out your password.

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...



Thank you for your submission! Your bid opportunity information has been received.

If you have any PDF documents you would like to include, please email them to OMWBD@indy.gov

[Submit another response](#)

 Microsoft 365

Microsoft Forms | AI-Powered surveys, quizzes and polls [Create my own form](#)

The owner of this form has not provided a privacy statement as to how they will use your response data. Do not provide personal or sensitive information. | [Consumer Health Privacy](#) | [Terms of use](#)

Kay Van Deusen

From: Kay Van Deusen
Sent: Tuesday, May 12, 2026 8:31 AM
To: 'DCHANDLER@CPTOTAL.COM'; 'DAVIDS_C.N.R@HOTMAIL.COM'; 'UPRIZING05@GMAIL.COM'; 'WILL@MATTINGLYCONCRETE.COM'; 'SAUL@CONCRETUSCONCEPTS.COM'; 'bgraf@smprecast.com'; 'FABI@THECONCRETEQUEEN.COM'; 'CLAYTON@EJCONCRETE.COM'; 'MARRUFOSCONCRETE@GMAIL.COM'; 'STEVE@LFFPROPERTIES.COM'; 'david@peteconstruction.com'; 'INFO@GREENETHUMBLANDSCAPING.COM'; 'swadereedlylc@gmail.com'; 'JOHNNYSLAWNCARESERVICESLLC@GMAIL.COM'; 'AVANTENTERPRISESLLC@YAHOO.COM'; 'RAM_LAWN_CARE@HOTMAIL.COM'; 'CRICKETSLAWNCARESERVICES@GMAIL.COM'; 'TOPNOTCHBBS@AOL.COM'; 'top2bottom.zdollar@gmail.com'; 'cmasonryproducts@yahoo.com'; 'YRASMUSSEN@RGRECYCLING.ORG'; 'eve@javelinamilling.com'; 'caroline@hughesmilling.com'; 'DOUG.CHISHOLM.JR@CHISHOLMMILLWORK.COM'; 'KPRIFOGLE@CALLMCNEELY.COM'; 'marionaconstruction@gmail.com'; 'LDL42LLC@GMAIL.COM'; 'JANETS@DECOCOATINGS.COM'; 'SOFTTOUCH09@SBCGLOBAL.NET'; 'lesley@inclusivestrategies.co'; 'daliaspanos@comcast.net'; 'ANGIE@BLCOINC.COM'; 'info@trikosupply.com'; 'CWHITTAKER@MAINSTREAMMECHANICALSERVICES.COM'; 'NICOLEP@SERVICEPIPE.COM'; 'GYOUNG@AGMCOMPANY.COM'; 'DMUDD@LAPSLEYINC.COM'; 'FUENTESROSA1234@GMAIL.COM'; 'ERIN@REISSPRODUCTS.COM'
Cc: Cherie Ridenour
Subject: Bid Opportunity - City of Westfield - Park Improvement Project - bid Event #3

Good Morning,

If this bid opportunity does not pertain to your company's trade, please disregard this email.

Bid Notice

Bid Date, June 3, 2026, by 2:00 p.m.

J.C. Ripberger Construction Corp. would like to invite MBE/WBE/VBE/DOBE subcontractor/supplier firms to submit a bid proposal for:

PROJECT: City of Westfield – Park Improvements Project – Bid Event #3
COUNTY: Hamilton

BIDDING: BP #32D – Site Furnishings

Drawing and Specifications available – Contact Michael Ripberger, michaelr@jcripberger.com.

You can also Contact J.C. Ripberger at info@jcripberger.com or you can go to our company website www.jcripberger.com, select **Bid Room**, click on the large logo **BuildingConnected an Autodesk Company**

in the middle of the page, and select the project you wish to bid, click the join button. You can then download the plans and specs.

Please include your company name, contact person, email, & phone number with the quote. All quotes must have your company's XBE certification with it.

I am sending this out for Cherie Ridenour, cherier@jcripberger.com

Thank you,
Kay

Kay Van Deusen
Administrative Assistant
J. C. Ripberger Construction Corp. / 5300 W. Old 106th St./P.O. Box 493 / Zionsville, IN 46077
O 317-873-3383
F 317-873-3688
kayv@jcripberger.com
www.jcripberger.com



Kay Van Deusen

From: Kay Van Deusen
Sent: Tuesday, May 12, 2026 8:36 AM
To: 'DCHANDLER@CPTOTAL.COM'; 'DAVIDS_C.N.R@HOTMAIL.COM'; 'UPRIZING05@GMAIL.COM'; 'WILL@MATTINGLYCONCRETE.COM'; 'SAUL@CONCRETUSCONCEPTS.COM'; 'bgraf@smprecast.com'; 'FABI@THECONCRETEQUEEN.COM'; 'CLAYTON@EJCONCRETE.COM'; 'MARRUFOSCONCRETE@GMAIL.COM'; 'STEVE@LFFPROPERTIES.COM'; 'david@peteconstruction.com'; 'INFO@GREENETHUMBBLANDSCAPING.COM'; 'swadereedlyllc@gmail.com'; 'JOHNNYSLAWNCARESERVICESLLC@GMAIL.COM'; 'AVANTENTERPRISESLLC@YAHOO.COM'; 'RAM_LAWN_CARE@HOTMAIL.COM'; 'CRICKETSLAWNCARESERVICES@GMAIL.COM'; 'TOPNOTCHBBS@AOL.COM'; 'top2bottom.zdollar@gmail.com'; 'cmasonryproducts@yahoo.com'; 'YRASMUSSEN@RGRECYCLING.ORG'; 'eve@javelinamilling.com'; 'caroline@hughesmilling.com'; 'DOUG.CHISHOLM.JR@CHISHOLMMILLWORK.COM'; 'KPRIFOGLE@CALLMCNEELY.COM'; 'marionaconstruction@gmail.com'; 'LDL42LLC@GMAIL.COM'; 'JANETS@DECOCOATINGS.COM'; 'SOFTTOUCH09@SBCGLOBAL.NET'; 'lesley@inclusivestrategies.co'; 'daliaspanos@comcast.net'; 'ANGIE@BLCOINC.COM'; 'info@trikosupply.com'; 'CWHITTAKER@MAINSTREAMMECHANICALSERVICES.COM'; 'NICOLEP@SERVICEPIPE.COM'; 'GYOUNG@AGMCOMPANY.COM'; 'DMUDD@LAPSLEYINC.COM'; 'FUENTESROSA1234@GMAIL.COM'; 'ERIN@REISSPRODUCTS.COM'

Cc: Cherie Ridenour
Subject: Bid Opportunity - City of Westfield - Park Improvement Project - Bid Event #3

FOLLOW-UP

Good Morning,

If this bid opportunity does not pertain to your company's trade, please disregard this email.

Bid Notice

Bid Date, June 3, 2026, by 2:00 p.m.

J.C. Ripberger Construction Corp. would like to invite MBE/WBE/VBE/DOBE subcontractor/supplier firms to submit a bid proposal for:

PROJECT: City of Westfield – Park Improvements Project – Bid Event #3
COUNTY: Hamilton

BIDDING: BP #32D – Site Furnishings

Drawing and Specifications available – Contact Michael Ripberger, michaelr@cripberger.com.

You can also Contact J.C. Ripberger at info@jcripberger.com or you can go to our company website www.jcripberger.com, select **Bid Room**, click on the large logo **BuildingConnected an Autodesk Company** in the middle of the page, and select the project you wish to bid, click the join button. You can then download the plans and specs.

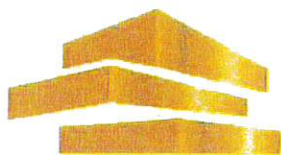
Please include your company name, contact person, email, & phone number with the quote. All quotes must have your company's XBE certification with it.

I am sending this out for Cherie Ridenour, cherier@jcripberger.com

Thank you,
Kay

Kay Van Deusen
Administrative Assistant
J. C. Ripberger Construction Corp. / 5300 W. Old 106th St./P.O. Box 493 / Zionsville, IN 46077
O 317-873-3383
F 317-873-3688
kayv@jcripberger.com
www.jcripberger.com





J.C. Ripberger
EST. 1958

GENERAL CONTRACTORS

5300 WEST OLD 106TH STREET, P.O. BOX 493
ZIONSVILLE, INDIANA 46077-0493
O: 317/873-3383 F: 317/873-3688
www.jcripberger.com



Veteran Owned Business
City of Indianapolis and State of Indiana Certified

Minority and Women's Business Enterprises Division
402 W. Washington Street, Room 2469
Indianapolis, IN 46204

RE: City of Westfield – Park Improvements Project - Bid Event #3
Park Street Between Poplar and Mill Street
319 Park Street
Westfield, IN 46074
Hamilton County
Bid Date: June 3, 2026 @ 2:00pm

Bidding Opportunity

J.C. Ripberger Construction Corp. will be submitting a bid proposal for the project listed below. We would like to invite MBE/WBE/VBE subcontractor/supplier firms that are interested and qualify to submit a bid proposal.

Project: City of Westfield – Park Improvements Project
Park Street Between Poplar and Mill Street
319 Park Street
Westfield, IN 46074
Bid Date: June 3, 2026 @ 2:00pm

Bidding: J.C. Ripberger will be bidding BP 32D – Site Furnishings - This City of Westfield Project involves the reconstruction of Park Street between Poplar and Mill Streets into a plaza street and development of a public plaza space.

This project will include street and sidewalk pavements, underground utilities, grading, lighting, audio system, masonry piers, steel gates, stairs and railings, site furnishings, limestone blocks and boulders, landscaping, and irrigation systems.

Drawing and Specifications available – Contact Michael Ripberger, Project Manager michaelr@jcripberger.com .

You can also contact J.C. Ripberger at info@jcripberger.com or you can go to our company website www.jcripberger.com, select **Bid Room**, click on the large logo **BuildingConnected an Autodesk Company** in the middle of the page, and select the project you wish to bid, click the join button, You can then download the plans and specs.

Please include your company name, contact person, email, & phone number with the quote. All quotes must have your company's XBE certification with it.

Thank you,
J.C. Ripberger Construction Corp.

Kay Van Deusen

From: Kay Van Deusen
Sent: Tuesday, May 12, 2026 9:29 AM
To: mwbe@idoa.IN.gov
Cc: Cherle Ridenour
Subject: Business Opportunity Notice: City of Westfield , June 3, 2026, J. C. Ripberger Construction Corporation
Attachments: City of Westfield - Park Improvements Project Bid Event #3.pdf

Good Morning,

Please post the attached advertisement - Business Opportunity Notice: City of Westfield , June 3, 2026, J. C. Ripberger Construction Corporation.

I am sending this out for Cherle Ridenour, cherler@jcripberger.com

Thank you,
Kay

Kay Van Deusen
Administrative Assistant
J. C. Ripberger Construction Corp. / 5300 W. Old 106th St./P.O. Box 493 / Zionsville, IN 46077
O 317-873-3383
F 317-873-3688
kayv@jcripberger.com
www.jcripberger.com





CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

10/29/2025

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Diamond Bros. Insurance, LLC 11708 North College Avenue Camel IN 46032	CONTACT NAME: Julia Hoskins, CIC PHONE (A/C, No, Ext): (317) 853-3588 FAX (A/C, No): (317) 853-3501 E-MAIL ADDRESS: julia.hoskins@diamondbros.com														
INSURED J. C. Ripberger Construction Corp. P O Box 493 5301 West Old 106th Street Zionsville IN 46077	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="text-align: center;">INSURER(S) AFFORDING COVERAGE</th> <th style="text-align: center;">NAIC #</th> </tr> <tr> <td>INSURER A: Amerisure Insurance Co.</td> <td style="text-align: center;">19488</td> </tr> <tr> <td>INSURER B: Amerisure Mutual Insurance Company</td> <td style="text-align: center;">23396</td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Amerisure Insurance Co.	19488	INSURER B: Amerisure Mutual Insurance Company	23396	INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER(S) AFFORDING COVERAGE	NAIC #														
INSURER A: Amerisure Insurance Co.	19488														
INSURER B: Amerisure Mutual Insurance Company	23396														
INSURER C:															
INSURER D:															
INSURER E:															
INSURER F:															

COVERAGES **CERTIFICATE NUMBER: 25-26 ALLCOV** **REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL. SUBRS	INSO	WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GENL AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:				CPP1303323	11/01/2025	11/01/2026	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 1,000,000 MED EXP (Any one person) \$ 15,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY <input type="checkbox"/> OTHER:				CA1303322	11/01/2025	11/01/2026	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 0				CU2065445	11/01/2025	11/01/2026	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A		WC1303135	11/01/2025	11/01/2026	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000
B	Leased/Rented Equipment/\$2,500 Ded Installation Floater/\$5,000 Ded				IM2128858	11/01/2025	11/01/2026	Per Item/Occurrence \$200,000 Per Jobsite/Occ/Temp Loc \$750,000 Transit \$500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

RE: Job-Contractors License

The Consolidated City of Indianapolis is added as additional insured to the General Liability policy.

CERTIFICATE HOLDER

CANCELLATION

City of Indianapolis, Dept of Business & Neighborhood Services 200 E Washington St, Ste 107 Indianapolis IN 46204	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
---	---

**CERTIFICATE OF QUALIFICATION
to provide
CONSTRUCTION SERVICES
for
PUBLIC WORKS PROJECTS
to the
STATE OF INDIANA**

This Certification Board, having duly considered application for qualification in terms of apparent experience and financial resources; and under the applicable Indiana Code 4-13.6-4 and adopted rules of this Board, hereby issues a Certificate of Qualification to provide construction services to the State of Indiana for Public Works Projects to:

J. C. Ripberger Construction Corporation

5300 West Old 106th Street
P.O. Box 493
Zionsville, IN 46077

Phone (317) 873-3383
Fax (317) 873-3688
Company Official **William L. Ripberger, Jr., President**

- for the twenty-seven month period stated herein, unless revoked by this Board for cause, and in the classifications of services stated below. This certificate supercedes any previous certificate.
- 1542.00A Inst. Bldgs.(Hospitals, Schools, Prisons)>\$10,000,000 - No Restrictions
 - 1542.00B Inst. Bldgs.(Hosp., Schl., Prsn.)>\$1,000,000, <\$10,000,000 - No Restrictions
 - 1542.01 Institutional Bldgs (Hospitals, Schools, Prisons) - No Restrictions
 - 1542.02 Commercial Buildings (Offices, Stores, Restaurants) - No Restrictions
 - 1542.04 Additions, Alterations, Remodeling, and Repair - No Restrictions
 - 1771.01 Concrete Construction - No Restrictions

CERTIFICATION DATE 03-20-2025

EXPIRATION DATE 2027-06-20 12:00:00 AM

THIS CERTIFICATE ISSUED BY THE STATE OF INDIANA, PUBLIC WORKS DIVISION CERTIFICATION BOARD,
402 WEST WASHINGTON STREET, ROOM W467, INDIANAPOLIS, INDIANA 46204,
ALSO ACTS AS THE OFFICIAL NOTICE OF EXPIRATION.


Laura Chamberlain


Laura Chamberlain, Delegate Secretary
Certification Board

DAPW PQ2 State Form 3983R Rev. 07/06




City of Indianapolis - Department of Business and
 Neighborhood Services
 License Type: General Contractor
 License Number: C0088900
J C RIPBERGER CONSTRUCTION CORPORATION
J C RIPBERGER CONSTRUCTION CORPORATION
 C0088900
 is duly licensed to practice in Marion County as a(n)
 Corporation until 12/31/2026 unless suspended or




Signature: 

J C RIPBERGER CONSTRUCTION CORPORATION
 PO BOX 493
 ZIONSVILLE, IN 46077


City of Indianapolis -Department of Business &
 Neighborhood Services
WILLIAM L RIPBERGER JR
 License Type: Agent
 License Number: C0088900
 Company Name: J C RIPBERGER CONSTRUCTION
 CORPORATION
 Company License Number: C0088900
 Company License Expiration:12/31/2026

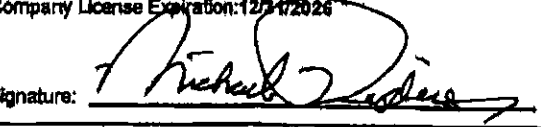


Signature: 

WILLIAM L RIPBERGER JR
 PO BOX 493
 ZIONSVILLE, IN 46077

City of Indianapolis -Department of Business &
 Neighborhood Services
MICHAEL RIPBERGER
 License Type: Agent
 License Number: GA1601369
 Company Name: J C RIPBERGER CONSTRUCTION
 CORPORATION
 Company License Number: C0088900
 Company License Expiration:12/31/2026



Signature: 

MICHAEL RIPBERGER
 PO BOX 493
 ZIONSVILLE, IN 46077

City of Indianapolis -Department of Business & Neighborhood Services

JOSIAH PORTEUS

License Type: Agent

License Number: GA2101238

Company Name: J C RIPBERGER CONSTRUCTION CORPORATION

Company License Number: 00000000

Company License Expiration:12/31/2026



Signature: _____

JOSIAH PORTEUS
PO BOX 493
ZIONSVILLE, IN 46077

City of Indianapolis -Department of Business & Neighborhood Services

CORY BIDDLE

License Type: Agent

License Number: GA1801156

Company Name: J C RIPBERGER CONSTRUCTION CORPORATION

Company License Number: 00000000

Company License Expiration:12/31/2026



Signature: _____

CORY BIDDLE
PO BOX 493
ZIONSVILLE, IN 46077

City of Indianapolis -Department of Business & Neighborhood Services

CHRIS ZIMMERMAN

License Type: Agent

License Number: GA2001227

Company Name: J C RIPBERGER CONSTRUCTION CORPORATION

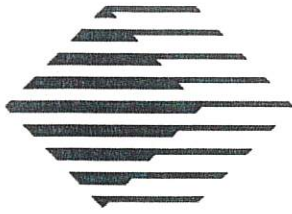
Company License Number: 00000000

Company License Expiration:12/31/2026



Signature: _____

CHRIS ZIMMERMAN
PO BOX 493
ZIONSVILLE, IN 46077-0493



Dimond Bros.

INSURANCE | Est. 1867

April 2, 2026

J. C. Ripberger Construction Corp.
PO Box 493
5301 West Old 106th Street
Zionsville, IN 46077

RE: ICRB Workers Compensation Mod

Dear Sirs:

The ICRB Experience Mod for the current and prior 3 years for J. C. Ripberger Construction Corp are as follows:

11-01-2025	1.07
11-01-2024	0.74
11-01-2023	0.72
11-01-2022	0.92

If you need additional confirmation of your mod, please do not hesitate to give me a call.

Sincerely,

Julia Hoskins
Senior Account Executive

JH:jmh

11708 North College Avenue, Carmel, Indiana 46032
P (317) 853-3500 F (317) 853-3501 www.dimondbros.com

OSHA's Form 300A (Rev. 01/2004)

Summary of Work-Related Injuries and Illnesses

Year 2025

U.S. Department of Labor
Occupational Safety and Health Administration
Form approved OSHA no. OSHA-307B

All establishments covered by Part 1904 must complete this Summary page, even if no injuries or illnesses occurred during the year. Remember to review the Log to verify that the entries are complete using the Log, count the individual entries you made for each category. Then write the totals below, making sure you've added the entries from every page of the Log. If you had no cases, write "0."

Employers, former employees, and their representatives have the right to review the OSHA Form 300 in its entirety. They also have limited access to the OSHA Form 301 or its equivalent. See 29 CFR 1904.32, in OSHA's Recordkeeping rule, for further details on the access provisions for these forms.

Number of Cases	(G)	(H)	(I)	(J)
Total number of deaths	0	0	0	0
Total number of cases with days away from work	0	0	0	0
Total number of cases with job transfer or restriction	0	0	0	0
Total number of other recordable cases	0	0	0	0

Total number of days away from work	(K)	(L)
Total number of days away from work	0	0
Total number of days of job transfer or restriction	0	0

Total number of...	(M)	(N)	(O)	(P)	(Q)
(1) Injury	0	0	0	0	0
(2) Skin Disorder	0	0	0	0	0
(3) Respiratory Condition	0	0	0	0	0
(4) Poisoning	0	0	0	0	0
(5) Hearing Loss	0	0	0	0	0
(6) All Other illnesses	0	0	0	0	0

Post this Summary page from February 1 to April 30 of the year following the year covered by the form

Public reporting burden for this collection of information is estimated to average 58 minutes per response, including time to review the instructions, search existing data sources, gathering the data needed, and completing and reviewing the collection of information. Send comments regarding this burden estimate or any aspect of this collection of information, including suggestions for reducing the burden, to Washington, DC 20503, Office of Management and Budget, Paperwork Project Director (0704-0188). Do not send the completed form to this office.

Establishment Information

Your establishment name J.C. Riffebeyer Construction Corp.
 Street 5300 W Old 106th Street
 City Zionsville State IN Zip 46077

Industry description (e.g., Manufacture of motor truck, trailers)
General Contractor

Standard Industrial Classification (SIC), if known (e.g., SIC 3716)
2 3 6 2 2 0

OR: North American Industrial Classification (NAICS), if known (e.g., 330022)
2 3 6 2 2 0

Employment Information

Annual average number of employees 44
 Total hours worked by all employees last year 86,197

Sign here

Knowingly falsifying this document may result in a fine.

I certify that I have examined this document and that to the best of my knowledge the entries are true, accurate, and complete.

Tom Riffebeyer
 Company executive

Controller Title _____
 Phone 317-572-3363
 Date _____

OSHA's Form 300A (Rev. 01/2004)

Summary of Work-Related Injuries and Illnesses

All establishments covered by Part 1904 must complete this Summary page, even if no injuries or illnesses occurred during the year. Remember to review the Log to verify that the entries are complete using the Log, count the individual entries you made for each category. Then write the totals below, making sure you've added the entries from every page of the Log. If you had no cases write "0."

Employers, former employees, and their representatives have the right to review the OSHA Form 300 in its entirety. They also have limited access to the OSHA Form 301 or its equivalent. See 29 CFR 1904.36, for OSHA's Recordkeeping rule, for further details on the access provisions for these forms.

Number of deaths	Total number of cases with days away from work	Total number of cases with job transfer or restriction	Total number of other recordable cases
0	1	0	1
(G)	(H)	(I)	(J)

Total number of days away from work	Total number of days of job transfer or restriction
20	77
(K)	(L)

Total number of... (M)	(1) Injury	(2) Poisoning	(3) Skin Disorder	(4) Hearing Loss	(5) All Other Illnesses
0	0	0	0	0	0

Post this Summary page from February 1 to April 30 of the year following the year covered by the form

Public reporting burden for this collection of information is estimated to average 30 minutes per response, including time to review the instructions, search existing data sources, gather the data needed, and complete and review the collection of information. Persons are not required to respond to the collection of information unless it displays a currently valid OMB control number. If you have any comments about these estimates or any aspect of this data collection, contact: US Department of Labor, OSHA Office of Statistics, Room N-3944, 300 Constitution Ave, NE, Washington, DC 20210. Do not send the completed forms to this office.



Year 2024
U.S. Department of Labor
Occupational Safety and Health Administration
Form approved OMB No. 1218-0178

Establishment Information

Your establishment name J. C. Ribberger Construction Corp.
Street 6300 W Old Tooth Street
City Zionsville State IN Zip 46077
Industry description (e.g., Manufacture of motor truck trailers)
General Contractor
Standard Industrial Classification (SIC), if known (e.g., SIC 3715)
2 3 6 2 2 0
OR North American Industrial Classification (NAICS), if known (e.g., 330212)
2 3 6 2 2 0

Employment Information

Annual average number of employees 52
Total hours worked by all employees last year 108,144

Sign here

Knowingly falsifying this document may result in a fine.

I certify that I have examined this document and that to the best of my knowledge the entries are true, accurate, and complete.

Tom Mde
Company executive

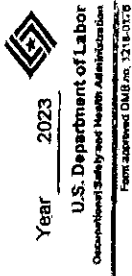
317-873-3383
Phone

Continued
Title

Date

OSHA's Form 300A (Rev. 01/2004)

Summary of Work-Related Injuries and Illnesses



Year 2023

U.S. Department of Labor
Occupational Safety and Health Administration
Form approved OMB no. 1218-0176

All establishments covered by Part 1904 must complete this Summary page, even if no injuries or illnesses occurred during the year. Remember to review the Log to verify that the entries are complete.

Using the Log, report the individual entries you made for each category. Then write the totals below, making sure you've added the entries from every page of the log. If you had no cases write "0."

Employers, former employees, and their representatives have the right to review the OSHA Form 300 in its entirety. They also have limited access to the OSHA Form 301 or its equivalent. See 29 CFR 1904.35, in OSHA's Recordkeeping rule, for further details on the access provisions for these forms.

Total number of deaths	Total number of cases away from work	Total number of cases with job transfer or restriction	Total number of other recordable cases
(G)	(H)	(I)	(J)
0	0	0	3

Total number of days away from work	Total number of days of job transfer or restriction
(K)	(L)
0	0

Total number of... (M)	(1) Injury	(2) Skin Disorder	(3) Respiratory Condition	(4) Poisoning	(5) Hearing Loss	(6) All Other Illnesses
	3	0	0	0	0	0

Post this Summary page from February 1 to April 30 of the year following the year covered by the form.

Public reporting burden for this collection of information is estimated to average 50 minutes per response, including time to review the instruction, search and gather the data needed, and complete and review the collection of information. Persons are not required to respond to the collection of information unless it displays a currently valid OMB control number. If you have any comments about these estimates or any aspect of this data collection, contact: US Department of Labor, OSHA, Office of Statistics, Room N-3644, 200 Constitution Ave, NW, Washington, DC 20210. Do not send the completed form to this office.

Establishment Information

Your establishment name J. C. Rishwagner Construction Corp.
 Street 5300 W. Old 106th Street
 City Zionsville State IN Zip 46077

Industry description (e.g., Manufacture of motor truck trailers)
General Contractor

Standard Industrial Classification (SIC), if known (e.g., SIC3715)
2 3 8 2 2 0

OR North American Industrial Classification (NAICS), if known (e.g., 3309212)

Employment Information

Annual average number of employees 53
 Total hours worked by all employees last year 102,010

Sign here

Knowingly falsifying this document may result in a fine.

I certify that I have examined this document and that to the best of my knowledge the entries are true, accurate, and complete.

[Signature] Company executive
 Title _____
 317-873-5383 Phone
 302024 Date

OSHA's Form 300A (Rev. 01/2004)

Summary of Work-Related Injuries and Illnesses

All establishments covered by Part 1904 must complete this Summary page, even if no injuries or illnesses occurred during the year. Remember to review the Log to verify that the entries are complete.

Using the Log, count the individual entries you made for each category. Then write the totals below, making sure you've added the entries from every page of the log. If you had no cases with "0."

Employees, former employees, and their representatives have the right to review the OSHA Form 300 in its entirety. They also have limited access to the OSHA Form 301 or its equivalent. See 29 CFR 1904.55, in OSHA's Recordkeeping rule, for further details on the access provisions for these forms.

Total number of deaths	Total number of cases with days away from work	Total number of cases with job transfer or restriction	Total number of cases with transfer or cases	Total number of other recordable cases
0	0	0	1	1
(5)	(1)	(1)	(4)	(4)

Total number of days away from work	Total number of days of job transfer or restriction
0	0
(6)	(2)

Total number of... (N)	(1) Injury	(2) Skin Disorder	(3) Respiratory Condition	(4) Poisoning	(5) Hearing Loss	(6) All Other Illnesses
1	0	0	0	0	0	0

Post this Summary page from February 1 to April 30 of the year following the year covered by the form.

Public reporting burden for the collection of information is estimated to average 56 minutes per response, including the time for reviewing the instructions, searching existing data sources, gathering the data needed, and completing and reviewing the collection of information. Persons are not required to respond to the collection of information unless it displays a currently valid OMB control number. If you have any comments about these instructions or any aspect of this data collection, contact the Office of Management and Enterprise Services, Paperwork Reduction Project (2023-0046), Washington, DC 20503. Do not send the completed form to this office.



Year 2022

U.S. Department of Labor

Occupational Safety and Health Administration

Form approved OMB No. 1218-0178

Establishment Information

Your establishment name J.C. Rigberger Construction Corp.
 Street 5300 W Old 108th Street
 City Zionsville State IN Zip 46077

Industry description (e.g., Manufacture of motor truck trailers)
General Contractor

Standard Industrial Classification (SIC), if known (e.g., SIC 3715)
2 3 A 2 2 0

OR North American Industrial Classification (NAICS), if known (e.g., 336212)
2 3 A 2 2 0

Employment Information

Annual average number of employees 40
 Total hours worked by all employees last year 78,408

Sign here

Knowledge falsifying this document may result in a fine.

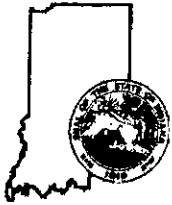
I certify that I have examined this document and that to the best of my knowledge its entries are true, accurate, and complete.

Tom Nelson
 Company Executive

Controller
 Title

317-879-5885
 Phone

1/6/2022
 Date



STATE OF INDIANA

Eric J. Holcomb, Governor

DEPARTMENT OF ADMINISTRATION
 Division of Supplier Diversity

Indiana Government Center South
 402 West Washington Street, Room W462
 Indianapolis, IN 46204

November 7, 2024

Mr. William L. Ripberger, Jr.
J C Ripberger Construction Corporation
 5300 West Old 106th Street
 Zionsville, IN 46077

Subject: Indiana Veteran Owned Small Business Enterprise Certification

Dear Mr. Ripberger:

Congratulations! The Indiana Department of Administration Division of Supplier Diversity ("Division") is pleased to inform you that **J C Ripberger Construction Corporation** is hereby certified as an Indiana Veteran Owned Small Business Enterprise ("IVOSB").

Your company provides a commercially useful function in the areas listed below. Only work performed in these areas will be counted towards IVOSB participation:

UNSPSC CODE(S)

<i>Code</i>	<i>Description</i>
22000000	Building and Construction Machinery and Accessories
30000000	Structures and Building and Construction and Manufacturing Components and Supplies
72000000	Building and Construction and Maintenance Services
72111109	Dormitory Remodeling Services
72111110	Hotel or motel remodeling service
72120000	Nonresidential building construction services
72121000	New industrial building and warehouse construction service
72121101	Commercial and office building new construction service
72121105	Shopping center and mall construction services
72121404	Post office construction services
72121406	School building construction services

Referencing: J C Ripberger Construction Corporation

72130000	General building construction
72153100	Athletic and recreational facility construction services
72153103	Playground construction and equipment installation service

J C Ripberger Construction Corporation's certification is valid from **November 7, 2024**, through **November 7, 2026**. Annually, the company must complete the Affidavit of Continued Eligibility Form and submit it to the Division. The company must complete the recertification process every two years. The Division recommends that you start this process at least 90 days prior to the expiration of the company's certification to avoid any lapse in your certification. More information regarding this process, along with additional information about the IVOSB program and available opportunities, can be found at: <https://www.in.gov/idoa/2863.htm>.

Please contact our office at (317) 232-3061 or indianaveteranspreference@idoa.in.gov if you should have any questions or concerns.

Sincerely,



Peter Sobun, Director of Certification
Indiana Department of Administration
Division of Supplier Diversity

PS/jm



April 15, 2025

J.C. Ripberger Construction Corp.
Attn: William L. Ripberger
PO Box 493
Zionsville, IN 46077

Vendor # 0000009621

Dear Mr. Ripberger:

The Office of Minority & Women Business Development has completed its review of your firm's application for certification as a certified **Veteran Business Enterprise (VBE)**.

Your company is hereby certified with the City of Indianapolis in the **Construction** trade specializing in **General Contracting**. This certification is issued pursuant to the City's Minority & Women Business Utilization Plan.

Your certification is valid until **April 30, 2028**; and is subject to revocation if: (1) changes in ownership; managerial or operational control causes your firm to no longer qualify for the City's M/W/V/DOBE Program; or (2) if just cause is determined through established investigative procedures.

This certification is issued pursuant to the Consolidated City of Indianapolis and Marion County MBE/WBE/VBE/DOBE Business Utilization Plan in Indianapolis Government.

M/W/V/DOBE firms *must* inform OMWBD, in the form of an affidavit, of any changes affecting the ability of the Firm or its owners to meet the guidelines of the City's Utilization Plan with regards to ownership, control or the other certification requirements of the City Minority & Women Business Utilization Plan. (Affidavits must be received within thirty (30) days of the change). Additionally, M/W/V/DOBE firms must provide, yearly, to the Office of Minority & Women Business Development a No Change Statement stating that the qualifying owner(s) continue to meet the ownership and control requirements of the City's Utilization Plan. Failure to provide a yearly No Change Statement may jeopardize your certification status.

Please ensure that your contact information is accurate and stays current. Inaccurate information limits our ability to provide outreach business opportunities. This certification is not necessarily accepted by other States or Agencies and does not verify the ability of your firm to perform the types of work you may indicate.

Please visit the Purchasing Division's website to update your business at: www.indy.gov/purch, or call (317) 327-4900 for further instructions.

Sincerely,

Fahad Beg
Senior Manager
M/W/V/DOBE Certification Program
cc: dr

Phone: 317.327.5262	1701 City County Building
Fax: 317.327.4482	200 East Washington Street
Email: OMWBD@indy.gov	Indianapolis, Indiana 46204
Website: www.indy.gov	

Major Construction Projects

Project Name	Contract Amount	Scheduled Completion Date
Madison County Sheriff's Office & Detention Center	\$18,128,000	09/28/26
Midland Crossing Elementary - Westfield Washington	\$10,523,300	06/01/26
Westfield Washington Middle School West	\$7,522,800	05/31/27
Indpls Convention Center Hotel & Ballroom BP 5-Interior Fin & Siftework	\$4,862,652	4/31/26



GENERAL CONTRACTORS

5300 WEST OLD 106TH STREET, P.O. BOX 493
 ZIONSVILLE, INDIANA 46077-0493
 O: 317/873-3383 F: 317/873-3688
www.jcripberger.com



Veteran Owned Business
 City of Indianapolis and State of Indiana Certified

6/3/2026

Experience/Overview

The following is a synopsis of work of the projects completed by J.C. Ripberger Construction Corp. over the past twenty-five years. J.C. Ripberger Construction Corp. was founded and incorporated in 1958 by Joseph C. Ripberger, who was president of the company until his death in July 1993. William L. Ripberger, Jr., grandson of the founder, is the owner and serves as the President and CEO.

J.C. Ripberger Construction Corp. currently employs approximately 50 people. Our workforce consists of Project Managers, Estimators, Accountants, Administrative Staff, Superintendents, Carpenters, and Laborers. J.C. Ripberger typically self performs Building Concrete, Site Concrete & Hardscape, Carpentry, Doors, Frames & Hardware, Selective Demolition, and Metal Studs & Drywall.

Listed below are a number of Projects completed or under construction by J. C. Ripberger Construction Corp.

Name of Project	Contract Amount
Ridpath Primary School, Greencastle, IN	1,382,000.00
Johnson Center for Fine Arts, Franklin College, Franklin, IN	1,558,000.00
Custer Baker Middle School, Franklin, IN	3,393,000.00
Avon Schools CPF 2001 Projects, Avon, IN	616,750.00
New Stokes Elementary School, Lebanon, IN	2,870,000.00
Hamilton Heights High School & Middle School, Arcadia, IN	2,242,700.00
Tri-West Middle School. Lizton, IN	2,515,000.00
South Madison Elementary, Pendleton, IN	1,299,000.00
Indian Creek Elementary, Indianapolis, IN	596,100.00
Mt. Vernon Intermediate, Fortville, IN	3,960,000.00
Danville High School, Danville, IN	2,352,500.00
P.E. Fields & Storage Facility at North Central H.S., Indpls,	868,500.00
IN Pike New Central Elem. & H.S. Addition, Indianapolis, IN	3,555,500.00
Raymond Park Middle School, Indianapolis, IN	812,000.00
Wyandotte School (Renovation), Indianapolis, IN	1,167,900.00
Warren Central High School, Indianapolis, IN	3,044,500.00
Marion County Processing Center, Indianapolis, IN	1,872,000.00
Huntington North High School, Huntington, IN	1,544,000.00
Connersville Middle School, Connersville, IN	2,017,100.00
Indianapolis Marion County Central Library BP #6	1,700,000.00
Plainfield Rec/Aquatic Center, Plainfield, IN	7,970,500.00
Franklin Central High School	2,044,000.00
Franklin Central Athletic Fields	1,248,000.00
Wayne Township New Elementary	2,650,000.00
Eli Lilly Building #87	504,320.00
Pike High School Administration	2,405,000.00
Zionsville High School Campus Improvements, Zionsville,	7,327,836.00
IN Gaston Elementary	1,535,800.00

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Decatur Intermediate School	286,000.00
Centralized Kindergarten	2,635,000.00
Stephen Decatur Elementary	927,000.00
Avon New Intermediate School/Avon Middle School, Avon, IN	4,621,000.00
Moorhead Elementary	598,500.00
Coxhall Park & Garden Centerpiece, Bridge & Children's Garden, Carmel, IN	2,071,180.00
Clay Junior High School, Carmel, IN	6,735,653.00
Southport High School	981,100.00
Fishers High School-Phase 2B, Fishers, IN	11,235,973.00
Cowan Elementary & Jr/Sr High School	2,553,600.00
IUPUI – Coleman Hall	780,900.00
Maplewood Elementary	1,999,000.00
Carmel Kindergartens	2,751,000.00
Clinton Prairie Elementary & High School	3,725,000.00
New Zionsville West Middle School, Zionsville, IN	21,076,750.00
Early Childhood Education Facilities	1,649,000.00
Ben Davis High School	467,000.00
7th & 8th Grade Center and Outdoor Facilities, Indianapolis, IN	9,270,200.00
Franklin Township Elementary #7	4,449,200.00
Deer Run Elementary School	3,096,000.00
Frankton Jr/Sr High School	637,000.00
Lucas Oil Stadium BP#7	910,000.00
West View Elementary School	313,000.00
Pike High School/Stadium	4,181,000.00
Southside High School	2,706,000.00
Frankfort Elementary	6,375,000.00
Decatur Central High School	661,000.00
Delta High School	996,000.00
Lynhurst Storage Building	240,000.00
Thorpe Creek Elementary School	3,166,000.00
Franklin High School Conversion (7/8)	2,958,000.00
Lawrence North Natatorium	3,227,000.00
Joseph J. Bingham Elementary	6,772,600.00
North Central Natatorium	1,873,000.00
Lucas Oil Stadium BP#10	11,895,000.00
Greenfield Central Middle School	3,861,000.00
Sunnyside Middle School – Lafayette	9,419,629.00
Greenfield Central High School/Weston Elementary School	9,281,000.00
Indiana Convention Center	486,000.00
Mt Vernon Middle School Pool	2,137,500.00
Fishers High School	2,171,000.00
Western Boone Jr/Sr High School	2,047,200.00
Brier Creek Intermediate School	1,477,976.00
Hendricks Regional Health/YMCA	4,218,000.00
Ivy Tech Community College – Fall Creek Expansion – Phase II	1,097,000.00
Clark-Pleasant M.S. and Whiteland Community H.S.	1,934,000.00
Arlington High School Elevator Addition	2,929,000.00
Ivy Tech – Fisher Building 3rd Floor Remodel	1,457,126.00
Ivy Tech Comm. College – Fall Creek Expansion PH. III Foundations &	663,000.00
Framing Arsenal Tech H.S. – Campus Infrastructure Modifications – BP-1B	859,350.00
Ivy Tech Comm. College – Fall Creek Expansion	66,000.00
NCAA – Headquarters Expansion – Phase II	99,155.00
Purdue University – Harrison Hall	107,600.00
Harris Elementary School Renovation/Greenfield Intermediate School	911,000.00
Renovation Purdue University – Student Fitness & Wellness Center/TREC	3,253,000.00
Bldg. Renov./Addn.	

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NCAA – Paving	
Allison Transmission	146,933.00
Ivy Tech Community College – Fall Creek Expansion Phase	4,247,000.00
VI Georgia Street Reconstruction ST-25-162	640,000.00
Brownsburg HS Curtain Wall/Restroom Refurbishment	543,622.00
Merle Sidener Gifted Academy School No. 59	2,249,700.00
Carmel Clay Playground Renovations	498,800.00
Harshman Magnet Middle School No. 101	338,000.00
Ivy Tech Conference Center 1.3	3,292,000.00
University of Indpls – Roberts Hall	575,000.00
Julia Carson Government Center Renovation	539,800.00
IPS 101 - H.L. Harshman Middle School	371,337.00
Ivy Tech - Conference Center	3,576,478.00
Roberts Hall - University of Indianapolis	549,000.00
IPS 105-Charles Warren Fairbanks Elementary	4,949,600.00
Julia Carson-Center Township Small Claims Court	570,640.00
Teachers College Renovation - Ball State University	14,030,968.00
IPS 107 - Lew Wallace Elementary	4,949,600.00
IUPUI Science Engineering Lab Bldg.	11,218,000.00
IU Disability Services for Students Wells Library	349,900.00
Museum of Art Renovation - Ball State University	2,086,000.00
Lafayette City Bus Transfer Station	2,222,500.00
IU Student Building – Room 015	407,400.00
Title 1 Elementary School Computer Labs – Various IPS	206,000.00
Purdue University Agri. & Bio Engineering Window	382,500.00
Replacement IUPUI Engineering Science & Tech	339,800.00
West Lafayette Jr/Sr High School	852,900.00
New Wood Gym Floor – New Augusta & Guion Creek	207,000.00
IUPUI University Tower – Security Access Control	555,900.00
CitizenEnergyPackage2Concrete	483,500.00
IUPUI University Tower Student Housing Laundry	174,600.00
IUPUI Multi Bldg. IDF HVAC Replacement	28,300.00
Indiana Convention Center Restrooms 204 & 209	220,900.00
Butler University Hinkle Fieldhouse	533,000.00
IU Teter Quad Canopy Replacement	848,500.00
IUPUI Business/SPEA Restroom #1	549,000.00
IUPUI Business/SPEA Restroom #2	382,400.00
IUPUI Cavanaugh Hall	186,000.00
BSU Geothermal Conversion Pkg 1 – Footings	258,000.00
IUPUI Lockfield Green	490,300.00
Butler University Canal Fields Improvements	10,668.00
NestleBoostBProject	184,000.00
Marian University Alumni Hall BP#1	392,464.00
BSU Geothermal Conversion DESS Pkg 2	12,300,000.00
IU Franklin Hall Site & Bridge	485,000.00
Indianapolis Airport Bldg 7 Rehabilitation	682,606.00
IUPUI Long Hall Room 101	243,500.00
BSU Planetarium	2,945,000.00
PU Rec Sports Center Tennis Court – 2014	645,500.00
Indianapolis Zoo Orangutan & Sky Ride	285,000.00
IUPUI Student Housing Leak Repairs	28,012.00
IUWellsLibraryFireSprinkler	742,300.00
IU Wells Library Scholars Commons	1,020,400.00
Ivy Tech Fisher Building Stairwell	34,400.00
Purdue Starbucks	287,000.00

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BSU Locker Replacement	
Pike High School Pool	
Purdue Multi Classrooms (Phys, MESS, Knoy Hall)	288,300.00
Lucas Oil Plaza Stair Addition	196,300.00
IUPUI Multi IDF Closet/Upgrades	88,000.00
IU Wells Library Learning Commons	1,871,200.00
BSU Applied Technology	9,431,000.00
Pike Career & Stem Center – Pike High School	1,798,800.00
Purdue Stewart Center	474,800.00
BSU Gym Unisex Shower & ROTC Storage	95,000.00
DePauw University Hoover Hall	834,200.00
PU Krannert Building AHU Replacement	118,300.00
Ivy Tech Hamilton County Campus & Gym Renovation	2,779,900.00
Bankers Life Fieldhouse Fever Locker Room	359,800.00
PU Blochemistry Annex Third Floor	2,797,800.00
IUPUI Columbus Center HVAC	564,300.00
Indiana Convention Center AHU & VAV Upgrade	33,300.00
PU Wetherill & Brown Labs	392,800.00
PU Heine Pharmacy Rooms 416 & 418 Labs	1,225,000.00
I.C.E. Indianapolis	299,200.00
PU Johnson Hall Center	417,000.00
Indianapolis Housing Authority (IHA) Slip Garden	460,000.00
Kokomo Central Middle School	4,985,000.00
Allison Transmission	25,500.00
IU Wells Library Graduate School	864,800.00
PU Honors College & Residences	3,890,615.00
Montgomery County Courthouse, Security, Public Safety & Storm	973,200.00
Water PU Heine Pharmacy Rooms G57 & G59 Labs	740,000.00
PU Hansen Hall Vivarium HVAC ACB-1	1,097,000.00
Bankers Life Fieldhouse Stairway to Event Level	398,300.00
Southside Elementary Interior Renovations	1,639,800.00
Stout Field Building 2 USP & FO Renovation	2,128,000.00
IU Kokomo Main Building HVAC	255,800.00
IU McNutt Quad, South Bldg. Window Replacement PH 2	1,514,800.00
Greenwood Middle School	17,767,000.00
DePauw University Memorial Student Union Renov. PH2	222,637.00
Community North CHVH Connector	773,358.00
PU University Hall Soffit Repair and Painting – 2015	189,800.00
Long Center – City of Lafayette	20,000.00
IUPUI Eskenazi FAC Room 155	16,800.00
Pacers Training Facility	6,509,350.00
PU Haas Hall Soffit, Gutter & Downspout	142,800.00
IUPUI Haine Hall AHU- VAV Replacement	25,000.00
PU Physics Bldg. B10-B13A Renovation – 2016	782,656.00
Rolls Royce	1,170,500.00
Nicholson Elementary	664,000.00
Ivy Tech NMC Freight Elevator	290,300.00
IUPUI Multi IDF Closet Upgrades 2016	167,800.00
Kokomo Central Middle School 2016	4,260,000.00
Purdue Football Complex Facility	1,723,863.00
VA Coumadin Site Prep Demo	255,000.00
IUPUI Health Science Building HVAC Basement to First Floor	268,800.00
IU Kokomo Library First Floor	663,780.00
Riehl-Riley Western Gateway	360,700.00
IU Jordan Hall Lab 313 – 315 Renovation	289,800.00

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Kokomo Maple Crest Middle School	3,250,000.00
VA Marion Site Package (Sub to Armcorp)	579,800.00
Stout Field Building 7	776,200.00
IU EHS & EOC Remodel BL327J/BL327K	638,335.00
Greenwood Middle School Concessions/Locker Building	707,600.00
Purdue Krannert 3rd Floor East End Renovation – 2016	895,800.00
Purdue Controlled Environment Phenotyping Facility	3,498,800.00
Northview High School & North Clay Middle School	4,647,500.00
Purdue Forney Hall Room G140 & Mech. Room 1061 Classroom –	489,800.00
2017 IU Wells Library Renovate 2nd Floor Administration Offices –	723,090.00
BL209 Indianapolis Collegiate Hardscape Package (Sub to Renascent)	434,950.00
IU Wells Library E. Tower 9th Floor Fine Arts	658,800.00
Purdue Wiley Hall East Activity Room for Student Success Reno – 2017	507,700.00
AT&T Window Replacement	32,100.00
IUPUI Medical Research & Library Renovate West Wing Labs &	13,275,000.00
Research VA C-WING, Correct Mechanical Deficiencies	32,800.00
Lafayette Tecumseh Jr, High School	5,762,500.00
IU Simon Music Library Recital Center – Cook Music Library	188,500.00
Hamilton Southeastern Admin Bldg. – BP #1 - Sitework	2,016,000.00
Rush County Sheriff's Office and Jail	1,451,470.00
Bartholomew County School Corp. Playground Improve	614,000.00
Ivy Tech Columbus Fire Sprinkler	462,800.00
BL 171 IU Auditorium	359,500.00
Southmont Jr/Sr High & New Admin. Bldg.	3,803,550.00
IU BL224 E. & 1514 E. 3rd Street Renov. For Admissions	907,500.00
AT&T TDS Tipton Building Demolition	65,800.00
Fishers 106th Street Force Main	234,700.00
Cargill Tipton Truck	875,500.00
Southmont Elem-NM, Ladoga, Walnut	2,224,900.00
IUPUI Taylor Hall Entrance	444,300.00
Broad Ripple Park – Conception Estimating	10,000.00
Rushville City Center BP 2	807,800.00
Ivy Tech Kokomo Campus BP 1 & 2	1,505,000.00
NAPA North Exterior MSD of Pike	2,360,000.00
Greater Lafayette Career Academy	4,915,549.00
IU Assembly Hall Men's Basketball	1,063,400.00
LOS-New Server Rack Room-Video	1,370,800.00
IUPUI Hine Hall Parking Garage	1,029,800.00
IUPUI University Hall – Philanthropy	230,000.00
Starkey Park – Zionsville, IN	80,975.00
Riley Park Pool Renovation	2,827,100.00
Abner Longley Park Splash Pad	443,800.00
PU Biochemistry	265,000.00
Anderson Garage AT&T	134,800.00
PU Beering Hall Room 2273	124,000.00
Kokomo Central Middle 2018	4,415,000.00
PU Fowler House Window	378,000.00
PU Gateway	175,000.00
IUPUI Lockefield Garage	240,000.00
IUPUI Emerson Hall Window	697,000.00
IU Memorial Stadium Locker	5,366,434.00
IU McCalla Window & Masonry	1,021,800.00
PU SEL	591,900.00

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Western Boone Jr./Sr High	543,600.00
Break-O-Day	358,700.00
Clark Elementary	345,000.00
Tri-North Middle School	6,922,818.00
Victory Field	163,000.00
Amy Beverland Elementary School	2,897,800.00
Indiana School for the Blind & Visually Impaired	809,800.00
George Washington HS – IPS	614,000.00
Clark Pleasant New Elementary	7,920,000.00
Franklin Township MOD Sidewalk Repair	7,100.00
Kessler Armory Maintenance, Repair and Modernization	4,554,000.00
New Castle High School Weight Room Renovation	950,000.00
PU Engineering & Polytechnic Gateway	1,037,500.00
IAA – Consolidated Snow Removal Equipment & Materials Storage Facility Phase	13,844,800.00
1 Bankers Life Fieldhouse Expansion Phase 1	17,740,000.00
IAA – Building 122 (Signature Hangar 5) Reclad	846,800.00
IU Maxwell Hall Renovation	1,044,800.00
IU Merrill Hall Window Replacement	469,800.00
VA-VCC (Veteran Centered Care)	91,000.00
Ball State University Scheumann Family Indoor Field Practice Facility	172,500.00
VA-APC (Anesthesia and Pain Clinic)	50,000.00
Camp Atterbury Bldg. 727	116,800.00
Grand Junction Plaza	1,341,000.00
Hendricks County Sheriff & Jail	5,524,300.00
PU Caesar Equine	285,800.00
Edgewood HS Pool	1,592,800.00
PU Brown Labs	554,400.00
Emmet J. Bean Federal Center - DFAS Interior Alteration	36,800.00
Bankers Life Fieldhouse Expansion - Phase 2&3 – BP 2105 – General Trades	13,821,000.00
Bankers Life Fieldhouse Exp. - Ph 2&3 - BP 2105 Gen. Trades (Sub to Purdy	52,000.00
Mason Bankers Life Fieldhouse Exp. - 2&3 - BP 2105 Gen Trades (Sub to	190,000.00
Renascent) Bankers Life Fieldhouse Exp. 2&3 BP 2105 Window Treatments	671,500.00
Bankers Life Fieldhouse Exp. - 2&3 - BP 2250 Metal Panels	946,500.00
Community Justice Campus Site Finishing - Landscaping Package	5,119,800.00
Community Justice Campus Site Finishing - Site Fencing Package	1,198,800.00
GSA Emmet J. Bean Federal Center - Sanitary Waste Line Replacement	61,975.00
Indiana School for the Deaf - Sanitary Waste Line Replacement (Sub to Harrell-	101,800.00
Fish) BDHS Area 31 Bake Shop (Sub to Powers & Sons)	587,700.00
16 Tech Parking Garage (Sub to FA Wilhelm Construction)	518,000.00
Covance INDY Site Security (Sub to Messer Construction)	153,000.00
IUPUI IN030 Fessler Hall Suite 302/318 Renovation	819,800.00
IPS Interior & Exterior Hardening	560,000.00
Bankers Life Fieldhouse Expansion BP #2500-03 Display Cases	508,000.00
BL439 IU McNutt Central Dining - Starbucks	318,800.00
MSDWT Administration Building Phase 2	1,721,936.00
Banker Life Fieldhouse Exp. - 2&3 - BP 2105 (Sub to Santarossa)	112,000.00
Westlane Middle School MSD Washington Township	458,800.00
Ivy Tech Bane Agriculture Technology Center	167,600.00
Greenbriar Elementary	2,465,800.00
Bankers Life Fieldhouse Elevator & Escalator (Sub to Otis Elevator)	104,704.00
IU Health North ICU Renov.	27,000.00
PU Hovde Hall Main Exterior Door Replacement - 2021	72,200.00
Glendale Library - BC #2 - Concrete	813,000.00
Butler E-Sports - Butler University	478,670.00
MHP Intelliplex Building 2nd Floor Buildout	319,500.00

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Lawrence Central High School Pool	6,520,000.00
PU Lynn Hall Rooms B194, B196, & B196A Lab Renovation	262,000.00
PU Beering Hall Room 2208 Renovations - 2022	187,000.00
Eskenazi Health Blackburn	21,000.00
Lawrence Fire Department - Fire Station 38	5,771,000.00
Carmel High School Natatorium Additions & Renovations	20,401,000.00
Monon Trail Elementary Softball Complex - Westfield	3,388,200.00
Greenfield Central High School Auditorium	8,452,300.00
Eskenazi Health Center East 38th Street	1,303,000.00
Damien Center Headquarters Building	5,169,450.00
PU Stewart Center Restroom 044 ADA Renovation 2022	132,200.00
Eastridge Elementary School Additions & Renovations	5,266,400.00
Eskenazi Grassy Creek Renovations	755,400.00
PU Zucrow Lab	306,200.00
PU Mackey Arena Locker Rooms	781,500.00
Fishers Event Center - BP 32B Concrete Paving & Widewalks	2,890,900.00
PU Schleman Hall Restrooms	204,100.00
IPS Miller School #114	150,000.00
PU Lyles-Porter Hall Multiple 2nd Floor Room Renovations 2023	396,700.00
Carmel High School Polytechnic Addition & Renovation	4,234,600.00
PU Hovde Hall Exterior Door Replacement - 2023	278,000.00
PU Memorial Union PFCU Move/Expansion 2023	769,500.00
IUPUI Bryce Building Interior Bulldozer Floor 2 & 3 IN142B	1,399,000.00
IPS George Washington Carver School #87	5,315,700.00
The Riviera Club Youth Pool & Equipment Building	486,500.00
IPS Carl Wilde #79	1,745,500.00
IPS George Julian #57	590,600.00
Madison County Sheriff's Office & Detention Center	18,128,000.00
Midland Crossing Elementary School	10,523,300.00
PU Whistler Hall Conference Room 116 Hybrid Technology Upgrade -	65,000.00
2024 Westfield Middle School West	7,522,800.00
Indianapolis Convention Center Hotel & Ballrooms BP#5	5,038,500.00
Terminal Connected Airport Hotel	2,850,000.00
PU Daniels School of Business	2,778,500.00
Indianapolis Emergency Medical Services	2,565,000.00
Lucas Oil Stadium (Sub to Consolidated Flooring)	120,000.00
Co-Location IERC & Services - General Trades	1,066,000.00
ITCC Restructure NMC Phase 3	457,000.00
ITCC NMC Wrap-Around Student Services Office	347,000.00
Lafayette FMS #14 Modernization - Indiana Army National Guard	2,570,000.00



BID PACKAGE 32D – SITE FURNISHINGS BID FORM

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: Verkler, Inc.
 Address: 7240 Georgetown Road, Indianapolis, IN 46268
 Contact: James M. Lusk
 Phone: 317-297-7054
 Email: jmlusk@verkler.com
 Date: 06/03/2026
 State License Number (if applicable): #C1742900

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID:
 Total Bid price for all work, complete, in accordance with the Bidding Documents:
 Bid Amount (in words): NINE HUNDRED EIGHT THOUSAND THREE HUNDRED EIGHTY TWO
 Dollars: \$ 908,382.00

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)	
a. Trash & Recycling Receptacles	\$ <u>45,791</u>
b. Wood Parklet Benches	\$ <u>152,035</u>
c. Swings	\$ <u>45,794</u>
d. Terrace Seating & Planters	\$ <u>71,596</u>
e. Planters	\$ <u>158,584</u>
f. Fire Pits	\$ <u>40,777</u>
g. Coffee Tables	\$ <u>40,111</u>
h. Post & Panel Pylon Signage	\$ <u>18,754</u>
i. Deck Steps & Railings	\$ <u>24,315</u>
2. Plaza (Plan Area D)	
a. Trash & Recycling Receptacles	\$ <u>48,023</u>
b. Terrace Platforms	\$ <u>60,674</u>

c. Dining Tables & Chairs	\$ <u>69,085</u>
d. Café Tables & Chairs	\$ <u>47,467</u>
e. Bar Tables & Chairs	\$ <u>42,854</u>
f. Chairs	\$ <u>24,067</u>
g. Fire Pit Stones	\$ <u>18,455</u>
3. Miscellaneous Items	\$ <u>0</u>
4. Total Base Bid Amount	\$ <u>908,382</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
 ADD / DEDUCT \$ 9,000.00
2. Alternate #2: Voluntary Alternate: N/A
 ADD / DEDUCT \$ _____
3. Alternate #3: Voluntary Alternate: N/A
 ADD / DEDUCT \$ _____
4. Alternate #4: Voluntary Alternate: N/A
 ADD / DEDUCT \$ _____

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

Addendum No. <u>1</u>	Dated <u>5/22/26</u>
Addendum No. <u>2</u>	Dated <u>5/29/26</u>
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

- F. Information to be provided with Bid Proposal:
 1. Bid Package 32D Site Furnishings – Bid Form
 2. Bid Form Attachment 1 – Combined Bid (if applicable)
 3. Bid Form Attachment 2 – Supplemental Bid Information
 4. Subcontractor/Supplier Qualification Form
 5. Contractor’s Bid for Public Work – Form 96
- G. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as



specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: James M. Lush
(Member of Firm Authorized to Sign Bid)

Title: President

Date: 06/03/2026



BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Verkler, Inc. DATE: 06/03/2026

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Combined Bid Amount: Dollars \$ _____

- A. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: 
 (Member of Firm Authorized to Sign Bid)

Title: President

Date: 06/03/2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Verkler, Inc. DATE: 06/03/2026

BID PACKAGE: 32D Site Furnishings

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>RYAN ALBRIGHT / EXECUTIVE VICE PRESIDENT</u>	<u>25%</u>
<hr/>	<hr/>
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<hr/>	<hr/>

B. MAJOR EQUIPMENT (individual pieces of equipment over \$10,000.00)

Equipment and Manufacturer	Quantity	Lead Time
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>
<hr/>	<hr/>	<hr/>



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

Signed By: James M. Zed
(Member of Firm Authorized to Sign Bid)

Title: President Date: 06/03/2026

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name: Verkler Inc					Date: 05-11-2026	
Street Address: 7240 Georgetown Road			Mailing Address: SAME			
City: Indianapolis	State: IN	Zip: 46268	City:	State:	Zip:	
<i>Former Business Name (if applicable):</i>						
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Telephone: 317-297-7054		Fax: 317-298-7045		Website Address: verkler.com		
Contractor's License #: C1742900		State: Indiana		Expiration: 12-31-2026		
State Sales Tax Registration #: 0001844423-001		State Unemployment #: 23571		Federal ID #: 35-0982166		
Primary Contact Info						
Contact Name: Corey Lusk			Title: Estimator			
Telephone: 317-297-7054			Location: Main			
Email: cjusk@verkler.com						
Secondary Contact Info (If applicable)						
Contact Name: C. Luke Sanders			Title Accounting/Payroll Manager			
Telephone: 317-297-7054			Location: Main			
Email: lsanders@verkler.com						
Contractor Type	<input checked="" type="checkbox"/> General Contractor <input type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) LiLUNA - Indiana (Laborers) 4.) _____ 2.) Central Midwest Carpenters 5.) _____ 3.) Cement Masons Local 692 6.) _____			
Contract Size			Area of Operation			
-Maximum contract amount your company can effectively manage? (\$) <u>15,000,000</u>			<input checked="" type="checkbox"/> Metro Indianapolis <input checked="" type="checkbox"/> Indiana <input checked="" type="checkbox"/> Central Indiana <input type="checkbox"/> NE Indiana <input type="checkbox"/> NW Indiana <input type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois <input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International			
-What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) <u>6,623,608.00</u>						
-Largest Project completed in the past 3 years? (\$) <u>8,282,508.19</u>						
-What percentage of work does your company sub-contract on a typical job? (\$) <u>45%</u>						

Licenses/Product Certifications (*)

State License Numbers	City License Number
Indiana Department of Administration (IDOA) License Number <u>N/A</u> Expiration Date <u>05/25/2028</u>	City of <u>Indianapolis</u> License Type: <u>Contractor License</u> License Number <u>C1742900</u> Expiration Date <u>12/31/2026</u>
Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____	City of _____ License Type: _____ License Number _____ Expiration Date _____
<i>(*) Please attach current IDOA and/or INDOT Certification</i>	<i>(*) Please attach current City Certification and/or license</i>

() If requested, please provide any documentation which substantiates licenses.*

Trade Specific License

Trade <u>General Contractor</u>	Trade _____
License Number <u>C1742900</u>	License Number _____

() If requested, please provide any documentation which substantiates trade licenses.*

Safety Questionnaire (*)

Part 2

OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025	.76	0	0	0
2024	.75	3.07	3.07	0
2023	.73	0	0	0
2022	.91	3.32	3.32	0
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025	0	0	0	
2024	0	7	1	
2023	0	0	0	
2022	0	1	1	
<i>Totals</i>	0	8	2	

Do you have an OSHA compliant safety program in place? Yes No

Do you have a designated safety officer at your company? Yes No

Does this person conduct safety inspections on all job site(s)? Third Party Safety Company - Safety Management Group Yes No

Have you implemented a hazardous communication plan(s)? Yes No

Have you implemented a drug testing program? Yes No

Do you have a light-duty program? Yes No

Do you review the safety procedures, and history of any sub-contractor you work with? Yes No

Do you provide safety training to all employees? Yes No

Would you allow an audit of your company manuals relating to safety policy/procedure? Yes No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:
Third Party Safety Training Provided by OSHA Approved Vendor, and Rental Company on specific equipment

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:
N/A

*(*If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.*

(To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.*

Insurance Information (*)		Part 3
Insurance Agency: The MJ Cos	Phone: () 317-805-7551	
Insurance Contact Name: Griffin Blackman	Fax: () 317-805-7515	
Street Address: 571 Monon Blvd., Suite 400		
City: Carmel	State: IN	Zip: 46032

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 1,000,000	\$0	01/01/2027
General Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 2,000,000	\$10,000	01/01/2027
Excess Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 10,000,000	\$0	01/01/2027
Auto Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 1,000,000	\$1,000	01/01/2027
Professional Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Berkley	(\$) 2,000,000	\$25,000	01/01/2027
Other	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Travelers	(\$) 100,000 - Rent/Leased	\$1,000	01/01/2027

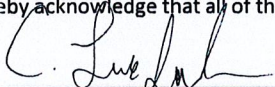
*(*If requested, please include a copy of your current insurance certifications*

Banking/Financial (*)		Part 4	
Bank Name: Centier Bank		Contact Name: Brad Duncan	
Phone: () 317-634-0243		Line of Credit Amount: (\$) 0	
Amount Available: (\$) 0		Secured: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Description of Collateral: N/A		Personal <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
What is your current backlog of work? \$17,000,000		D-U-N-S #: 003804317	
Please provide annual revenue for the past 3 years			
Year	2025	2024	2023
Revenue	(\$) 20,446,000	(\$) 20,231,086	(\$) 20,681,346
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>			

(*)If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.

Bonding/Surety Information (*)		Part 5	
Agent's Name: Gregory & Appel		Bonding/Surety Company: CNA Surety	
Phone: () 317-686-6461		Bonding Capacity: Total: (\$)40,000,000 Per Job: (\$) 20,000,000	
Personal Guarantee: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Dollar value of bonded work on hand: (\$) 13,500,000	

(*)If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.

Authorization
I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.


(*) By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)

Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): 06/03/2026

1. Governmental Unit (Owner): City of Westfield
2. County : Hamilton
3. Bidder (Firm): Verkler, Inc.
Address: 7240 Georgetown Rd.
City/State/ZIPcode: Indianapolis, IN 46268
4. Telephone Number: (317)297-7054
5. Agent of Bidder (if applicable): N/A

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield Park St. Improvements - Bid Event #3

(Governmental Unit) in accordance with plans and specifications prepared by _____

Rundell Ernstberger Associates and dated 04/30/2026 for the sum of

(see attached) \$ 908,382

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS

(If applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, 2026, subject to the following conditions: _____

Contracting Authority Members:

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: City of Westfield

Bidder (Firm) Verkler, Inc.

Date (month, day, year): 06/03/2026

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
3,089,163.08	General Trades	2025	Westfield YMCA, Westfield IN
5,767,061.98	New Construction	2025	Lebanon Elementary, Lebanon IN
5,241,527.23	New Construction	2025	Shelby Eastern, Morristown, IN
5,950,793.79	General Trades	2025	Sugar Grove, Greenwood, IN

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
6,966,267.00	New Construction	2027	Westfield PD, Westfield IN
5,199,414.00	General Trades	2026	DPW Sanitation, Indianapolis IN
2,851,526.72	General Trades	2026	IPS TC Howe, Indianapolis IN
8,263,093.19	New Construction	2026	Shamrock Springs, Westfield, IN

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

Weaver Popcorn

6353 Commerce Dr.

Lebanon, IN 46052

Jeff White

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

General procedures with safety of the utmost concern.

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

See attached.

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

N/A

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

Necessary and required equipment for the project.

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

We have received proposals, however no contracts have been written.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

SECTION IV CONTRACTOR'S NON – COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to include anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

SECTION V OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

Dated at Indianapolis this 3rd day of June, 2026

Verkler, Inc.
(Name of Organization)

By *James M. Lusk*
James M. Lusk, President
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF Indiana)
) ss
COUNTY OF Marion)

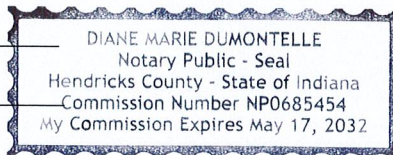
Before me, a Notary Public, personally appeared the above-named James M. Lusk and swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this 3rd day of June, 2026.

Diane Dumontelle
Notary Public

My Commission Expires: 05/17/2032

County of Residence: Hendricks



Verkier Incorporated
Subcontractor List

Division	Company	Address	City	State	Zip	Phone	Fax
2	Capitol City Fence	920 E. Ohio St.	Indianapolis	IN	46202	317 638-3381	317 686-2233
2	Harco Asphalt Paving	1650 Harco Way	Indianapolis	IN	46217	317 786-8356	317 786-6881
2	Milestone Contractors LP	5950 S. Belmont Ave.	Indianapolis	IN	46217	317 788-6885	317 788-6925
4	Broadly-Campbell Inc.	2115 Dr. Andrew J. Brown Ave.	Indianapolis	IN	46202	317 925-4261	(317) 925-4263
4	Complete Masonry Services Inc.	PO Box 236	Yorktown	IN	47396	765 759-8966	765 759-8928
4	Davenport Masonry Inc.	7160 Graham Rd, Suite B	Indianapolis	IN	46250	317 200-3833	317 200-3834
4	Don Scharer Masonry	4737 S.R. 43 North	West Lafayette	IN	47906	765 463-3911	765 463-6120
4	Hagerman Construction	10315 Allisonville Road	Fishers	IN	46038	317 577-6836	317 713-0634
4	Purdy Masonry Inc.	7601 Indianapolis Rd	Zionsville	IN	46077	317 769-4673	317 769-4693
4	Rock Solid Masonry	299 Moorman Rd	Bloomington	IN	47403	812 824-9505	812 824-9510
5	Almet Inc.	300 Hartzel Rd.	New Haven	IN	46774	260 493-1556	260 493-1299
5	Century Steel Fabricating Inc.	4421 E. N. County Line Road	Camby	IN	46113	317 834-1295	317 834-1579
5	Geiger & Peters Inc.	761 S. Sherman Dr.	Indianapolis	IN	46203	317 359-9521	317 359-9525
5	Marion Steel Fab	2301 S. Western Ave.	Marion	IN	46952	765 664-1478	765 662-9052
5	Stone City Ironworks	1771 US Hwy 50 East	Bedford	IN	47421	812 279-3023	812 279-2005
6	Davis & Associates	2852 N. Webster Ave.	Indianapolis	IN	46202	317 263-9947	317 238-9209
6	BC Countertops / SESCO Millwork, Inc.	1222 N. Pennsylvania St.	Indianapolis	IN	46202	317 713-4268	317 637-4426
6	Chisholm Arch. Millwork	3535 Roosevelt Ave.	Indianapolis	IN	46218	317 547-3535	317 547-3537
7	Hinshaw Roofing & Sheet	2452 S. State Rd. 39	Frankfort	IN	46041	765 659-3311	765 659-5390
7	Horning Roofing and Sheet Metal, LLC	2340 Enterprise Park	Indianapolis	IN	46218	317 636-9128	317 636-9134

Verkler Incorporated
Subcontractor List

7	Shaffner Heaney Associates	6330 E. 75 th St. Suite 144	Indianapolis	IN	46250	317 842-6090	317 842-6135
7	Spohn Associates Inc.	7150 Winton Dr. Suite 100	Indianapolis	IN	46268	317 921-0021	317 921-2454
8	Central Indiana Hardware	9190 Corporation Dr.	Indianapolis	IN	46256	317 558-5700	317 558-5711
8	Delaware Glass & Mirror Co., Inc.	4341 W. Williamsburg Blvd.	Muncie	IN	46239	765 282-9539	765 282-9576
8	Hoosier Glass Co. Inc.	562 S. Post Rd	Indianapolis	IN	46239	317 897-1818	317 897-1806
8	Mulhaupts, Inc.	8227 Northwest Blvd	Indianapolis	IN	46278	317 228-9470	317 228-9479
8	Professional Garage Door	2707 E. Main St.	Plainfield	I	46168	317 839-3050	317 838-3528
9	American Art Mosaic & Tile	3220 S. Arlington Suite D	Indianapolis	IN	46227	317 786-2658	317 786-3551
9	Blakley Corporation	8060 E. 88 th Street	Indianapolis	IN	46250	317 842-9600	317 841-3651
9	Bourma Betten of Indiana	216 Farabee Drive	Lafayette	IN	47905	765 447-5009	765 447-1799
9	Cincinnati Floor Company	8320 Brookville Rd., Suite M	Indianapolis	IN	46239	317 357-3562	317 357-3338
9	Circle B Company Inc.	5636 Meridian St.	Indianapolis	IN	46217	317 787-5746	317 780-2654
9	Gibson-Lewis of Indianapolis	5366 Rock Hampton Crt	Indianapolis	IN	46268	317 876-7054	317 876-0827
9	Interior Specialties	7215 Thompson Rd	Indianapolis	IN	46239	317 862-3134	317 862-3087
9	Martin Flooring Co.	7828 St. Andrews Church Rd	Louisville	KY	40214	502 935-3831	502 935-2074
9	Performance Contracting	9810 Mayflower Park Suite #100	Carmel	IN	46032	317 872-4812	317 334-5872
9	Perry Acoustics Inc.	701 E. Bridge St.	Mooreville	IN	46158	317 831-3454	317 834-3210
9	Rosema Corporation	PO Box 8949	Fort Wayne	IN	46898	260 482-6501	260 482-6510
9	Indy Walls & Ceilings Inc.	1740 Wales Avenue	Indianapolis	IN	46218	317 352-9215	317 351-9629
9	Santarossa Mosaic & Tile Co.	2707 Roosevelt Ave.	Indianapolis	IN	46218	317 632-9494	317 631-5567

Verkler Incorporated
Subcontractor List

9	Chance Bros Marble & Tile Inc. (9.3 & 9.6)	114 W. McCarty St.	Indianapolis	IN	46225	317 635-7531	317 636-8976
9	EF Marburger (9.3 & 9.6)	9999 N. Allisonville Rd.	Fishers	IN	46038	317 841-7250	317 841-7260
9	Kiefer Specialty Flooring	2910 Falling Waters Blvd	Lindenhurst	IL	60046	847 245-8450	847 245-8589
9.9	Bill Lawrence Paint Co.	221 N. College	Indianapolis	IN	46202	317 632-0363	317 685-0517
9.9	Odle Inc.	2560 W. Kilgore	Muncie	IN	47304	765 288-3611	765 288-7673
9.9	Diversified Painting Co. Inc.	1681 Expo Lane, Suite A	Indianapolis	IN	46214	317 209-9899	317 209-9886
10	Wilson-Partenheimer	2818 E. 55th Place	Indianapolis	IN	46220	317 251-4541	317 255-5383
10	A&M Specialties, Inc.	1810 S. Lynhurst Drive Suite R.	Indianapolis	IN	46241	317 228-9170	317 228-9190
11	Bushong Restaurant Equipment	422 East Bacon Street	Dayton	OH	45402	937 224-7253	937 224-4140
11	C & T Design & Equipment	2750 Tobey Drive	Indianapolis	IN	46219	317 898-9602	317 899-8753
11	Indiana Restaurant Equipment	PO Box 1004	Warsaw	IN	46580	574 267-3288	574 267-8299
11	Wassstrom Company	1949 Needmore Road	Dayton	OH	45414	937 222-2020	937 222-5122
11	Stafford-Smith	3414 S. Burdick	Kalamazoo	MI	49001	269 343-1240	269 343-1284
12	Lee Company Inc.	27 South 12 th St.	Terre Haute	IN	47807	812 235-8155	812 235-3587
12	DECO Associates Inc.	7225 E. 87 th Street	Indianapolis	IN	46256	317 842-4444	317 842-5588
12	Westmark Products Inc.	14980 Hwy 135 N. E.	Palmyra	IN	47164	812 364-4708	253 536-0156
15	Dalmation Fire Inc.	5670 W. 73 rd St.	Indianapolis	IN	46278	317 299-3889	317 299-4078
15	DEEM, LLC	6831 E. 32nd St., Suite 200	Indianapolis	IN	46226	317 860-2990	317 860-2808
15	Downtown & West Mechanical	1402 Commerce Ave.	Indianapolis	IN	46201	317 638-5970	317 637-2154

Verkier Incorporated
Subcontractor List

15	Ferrer Mechanical Services, Inc	540 Ransdell Road	Lebanon	IN	46052	765 482-4635	765 482-4266
15	General Piping Inc.	P.O. Box 34367	Indianapolis	IN	46234	317 388-0552	317 388-0554
15	Greiner Bros.	6161 English Ave.	Indianapolis	IN	46219	317 356-0926	317 356-9302
15	Grunau Company	4341 W. 96 th St.	Indianapolis	IN	46268	317 872-7360	317 872-2133
15	ICS Mechanical – Industrial	6191 W. 400 N	Greenfield	IN	46140	317 894-1955	317 894-1954
15	Johnson Melloh Inc.	5925 Stockberger Place	Indianapolis	IN	46241	317 244-5993	317 243-5777
15	Quality Plumbing & Heating	120 E. McKinley	Bunker Hill	IN	46914	765 689-9175	765 689-8512
15	R. E. Griesemer Inc.	51 West Raymond St	Indianapolis	IN	46222	317 638-4344	317 264-1165
15	Rescue Fire Protection	3838 S. Arlington Ave.	Indianapolis	IN	46203	317 786-9817	317 786-9820
15	United Mechanical Contractors	13801 Springmill Rd.	Carmel	IN	46032	317 844-8283	317 758-6033
16	Custer Electric, Inc	1744 East 800 North	Rushville	IN	46903	765 645-5511	765 645-5013
16	Huston Electric (Kokomo)	PO Box 904	Kokomo	IN	46173	765 457-9137	765 459-4116
16	Lafever Electric	131 N. Range Line Rd.	Carmel	IN	46032	317 846-4687	317 844-7943
16	Payne Electric Co. Inc.	4945 W. Raymond St.	Indianapolis	IN	46241	317 240-3264	317 244-7435
16	Larjac Electric Inc.	6131 E. 30 th St.	Indianapolis	IN	46219	317 542-1369	317 549-0926
16	Sidney Electric Company	3100 E. CR 350 N	Muncie	IN	46219	765 284-1594	

BID OF

Verkler, Inc. _____
(Contractor)

7240 Georgetown Road _____
(Address)

Indianapolis, IN 46268 _____

FOR

PUBLIC WORKS PROJECTS

OF

City of Westfield Park St. Improvements - Bid Event #3

Filed _____

Action taken _____

VERKLER, INC.
FINANCIAL STATEMENTS
AND
SUPPLEMENTARY INFORMATION
DECEMBER 31, 2024 AND 2023

CPAs / ADVISORS



VERKLER, INC.

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DECEMBER 31, 2024 AND 2023

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REVIEW REPORT OF INDEPENDENT ACCOUNTANTS

Board of Directors
Verkler, Inc.
Indianapolis, Indiana

We have reviewed the accompanying financial statements of Verkler, Inc. (the Company), which comprise the balance sheets as of December 31, 2024 and 2023, and the related statements of income and retained earnings, and cash flows for the years then ended, and the related notes to the financial statements. A review includes primarily applying analytical procedures to management's financial data and making inquiries of the Company's management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, we do not express such an opinion.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of the financial statements that are free from material misstatement whether due to fraud or error.

Accountant's Responsibility

Our responsibility is to conduct the review engagements in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the American Institute of Certified Public Accountants. Those standards require us to perform procedures to obtain limited assurance as a basis for reporting whether we are aware of any material modifications that should be made to the financial statements for them to be in accordance with accounting principles generally accepted in the United States of America. We believe that the results of our procedures provide a reasonable basis for our conclusion.

We are required to be independent of the Company and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements related to our reviews.

Accountant's Conclusion

Based on our reviews, we are not aware of any material modifications that should be made to the accompanying financial statements in order for them to be in conformity with accounting principles generally accepted in the United States of America.

**REVIEW REPORT OF INDEPENDENT AUDITORS
(CONTINUED)**

Supplementary Information

The supplementary information included on page 15 is presented for purposes of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from, and relates directly to, the underlying accounting and other records used to prepare the financial statements. The supplementary information has been subjected to the review procedures applied in our review of the basic financial statements. We are not aware of any material modifications that should be made to the supplementary information. We have not audited the information and, accordingly, do not express an opinion on such information.

Blue & Co., LLC

Carmel, Indiana
February 14, 2025

VERKLER, INC.**BALANCE SHEETS
DECEMBER 31, 2024 AND 2023****ASSETS**

	<u>2024</u>	<u>2023</u>
Current assets		
Cash	\$ 2,297,299	\$ 2,072,468
Receivables	3,299,121	2,363,476
Contract assets	<u>1,629,801</u>	<u>920,965</u>
Total current assets	7,226,221	5,356,909
Property and equipment, net	197,777	109,841
Cash surrender value of life insurance	<u>5,998</u>	<u>5,085</u>
	<u>\$ 7,429,996</u>	<u>\$ 5,471,835</u>

LIABILITIES AND STOCKHOLDERS' EQUITY**Liabilities**

Accounts payable		
Open accounts	\$ 3,140,880	\$ 1,220,717
Retainage	948,717	386,810
Contract liabilities	839,317	1,424,107
Accrued expenses	<u>45,346</u>	<u>45,528</u>
Total liabilities	4,974,260	3,077,162

Stockholders' equity

Common stock, no par value; 20,000 shares authorized, 17,967 shares issued and outstanding	1,900,699	1,900,699
Retained earnings	<u>555,037</u>	<u>493,974</u>
Total stockholders' equity	<u>2,455,736</u>	<u>2,394,673</u>
	<u>\$ 7,429,996</u>	<u>\$ 5,471,835</u>

*See review report of independent accountants and
accompanying notes to financial statements.*

VERKLER, INC.STATEMENTS OF INCOME AND RETAINED EARNINGS
YEARS ENDED DECEMBER 31, 2024 AND 2023

	<u>2024</u>	<u>2023</u>
Contract revenues earned	\$ 20,231,086	\$ 20,681,346
Cost of contract revenues	<u>17,504,668</u>	<u>17,372,920</u>
Gross profit	2,726,418	3,308,426
Indirect construction costs	1,257,534	1,219,174
General and administrative expenses	<u>790,945</u>	<u>862,981</u>
Income from operations	677,939	1,226,271
Other income (expense)		
Interest income	<u>54,049</u>	<u>22,811</u>
Net income	731,988	1,249,082
Retained earnings, beginning of year	493,974	81,428
Dividends	<u>(670,925)</u>	<u>(836,536)</u>
Retained earnings, end of year	<u>\$ 555,037</u>	<u>\$ 493,974</u>

*See review report of independent accountants and
accompanying notes to financial statements.*

VERKLER, INC.STATEMENTS OF CASH FLOWS
YEARS ENDED DECEMBER 31, 2024 AND 2023

	<u>2024</u>	<u>2023</u>
Operating activities		
Net income	\$ 731,988	\$ 1,249,082
Adjustments to reconcile net income to net cash flows from operating activities:		
Depreciation	55,678	50,160
Gain on sale of property and equipment	(17,192)	-0-
Increase in cash surrender value of life insurance	(913)	(606)
Changes in assets and liabilities:		
Receivables	(935,645)	(689,358)
Contract assets	(708,836)	73,712
Accounts payable	2,482,070	(570,941)
Contract liabilities	(584,790)	749,496
Accrued expenses	(182)	(31,001)
Net cash flows from operating activities	<u>1,022,178</u>	<u>830,544</u>
Investing activities		
Proceeds from sale of property and equipment	17,192	-0-
Capital expenditures	(143,614)	(10,730)
Net cash flows from investing activities	<u>(126,422)</u>	<u>(10,730)</u>
Financing Activities		
Dividends	(670,925)	(836,536)
Net change in cash	224,831	(16,722)
Cash, beginning of year	<u>2,072,468</u>	<u>2,089,190</u>
Cash, end of year	<u>\$ 2,297,299</u>	<u>\$ 2,072,468</u>

See review report of independent accountants and
accompanying notes to financial statements.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Description of Business Activities

Verkler, Inc. (the Company) is a general contractor engaged in the construction of commercial, industrial, institutional, and educational buildings in Indiana and surrounding states. The Company's headquarters is located in Indianapolis, Indiana.

The Company's contracts are generally performed under fixed-price contracts, cost-plus-fee contracts, and fixed-price contracts modified by incentive and penalty provisions. Work on contracts is performed by specialty subcontractors generally under the terms of fixed-price subcontracts with the Company. The Company also manages, for a fee, construction projects for others. The length of its contracts varies but are generally more than one year.

In connection with its construction activities, the Company may be required to acquire performance bonds. The surety issuing the bonds has recourse against the Company's assets in the event the surety is required to honor the bonds. It is the Company's practice to require performance bonds from its significant subcontractors.

The significant accounting policies followed by the Company in the preparation of its financial statements are as follows:

Estimates

Management uses estimates and assumptions in preparing these financial statements in accordance with accounting principles generally accepted in the United States of America. Those estimates and assumptions affect the reported amounts of assets and liabilities, the disclosure of contingent assets and liabilities, and the reported revenues and expenses. Actual results could vary from the estimates that were used.

Balance Sheet Classification

The Company includes in current assets and liabilities retainage amounts receivable and payable under construction contracts, which may extend beyond one year. A period of one year from the balance sheet date is used as the basis for classifying all other current assets and liabilities.

Receivables

Receivables represent net amounts billed to customers based on performance of contractual terms. Amounts billed, excluding retainage, are generally due 30 days after issuance of the invoice. Retainage, which is a component of contract assets, is generally due following substantial completion of the project, or earlier as project milestones are met.

Allowance for Credit Losses

In evaluating the need for an allowance for credit losses, management reviews receivables and contract assets, including retainage receivables, by customer and by project. Management

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

estimates the allowance for credit losses based on an evaluation of the Company's historical losses, the aging of receivables, current and forecasted economic conditions, and other factors unique to the Company's customer base. Balances are written off against the allowance when management determines the amounts are uncollectible. Management has determined no allowance for credit losses on receivables or contract assets was required at December 31, 2024 and 2023.

Revenue and Cost Recognition

The Company recognizes contract revenues for financial reporting purposes over time, as performance obligations are satisfied, due to the continuous transfer of control to the customer. Construction contracts are generally accounted for as a single unit of account (a single performance obligation), and are not segmented between types of services. Progress toward completion of the Company's contracts is measured by the percentage of costs incurred to date to estimated total costs for each contract. This method is used because management considers cost incurred to be the best available measure of revenues earned on uncompleted contracts.

Because of the inherent uncertainties in estimating the percentage of contract revenues earned and final contract revenues (including change orders approved as to scope, but unapproved as to price) being subject to customer approval, it is at least reasonably possible that the Company's estimates of costs and revenues may significantly change in the near term.

Contracts may include additional consideration or penalties that depend on the Company's performance, and which would impact the revenue to which the Company is entitled. For performance bonuses or contractual penalties based on objective criteria, such as meeting or failing to meet specified construction deadlines, the Company estimates the amount of consideration to be earned or penalty to be incurred based on historical experience for similar projects. If weather conditions, lack of historical experience for similar projects, or other factors create uncertainty about the amount to which the Company expects to be entitled, the Company recognizes revenue at an amount that will not result in a significant reversal of revenue when the uncertainty is resolved. Performance contractual provisions based on subjective criteria are generally recognized as revenue only upon customer approval.

Cost of contract revenues include all direct labor and related expenses, subcontractor and other direct costs related to contract performance. Indirect construction costs, such as depreciation, other equipment costs and insurance, and general and administrative expenses are charged to expense as incurred.

Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in estimated job profitability resulting from variable consideration (such as incentives for completing a contract early or on time, penalties for not completing a contract on time, claims for which the Company has enforceable rights, or contract modifications/change orders in which the scope of modification has been approved, but the price has not been determined or approved) are accounted for as changes in estimates in the current period, but limited to an amount that will not result in a significant reversal of revenue recognized to date.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Contract Assets and Liabilities

Contract assets represent revenues recognized in excess of amounts billed to customers, plus retainage receivables. Contract liabilities represent amounts billed to customers in excess of revenues recognized.

Practical Expedients

If the Company has a right to consideration from a customer in an amount that corresponds directly with the value of the Company's performance completed to date (such as a contract in which the Company bills a fixed amount for each hour of service provided), the Company recognizes revenue in the amount to which it has a right to invoice for services performed. The Company does not adjust the contract price for the effects of a significant financing component if the Company expects, at contract inception, that the period between when the Company transfers a service to a customer and when the customer pays for that service will be one year or less.

The Company has made an accounting policy election to exclude from the measurement of the transaction price all taxes assessed by governmental authorities that are collected by the Company from its customers. The Company has made an accounting policy election to recognize the incremental costs of obtaining a contract as an expense when incurred if the amortization period of the asset that the entity otherwise would have recognized is one year or less.

Warranties

The Company generally provides limited warranties for work performed under its construction contracts. The warranty periods typically extend for a limited duration following substantial completion of the Company's work on a project. Historically, warranty claims have not resulted in material costs incurred, and any estimated costs for warranties are included within accrued expenses.

Property and Equipment and Depreciation

Property and equipment are recorded at cost. Major repairs to property and equipment are capitalized while minor repairs are expensed as incurred. The Company depreciates property and equipment using the straight-line method over the estimated useful service lives of the related assets, as follows:

<u>Description</u>	<u>Ranges of useful lives</u>
Office furniture and equipment	5 - 10 years
Computer equipment and software	3 - 5 years
Vehicles	5 years
Construction equipment	5 - 10 years
Leasehold improvements	10 - 40 years

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Impairment of Long-Lived Assets

The Company reviews long-lived assets for impairment whenever events or circumstances indicate that the carrying value of such assets may not be fully recoverable. Impairment is present when the sum of undiscounted estimated future cash flows expected to result from use of the assets is less than their aggregate carrying value. If impairment is present, the carrying value of the impaired asset is reduced to its fair value. There was no impairment loss recognized for long-lived assets during the years ended December 31, 2024 and 2023.

Private Company Accounting Alternative

The Company adopted an accounting alternative which permits private companies to not apply variable interest entity guidance to certain commonly controlled entities. The Company has further disclosed the nature and risks associated with its involvement with legal entities under common control in Note 5 to the financial statements.

Income Taxes

The Company's stockholders have elected to be taxed under the provisions of Subchapter S of the Internal Revenue Code. Under these provisions, net taxable income (including any adjustments arising from an examination by a taxing jurisdiction) is taxed directly to the stockholders individually and not the Company, and any tax credits are utilized by the stockholders individually, and not the Company. Accordingly, the accompanying financial statements do not include any provision for federal or state income taxes.

If it is probable that an uncertain tax position will result in a material liability payable at the Company reporting level, and the amount of the liability can be estimated, then the estimated liability is accrued. As of December 31, 2024 and 2023, there were no material uncertain tax positions at the Company reporting level.

The Company has filed its federal and state income tax returns for periods through December 31, 2023 and is subject to routine audits by taxing jurisdictions. As of the date the financial statements were available to be issued, there were no audits for any tax periods in progress. Income tax returns are generally open for examination by the relevant taxing authorities for a period of three years from the later of the date the return was filed or its due date (including approved extensions).

Subsequent Events

The Company evaluates events occurring subsequent to the date of the financial statements in determining the accounting for and disclosure of transactions and events that affect the financial statements. Subsequent events have been evaluated through February 14, 2025, which is the date the financial statements were available to be issued.

See review report of independent accountants.

VERKLER, INC.NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024 AND 2023**2. RECEIVABLES**

Receivables include the following:

	<u>2024</u>	<u>2023</u>
Completed contracts	\$ 84,858	\$ 99,157
Contracts in progress	<u>3,214,263</u>	<u>2,264,319</u>
	<u>\$ 3,299,121</u>	<u>\$ 2,363,476</u>

At January 1, 2023, the balance of receivables was \$1,674,118.

3. CONTRACT ASSETS AND LIABILITIES

Information relative to contracts in progress, earnings thereon and related billings are summarized as follows:

	<u>2024</u>	<u>2023</u>
Costs incurred on uncompleted contracts	\$ 23,545,523	\$ 13,986,314
Estimated earnings on uncompleted contracts	<u>2,937,755</u>	<u>1,478,530</u>
	26,483,278	15,464,844
Billings on uncompleted contracts	<u>(27,249,983)</u>	<u>(16,789,930)</u>
	<u>\$ (766,705)</u>	<u>\$ (1,325,086)</u>

Included in the accompanying balance sheets
under the following captions:

Contract assets component - see below	\$ 72,612	\$ 99,021
Contract liabilities	<u>(839,317)</u>	<u>(1,424,107)</u>
	<u>\$ (766,705)</u>	<u>\$ (1,325,086)</u>

Contract assets consist of:

	<u>2024</u>	<u>2023</u>
Contract assets from contracts in progress	\$ 72,612	\$ 99,021
Retainage receivables	<u>1,557,189</u>	<u>821,944</u>
	<u>\$ 1,629,801</u>	<u>\$ 920,965</u>

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Contract assets at January 1, 2023 were \$994,677, and contract liabilities at that date were \$674,611.

The Company's backlog at December 31, 2024 (the total dollar value of work to be performed after December 31, 2024 on contracts awarded and in progress at that date) was approximately \$23.5 million, substantially all of which is estimated to be performed within twenty months from December 31, 2024. Although the backlog reflects business that is considered to be firm, cancellations, deferrals, scope adjustments, or other adjustments provided for in the contracts may occur.

4. PROPERTY AND EQUIPMENT

Property and equipment consist of the following:

	<u>2024</u>	<u>2023</u>
Office furniture and equipment	\$ 107,139	\$ 107,139
Computer equipment and software	115,616	107,325
Vehicles	325,922	276,318
Construction equipment	347,421	313,421
Leasehold improvements	<u>85,053</u>	<u>67,715</u>
	981,151	871,918
Accumulated depreciation	<u>(783,374)</u>	<u>(762,077)</u>
	<u>\$ 197,777</u>	<u>\$ 109,841</u>

The unamortized leasehold improvements balances associated with leases under common control is \$41,142 and \$28,105 at December 31, 2024 and 2023, respectively. The remaining useful life of the leasehold improvements associated with the short-term common control lease at December 31, 2024 is approximately 24 years.

5. RELATED PARTY TRANSACTIONS

Lease Arrangements

Short-term leases (leases with an initial term of 12 months or less or leases that are cancelable by the lessee and lessor without significant penalties) are not capitalized but are expensed on a straight-line basis over the lease term. The majority of the Company's short-term leases relate to office space and storage units.

During 2024 and 2023, the Company leased its Indianapolis facility from a related entity by common ownership, Wilber Partnership ("Wilber"), under the terms of a short-term lease. During 2024 and 2023, the lease provided for monthly rental payments aggregating \$9,115 and \$7,665, respectively.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

The Company's total short-term lease expense for the years ended December 31, 2024 and 2023 was \$113,105 and \$93,927, respectively, including \$109,380 and \$91,980, respectively, paid to Wilber.

On December 27, 2024, the Company entered into a new lease with Wilber to lease the above-mentioned facility through December 31, 2025, with monthly rental payments of \$9,115. Future annual commitments under lease total \$109,380 for 2025.

In evaluating contracts to determine if they qualify as a lease, the Company considers factors such as if it has obtained substantially all of the rights to the underlying asset through exclusivity, if the Company can direct the use of the asset by making decisions about how and for what purpose the asset will be used and if the lessor has substantive substitution rights. Furthermore, the Company assesses whether it is reasonably certain to exercise options to extend or terminate a lease considering all relevant factors that create economic incentive to exercise such options, including asset, contract, market, and entity-based factors. These evaluations may require significant judgment.

6. PROFIT SHARING PLAN

The Company has a 401(k) profit-sharing plan covering all employees not covered under union sponsored pension plans. Eligibility for the plan is based on ninety days of service. The Company may make discretionary matching contributions to the plan. Contributions to the plan are decided on an annual basis and are determined within the plan limits as defined by the plan. The Company made discretionary matching contributions of \$38,493 and \$75,001 to the plan for the years ended December 31, 2024 and 2023, respectively.

7. MULTIEMPLOYER PENSION PLANS

The Company contributes to three multiemployer defined benefit pension plans under the terms of collective bargaining agreements that cover its union-represented employees. The risks of participating in these multiemployer plans are different from single-employer plans in the following aspects:

- a. Assets contributed to the multiemployer plan by one employer may be used to provide benefits to employees of other participating employers.
- b. If a participating member stops contributing to the plan, the unfunded obligations of the plan may be borne by the remaining participating employers.
- c. If the Company chooses to stop participating in its multiemployer plans, it may be required to pay those plans an amount based on the underfunded status of the plan, referred to as a withdrawal liability.

The Company's participation in these plans for the annual periods ended December 31, 2024 and 2023 is outlined in the table below. The "EIN/Pension Plan Number" column provides the

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Employer Identification Number (EIN) and the three-digit plan number. The most recent Pension Protection Act (PPA) zone status available as of December 31, 2024 is indicated.

The zone status is based on information that the Company received from the plan and is certified by the plan actuary. Among other factors, zone status is based on the projected funding status of benefits, as follows:

- Critical Status (C) – Less than 65% funded, or a funding deficiency projected within the next four years.
- Critical and Declining Status (D) – Meets criteria for critical status, and with insolvency projected within the next twenty years.
- Endangered Status (E) – Not in critical status, and less than 80% funded or a funding deficiency projected within the next seven years.
- Seriously Endangered Status (S) – Meets criteria for endangered status, and is both less than 80% funded and has a funding deficiency projected within the next seven years.
- Plans that are not in the above categories (N) are more than 80% funded, and otherwise do not meet the criteria for critical or endangered status.

Information on a funding improvement plan (FIP) or a rehabilitation plan (RP) is not provided, as the plans to which the Company contributes are all in the (N) status, and not required to have either a FIP or RP. The last column lists the expiration dates of the collective bargaining agreements to which the plans are subject.

Pension Fund	EIN/Pension Plan Number	Pension Protection Act Zone Status		Company Contributions		Surcharge Imposed	Expiration Date of Collective Bargaining Agreement
		2024	2023	2024	2023		
Indiana/Kentucky/Ohio Regional Council of Carpenters Pension Fund							
	51-6123713 / 001	(N) as of July 1, 2023	(N) as of July 1, 2022	\$ 232,447	\$ 223,535	No	March 2027
Indiana Laborers Pension Fund (a)							
	35-6027150 / 001	(N) as of June 1, 2024	(N) as of June 1, 2023	122,357	134,272	No	March 2027
Other Fund							
				78,479	72,125		
Total contributions				\$ 433,283	\$ 429,932		

- (a) This fund has utilized the special 30-year amortization rules under Section 431(b)(8)(A) of the Internal Revenue Code (IRC), which allows for net investment losses from 2009 to be amortized over a period of 30 years compared to the original amortization of 15 years.

According to the most current (and available) Form 5500, the Company did not provide more than 5 percent of the total contributions for the plan years ending in 2024 and 2023.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

The Company's contributions to the respective pension funds are based on the hours worked by covered employees, and thus overtime premiums and bonus payments do not affect the contributions.

8. CONCENTRATION OF CREDIT RISK

The Company maintains its cash in bank deposit accounts which, at times, may exceed federally insured limits. The Company has not experienced any losses in such accounts and does not believe it is exposed to any significant credit risk on cash.

The Company performs contracts and grants credit primarily in central Indiana for commercial projects. The Company's policy is to not require collateral on receivables due to special rights afforded under contractual agreements, and collateral is generally not available for governmental projects.

As of December 31, 2024 and for the year then ended, three customers represented 66% of receivables and five customers represented 78% of contract revenues earned. As of December 31, 2023 and for the year then ended, three customers represented 83% of receivables and five customers represented 75% of contract revenues earned.

Substantially all of the labor included in contract costs is for workers covered by collective bargaining agreements.

9. CONTINGENCIES

Disputes and Legal Actions

The Company is subject to disputes or legal actions arising in the ordinary course of business and insures against such risks when appropriate. Management believes that, as of the date the financial statements were available to be issued, all pending or threatened legal actions were covered by insurance, subject to specified deductible amounts, and that the ultimate resolution of such actions will not have a significant adverse effect on the Company's financial position, results of operations, or cash flows.

See review report of independent accountants.

SUPPLEMENTARY INFORMATION

VERKLER, INC.

GENERAL AND ADMINISTRATIVE EXPENSES
YEARS ENDED DECEMBER 31, 2024 AND 2023

	<u>2024</u>	<u>2023</u>
Executive salaries	\$ 260,000	\$ 260,000
Office salaries and wages	89,240	98,793
Payroll taxes	26,092	30,564
Officer's life and disability insurance, net	25,650	32,328
Group insurance	26,400	26,400
Rental expense	113,105	93,927
Legal services	10,529	22,677
Repairs and maintenance	69,822	56,787
Office supplies	30,719	28,972
Other professional services	27,211	80,802
Communication	19,618	19,137
Audit and tax services	27,450	28,875
Employee benefits	3,457	6,258
Utilities	19,849	19,239
Travel, lodging, and mileage	24,232	33,489
Charitable contributions	6,500	5,050
Depreciation	7,709	6,595
Postage and delivery	3,128	4,812
Miscellaneous	<u>234</u>	<u>8,276</u>
Total general and administrative expenses	<u>\$ 790,945</u>	<u>\$ 862,981</u>

See review report of independent accountants.



**BID PACKAGE 32D – SITE FURNISHINGS
BID FORM**

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: Midwest Landscape Industries, Inc.
 Address: 6800 East 30th Street Indianapolis, Indiana 46219
 Contact: Steve Hastings
 Phone: 317-379-6980
 Email: shastings@mli-in.com
 Date: 06/03/2026
 State License Number (if applicable): NA

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID:
 Total Bid price for all work, complete, in accordance with the Bidding Documents:
 Bid Amount (in words): Nine Hundred Eight Thousand Eight Hundred Ninety Five Dollars and 00/100
 Dollars: \$ 908,895.00

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)	
a. Trash & Recycling Receptacles	\$ <u>26,714.29</u>
b. Wood Parklet Benches	\$ <u>182,143.86</u>
c. Swings	\$ <u>43,500.66</u>
d. Terrace Seating & Planters	\$ <u>94,144.48</u>
e. Planters	\$ <u>192,277.58</u>
f. Fire Pits	\$ <u>34,980.88</u>
g. Coffee Tables	\$ <u>34,822.65</u>
h. Post & Panel Pylon Signage	\$ <u>17,155.02</u>
i. Deck Steps & Railings	\$ <u>16,800.00</u>
2. Plaza (Plan Area D)	
a. Trash & Recycling Receptacles	\$ <u>41,113.27</u>
b. Terrace Platforms	\$ <u>34,058.60</u>



c. Dining Tables & Chairs	\$ <u>62,962.28</u>
d. Café Tables & Chairs	\$ <u>29,326.54</u>
e. Bar Tables & Chairs	\$ <u>37,037.41</u>
f. Chairs	\$ <u>8,148.08</u>
g. Fire Pit Stones	\$ <u>5,881.82</u>
3. Miscellaneous Items	\$ <u>47,827.58</u>
4. Total Base Bid Amount	\$ <u>908,985.00</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
 ADD DEDUCT \$ 22,722.38
2. Alternate #2: Voluntary Alternate: NA
 ADD / DEDUCT \$ _____
3. Alternate #3: Voluntary Alternate: NA
 ADD / DEDUCT \$ _____
4. Alternate #4: Voluntary Alternate: NA
 ADD / DEDUCT \$ _____

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

Addendum No. <u>1</u>	Dated <u>05/22/2026</u>
Addendum No. <u>2</u>	Dated <u>05/29/2026</u>
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

- F. Information to be provided with Bid Proposal:
 1. Bid Package 32D Site Furnishings – Bid Form
 2. Bid Form Attachment 1 – Combined Bid (if applicable)
 3. Bid Form Attachment 2 – Supplemental Bid Information
 4. Subcontractor/Supplier Qualification Form
 5. Contractor’s Bid for Public Work – Form 96
- G. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as



specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: [Signature]
(Member of Firm Authorized to Sign Bid)

Title: EVP | President Landscape Development

Date: 06/03/2026



BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Midwest Landscape Industries, Inc. DATE: 06/03/2026

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: 32D - Site Furnishings

Bid Package Name and Number: NA

Bid Package Name and Number: NA

Bid Package Name and Number: NA

Bid Package Name and Number: NA

Bid Package Name and Number: NA

Combined Bid Amount: Dollars \$ 908,895.00

- A. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By:  _____
(Member of Firm Authorized to Sign Bid)

Title: EVP | President Landscape Development Date: 06/03/2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Midwest Landscape Industries, Inc. DATE: 06/03/2026

BID PACKAGE: 32D - Site Furnishings

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>TBD -- Foreman</u>	<u>100%</u>
<u>TBD -- Supervisor / General Superintendent</u>	<u>50%</u>
<u>TBD - Project Manager</u>	<u>33%</u>
<u> </u>	<u> </u>


B. MAJOR EQUIPMENT (individual pieces of equipment over \$10,000.00)

Equipment and Manufacturer	Quantity	Lead Time
<u>Morelli</u>	<u>1 LS</u>	<u>12-14 Weeks</u>
<u>Hags</u>	<u>1 LS</u>	<u>12-14 Weeks</u>
<u>Jamus</u>	<u>1 LS</u>	<u>15-16 Weeks</u>
<u>Vestre</u>	<u>1 LS</u>	<u>18-20 Weeks</u>
<u>Maglin</u>	<u>1 LS</u>	<u>12-14 Weeks</u>
<u>Truform</u>	<u>1 LS</u>	<u>8-10 Weeks</u>
<u>Streetlife</u>	<u>1 LS</u>	<u>18-20 Weeks</u>
<u>Woodland</u>	<u>1 LS</u>	<u>4 Weeks</u>
<u>Mmcite</u>	<u>1 LS</u>	<u>18-20 Weeks</u>



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
	None			

Signed By: 
(Member of Firm Authorized to Sign Bid)
Title: EVP | President Landscape Development Date: 06/03/2026

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name: Midwest Landscape Industries, Inc.					Date: 06/03/2026	
Street Address: 6800 East 30th Street			Mailing Address: Same			
City: Indianapolis	State: Indiana	Zip: 46219	City:	State:	Zip:	
Former Business Name (if applicable): NA						
Street Address: Same			Mailing Address: Same			
City:	State:	Zip:	City:	State:	Zip:	
Telephone: 317-379-6980		Fax: NA		Website Address: www.MLI-IN.com		
Contractor's License #: NA		State:		Expiration:		
State Sales Tax Registration #: 0160728444-001		State Unemployment #: 739531		Federal ID #: 81-5094448		
Primary Contact Info						
Contact Name: Steve Hastings			Title: EVP President Landscape Development			
Telephone: 317-672-3788			Location: Indianapolis			
Email: shastings@mli-in.com						
Secondary Contact Info (if applicable)						
Contact Name: Gary Novitski			Title: VP Operations			
Telephone: 317-672-3788			Location: Indianapolis			
Email: gnovitski@mli-in.com						
Contractor Type	<input type="checkbox"/> General Contractor <input checked="" type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) _____ 4.) _____ 2.) _____ 5.) _____ 3.) _____ 6.) _____			
Contract Size	Area of Operation					
-Maximum contract amount your company can effectively manage? (\$) 8.0M _____ -What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) 3.1M _____ -Largest Project completed in the past 3 years? (\$) 1.8M _____ -What percentage of work does your company sub-contract on a typical job? (\$) 2% _____	<input checked="" type="checkbox"/> Metro Indianapolis <input checked="" type="checkbox"/> Indiana <input checked="" type="checkbox"/> Central Indiana <input checked="" type="checkbox"/> NE Indiana <input checked="" type="checkbox"/> NW Indiana <input checked="" type="checkbox"/> SE Indiana <input checked="" type="checkbox"/> Illinois <input checked="" type="checkbox"/> Kentucky <input checked="" type="checkbox"/> Michigan <input checked="" type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International					

Licenses/Product Certifications (*)

<p>State License Numbers</p> <p>Indiana Department of Administration (IDOA) License Number <u>1799.10</u> Expiration Date <u>05/25/2028</u></p> <p>Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____</p> <p><i>(*) Please attach current IDOA and/or INDOT Certification</i></p>	<p>City License Number</p> <p>City of <u>Indianapolis</u> License Type: <u>General Contractors</u> License Number _____ Expiration Date <u>None</u></p> <p>City of _____ License Type: _____ License Number _____ Expiration Date _____</p> <p><i>(*) Please attach current City Certification and/or license</i></p>
--	---

() If requested, please provide any documentation which substantiates licenses.*

Trade Specific License

Trade <u>NA</u>	Trade _____
License Number _____	License Number _____

() If requested, please provide any documentation which substantiates trade licenses.*

Safety Questionnaire (*)

Part 2

OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025	0.59	1.9	0	0
2024	0.60	0	0	0
2023	0.70	0	0	0
2022	0.70	0	0	0
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025	0	2	2	
2024	0	0	0	
2023	0	0	0	
2022	0	0	0	
<i>Totals</i>	0	2	2	

Do you have an OSHA compliant safety program in place? Yes No

Do you have a designated safety officer at your company? Yes No

Does this person conduct safety inspections on all job site(s)? Yes No

Have you implemented a hazardous communication plan(s)? Yes No

Have you implemented a drug testing program? Yes No

Do you have a light-duty program? Yes No

Do you review the safety procedures, and history of any sub-contractor you work with? Yes No

No Do you provide safety training to all employees? Yes No

Would you allow an audit of your company manuals relating to safety policy/procedure? Yes No

No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:
Training is provided by in house staff as well as third party for: First Aid/CPR OSHA 10 & 30

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:
None

(*If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.

(* To calculate TRIR rate combine columns G, H, I and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.

Insurance Information (*)		Part 3
Insurance Agency: Hylant - Indianapolis/Bloomington	Phone: () 800-678-0361	
Insurance Contact Name: Tammy Mansfield	Fax: () 317-817-5151	
Street Address: 10401 North Meridian Street, Suite 200		
City: Carmel	State: Indiana	Zip: 46290

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Brickstreet Mutual	(\$) 1M		09/01/2026
General Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Central Mutual	(\$) 2M		09/01/2026
Excess Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Central Mutual	(\$) 5M		09/01/2026
Auto Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Central Mutual	(\$) 1M		09/01/2026
Professional Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Central Mutual	(\$) 5K		09/01/2026
Other	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		(\$)		


(*If requested, please include a copy of your current insurance certifications

Banking/Financial (*)			Part 4
Bank Name: First Merchants Bank		Contact Name: Matt O'Leary	
Phone: () 317-566-7605		Line of Credit Amount: (\$) 3M	
Amount Available: (\$) 3M		Secured: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Description of Collateral: assets		Personal <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
What is your current backlog of work? 9,038,841.22		D-U-N-S #:	
Please provide annual revenue for the past 3 years			
Year	2025	2024	2023
Revenue	(\$) 15,518,715.00	(\$) 13,117,000.00	(\$) 18,494,208.00
<p>3 -On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>			

(*If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.

Bonding/Surety Information (*)		Part 5
Agent's Name: Mike Marsella		Bonding/Surety Company: Liberty Mutual Insurance Company
Phone: () 317-805-7500		Bonding Capacity: Total: (\$) 10.0M Per Job: (\$) 3.0M
Personal Guarantee: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		Dollar value of bonded work on hand: (\$) 0.00

(*If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.

Authorization
I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.


(* By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.



Certified Contractors Lookup



Welcome to DAPW's Certified Contractors Lookup

By default, you will see a list of every Contractor with a current certification registered with the Certification Board. To pull up information on a particular company, simply select it from the list and its information will display on the table above the list at the bottom of the page.

New features: You are now able to filter to find companies working in specific Regions or Districts in Indiana, companies that are registered with the Division of Supplier Diversity, companies that are based in Indiana or even companies that hold certification in specific specializations. You have the ability to filter through all four of these factors simultaneously. To deselect a check box, simply select it a second time.

Updates for June 1, 2025:

Entries on the list below are now based on Bidder Identification Numbers (BINs), which have been a required aspect of all certification applications and actively enforced since July 1, 2023. The BINs allow us to cross reference data with information provided by our partner divisions within IDOA and ensures that anyone doing work with DAPW has been properly vetted by proper authorities.

Due to the sheer amount of data we are now cross referencing on this platform, there is room for error in system displays. Below are a list of possible errors that could occur while using this engagement and solutions to those issues:

Known Issue: My company was just certified within the past week and I can't see us listed anywhere, despite being able to see the other companies on the list.

To Resolve Issue: Check back next week. The certification board processes dozens of applications each month and there is a manual component to the finalization of the certification process, even after you receive your certificate. As such, it is likely that certain steps just haven't been completed yet.

Known Issue: My company has been certified for longer than a week and I still don't see us listed anywhere, despite being able to see the other companies on the list.

To Resolve Issue: This is likely caused due to either a stamping error with the automated processes OR DAPW doesn't have your BIN on record. Simply contact the Data Manager and the Secretary of the Board by clicking the link below. Please provide us with your BIN, Employer



Lookup Assistance Email

[DAPW Certification Board Assistance](#)

To ensure that contractor information can be displayed in a usable manner, the Contractor Lookup is based on a series of filters. Your selection must either be based on a company name (if you are looking for a specific company's information) or a series of other, more generalized filters (working regions, specialization type, DSD category, Indiana-based companies).

Please Select A Filter Type *

- Company Name
- General Filters

Company List *

MIDWEST LANDSCAPE INDUSTRIES, INC. ▼

If you are looking for a specific company's information, use the drop down to the left. If the name you are seeking isn't present, that company does not have a current certification.

NOTE: Do not use this filter with any other filter.

Base Vendor Information

#								
1	MIDWEST LANDSCAPE INDUSTRIES INC	INDIANAPOLIS IN	20260225	20280525	(317) 379-6980	SHASTINGS@MLI-IN.COM	0000046519	

Division Of Supplier Diversity Category

Not Registered With DSD

Vendor Specializations

#		
1	1799.10	LANDSCAPING, SEEDING, AND SODDING

Regions In Which The Vendor Is Willing To Work

#		
1		DISTRICT 1
2		DISTRICT 10



3	DISTRICT 2
4	DISTRICT 3
5	DISTRICT 4
6	DISTRICT 5
7	DISTRICT 6
8	DISTRICT 7
9	DISTRICT 8
10	DISTRICT 9

(B) Current Projects

Job Name	% Complete / Invoiced	Client	Crew Zone	TOTAL CONTRACT VALUE	\$\$ Balance to Invoice	Total 2026	2027- 2028 Bookings
Indiana State Archives Building	98%	Pepper Construction Co.	Indianapolis	\$ 1,594,036.15	\$ 31,654.91	\$ 31,654.91	\$ 0.00
White River Inovation Dist.	88%	F.A Wilhelm	Indianapolis	\$ 2,101,013.40	\$ 257,791.29	\$ 214,791.29	\$ 43,000.00
Wilhelm Powers JV	57%	F.A Wilhelm	Indianapolis	\$ 806,096.00	\$ 346,826.64	\$ 350,000.00	\$ (3,173.36)
Eskanazi Health, Roof repl.	100%	F.A Wilhelm	Indianapolis	\$ 1,580,084.65	\$ 2,042.36	\$ -	\$ 2,042.36
DPW Solid Waste	90%	Powers & Sons	Indianapolis	\$ 78,008.68	\$ 7,800.87	\$ -	\$ 7,800.87
The Allure Apartmetns	59%	Force Construction	Indianapolis	\$ 499,891.18	\$ 204,560.15	\$ 174,560.15	\$ 30,000.00
Henry Street Bridge	3%	F.A Wilhelm	Indianapolis	\$ 1,391,774.38	\$ 1,350,762.60	\$ 1,350,762.60	\$ -
RIN Data Center	37%	Turner Construction	Jeffersonville	\$ 3,539,900.00	\$ 2,232,834.75	\$ 2,217,931.81	\$ 14,902.94
Republic Airways Headquarters	90%	F.A Wilhelm	Indianapolis	\$ 600,954.63	\$ 60,095.47	\$ 60,095.47	\$ -
Lafayette Riverfront Garage	27%	Meyer Najem	Lafayette	\$ 467,308.00	\$ 339,627.15	\$ 373,749.44	\$ (34,122.29)
Upper Wabash Project Office	5%	Guardian Construction	Wabash	\$ 57,617.70	\$ 54,849.86	\$ 34,975.75	\$ 19,874.11
H & H EMS Project	42%	Hagerman Construction	Indianapolis	\$ 1,059,070.00	\$ 612,371.28	\$ 612,371.28	\$ -
Terminal Connect Airport Hotel	0%	Shiel Sexton	Indianapolis	\$ 459,373.00	\$ 459,373.00	\$ 200,000.00	\$ 259,373.00
Animal Care Services	84%	F.A Wilhelm	Indianapolis	\$ 337,441.97	\$ 53,290.15	\$ 56,568.94	\$ (3,278.79)
IU School of Public Health	10%	Pepper Construction Co.	Bloomington	\$ 56,113.00	\$ 50,801.50	\$ 50,501.50	\$ -
Poplars of Bloomingt	53%	F.A Wilhelm	Bloomington	\$ 211,394.00	\$ 100,172.04	\$ 100,172.04	\$ -
Yankee Flats	20%	CRG	Dayton	\$ 566,466.09	\$ 452,182.34	\$ 350,000.00	\$ 102,182.34
Hobbs Station	89%	New City Development	Plainfield	\$ 594,135.95	\$ 66,431.74	\$ -	\$ 66,431.74
Batesville Memorial Public Library	19%	Meyer Najem	Batesville	\$ 243,009.96	\$ 195,878.26	\$ 102,539.30	\$ 93,338.96
Activation - Purdue	90%	Cube Inc	Lafayette	\$ 331,981.31	\$ 34,138.23	\$ 10,052.58	\$ 24,085.65
USA Pkwy 3 - Site	5%	Thompson Thrift	Indianapolis	\$ 777,261.50	\$ 741,361.50	\$ 752,261.50	\$ (10,900.00)
USA Pkwy 3 - Roof	2%	Thompson Thrift	Indianapolis	\$ 682,550.00	\$ 668,160.00	\$ 617,550.00	\$ 50,610.00
Lilly LP-2 (project desert)	66%	Messer	Lebanon	\$ 298,675.54	\$ 101,174.14	\$ 51,072.46	\$ 50,101.68
Howe Athletic Field	0%	Junglaus-Campbell	Indianapolis	\$ 134,565.00	\$ 134,565.00	\$ 134,565.00	\$ -
KIPP Expansion	0%	Pepper Construction Co.	Indianapolis	\$ 29,723.00	\$ 29,723.00	\$ 29,723.00	\$ -
Roche Bulding C	0%	Pepper Construction Co.	Indianapolis	\$ 323,884.00	\$ 323,884.00	\$ 323,884.00	\$ -
The Vault on Main	39%	CRG Residential	Evansville	\$ 309,263.00	\$ 189,701.70	\$ 189,701.70	\$ -
CHN South Cancer Center	0%	Pepper Construction Co.	Indianapolis	\$ 271,779.00	\$ 271,779.00	\$ 271,779.00	\$ -
White River State Park Expansion, EDCO	0%	EDCO general contractors	Indianapolis	\$ 447,475.57	\$ 447,475.57	\$ 397,500.00	\$ 49,975.57
CNH Westfield Hospital Tower	0%	Pepper Construction Co.	Westfield	\$ 719,630.46	\$ 719,630.46	\$ -	\$ 719,630.46
ICON on Main	0%	Edward Rose & Sons	Carmel	\$ 1,049,413.03	\$ 1,049,413.03	\$ 1,049,413.03	\$ -
IU Launch Accelerator	0%	F.A Wilhelm	Indianapolis	\$ 509,724.00	\$ 509,724.00	\$ -	\$ 509,724.00
WRID Phase III	0%	F.A Wilhelm	Indianapolis	\$ 279,181.00	\$ 279,181.00	\$ 279,181.00	\$ -
Hyde Park	44%	Edward Rose & Sons	Noblesville	\$ 89,330.94	\$ 50,045.94	\$ -	\$ 50,045.94
				18,828,614.99	11,551,844.06	10,237,377.75	1,314,466.31



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)

Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): June 3, 2026

1. Governmental Unit (Owner): City of Westfield
2. County : Hamilton
3. Bidder (Firm): Midwest Landscape Industries, Inc.
Address: 6800 East 30th Street
City/State/ZIPcode: Indianapolis, Indiana 46219
4. Telephone Number: 317-379-6980
5. Agent of Bidder (if applicable): Steve Hastings

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield - Bid Event #3 City of Westfield - Park Street Improvement Project (Governmental Unit) in accordance with plans and specifications prepared by REA

_____ and dated 04/30/2026 for the sum of Nine Hundred Eight Thousand Eight Hundred Ninety Five Dollars and 00/100 \$ 908,895.00

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS *(If applicable)*

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, _____, subject to the following conditions: _____

Contracting Authority Members:

PART II (For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: City of Westfield

Bidder (Firm) Midwest Landscape Industries, Inc.

Date (month, day, year): 06/03/2026

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
2,942,288.39	Landscape & Irrigation	2021	Grand Junction - City of Westfield
1,561,983.80	Landscape & Irrigation	2022	VA National Cemetery - United States
880,870.20	Landscape & Hardscape	2022	Ivy Tech Kokomo - IVY Tech
131,983.70	Landscape	2022	Mies Van Der Rohe - University of Indiana

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
1,632,730.08	Landscape and Irrigation	2026	Indiana State Archives - State of Indiana
1,502,598.00	Landscape & Irrigation	2026	Eskenazi Roof Replacement - Indianapolis
1,990,981.48	Landscape & Irrigation	2026	White River Innovation District (WRID) Infrastructure Project.
809,096.00	Landscape, Irrigation & Hardscape	2026	HHC Public Health Lab - Indianapolis Indiana

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

Pepper Construction - 317 681-1000

Core Construction - 463 212-7676

Turner Construction - 317-573-2828

Wilhelm Construction - 317-356-5411

Haggerman Construction - 317-577-6936

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

MLI will begin work after once the site has been turned over - MLI will inspect the are with the construction manager and architect prior to installation. Anticipation of 5-7crew members

Advanced Acquisition of materials will begin immediately after approved submittals.

This plan is subject to the timing of installation of product(s) as noted within the specifications.

Close coordination between the landscape architect, construction manager will be ongoing.

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

None

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

F.A. Wilhelm Construction - Wood Stairs and Railing. 3914 Prospect Street Indianapolis IN 46203

Bond will only be required if MLI is required to provide one.

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

MLI can rely upon a modern fleet over 100 individual pieces of construction equipment. This inventory
includes everything from speciality trucks and trailers, skidsteers, dingos, mini excavators, pick up trucks
and dump trucks. This fleet is augmented as needed with rental equipment or equipment purchases
as deemed appropriate and cost effective for the project needs and the demands of the schedule

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

No

MLI has obtained material, supplier/vendor quotes for materials and items needed to perform and complet this
proeject in accordance wiht the plans and specifications.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

BID OF

Midwest Landscape Industries, Inc
(Contractor)

6800 East 30th Street
(Address)

Indianapolis, Indiana 46219

**FOR
PUBLIC WORKS PROJECTS
OF**

City of Westfield

Westfield, Indiana 46074

Filed _____

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MIDWEST

LANDSCAPE INDUSTRIES

INDIANAPOLIS, INDIANA

REVIEWED FINANCIAL STATEMENTS

FOR THE YEARS ENDED
DECEMBER 31, 2025 AND 2024

MIDWEST LANDSCAPE INDUSTRIES, INC., SUBSIDIARIES AND
COMMONLY CONTROLLED ENTITIES

INDIANAPOLIS, INDIANA

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INDEPENDENT ACCOUNTANT'S REVIEW REPORT

Board of Directors
Midwest Landscape Industries, Inc.
Indianapolis, Indiana

We have reviewed the accompanying combined financial statements of Midwest Landscape Industries, Inc. (an Indiana Corporation), MLI Transportation, LLC (an Indiana LLC), MLI Executive, LLC (an Indiana LLC), MLI Management, LLC (an Indiana LLC) as well as MLI Investment, LLC (an Indiana LLC), MLI-6800, LLC (an Indiana LLC) and SSHANB, LLC (an Indiana LLC) (the "Companies") which comprise the combined balance sheets as of December 31, 2025 and December 31, 2024 and the related combined statements of income (loss) and retained earnings, members' equity and cash flows for the years then ended, and the related notes to the financial statements. The financial statements presented represent combined amounts for the year ended December 31, 2025 and December 31, 2024 for the Companies. A review includes primarily applying analytical procedures to management's financial data and making inquiries of company management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the combined financial statements as a whole. Accordingly, we do not express such an opinion.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these combined financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of financial statements that are free from material misstatement whether due to fraud or error.

Accountant's Responsibility

Our responsibility is to conduct the review engagement in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the AICPA. Those standards require us to perform procedures to obtain limited assurance as a basis for reporting whether we are aware of any material modifications that should be made to the combined financial statements for them to be in accordance with accounting principles generally accepted in the United States of America. We believe that the results of our procedures provide a reasonable basis for our conclusion.

We are required to be independent of the Companies, as defined above, and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements related to our reviews.

Accountant's Conclusion

Based on our reviews, we are not aware of any material modifications that should be made to the accompanying combined financial statements in order for them to be in accordance with accounting principles generally accepted in the United States of America.

Respectfully submitted,
Charles Hadden PC

Indianapolis, Indiana
March 7, 2026

850 Fort Wayne Avenue
Indianapolis, IN 46204
Telephone 317-266-0480
Facsimile 317-639-5583

MIDWEST LANDSCAPE INDUSTRIES, INC., SUBSIDIARIES AND
COMMONLY CONTROLLED ENTITIES

INDIANAPOLIS, INDIANA

REVIEWED

COMBINED BALANCE SHEETS AS OF DECEMBER 31, 2025 AND 2024

ASSETS

	<u>2025</u>	<u>2024</u>
CURRENT ASSETS		
Cash and cash equivalents (Note 1)	\$ 286,984	\$ 241,903
Contracts receivable (Note 1)	6,332,058	1,807,124
Contract assets (Note 1)	785,276	1,517,549
Accounts receivable	1,064	3,194
Inventory (Note 1)	277,116	122,792
Right-of-use assets – current (Note 1)	0	30,104
Other current assets	<u>145,045</u>	<u>146,312</u>
 Total - Current Assets	 \$ 7,827,543	 \$ 3,868,978
 PROPERTY AND EQUIPMENT (Note 1)		
Vehicles and trailers	\$ 4,108,336	\$ 4,385,210
Landscaping equipment	2,382,277	2,244,571
Leasehold improvements	669,955	669,955
Buildings and land	2,289,803	1,310,803
Computer equipment	<u>74,578</u>	<u>67,049</u>
 Total - Property and Equipment	 \$ 9,524,949	 \$ 8,677,588
Less - accumulated depreciation	<u>4,345,790</u>	<u>3,426,768</u>
 Net - Property and Equipment	 \$ 5,179,159	 \$ 5,250,820
 OTHER ASSETS		
Right-of-use assets – long-term (Note 1)	\$ 0	\$ 31,223
Intangible assets, net of amortization (Note 1)	<u>747,285</u>	<u>931,377</u>
 Total - Other Assets	 <u>\$ 747,285</u>	 <u>\$ 962,600</u>
 TOTAL - ASSETS	 <u><u>\$ 13,753,987</u></u>	 <u><u>\$ 10,082,398</u></u>

See Accompanying Notes and Independent Accountant's Review Report.

EXHIBIT A

LIABILITIES AND EQUITY

	<u>2025</u>	<u>2024</u>
CURRENT LIABILITIES		
Accounts payable - trade (Note 1)	\$ 1,539,759	\$ 606,686
Accrued expenses and customer deposits	262,631	478,082
Operating lease liability – current	0	31,031
Finance lease liability – current (Note 1)	33,873	0
Line of credit (Note 2)	1,928,693	482,267
Long-term debt due within one year (Note 3)	1,176,630	1,167,990
Contract liabilities (Note 1)	<u>1,106,822</u>	<u>161,918</u>
 Total - Current Liabilities	 \$ 6,048,408	 \$ 2,927,974
 LONG-TERM LIABILITIES		
Operating lease liability – long-term	\$ 0	\$ 30,296
Finance lease liability – long-term (Note 1)	113,711	0
Long-term debt (Note 3)	<u>4,285,799</u>	<u>4,762,829</u>
 Total – Long-Term Liabilities	 \$ 4,399,510	 \$ 4,793,125
 Total – Liabilities	 \$ 10,447,918	 \$ 7,721,099
 SHAREHOLDERS' AND MEMBERS' EQUITY		
Common stock - (authorized 1,000 shares of \$1 par value, 1,000 shares issued and outstanding)	\$ 1,000	\$ 1,000
Additional paid-in capital	45,009	45,009
Members' equity	247,317	137,216
Retained earnings (Note 1)	<u>3,012,743</u>	<u>2,178,074</u>
 Total - Shareholders' and Members' Equity	 \$ 3,306,069	 \$ 2,361,299
 TOTAL - LIABILITIES AND EQUITY	 <u>\$ 13,753,987</u>	 <u>\$ 10,082,398</u>

MIDWEST LANDSCAPE INDUSTRIES, INC., SUBSIDIARIES AND
COMMONLY CONTROLLED ENTITIES

EXHIBIT B

INDIANAPOLIS, INDIANA

REVIEWED

COMBINED STATEMENTS OF INCOME (LOSS) AND RETAINED EARNINGS AND EQUITY
FOR THE YEARS ENDED DECEMBER 31, 2025 AND 2024

	<u>2025</u>	<u>2024</u>
CONTRACT REVENUE (Note 1)		
Landscape development	\$ 5,894,780	\$ 4,489,353
Landscape management	5,488,865	5,497,698
Enhancements	1,489,021	1,217,031
Snow	2,325,725	995,328
Irrigation	<u>154,312</u>	<u>320,480</u>
Total – Landscape Contract Revenue	\$ 15,352,703	\$ 12,519,890
Service revenue	0	448,526
Rental revenue	<u>167,012</u>	<u>148,606</u>
Total Contract Revenue	\$ 15,519,715	\$ 13,117,022
COST OF CONTRACT REVENUE		
Materials	\$ 4,315,944	\$ 3,243,645
Direct labor	3,149,412	3,508,506
Subcontractors	371,456	251,501
Rental equipment	86,153	117,065
Other direct expenses	<u>42,833</u>	<u>125,811</u>
Total - Cost of Contract Revenue	\$ 7,965,798	\$ 7,246,528
GROSS PROFIT ON CONTRACT REVENUE	\$ 7,553,917	\$ 5,870,494
GENERAL AND ADMINISTRATIVE EXPENSES	<u>6,733,015</u>	<u>7,362,907</u>
INCOME (LOSS) FROM OPERATIONS	\$ 820,902	\$ (1,492,413)
OTHER (EXPENSE) INCOME		
Gain on asset sale	\$ 61,793	\$ 163,893
Other income	440,773	22,601
Interest income	73,689	1,635
Interest expense	<u>(426,667)</u>	<u>(458,899)</u>
Other (Expense) Income - net	\$ 149,588	\$ (270,770)
NET INCOME (LOSS)	\$ 970,490	\$ (1,763,183)
RETAINED EARNINGS AND EQUITY		
- Beginning of year:		
Retained earnings	\$ 2,178,074	\$ 3,976,457
Members' equity	<u>137,216</u>	<u>102,016</u>
Total Beginning Retained Earnings and Equity	\$ 2,315,290	\$ 4,078,473
Less: Distributions and dividends paid	<u>(25,720)</u>	<u>0</u>
RETAINED EARNINGS AND EQUITY		
- End of year:		
Retained earnings	\$ 3,012,743	\$ 2,178,074
Members' equity	<u>247,317</u>	<u>137,216</u>
TOTAL ENDING RETAINED EARNINGS AND EQUITY	<u>\$ 3,260,060</u>	<u>\$ 2,315,290</u>

See Accompanying Notes and Independent Accountant's Review Report.

MIDWEST LANDSCAPE INDUSTRIES, INC., SUBSIDIARIES AND
COMMONLY CONTROLLED ENTITIES

INDIANAPOLIS, INDIANA

REVIEWED

COMBINED STATEMENTS OF CASH FLOWS

FOR THE YEARS ENDED DECEMBER 31, 2025 AND 2024

Increase (Decrease) in Cash

	<u>2025</u>	<u>2024</u>
CASH FLOWS FROM (USED IN) OPERATIONS:		
Net income (loss)	\$ 970,490	\$ (1,763,183)
Adjustments to reconcile net income to net cash (used in) from operations:		
Depreciation and amortization	\$ 1,406,380	\$ 1,465,094
(Increase) decrease in contracts receivable	(4,524,934)	2,729,140
Decrease (increase) in contract assets	732,273	(280,196)
Decrease (increase) in accounts receivable	2,130	(3,194)
(Increase) decrease in inventory	(154,324)	123,577
Decrease in other current assets	1,267	122,455
Increase (decrease) in accounts payable	933,073	(114,252)
(Decrease) in accrued expenses	(215,451)	(114,603)
Increase in contract liabilities	944,904	161,918
(Gain) on asset disposal	<u>(61,793)</u>	<u>(163,893)</u>
Total Adjustments	\$ (936,475)	\$ 3,926,046
Net cash from operations	\$ 34,015	\$ 2,162,863

See Accompanying Notes and Independent Accountant's Review Report.

EXHIBIT C

	<u>2025</u>	<u>2024</u>
CASH FLOWS FROM (USED IN) INVESTING ACTIVITIES:		
Purchase of property & equipment – net of financing	\$ (270,900)	\$ (312,003)
Decrease in accounts receivable – long-term	0	31,833
Proceeds from sale of assets	<u>264,784</u>	<u>391,641</u>
Net cash from (used in) investing activities	<u>\$ (6,116)</u>	<u>\$ 111,471</u>
CASH FLOWS PROVIDED BY (USED IN) FINANCING ACTIVITIES:		
Proceeds from (payment of) lines of credit	\$ 1,446,426	\$ (673,430)
(Payment of) long-term obligations (net)	(1,551,108)	(1,400,864)
Proceeds from finance leases	147,584	0
Shareholder distributions and member draws	<u>(25,720)</u>	<u>0</u>
Net cash provided by (used in) financing activities	<u>\$ 17,182</u>	<u>\$ (2,074,294)</u>
NET INCREASE IN CASH	\$ 45,081	\$ 200,040
CASH - Beginning of period	<u>241,903</u>	<u>41,863</u>
CASH - End of period	<u>\$ 286,984</u>	<u>\$ 241,903</u>

SUPPLEMENTAL DISCLOSURES OF CASH FLOW INFORMATION:

Interest paid	\$ 426,274	\$ 457,079
Property & equipment purchased with financing	1,082,718	2,221,861

MIDWEST LANDSCAPE INDUSTRIES, INC., SUBSIDIARIES AND
COMMONLY CONTROLLED ENTITIES

INDIANAPOLIS, INDIANA

NOTES TO THE COMBINED REVIEWED FINANCIAL STATEMENTS

FOR THE YEARS ENDED DECEMBER 31, 2025 AND 2024

NOTE 1: SIGNIFICANT ACCOUNTING POLICIES:

Company Overview – The accompanying combined financial statements include the accounts of Midwest Landscape Industries, Inc., its wholly-owned subsidiaries MLI Transportation, LLC, MLI Executive, LLC and MLI Management, LLC along with commonly controlled entities MLI Investment, LLC, MLI-6800, LLC and SSHANB, LLC (together, the “Company”), after elimination of intercompany transactions and accounts for the years ended December 31, 2025 and December 31, 2024. The Company provides landscaping services for commercial and estate customers in Indianapolis, Indiana and the surrounding markets. Landscaping services include landscape development, landscape management and enhancements, irrigation services, snow removal services and transportation services. Work is normally performed under fixed-price contracts with portions being sub-contracted. The length of contracts varies but is typically less than one year.

Through the Company’s development services segment, it provides landscape development services for new facilities and significant redesign projects. Specific services include landscape, irrigation and tree installation, among others. Development services are comprised of coordination and installation of landscapes at some of the most recognizable government, university and corporate campuses and showcase highly visible work that is paramount to the customer’s perception of the Company’s brand as a market leader.

The Company’s maintenance services segment delivers a full suite of recurring landscaping services ranging from mowing, flowers, fertilization, mulching, snow removal, and irrigation maintenance. In addition to contracted maintenance services, the Company also has a strong track record of providing value added landscape enhancements. The Company primarily self performs its maintenance services, and the company’s customers include estates, commercial properties, HOAs, and municipalities, among others.

Management uses estimates and assumptions in preparing these financial statements in accordance with generally accepted accounting principles. Those estimates and assumptions affect the reported amounts of assets and liabilities, the disclosure of contingent assets and liabilities, and the reported revenues and expenses. Actual results could vary from the estimates that were used.

Revenue and Cost Recognition – Landscape development revenue is measured based on the amount of consideration specified in a contract with a customer. The Company recognizes revenue when and as performance obligations are satisfied. This generally occurs with the continuous transfer of control of the goods and/or services to the customer. Because control transfers over time, revenue is recognized to the extent of progress towards completion of the performance obligations. Development services revenue is primarily recognized over time using the cost-to-cost input method, which measures progress towards completion by the

percentage of costs incurred to date to estimated total direct cost for each performance obligation, which management believes to be the best measure of progress. Anticipated losses on contracts are recorded as soon as such losses can be estimated. Historically, these losses have been immaterial. Because of inherent uncertainties in estimating costs, it is at least reasonably possible that the estimates used will change within the near term. Changes in job performance, job conditions and estimated profitability, including final contract settlements, may result in revisions to costs and revenue and are recognized in the period in which the revisions are determined.

Management services revenues are generated primarily through landscape management services and snow removal services. Landscape management services that are primarily viewed as non-discretionary, such as mowing, flowers, fertilization, mulching, leaf removal and irrigation, are provided under recurring annual contracts on either a fixed fee or per service cost, which typically range from one to three years in duration and are generally cancellable by the customer with 30 days' notice. Revenues are recognized when the services are completed. Snow removal services are provided on either fixed fee based contracts, per occurrence contracts or time and materials contracts. Revenue for snow removal services is recognized over the life of the agreement. Revenue for fixed fee contracts is recognized ratably over the term of the contract. Revenue for per service and time and materials contracts is recognized when the services are completed. Landscape management services can also include enhancement services that represent supplemental maintenance or improvement services provided outside the base management contract. Fees for contracted landscape management services are typically billed on an equal monthly basis while fees for per service contracts are billed once the service is completed. Fees for fixed snow removal services are typically billed on an equal monthly basis during snow season, while fees for time and material or other activity-based snow removal services are typically billed when the services are complete. Fees for enhancement services are typically billed when the services are complete.

Rental revenues are generated through storage unit rental contracts. The Company offers rental space at a monthly rate and revenues are recognized over time as storage units are occupied. Service revenues are generated through contracting employees to third parties in certain instances and revenues are recognized as services are performed by the contracted employees.

Contract costs include all direct material and labor costs and indirect costs related to contract performance, such as indirect labor, supplies, tools, repairs and depreciation costs. Selling, general and administrative costs are charged to expense as incurred. Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in project performance, project conditions and estimated profitability, including those arising from contract penalty provisions, and final contract settlements may result in revisions to costs and income and are recognized in the period in which the revisions are determined. Changes in estimated job profitability resulting from job performance, job conditions, contract penalty provisions, claims, change orders, and settlements, are accounted for as changes in estimates in the current period.

Contract assets include amounts due under retainage provisions and costs and estimated earnings in excess of billings. Retention receivable represents amounts invoiced to customers where payments have been partially withheld pending the satisfaction of contractual conditions or completion of the project. Retainage agreements vary from project to project

and balances could be outstanding for several months depending on circumstances. The asset, “costs and estimated earnings in excess of billings on uncompleted contracts,” which represents revenues recognized in excess of amounts billed, are classified as a current asset.

Costs and estimated earnings in excess of billings results when either: 1) the appropriate contract revenue amount has been recognized over time in accordance with ASC 606, but a portion of revenue recorded cannot be billed currently due to the terms of the billing as defined in the contract, or 2) costs are incurred related to unapproved change orders. Unapproved change orders occur when a change in the scope of work results in additional work being performed before the parties have agreed on the corresponding change in the contract price.

Contract liabilities include billings in excess of costs and estimated earnings on uncompleted contracts and reductions for retainage receivables, on a contract-by-contract basis. The balance may fluctuate depending on the timing of contract billings and the recognition of contract revenue.

Changes to the total estimated contract revenue or cost, either due to unexpected events or revisions to management’s estimates, for a given project are recognized in the period in which both parties approve the contract modification.

Cash and Cash Equivalents – Cash and cash equivalents includes deposits in banks with maturities of less than three months at the time of deposit.

Contracts Receivable – Contracts receivable are recorded at the invoiced amount and do not bear interest. The Company reserves for all accounts that are deemed to be uncollectible and reviews its allowance for credit losses regularly. The allowance is based on the age of receivables, historical bad debt expense percentage and specific identification of receivables considered at risk. Account balances are written off against the allowance when the potential for recovery is considered remote. Bad debt expense for the years ended December 31, 2025 and 2024 was \$94,477 and \$50,000, respectively.

The beginning and ending balances for contracts receivable were as follows:

	<u>2025</u>	<u>2024</u>	<u>2023</u>
Billings on completed contracts	\$ 2,520,409	\$ 1,223,373	\$ 2,421,274
Billings on uncompleted contracts	3,719,846	586,861	1,628,207
Retainage on completed contracts	201,803	20,057	516,955
Long-term contracts			
receivable – current portion	0	31,833	31,833
Less – allowance for credit losses	<u>(110,000)</u>	<u>(55,000)</u>	<u>(62,000)</u>
Totals	<u>\$ 6,332,058</u>	<u>\$ 1,807,124</u>	<u>\$ 4,536,269</u>

Contracts Receivable – Long-Term – During 2022, the Company agreed to accept payment on a completed contract over a three-year period. Long-term contracts receivable balances for the years ended December 31, 2025 and 2024 were \$0 and \$31,833, respectively.

Contracts in Progress – Contracts in progress beginning and ending balances at December 31, 2025 and 2024 were as follows:

	<u>2025</u>	<u>2024</u>	<u>2023</u>
Billings including retainage	\$ 9,310,996	\$ 6,680,481	\$ 8,591,642
Less retainage	<u>(485,350)</u>	<u>(135,252)</u>	<u>(177,016)</u>
Net billings	\$ 8,825,646	\$ 6,545,229	\$ 8,414,626
Less:			
Accumulated incurred costs	\$ 5,733,353	\$ 4,623,743	\$ 5,744,799
Estimated earnings	<u>2,770,744</u>	<u>3,277,117</u>	<u>3,907,180</u>
Total cost and earnings	<u>\$ 8,504,097</u>	<u>\$ 7,900,860</u>	<u>\$ 9,651,979</u>
Net totals	<u>\$ (321,549)</u>	<u>\$ 1,355,631</u>	<u>\$ 1,237,353</u>

The beginning and ending balances for contract assets and contract liabilities were as follows:

Contract Assets:	<u>2025</u>	<u>2024</u>	<u>2023</u>
Costs and estimated earnings in excess of billings on uncompleted contracts	\$ 592,311	\$ 1,400,581	\$ 1,061,598
Retainage receivable	<u>192,965</u>	<u>116,968</u>	<u>175,755</u>
Totals	\$ 785,276	\$ 1,517,549	\$ 1,237,353

Contract Liabilities:			
Billings in excess of costs and estimated earnings on uncompleted contracts	\$ (1,399,210)	\$ (180,203)	\$ (1,261)
Retainage receivable	<u>292,385</u>	<u>18,285</u>	<u>1,261</u>
Totals	<u>\$ (1,106,825)</u>	<u>\$ (161,918)</u>	<u>\$ 0</u>
Net Totals	<u>\$ (321,549)</u>	<u>\$ 1,355,631</u>	<u>\$ 1,237,353</u>

As of December 31, 2025 the Company had remaining performance obligations on contracts (back log) represented by revenue expected to be earned on uncompleted contracts and on contracts not yet started of \$11,202,799 with expected costs of \$7,237,140.

Advertising Expense – The Company expenses advertising expense in the period incurred. Advertising expense amounted to \$389,106 and \$376,437 in 2025 and 2024, respectively.

Inventories – Inventories consist of landscape and irrigation material, snow removal products and fuel which are classified as finished goods. Inventory also includes equipment held for resale which is classified as finished goods. Inventories are valued at the lower of cost (first in, first out) or net realizable value. When market values are below the Company's costs, the Company records an expense to increase Cost of Contract Earned Revenue. Inventory components at December 31, 2025 and 2024 are summarized as follows:

	<u>2025</u>	<u>2024</u>
Finished Goods	\$ 277,116	\$ 122,792

Property and Equipment – Property and equipment are carried at cost less accumulated depreciation. Costs of replacements or maintenance and repairs that do not improve or extend the life of the related assets are expensed as incurred. Depreciation is computed using the straight-line method over the estimated useful lives of the assets and included in general and administrative expenses as indicated:

Vehicles and Trailers	5 years Straight-line
Landscaping Equipment	5-7 years Straight-line
Computer Equipment	3-5 years Straight-line
Leasehold Improvements	15 years Straight-line
Buildings	39 years Straight-line

Repairs and maintenance are charged to expense as incurred.

Intangible Assets – Intangible assets include a non-compete agreement with an entity that the Company acquired certain assets of during 2021 and other certain intangible assets. The non-compete agreement is amortized over its term of 5 years on a straight-line basis and has 1 year and 5 months remaining. Other intangible assets are amortized over its useful life of 10-15 years on a straight-line basis and has a weighted average useful life left of 6.57 years. Total intangible assets are summarized as follows:

	<u>2025</u>	<u>2024</u>
Other intangible assets	\$ 1,385,660	\$ 1,385,660
Non-compete agreement	250,000	250,000
Accumulated amortization	<u>(888,375)</u>	<u>(704,283)</u>
Net Intangible Assets	<u>\$ 747,285</u>	<u>\$ 931,377</u>

Future aggregate amortization expense is as follows:

2026	\$ 153,044
2027	134,092
2028	134,092
2029	134,092
2030 and after	<u>191,965</u>
Total	<u>\$ 747,285</u>

Impairment of Long-Lived Assets – Property and equipment and definite lived intangible assets are reviewed for impairment whenever events or changes in circumstances indicate that the carrying amount of an asset may not be recoverable. Recoverability of assets to be held and used is measured by a comparison of the carrying amount of an asset to estimated undiscounted cash flows expected to be generated by the asset. If the carrying amount of an asset exceeds its estimated future cash flows, an impairment charge is recognized for the amount by which the carrying amount of the asset exceeds the fair value. Historically, the Company has recognized no impairments of long-lived assets.

Leases – Leases are accounted for by the Company as either operating leases or finance leases. At commencement, operating leases (if the term is longer than 12 months) are accounted for by the Company as a right-of-use (ROU) asset and as a lease liability on the balance sheet (current and long-term) in accordance with FASB ASU 842. The Company is

currently entered into one finance lease agreement. The Company is not currently entered into any long-term operating lease agreements.

The amounts for the ROU asset and lease liability are determined with a present-value calculation over the term of the lease at the rate implicit in the lease (if available) or the Company's current borrowing rate (see Note 2).

The Company has elected to not include nonlease components as they are typically not significant. Subsequent to commencement, the operating lease liability is measured on the amortized cost basis using the effective interest method and the ROU asset is measured at the carrying amount of the operating lease liability plus unamortized initial direct costs and prepaid lease payments less any accrued lease payments and the unamortized balance of any lease incentives received. The Company has not included leases in this calculation that had not commenced as of the date of the balance sheet. The lease agreements do not include any material residual value guarantees or restrictive covenants. The Company has not included any options to renew or extend leases in the calculation of ROU asset and lease liability due to the nature of the Company's growth focus and office space needs changing frequently.

Leases that are less than 12 months in length are considered short-term and the Company has elected to adopt an exemption from the recognition and measurement requirements of FASB ASC 842. Accordingly, no ROU asset or lease liability are recognized in the financial statements and the lease expense is recognized as incurred.

During 2025 the Company entered into a long-term vehicle lease agreement with a third party vendor. Below is information regarding total lease payments for the year ended December 31, 2025 and future lease payments:

Finance lease information for 2025:

Weighted average remaining lease term for operating leases	4.7 years
Weighted average discount rate for operating leases	7.34%

The maturities of finance lease liabilities as of December 31, 2025 were as follows:

2026	\$	40,697
2027		40,697
2028		40,697
2029		40,697
2030		29,039
Total	\$	191,827
Less interest		(44,243)
Present value of lease liability	\$	147,584
Less current maturities		(33,873)
Long-term lease liability	\$	<u>113,711</u>

Total cash paid for amounts included in the measurement of lease liabilities was \$11,659 for the year ended December 31, 2025.

Amounts included in Property and Equipment and Accumulated Depreciation on the balance sheet that related to finance leases at December 31, 2025 were \$178,265 and \$11,140, respectively.

Accounts Payable – The following is a summarization of accounts payable at the balance sheet dates:

	<u>2025</u>	<u>2024</u>
Trade payable	\$ 1,539,759	\$ 606,686
Retainage payable	<u>0</u>	<u>0</u>
Totals	<u>\$ 1,539,759</u>	<u>\$ 606,686</u>

Combination – The Company’s combination policy is to follow FASB ASC 810. Currently the combined financial statements include three wholly-owned subsidiaries, MLI Transportation, LLC, MLI Executive, LLC and MLI Management, LLC as well as three commonly controlled entities, MLI Investment, LLC, MLI-6800, LLC and SSHANB, LLC for the years ended December 31, 2025 and December 31, 2024.

Income Tax – Midwest Landscape Industries (which includes the disregarded entities of MLI Transportation, MLI Executive and MLI Management) has elected to have its net income taxed directly to its shareholders under the provisions of Subchapter S of the Internal Revenue Code. MLI Investment, MLI-6800 and SSHANB are taxed as partnerships under the provisions of Subchapter K of the Internal Revenue Code. Accordingly, the taxable income and deductions are reported by the members on their income tax returns. In both cases, as of December 31, 2025, the tax years that remain subject to examination by taxing authorities begin with 2022.

The Company incurs pass-through entity taxes in the normal course of business. These taxes are considered deductible for tax purposes, but management treats them as equity transactions for financial statement purposes. The amount of pass-through entity taxes used as tax deductions was \$25,720 and \$0 for the years ended December 31, 2025 and 2024, respectively.

Reclassification – Certain items in the December 31, 2024 financial statements have been reclassified to conform to the presentation of the December 31, 2025 financial statements. The reclassifications had no effect on reported net income, total assets, liabilities, shareholders’ equity, cash flows or working capital.

Date of Management’s Review – Subsequent events have been evaluated through March 7, 2026 which is the date the financial statements were available to be issued.

NOTE 2: LINE OF CREDIT:

Under the terms of a line of credit entered into in July 2025, the Company can borrow up to \$2,250,000. The line was guaranteed by the Company’s shareholders and secured by all its business assets. The rate of interest charged was the Wall Street Journal Prime Rate plus 0.25%. The Prime Rate at December 31, 2025 was 6.75%. At no point was the rate of interest less than 3.75%. The line matures July 23, 2026. The amount outstanding on the line at December 31, 2025 and 2024 was \$1,928,693 and \$482,267, respectively.

NOTE 3: LONG-TERM DEBT:

Total long-term debt consists of the following:

	<u>2025</u>	<u>2024</u>
Note payable (\$300,000) held with a financial institution with a monthly installment of \$5,498 (including interest). Interest rate on the note is 3.75%, which matures in November 2026. The note is secured by the related assets.	\$ 53,480	\$ 116,129
Note payable (\$676,023) held with a financial institution with a monthly installment of \$16,667 (including interest). Interest rate on the note is 7.25%, which matures in December 2026. The note is secured by the related assets.	225,906	444,479
Note payable (\$482,691) held with a financial institution with a monthly installment of \$10,865 (including interest). Interest rate on the note is 3.75%, which matured in May 2025. The note is secured by the related assets.	0	11,483
Note payable (\$2,272,000) held with the Small Business Administration with a monthly installment of \$23,274 (including interest). Interest rate on the note is the Prime rate plus 1%. At December 31, 2025 the Prime rate was 6.75%. The note matures in June 2031. The note is secured by all assets of the Company and its shareholders.	1,372,501	1,587,599
Draw note payable held with a financial institution where the Company can draw up to \$2,000,000 to purchase equipment with variable monthly installments (approx. \$11,500) due to variable interest on the note being Prime plus 0.50%. At December 31, 2025 the Prime rate was 6.75%. The note matures in December 2029 and is secured by the related assets.	364,272	565,260

<p>Vehicle and equipment notes payable held with various institutions with total monthly installments of \$60,880 (including interest). Interest rates on the notes vary from 0% to 12.49%, with maturities ranging from January 2025 to April 2029. The notes are secured by the related assets.</p>	\$ 1,564,997	\$ 2,086,871
<p>Note payable (\$104,640) entered into by a commonly controlled entity, with variable monthly installments (approx. \$1,000) due to variable interest on the note being Prime plus 0.50%. At December 31, 2025 the Prime rate was 6.75%. The note matures in April 2027 with a planned balloon payment of approximately \$85,000.</p>	89,449	94,111
<p>Note payable (\$580,000) entered into by the Company and a commonly controlled entity, held with a financial institution with variable monthly installments of \$5,173 (including interest). Interest rate on the note is variable based on the Prime rate plus 0.25%. The Prime rate at December 31, 2025 was 6.75%. The Note matures April 2034 with a planned balloon payment of approximately \$405,000.</p>	553,972	566,860
<p>Note payable (\$580,190; \$489,528 principal plus \$90,662 of future monthly processing fees) entered into by a commonly controlled entity held with the Small Business Administration with monthly installments of \$3,243 (including interest). Interest rate on the note is 5.09%, which matures June 2049.</p>	558,891	571,714

Note payable (\$784,000) entered into by a commonly controlled entity held with a third party which requires quarterly interest only payments of \$9,800 for the first 60 months with monthly installments starting at \$5,051 (including interest) in January 2030. Interest on the note starts at 6% and escalates by 1% annually. The note matures December 2054.

	\$ 784,000	\$ 0
Totals	\$ 5,567,468	\$ 6,044,506
Less future monthly processing fees	(82,869)	(88,065)
Less loan cost amortization	<u>(22,170)</u>	<u>(25,622)</u>
Net debt	\$ 5,462,429	\$ 5,930,819
Less amounts due within one year	(1,176,630)	<u>(1,167,990)</u>
Long-term debt	<u>\$ 4,285,799</u>	<u>\$ 4,762,829</u>

The long-term debt matures as follows:

2026	\$ 1,176,630
2027	1,108,095
2028	732,513
2029	333,045
2030 and after	2,134,316
Less loan cost amortization	<u>(22,170)</u>
Total net debt	<u>\$ 5,462,429</u>

NOTE 4: PENSION PLANS

The Company has a defined contribution plan (established under Sec. 401(k) of the Internal Revenue Code) for full-time employees. Effective in 2023, the Company's plan was amended to eliminate the Company match. As a result, \$0 was contributed to the plan by the Company during 2024 and 2025.

NOTE 5: COMMITMENTS AND CONTINGENCIES:

Concentration of Cash on Deposit and Uninsured Cash Balances – The Company maintains a large portion of its cash in a single local financial institution. At times, the balance exceeds the FDIC insured amount of \$250,000. The amount at risk for both December 31, 2025 and 2024 was \$40,019 and \$13,966, respectively. The Company has not experienced any losses in such accounts and believes it is not exposed to any significant credit risk to cash.

The Company is periodically involved in disputes and claims with contractors and owners in connection with its ongoing activities. At the present time, the outcome of such claims/disputes is not subject to accurate determination and they are not considered to be material to the financial statements taken as a whole.

Concentration of Credit Risk – The Company is involved in the landscape development and maintenance of commercial and residential properties in the state of Indiana. The very nature of the business entails large trade receivable balances from a small number of customers from time to time.

Major Customers – The Company’s revenue contained amounts earned from no major customers during the year ended December 31, 2025.

The Company’s revenue contained amounts earned from one major customer during the year ended December 31, 2024. Revenue and the related contracts receivable balances were as follows:

	<u>Sales</u>	<u>Contracts Receivable</u>
Customer A	\$ 1,301,496	\$ 503,258

NOTE 6: RELATED PARTY TRANSACTIONS:

For 2024 and 2025, as a result of the financial statement combination, all intercompany transactions were eliminated and there are no additional related party transactions.

Bid Package - 32E - Performance Platform	Bomar Industries	F.A. Wilhelm	Poynter Sheet Metal	Verkler
	Blake Russell 317-899-1240 Blaker@bo-marind.com	Mohammed El-Hafy 317-332-0634 MohammedElHafy@fawilhelm.com	Tek Osborn 317-893-6515 TekOsborn@poyntersheetmetal.com	Ryan Albright 317-508-7943 rcalbright@verkler.com
BASE BID	\$189,500	\$297,000	\$367,801	\$385,000
Bid Submittals				
Bid Package 32E Performance Platform – Bid Form	included	included	excluded	included
Bid Form Attachment 1 – Combined Bid (if applicable)	included	included	excluded	included
Bid Form Attachment 2 – Supplemental Bid Information	included	included	excluded	included
Subcontractor/Supplier Qualification Form	included	included	excluded	included
Contractor’s Bid for Public Work – Form 96	included	included	excluded	included
Specifications/General				
Specifications				
Division 01 - General Requirements	yes			
051200 - Structural Steel Framing	yes			
323300.02 - Performance Platform	yes			
Documents				
Final Construction Plans dated 04/30/2026	yes			
Final Construction Specifications dated 04/30/2026	yes			
00 Project Bid Manual - Bid Event #3	yes			
General Scope of Work for Bid Packages	yes			
Bid Package 32E Performance Platform - Specific Scope of Work	yes			
01 Project Schedule	yes			
02 Site Logistics Plan	yes			
03 Site Safety Plan	yes			
04 Tax Exemption Form	yes			
05 Wilhelm Sample Subcontract Agreement - Confirm will execute with no exceptions	yes			
06 Custom Fire Pit Scope Delineation	yes			
Addendum #1 dated 5/22/2026	yes			
Addendum #2 dated 5/29/2026	yes			
Scope Verification				
Subcontractor to provide all labor, materials, and equipment for all performance platform work for the project.	yes			
All delegated design elements identified in the Contract Documents shall be the sole responsibility of this Subcontractor. Subcontractor shall engage licensed design professionals, as required, to prepare, sign, and seal all delegated design calculations, drawings, and specifications. All delegated design shall meet or exceed the performance criteria, codes, and requirements set forth in the Contract Documents.	yes			
Subcontractor shall provide all required decking, ramps, and landings for the performance platform.	yes			
Subcontractor shall provide all components and accessories for the performance platform, including but not limited to aluminum panels, lpe wood, diamond plating, steel tube framing, structural reinforcing, supports, bracing, strap tie downs, leveling feet, brackets, threaded rods, anchors, fasteners, fittings, hardware, etc. as required for a complete installation.	yes			
Subcontractor shall provide all required shop-applied coatings, powder coatings, and field-applied painting for this scope of work.	yes			
Subcontractor shall provide all warranties as required.	yes			
Proper care shall be taken to avoid tracking of debris, trash, and mud onto public streets or adjacent properties. Mud or excess dirt on public streets resulting from work operations shall be cleaned daily. Bidder shall have necessary equipment and personnel available onsite during all working hours to handle any emergency cleanup.	yes			
Dust control is included for this scope.	yes			
Traffic control, permitting, flagmen, barricades, temporary officers, etc. as required for this scope of work is included.	yes			
Subcontractor shall furnish and install all mock-ups as required by the contract documents.	yes			

Bid Package - 32E - Performance Platform	Bomar Industries	F.A. Wilhelm	Poynter Sheet Metal	Verkler
	Blake Russell	Mohammed El-Hafy	Tek Osborn	Ryan Albright
	317-899-1240	317-332-0634	317-893-6515	317-508-7943
	Blaker@bo-marind.com	MohammedElHafy@fawilhelm.com	TekOsborn@poyntersheetmetal.com	rcalbright@verkler.com
Exclusions:				
Gateway pier metals	yes			
Site furnishings	yes			
TOTALS	\$189,500	\$297,000	\$367,801	\$385,000

Alternates				
1 Payment & Performance Bond	N/A			\$4,000.00
2 Voluntary Alternate:				
3 Voluntary Alternate:				
4 Voluntary Alternate:				

Bid Breakdown (For Accounting Purposes Only)				
1 Park Street (Plan Area A, B, C)				
a. N/A				
2 Plaza (Plan Area D)				
a. Performance Platform	\$189,500.00	\$297,000.00		\$385,000.00
3 Miscellaneous Items				
4 Total Base Bid Amount	\$189,500.00	\$297,000.00		\$385,000.00



BID PACKAGE 32E – PERFORMANCE PLATFORM BID FORM

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: BOMAR INDUSTRIES

Address: 3838 SOUTH ARLINGTON AVE. INDIANAPOLIS, IN 462023

Contact: BLAKE RUSSELL

Phone: 317-899-1240

Email: BLAKER@BOMARIND.COM

Date: 6/3/2026

State License Number (if applicable): _____

1.3 TO: F.A. Wilhelm Construction Co., Inc.
Attn: Ariana Binder
(Submitted through Building Connected)

1.4 BASE BID:
Total Bid price for all work, complete, in accordance with the Bidding Documents:
Bid Amount (in words): ONE HUNDRED EIGHTY-NINE THOUSAND FIVE HUNDRED
Dollars: \$ 189,500

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)	
a. N/A	
2. Plaza (Plan Area D)	
a. Performance Platform	\$ <u>N/A</u>
3. Miscellaneous Items	\$ <u>N/A</u>
4. Total Base Bid Amount	\$ <u>189,500</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
ADD / DEDUCT \$ N/A

2. Alternate #2: Voluntary Alternate: N/A
ADD / DEDUCT \$ N/A

- 3. Alternate #3: Voluntary Alternate: _____ N/A
 ADD / DEDUCT \$ _____ N/A
- 4. Alternate #4: Voluntary Alternate: _____ N/A
 ADD / DEDUCT \$ _____ N/A

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

Addendum No. 1 Dated 5/29/26
 Addendum No. 2 Dated 5/29/26
 Addendum No. _____ Dated _____
 Addendum No. _____ Dated _____

- F. Information to be provided with Bid Proposal:
 - 1. Bid Package 32E Performance Platform – Bid Form
 - 2. Bid Form Attachment 1 – Combined Bid (if applicable)
 - 3. Bid Form Attachment 2 – Supplemental Bid Information
 - 4. Subcontractor/Supplier Qualification Form
 - 5. Contractor’s Bid for Public Work – Form 96
- G. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.**

Signed By: _____ *Blake Russell* _____
Signer ID: YIN8TY6G18...
 (Member of Firm Authorized to Sign Bid)

Title: ESTIMATING MANAGER Date: 6/3/2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: BOMAR INDUSTRIES DATE: 6/3/2026

BID PACKAGE: 32 E PERFORMACNE PLATFORM

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
JOE VEYETTE - INSTALLATION MANAGER	100
_____	_____
_____	_____
_____	_____

B. MAJOR EQUIPMENT *(individual pieces of equipment over \$10,000.00)*

Equipment and Manufacturer	Quantity	Lead Time
N/A	N/A	N/A
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
N/A	N/A	N/A	N/A	N/A

Signed By: Blake Russell
Signer ID: YIN8TY6G18...

(Member of Firm Authorized to Sign Bid)

Title: ESTIMATING MANAGER

Date: 6/3/2026

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name: BOMAR INDUSTIRES				Date: 6/3/2026		
Street Address: 3838 SOUTH ARLINGTON AVE			Mailing Address: 3838 SOUTH ARLINGTON AVE			
City: INDIANAPOLIS	State: IN	Zip: 46203	City: INDIANPOLIS	State: IN	Zip: 46203	
Former Business Name (if applicable):						
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Telephone: 317-899-1240		Fax:	Website Address: WWW.BOMARIND.COM			
Contractor's License #:		State: IN	Expiration:			
State Sales Tax Registration #:		State Unemployment #:	Federal ID #: 35-1843148			
Primary Contact Info						
Contact Name: ADAM SKELTON			Title: DIRECTOR			
Telephone: 317-899-1240			Location: 3838 S. ARLINGTON AVE.			
Email: ADAMS@BOMARIND.COM						
Secondary Contact Info (If applicable)						
Contact Name:			Title:			
Telephone:			Location:			
Email:						
Contractor Type	<input type="checkbox"/> General Contractor <input checked="" type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) _____ 4.) _____ 2.) _____ 5.) _____ 3.) _____ 6.) _____			
Contract Size			Area of Operation			
- Maximum contract amount your company can effectively manage? (\$) _____ - What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) <u>1,608,440</u> - Largest Project completed in the past 3 years? (\$) <u>1,608,440</u> - What percentage of work does your company sub-contract on a typical job? <u>10%</u> (\$) _____			<input type="checkbox"/> Metro Indianapolis <input type="checkbox"/> Indiana <input type="checkbox"/> Central Indiana <input type="checkbox"/> NE Indiana <input type="checkbox"/> NW Indiana <input type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois <input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International			

Licenses/Product Certifications (*)	
State License Numbers Indiana Department of Administration (IDOA) License Number _____ Expiration Date _____ Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____ (*) Please attach current IDOA and/or INDOT Certification	City License Number City of _____ License Type: _____ License Number _____ Expiration Date _____ City of _____ License Type: _____ License Number _____ Expiration Date _____ (*) Please attach current City Certification and/or license

() If requested, please provide any documentation which substantiates licenses.*

Trade Specific License	
Trade _____	Trade _____
License Number _____	License Number _____

() If requested, please provide any documentation which substantiates trade licenses.*

Safety Questionnaire (*)				Part 2
OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025				
2024				
2023				
2022				
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025				
2024				
2023				
2022				
<i>Totals</i>				

Do you have an OSHA compliant safety program in place? Yes No

Do you have a designated safety officer at your company? Yes No

Does this person conduct safety inspections on all job site(s)? Yes No

Have you implemented a hazardous communication plan(s)? Yes No

Have you implemented a drug testing program? Yes No

Do you have a light-duty program? Yes No

Do you review the safety procedures, and history of any sub-contractor you work with? Yes No

No Do you provide safety training to all employees? Yes No

Would you allow an audit of your company manuals relating to safety policy/procedure? Yes No

No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:
THE SAFETY TRAINING PROVIDED TO EMPLOYEES IS PROVIDED IN HOUSE

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:
BOMAR INSTALLERS ARE OSHA 30 CERTIFIED

(*If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.

(* To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.

Insurance Information (*)			Part 3
Insurance Agency:	Phone: ()		
Insurance Contact Name:	Fax: ()		
Street Address:			
City:	State:	Zip:	

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
General Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Excess Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Auto Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Professional Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Other	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		

(*If requested, please include a copy of your current insurance certifications

Banking/Financial (*)			Part 4
Bank Name: COMMUNITY FIRST BANK OF INDIANA	Contact Name: J. SCOTT HAMMERSLEY		
Phone: () 317-763-5338	Line of Credit Amount: (\$) 750,000		
Amount Available: (\$)	Secured: <input type="checkbox"/> Yes <input type="checkbox"/> No		
Description of Collateral:	Personal <input type="checkbox"/> Yes <input type="checkbox"/> No		
What is your current backlog of work?	D-U-N-S #:		
Please provide annual revenue for the past 3 years			
Year	2025	2024	2023
Revenue	(\$)	(\$)	(\$)
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>			

(*)If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.

Bonding/Surety Information (*)		Part 5
Agent's Name:	Bonding/Surety Company:	
Phone: ()	Bonding Capacity: Total: (\$) Per Job: (\$)	
Personal Guarantee: <input type="checkbox"/> Yes <input type="checkbox"/> No	Dollar value of bonded work on hand: (\$)	

(*)If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.

Authorization
<p>I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.</p>

(*) By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)
Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): JUNE, 31 2026

1. Governmental Unit (Owner): _____

2. County : _____

3. Bidder (Firm): BOMAR INDUSTRIES

Address: 3838 SOUTH ARLINGTON AVE

City/State/ZIPcode: INDIANAPOLIS/INDIANA/46203

4. Telephone Number: 317-899-1240

5. Agent of Bidder (if applicable): _____

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of _____

(Governmental Unit) in accordance with plans and specifications prepared by _____

_____ and dated _____ for the sum of _____ \$ _____

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS *(If applicable)*

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, _____, subject to the following conditions: _____

Contracting Authority Members:

PART II

(For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: _____

Bidder (Firm) _____

Date (month, day, year): _____

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

- What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
1,608,440	CUSTOM METAL	10/31/2025	1-70 EB-CLEAR CREEK WELCOME CENTER

- What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
NONE	N/A	N/A	N/A

3. Have you ever failed to complete any work awarded to you? NO If so, where and why?

4. List references from private firms for which you have performed work.

HANNIG CONSTRUCTION - 812-235-6218

SIMON CONSTRUCTION - 317-2653-2366

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

N/A

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

N/A

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

N/A

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

N/A

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

N/A

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

BID OF

_____ (Contractor)

_____ (Address)

**FOR
PUBLIC WORKS PROJECTS
OF**

Filed _____,

Action taken _____



BID PACKAGE 32E – PERFORMANCE PLATFORM BID FORM

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: F. A. Wilhelm Construction Co., Inc.
 Address: 3914 Prospect Street, Indianapolis, IN 46203
 Contact: Mohammed El-Hafy
 Phone: (317) 359-5411
 Email: MohammedElHafy@fawilhelm.com
 Date: June 3, 2026
 State License Number (if applicable): C8054000

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID:
 Total Bid price for all work, complete, in accordance with the Bidding Documents:
 Bid Amount (in words): Two hundred ninety seven thousand dollars.
 Dollars: \$ \$297,000

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)	
a. N/A	
2. Plaza (Plan Area D)	
a. Performance Platform	\$ <u>\$297,000</u>
3. Miscellaneous Items	\$ _____
4. Total Base Bid Amount	\$ <u>\$297,000</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
 ADD / DEDUCT \$ _____

2. Alternate #2: Voluntary Alternate: _____
 ADD / DEDUCT \$ _____

3. Alternate #3: Voluntary Alternate: _____

ADD / DEDUCT \$ _____

4. Alternate #4: Voluntary Alternate: _____

ADD / DEDUCT \$ _____

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

Addendum No. 1 Dated 05/22/2026

Addendum No. 2 Dated 05/29/2026

Addendum No. _____ Dated _____

Addendum No. _____ Dated _____

F. Information to be provided with Bid Proposal:

- 1. Bid Package 32E Performance Platform – Bid Form
- 2. Bid Form Attachment 1 – Combined Bid (if applicable)
- 3. Bid Form Attachment 2 – Supplemental Bid Information
- 4. Subcontractor/Supplier Qualification Form
- 5. Contractor’s Bid for Public Work – Form 96

G. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.**

Signed By:  _____
 Andrew S. Lock (Member of Firm Authorized to Sign Bid)

Title: Vice President Preconstruction Services Date: June 3, 2026



BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: F. A. Wilhelm Construction Co., Inc. DATE: June 3, 2026

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Combined Bid Amount: Dollars \$ _____

A. **The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.**

Signed By: 
Andrew S. Lock (Member of Firm Authorized to Sign Bid)

Title: Vice President Preconstruction Services Date: June 3, 2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: F. A. Wilhelm Construction Co., Inc. DATE: June 3, 2026

BID PACKAGE: 32E - Performance Platform

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>Superintendent</u>	<u>100%</u>
<u>Project Manager Trey</u>	<u>50%</u>
<u>Project Engineer</u>	<u>25%</u>
_____	_____

B. MAJOR EQUIPMENT *(individual pieces of equipment over \$10,000.00)*

Equipment and Manufacturer	Quantity	Lead Time
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type

Signed By: 
Andrew S. Lock (Member of Firm Authorized to Sign Bid)

Title: Vice President Preconstruction Services Date: June 3, 2026

THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name:					Date:	
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Former Business Name (if applicable):						
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Telephone:		Fax:		Website Address:		
Contractor's License #:		State:		Expiration:		
State Sales Tax Registration #:		State Unemployment #:		Federal ID #:		
Primary Contact Info						
Contact Name:			Title:			
Telephone:			Location:			
Email:						
Secondary Contact Info (if applicable)						
Contact Name:			Title:			
Telephone:			Location:			
Email:						
Contractor Type	<input type="checkbox"/> General Contractor <input type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input type="checkbox"/> Yes <input type="checkbox"/> No (*) If yes, please list all unions that your company is signatory with		Signatory Unions: 1.) _____ 4.) _____ 2.) _____ 5.) _____ 3.) _____ 6.) _____			
Contract Size			Area of Operation			
-Maximum contract amount your company can effectively manage? (\$) _____ -What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) _____ -Largest Project completed in the past 3 years? (\$) _____ -What percentage of work does your company sub-contract on a typical job? (\$) _____			<input type="checkbox"/> Metro Indianapolis <input type="checkbox"/> Indiana <input type="checkbox"/> Central Indiana <input type="checkbox"/> NE Indiana <input type="checkbox"/> NW Indiana <input type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois <input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International			

THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

Licenses/Product Certifications (*)	
State License Numbers Indiana Department of Administration (IDOA) License Number _____ Expiration Date _____ Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____ (*) Please attach current IDOA and/or INDOT Certification	City License Number City of _____ License Type: _____ License Number _____ Expiration Date _____ City of _____ License Type: _____ License Number _____ Expiration Date _____ (*) Please attach current City Certification and/or license

(*) If requested, please provide any documentation which substantiates licenses.

Trade Specific License	
Trade _____	Trade _____
License Number _____	License Number _____

(*) If requested, please provide any documentation which substantiates trade licenses.

Safety Questionnaire (*)				Part 2
OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025				
2024				
2023				
2022				
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025				
2024				
2023				
2022				
Totals				

- Do you have an OSHA compliant safety program in place? _____ Yes No
- Do you have a designated safety officer at your company? _____ Yes No
- Does this person conduct safety inspections on all job site(s)? _____ Yes No
- Have you implemented a hazardous communication plan(s)? _____ Yes No
- Have you implemented a drug testing program? _____ Yes No
- Do you have a light-duty program? _____ Yes No
- Do you review the safety procedures, and history of any sub-contractor you work with? _____ Yes No
- Do you provide safety training to all employees? _____ Yes No
- Would you allow an audit of your company manuals relating to safety policy/procedure? _____ Yes No

No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:

()If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.*

() To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.*

Insurance Information (*)			Part 3
Insurance Agency:	Phone: ()		
Insurance Contact Name:	Fax: ()		
Street Address:			
City:	State:	Zip:	

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
General Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Excess Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Auto Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Professional Liability	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		
Other	<input type="checkbox"/> Yes <input type="checkbox"/> No		(\$)		

()If requested, please include a copy of your current insurance certifications*

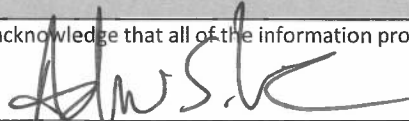
THIS DOCUMENT IS ALREADY ON FILE FOR F. A. WILHELM CONSTRUCTION CO., INC.

Banking/Financial (*)				Part 4
Bank Name:		Contact Name:		
Phone: ()		Line of Credit Amount: (\$)		
Amount Available: (\$)		Secured: <input type="checkbox"/> Yes <input type="checkbox"/> No		
Description of Collateral:		Personal <input type="checkbox"/> Yes <input type="checkbox"/> No		
What is your current backlog of work?		D-U-N-S #:		
Please provide annual revenue for the past 3 years				
Year	2025	2024	2023	
Revenue	(\$)	(\$)	(\$)	
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>				

()If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.*

Bonding/Surety Information (*)			Part 5
Agent's Name:		Bonding/Surety Company:	
Phone: ()		Bonding Capacity: Total: (\$) Per Job: (\$)	
Personal Guarantee: <input type="checkbox"/> Yes <input type="checkbox"/> No		Dollar value of bonded work on hand: (\$)	

()If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.*

Authorization
<p>I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.</p> <div style="display: flex; justify-content: space-between; align-items: center; margin-top: 20px;">  <div style="text-align: right;"> <p>Andrew S. Lock, Vice President Preconstruction Services</p> </div> </div>

() By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.*



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)
Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): June 3, 2026

1. Governmental Unit (Owner): City of Westfield
2. County : Hamilton County
3. Bidder (Firm): F. A. Wilhelm Construction Co., Inc.
Address: 3914 Prospect Street
City/State/ZIPcode: Indianapolis, IN 46203
4. Telephone Number: (317) 359-5411
5. Agent of Bidder (if applicable): N/A

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield Park Street Improvement

(Governmental Unit) in accordance with plans and specifications prepared by Rundell Ernstberger Associates
_____ and dated March 2026 for the sum of
Two hundred ninety seven thousand dollars \$ \$297,000

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS

(If applicable)

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, _____, subject to the following conditions: _____

Contracting Authority Members:

PART II
(For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: City of Westfield

Bidder (Firm) F. A. Wilhelm Construction Co., Inc.

Date (month, day, year): June 3, 2026

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
Please see "Major Projects Completed" attachment			

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
Please see "Works in Progress" attachment			

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

IU Health	Wabash College	Churchill Downs, Inc.
Jim Mladucky	Adriann Rhoades	Ryan Jordan
340 West 10th Street	301 W. Wabash Avenue	700 Central Avenue
Indianapolis, IN 46202	Crawfordsville, IN 47933	Louisville, KY 40208
(317) 962-3915	(765) 361-6100	(502) 636-4400

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

Manage, supervise and perform the work in accordance with the bid documents.

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

Over the past five (5) years we have performed over 25 public works projects in which we have employed over 200 subcontractors in various scopes of work. The largest among these are Leach & Russell (mechanical), Long Electric (electrical), Ermco Electric (electrical), ISI (drywall), Circle B (fireproofing, drywall) and PCI (drywall).

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

To be determined

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

Any required equipment or tools required to complete the project.

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

We have received quotes for some materials. We have not contracted for anything at this time.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

SECTION IV CONTRACTOR'S NON – COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to include anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

SECTION V OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

Dated at F. A. Wilhelm Construction Co., Inc. this 3rd day of June, 2026

F. A. Wilhelm Construction Co., Inc.
(Name of Organization)

By [Signature]

Andrew S. Lock, Vice President Preconstruction Services
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF INDIANA)
) ss
COUNTY OF MARION)

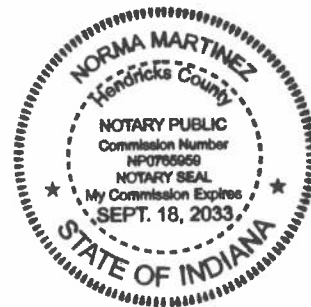
Before me, a Notary Public, personally appeared the above-named Andrew S. Lock and swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this 3rd day of June, 2026.

[Signature]
Norma Martinez Notary Public

My Commission Expires: September 18, 2033

County of Residence: Hendricks



BID OF

F. A. Wilhelm Construction Co., Inc.

(Contractor)

3914 Prospect Street, Indpls., IN 46203

(Address)

FOR
PUBLIC WORKS PROJECTS
OF

Filed _____, _____

Action taken _____



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
IPS GW Carver School 87- Masonry	Indianapolis Public Schools	147,000	100	
Republic Airways Parking Garage - Masonry	Republic Airways	1,322,471	100	
Nucor Steel Crawfordsville Augercast Piles	Nucor Sheet Mill Group	22,662	100	
HUMS Elementary School - Mishawaka	School City of Mishawaka	75,500	100	
Millipore FRP Building 1	No Customer	90,106	100	
Millipore Sigma-Masonry	Exelead Merck Millipore	147,304	100	
Republic Airways Garage - General Trades Package	Republic Airways	199,372	100	
Exelead - Masonry	Exelead Pharma	238,500	100	
CHE Bldg. 3 2nd Floor Oncology Renovation -Masonry	Community Health Network-East	241,400	100	
IDOC - MCP - Wall & Tunnel Repair	Build Westville	257,402	100	
Community Surgery Center South Addition - Masonry	Community Health Network	376,245	100	
Fed Ex South Campus Freight Building Expansion	FedEx Express	589,154	100	
Hudnut Commons Beam Replacement	Capital Improvements Board	604,000	100	
Roche Building D Façade-Masonry	Roche Diagnostics	699,413	100	
Elanco Global HQ - Carpentry	F. A. Wilhelm Construction Co., Inc.	945,053	100	
Nucor/Beacon - Electrical Duct Banks	Beacon Electric	961,649	100	
FWSB Casino Bar - Carpentry	Pokagon Band of Potawatomi	1,572,053	100	
Purdue Ross Ade Stadium SEZ - Masonry	Purdue University	1,908,848	100	
River Road Well #17	Citizens Energy Group	920,671	100	
Millipore Sample Booth	Exelead Merck Millipore	1,098,570	100	
Millipore Building One Re-Roof	Exelead Merck Millipore	1,789,329	100	
MRU/CTIC Warehouse Fit-Out Project	Confidential Client Non-OCIP Work	10,589,489	99	
Eskenazi Health, Misc Health System Projects	Eskenazi Health	3,735,226	99	
Spectron RX Cyclotron - Masonry	SpectronRx	76,000	98	
Purdue OTR Services	Purdue University	101,500	98	
Confidential Client LP2 - Masonry	Confidential Client	362,283	96	
MA8 Domino 4	Confidential Client	27,302,462	95	
Republic Airways P6 Perimeter Walls FL 1-3	Republic Airways	532,765	95	



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Noblesville Event Center - Concrete & Masonry	Patch Innovation Mille LLC	21,050,767	94	
Crusader T.I.	Prologis	24,262,770	93	
Republic Airways HQ - Masonry	Republic Airways	520,100	92	
Purdue Hillenbrand General Trades	Purdue University	788,920	90	
Simtra Project Greenlight - Elevator Shafts	Simtra BioPharma Solutions	346,300	90	
Millipore Building One - Concrete	Exelard Merck Millipore	319,310	80	
Indianapolis Animal Care Services - Civil	TPC Mechanical Contractors LLC	3,010,530	78	
Ampacet - 2024 Terre Haute Exp. 30% Design	Ampacet	50,000	70	
Simtra - Project HyperDrive EXTERIOR	Simtra BioPharma Solutions	621,680	60	
P&G Project Benuu - PRL Self Perform Concrete	Procter & Gamble Company	20,046,123	60	
Purdue - Mitch Daniels School of Business - Concrete	The Trustees of Purdue University	8,209,228	60	
Westfield Fire Station 84 - Masonry	City of Westfield	879,948	54	
Indianapolis Animal Care Services (IACS) - Concrete	Indianapolis Department of Business & Neighborhood Services	1,842,768	53	
Sheraton Garage Phase 2 & 4	Premier Project Management LLC	2,785,715	50	
IUHW - Vertical Expansion & Renovation - Masonry	Indiana University Health, Inc.	609,090	44	
BLD6 O Footing Exploratory Excavation	Roche Diagnostics	19,185	43	
Millipore Building One - Demo	Exelard Merck Millipore	119,140	41	
IUH - Plaza Area G Lab - Concrete	IU Health Arnett	128,643	32	
Sullivan County Community Hospital	Sullivan County Community Hospital	50,000	27	
I-70 Centerville Welcome Center	Indiana Department of Transportation	40,096,000	25	
IACS - General Trades	Indianapolis Department of Business & Neighborhood Services	1,337,770	19	
IU Indy - James T. Morris Arena	Trustees of Indiana University	91,716,070	17	
Turtle Creek Apartments	RDoor Housing Corporation	1,166,000	15	
BSU - College of Architecture & Planning Renovations	Ball State University	23,660,575	14	
JLL Projects - NN	Confidential Client AS	52,000	14	
BSU - AC/MU/TH	Ball State University	43,955,234	11	
Confidential Client Medicine Foundry	The Foundry Partners	72,323,352	9	
SpectronRX - Building D	SpectronRx	2,569,147	9	



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
501 Indiana Avenue	Arrow Street Development	360,612	8	
IndyGo Blue Line	Indianapolis Public Transportation Corp	34,702,000	7	
Bloomington-Morroe Chemical Feed-CMA	No Customer	122,600	2	
Veteran's Way Carmel Stairs	Village Capital Corporation	1,109,800	2	
RayzeBio Expansion	Bristol-Myers Squibb-JT0(0111)	5,945,947	2	
Community South - West Parking Lot	Community Health Network	1,002,915	1	
CEG Chilled Water & Steam - James T. Morris Arena	Citizens Energy Group	363,586	0	
INAW Sheridan Regional Lift Station	Indiana American Water Company, Inc.	6,335,478	0	
Novonosis ISO Tank Yard	Novonosis Manufacturing	13,412,099	0	
Simtra Project Greenlight - General Trades	Simtra BiPharma Solutions	1,108,675	0	
Confidential Client - Central Corridor Foundations	The Foundry Partners	3,644,606	0	
Republic Airways Hotel Expansion	Republic Airways	21,186,435	0	
Confidential Client 196 Chilled Water System Expansion	Confidential Client	349,000	0	
IU Ft. Wayne Hospital MOB	Pepper Construction	1,120,200	0	
Confidential Client - Hybrid Foundations	The Foundry Partners	16,049,927	0	
Kenyon College West Quad	Kenyon College	18,156,241	100	7/31/21
Confidential Client Loom Room - QC Lab Renovation	Confidential Client	8,095,846	100	1/1/22
Cardinal Health, Preconstruction	Cardinal Health	20,207,178	100	1/1/22
Confidential Client - Packaging B Project	Confidential Client	10,661,283	100	1/31/22
The Corner Garage, Carmel	Buckingham Construction	8,705,911	100	3/21/22
Cummins CTC Office Tower Renovation	Cummins, Inc.	26,055,099	100	5/31/22
FedEx FSSM	FedEx Express	917,605	100	6/30/22
Confidential Client Southeast Parking Lot	Confidential Client	7,726,753	93	6/30/22
City of Lafayette, Public Safety Building & Garage	Kettelhut Construction, Inc.	588,434	100	8/30/22
Carmel-CHS Performing Arts Center Building Additions and Ren	CARMEIL CLAY SCHOOLS	2,641,720	100	8/31/22
Four Winds South Bend Gaming Expansion CONCRETE	Pokagon Gaming Authority	1,486,671	83	8/31/22
Amazon DMA Project Bolt	Amazon.com Services, LLC	298,634	100	9/28/22
Churchill Downs Turn 1 Concrete 2022	Churchill Downs Improvements	5,037,686	100	9/30/22



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Spectron Rx Cylotrons	SpectronRx	8,443,109	100	9/30/22
Four Winds Casino & Hotel South Bend, Ph-2	Pokagon Gaming Authority	189,525,509	100	10/21/22
Fort Wayne Shaft Liners	Salini Impregiolo/Healy Joint Venture	15,921,643	100	10/31/22
1st on Main	Lauth Group, Inc.	1,637,024	100	11/1/22
Churchill Downs Paddock Concrete	Churchill Downs Improvements	12,130,091	100	11/30/22
CEG-New Belmont Ferrous Building	Citizens Energy Group	2,753,964	100	11/30/22
Racine Murphy Museum of Art - Masonry	University of Notre Dame	3,866,117	100	11/30/22
Poet Cloverdale C10-10	POET Bio-refining-Alexandria	474,393	100	12/20/22
Terre Haute Casino Resort - Earthwork	Churchill Downs Improvements	15,509,224	100	12/23/22
Miller Residence	Pacernac LLC c/o Rodney Miller	8,610,266	100	12/31/22
Studio M & KBSO Headquarters	Studio M Architecture & Planning	9,731,287	100	1/1/23
UND LaFortune Student Center Demolition	University of Notre Dame	437,911	100	1/31/23
McCormick Flying Cardinal	McCormick & Company, Inc.	772,993	100	1/27/23
Louisville VA Hospital Foundations	Walsh Construction Company II, LLC	8,830,803	100	1/29/23
Republic Airways (Hamilton Crossing)	Republic Airways	87,145,635	100	1/31/23
GRH at Nexus Park - Masonry	Columbus Regional Health	1,027,929	100	2/17/23
Confidential Client Pegasus BP 02-05 Concrete	Confidential Client	2,951,960	100	3/1/23
Purdue Hyperionics & Applied Research Facility Project	Purdue University	34,044,259	99	3/1/23
CEG-CSO 011 MH Improvements	Citizens Energy Group	1,256,398	100	3/31/23
Forensics & Coroner's Mass Grading	City of Indianapolis	5,477,056	100	3/31/23
FedEx Warehouse Cage	FedEx Express	945,409	100	4/14/23
Churchill Downs Paddock Experience	Churchill Downs Improvements	7,707,239	100	4/15/23
University of Notre Dame - Research Bldg Phase 2- Concrete	Shiel Sexton Company	10,755,718	100	4/21/23
Duke Energy Cayuga Closure, LADA	Duke Energy Indiana, Inc.	28,602,398	100	4/22/23
UPS Northwest Aircraft Maintenance Complex	UPS Air Region Building & Systems Engineering	2,297,776	100	5/1/23
Bottlenworks Building 13 Concrete	Hendricks Commercial Properties	4,772,238	100	5/22/23
Terre Haute Casino Resort- Concrete	Churchill Downs Improvements	13,765,100	100	5/23/23
Eianco Bovaer Estimate Support	Eianco US, Inc.	40,000	100	6/9/23



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Community Justice Center-Garages	City of Indianapolis	29,386,473	100	7/28/23
Allpoints Midwest 3 Rebuild - Masonry	Prologis	116,330	100	7/31/23
Federal Hill - Building B Concrete	Old Town Construction, LLC	3,234,336	100	7/31/23
Schleman Hall, Stewart Center & Related Renovations: GMP-3	Purdue University	189,457	100	7/31/23
863 Mass Ave Renovation	863 Landmark, LLC	5,727,582	85	7/31/23
Confidential Client Freezer Farm	Confidential Client	13,216,012	95	8/1/23
Pan Am Stabilization	AECOM Hunt	1,243,717	100	8/15/23
Republic Airways Parking Structure	Republic Airways	18,698,656	100	8/31/23
Hobbs Station Mixed Use Concrete	Shiel Sexton Company	15,682,066	100	8/31/23
Republic Airways Headquarters	Republic Airways	70,972,375	84	8/31/23
Earlham College - Dorm Remodel	Earlham College	5,050,587	100	9/15/23
Republic HQ - Concrete Pkg	Republic Airways	2,302,144	100	9/30/23
All Points Rebuild Project - Concrete (Walmart)	Duke Realty	12,433,025	100	9/30/23
Cardinal Health - D-B Modular Clean Rooms	Cardinal Health	9,161,275	100	9/30/23
Purdue Whistler Hall-Mechanical Systems Replacement	Purdue University	10,209,638	100	10/14/23
Kellogg's South Hog Food Room Upgrades	Bahlsen, Inc.	447,665	99	10/15/23
Messer SOMD	Messer Construction Co.	20,423	100	10/24/23
Cummins Office Sidewalk Replacement	Cummins, Inc.	485,500	100	11/13/23
Praxair VIGA 2, 5, & 45	Praxair Surface Technologies, Inc.	3,348,313	100	11/22/23
Carmel High School Natatorium	CARMEL CLAY SCHOOLS	3,425,394	100	11/30/23
Columbus FCC Clock Tower	First Christian Church	2,694,689	100	11/30/23
Republic HQ - Earthwork	Republic Airways	1,340,675	98	11/30/23
Confidential Client Tier II Projects	Confidential Client	31,716	100	12/1/23
Indy 60 Purple Line-Crider & Crider Concrete	Indianapolis Public Transportation Corp	1,316,986	100	12/1/23
Stellantis Samsung Battery Plant	Stellantis/Samsung	2,832,294	99	12/1/23
Four Winds Casino Bar	Pokagon Band of Potawatomi	5,526,393	100	12/22/23
Kellogg's HR Room	KELL066	15,000	87	12/29/23
Kellogg's - Warehouse Orange Bar Install	KELL066	6,743	57	12/29/23



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Republic Garage - Concrete Pkg	Republic Airways	10,583,380	100	12/31/23
All Points Midwest 3 Rebuild	Duke Realy	64,986,203	100	12/31/23
Three Rivers Protection & Overflow Reduction Tunnel	Board of Public Works of the City of Fort Wayne	68,216,195	98	12/31/23
Town of Syracuse - WWTP/LS Upgrades/Waterline Install	Town of Syracuse	2,082,515	97	12/31/23
Confidential Client - Pegasus Project	Confidential Client	89,276,303	100	1/1/24
Kellanova - Additional Backstops and Freight	KELLOGG	19,494	24	1/19/24
Kellanova Cary Warehouse Sprinkler Protection	KELLOGG	158,470	57	1/26/24
Kellogg's Warehouse Orange Bar Moving Labor	KELLOGG	2,090,996	91	1/31/24
Praxair VIGA 35	Linde AMT Inc.	4,138,358	96	2/1/24
Parker-Lord Indianapolis Relocation	Parker Hannifin Corporation	11,178,632	83	2/1/24
IAA Parking Garage Expansion	Indianapolis International Airport	21,260,464	100	2/5/24
S&S Engine Pad R/R	Shambaugh & Son, L.P.	22,250	100	2/29/24
Evansville West WWTP CHP	City of Evansville-Evansville Water & Sewer Utility	5,745,755	84	3/31/24
Terre Haute Casino Resort - Flooring	Churchill Downs Improvements	3,739,491	99	4/1/24
INMAY-JCO London Bulk Storage	Indiana American Water Company, Inc.	589,794	100	4/30/24
Elanco Parking Garage - Masonry	Elanco US, Inc.	977,262	100	4/30/24
Rolls-Royce - Project Riehle	Rolls-Royce Corporation	50,037,489	100	4/30/24
FedEx Customs Renovation	FedEx Express	5,146,863	96	4/30/24
Terre Haute Casino Resort	Churchill Downs Improvements	206,049,575	100	5/6/24
FedEx USSI	FedEx Express	351,137	100	5/31/24
Flying Cardinal - McCormick	McCormick & Company, Inc.	45,325,880	100	5/31/24
Nucor Crawfordsville-Castor 2 Shear Foundation	Nucor Sheet Mill Group	258,444	100	6/4/24
Duke Edwardsport Slag Pad	Duke Energy Indiana, Inc.	1,409,583	100	6/5/24
Elanco - Boveer Facility - Construction Schedule Consulting	Elanco US, Inc.	60,000	100	6/28/24
Parker Lord Plant Relocation - General Trades	Parker Hannifin Corporation	75,000	100	6/30/24
Community Hospital Anderson - Cardiovascular Project	W.R. Dunkin & Son, Inc	4,648,711	100	6/30/24
Elanco Global HQ - Rough Carpentry	F. A. Wilhelm Construction Co., Inc.	1,162,176	88	7/1/24
Project Riehle - WL WP-10	Purdue University	1,090,372	99	7/15/24



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Rolls Royce - Project Riehle - Abatement	Rolls-Royce Corporation	90,756	100	7/31/24
Millipore Sigma 6" Sigma	Exelead Merck Millipore	214,376	96	7/31/24
Purdue Schleman Hall - Demolition	Purdue University	1,609,921	100	8/1/24
Purdue Schleman Hall - Stewart Center & Related Renovations	Purdue University	39,771,712	100	8/1/24
Forensics & Coroner's Office - Building Construction	CITY OF INDIANAPOLIS-MARION COUNTY AUDITOR'S OFFICE	44,441,032	100	8/1/24
Praxair - VIGA 250	Praxair Surface Technologies, Inc.	2,883,660	91	8/1/24
Duke-Purdue CHP 125# Steam Study	Duke Energy Indiana, Inc.	17,900	100	8/30/24
Carmel Midtown Parking Garage	Buckingham Construction	11,832,633	95	8/30/24
Andretti HQ - Concrete Package	Andretti Motor Sports	8,159,225	89	8/30/24
First Citizens Bank Screen Wall	First Citizens Bank	961,823	88	8/30/24
Elanco Headquarters - Masonry	F. A. Wilhelm Construction Co., Inc.	4,238,230	100	8/31/24
Purdue-Made Utility Chiller 7 Replacement	Purdue University	7,671,797	100	8/31/24
Headwaters Loft-Concrete	Barrett and Stokely, Inc.	16,938,667	100	8/31/24
Westfield YMCA - Masonry	YMCA of Greater Indianapolis	1,385,123	100	9/15/24
RHIT Residence Hall - Concrete	Rose-Hulman Institute of Technology	4,333,296	100	9/20/24
Bottleworks Building 9-12: Concrete	Shel Sexton Company	9,987,713	99	9/27/24
Rushville Community Center - Flooring	Weddle Bros. Construction Co., Inc.	522,287	100	9/30/24
Purdue Hillenbrand BP-33A Site Utilities	Purdue University	8,407,803	87	9/30/24
The Children's Museum Gable Screen Wall	The Children's Museum of Indianapolis	302,622	100	10/4/24
Sheraton Level III Slab Replacement	NEW Group	863,278	100	10/4/24
Republic HQ- Concrete Package	Republic Airways	7,399,688	99	10/29/24
Cardinal Health - Phase III	Cardinal Health	11,889,961	95	10/31/24
Linde Plant Consolidation Project	Linde AMT Inc.	759,804	63	11/4/24
Ingredient Slurry Building - Concrete	Ingredient, Inc.	1,890,653	98	11/13/24
Marion County YFS Center - Building	City of Indianapolis	39,579,652	99	11/24/24
Fishers Event Center - Flooring	City of Fishers, Indiana	1,125,819	100	11/30/24
Elanco Global HQ - Soft Flooring	Elanco US, Inc.	2,202,253	89	11/30/24
100N Recapitalization	Confidential Client	25,900,239	94	12/15/24



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Greenfield WWTP Improvements	F. A. Wilhelm Construction Co., Inc.	71,803,058	98	12/24/24
Spectron Bunker Hill II - Concrete	SpectronRx	1,762,144	94	12/27/24
Spectron Bunker Hill II - Earthwork	SpectronRx	554,453	65	12/27/24
Exelead - Phase I - A&B Expansion - Demo	Exelead Merck Millipore	180,500	100	12/31/24
Exelead - Phase I - A&B Expansion - Concrete	Exelead Merck Millipore	430,279	100	12/31/24
Ingredion Cofen Foundations	Ingredion, Inc.	1,631,500	100	12/31/24
Confidential Client Parenteral, DAP and Logistics Buildings	Confidential Client	134,540,762	100	12/31/24
Elanco Global HQ - BP01 - Concrete	Elanco US, Inc.	35,976,825	98	12/31/24
Purple Line-IndyGo	Indianapolis Public Transportation Corp	18,530,386	97	12/31/24
Marion County YFS Center - Mass Grading & Site Utilities	City of Indianapolis	3,627,679	96	12/31/24
LKC - Phase 1	Confidential Client-Wisconsin	4,184,566	89	12/31/24
CEG- Lift Station Replacement Program	Citizens Energy Group	12,056,608	82	12/31/24
White River Innovation District	City of Indianapolis - Marion County DPW	40,024,655	77	12/31/24
Exelead - Phase I - A&B Expansion	Exelead Merck Millipore	48,886,907	88	1/1/25
Jaewon Industries	Eastern Contractors Corporation	2,784,587	100	1/31/25
JCTS Parking Garage	Calhoun Construction Services	10,598,496	98	1/31/25
IPW Fit & Finish Phase II	Confidential Client	7,315,278	98	1/31/25
Simtra Greenlight - Concrete	Simtra BioPharma Solutions	5,206,337	88	1/31/25
5th & Main - Evansville	CRG Residential LLC	8,594,047	95	2/6/25
Retresco Waste Neutralization System Upgrades Project	Retresco US, Inc	85,318	77	2/14/25
IU Health CUP	Indiana University Health, Inc.	2,890,199	93	2/28/25
IU Health Hospital Indianapolis	Indiana University Health, Inc.	201,014,800	93	2/28/25
Project Crusader - Masonry	Prologis	73,407	93	2/28/25
Indiana University Wright Quad-Tile	Trustees of Indiana University	721,378	100	3/1/25
Ingredion PA Tank 181 Foundation	Ingredion, Inc.	122,408	91	3/3/25
Elanco Project Skyline	Elanco US, Inc.	178,080,948	97	3/12/25
Indiana Archives & Records Building	Indiana Department of Administration- Public Works Division	16,197,402	89	3/14/25
Cummins CTC Verizon	Cummins, Inc.	72,949	87	3/15/25



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Novartis Production Lines	Novartis Manufacturing LLC	11,042,318	95	3/25/25
Linde Switchgear Project	Snodgrass	24,815	79	3/28/25
Carmel High School Polytechnic Addition	CARMEL CLAY SCHOOLS	1,386,888	94	3/31/25
Purdue University Hall & Related Renovations - Flooring	Purdue University	866,729	98	4/4/25
UND Football Operations Facility - SLAM	University of Notre Dame	5,846,872	99	4/7/25
Elanco Stework Masonry	Elanco US, Inc.	1,743,910	96	4/7/25
Republic Airways Hardscape - Masonry	Republic Airways	163,136	35	4/10/25
Churchill Downs Starting Gate Club	Churchill Downs Improvements	971,408	100	4/18/25
Exurban/ASM – EPC - Preconstruction	Exurban	350,000	60	4/25/25
Rolls Royce - ATC Annex Renovation	Rolls-Royce Corporation	1,258,001	84	4/29/25
IUHA Hybrid OR Addition	Indiana University Health, Inc.	261,966	89	4/30/25
Project LuxSpeed - Masonry	Novartis Manufacturing LLC	1,406,887	80	5/5/25
Millipore Sigma - Parking Lot	Exelard Merck Millipore	71,700	100	5/9/25
Noblesville Event Center (Innovation Mile - Site)	Patch Innovation Mile LLC	149,813,553	97	5/25/25
Millipore - Door Replacement	Exelard Merck Millipore	565,874	100	5/30/25
Noblesville Event Center - Flooring	Patch Innovation Mile LLC	1,164,708	95	5/30/25
Confidential Client 101 - Concrete	Industrial Electric, Inc.	124,451,879	69	5/31/25
CHE Bldg. III - 2nd Floor Oncology	Community Health Network-East	12,115,312	92	6/1/25
Marion County Public Health Lab - Masonry	Health & Hospital Corp. of Marion County	1,891,725	65	6/1/25
CEG - Pleasant Run CCS	Citizens Energy Group	78,212,114	88	6/30/25
INAW Middle Fork Dam Rehabilitation	Indiana American Water Company, Inc.	3,897,469	87	6/30/25
SpectronRx Bunker Hill Phase II	SpectronRx	7,980,158	81	6/30/25
IU Health Site Improvements GMP#1	Harmon Walsh JV	26,021,697	72	6/30/25
Sullivan Steel Reinforcement	American Water	110,319	65	6/30/25
Sisters of St. Benedict Our Lady of Grace (OLG) Monastery	Sisters of St. Benedict of Beech Grove	22,474,527	45	6/30/25
Ingredion Cogen HRS6 Foundation	Ingredion, Inc.	1,707,345	42	7/3/25
Culver Academy - Concrete	Culver Academies	2,669,875	91	7/9/25
Riverview Health Westfield Endoscopy Center	RIVERVIEW HOSPITAL	4,415,124	89	7/10/25



MAJOR PROJECTS COMPLETED

Job Name	Owner	Project Value	% Complete	Estimated Completion
Ingration East Side Electric Phase I	Ingration, Inc.	333,159	0	7/14/25
Confidential Client – Small Molecule Foundations	McFarland JV	6,929,146	55	7/22/25
St. John's Parish Hall	Archdiocese of Indianapolis	3,302,717	99	7/31/25
Evonik Linc Early Release	Evonik Corporation Tippecanoe Labs	21,568,709	97	7/31/25
The Benjamin Ft. Harrison Garage	Keystone Construction Corporation	4,116,258	91	7/31/25
Crusader - Concrete & Demo	Prologis	413,481	71	8/1/25
Purdue Chilled Water Plant/ADS CSA	The Trustees of Purdue University	8,671,533	66	8/8/25
Purdue Chilled Water Express Civil/Mech	The Trustees of Purdue University	2,557,000	60	8/8/25
Purdue Chilled Water Capacity Enhancement - 2023	Purdue University	52,570,652	82	8/28/25
IU Memorial Stadium - Corner Patios	Trustees of Indiana University	491,028	63	8/29/25
IU South Support Building	Indiana University Health, Inc.	666,118	49	8/31/25
IU New Downtown Hospital - Masonry	Indiana University Health, Inc.	4,313,796	29	8/31/25
Republic Airways - Hardscape	Republic Airways	1,992,627	89	9/1/25
Purdue Nursing - Concrete Package	Pepper Construction	5,981,545	93	9/15/25
Indy Convention Center Hotel & Ballroom - Masonry	Capital Improvements Board	4,034,576	74	9/15/25
Republic Airways Phase II Flooring	Republic Airways	2,201,766	77	9/25/25
Elanco Clinton Substation - Relocation & Modernization	Elanco US, Inc.	19,305,095	86	9/30/25
Confidential Client M22 Siding Replacement	Confidential Client	1,605,543	4	9/30/25



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
Culpeper Drip Sab Repairs	Culpeper Wood Preservers	111,000	3	10/10/25
IU North Health ERCP Build Out	Indiana University Health, Inc.	845,781	15	10/30/25
CEG - Perry K	Citizens Energy Group	4,210,000	8	10/31/25
Ingredion Cogen Foundations	Ingredion, Inc.	1,895,947	4	10/31/25
Indiana Convention Center Hotel Ballroom	Capital Improvements Board	80,148,821	84	11/6/25
Linde Nitrogen Foundation	Linde AMT Inc.	427,000	0	11/17/25
Confidential Client T2P Phase 2	Confidential Client	243,072,049	100	12/31/25
IU Health South Support Building-Masonry	Indiana University Health, Inc.	5,642,425	85	12/31/25
Cardinal Health - IC Expansion	Cardinal Health	9,193,059	76	12/31/25
Ingredion Wall Infill	Ingredion, Inc.	213,051	0	12/31/25
IOC-S Test Wing - Office Build-Out - Masonry	Rolls-Royce Corporation	219,800	46	2/3/26
Indianapolis Animal Care Services	Indianapolis Department of Business & Neighborhood Services	31,437,092	42	2/18/26
IACS - Hardscape	Indianapolis Department of Business & Neighborhood Services	794,053	9	2/18/26
141 Cateria Remodel	Confidential Client	5,357,528	3	2/23/26
Ingredion Cogen Equipment Setting	Ingredion, Inc.	3,034,374	4	2/27/26
Health & Hospital Lab	Health & Hospital Corp. of Marion County	6,491,892	65	3/26/26
Mulberry WWTP	Town of Mulberry, Indiana	7,497,262	33	3/27/26
Spectron Building D - Earthworks	SpectronRx	439,000	4	3/27/26
Spectron Building D - Concrete	SpectronRx	1,297,000	1	3/27/26
CEG Westfield - Midtown Lift Station	Citizens Energy Group	6,287,178	1	3/31/26
WL Public Safety Building - Concrete	City of West Lafayette	7,117,000	1	3/31/26
KSTB Improvements - Ph. I Concrete	Kentucky State Fair Board	10,670,000	4	4/6/26
Purdue Hillenbrand Residence Hall South - Masonry	Purdue University	5,123,045	22	4/30/26
Community North - SPECT CT	Community Health Network-North	698,824	1	4/30/26
Community Howard - Curtainwall	Community Health Network	1,570,000	0	5/8/26
Monon Square NWO Concrete	Monon Square Associates, LLC	17,760,000	24	5/15/26
Madison County Sheriff's Office & Jail - Masonry	C.H. Garmong & Son, Inc	9,731,770	39	5/21/26



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
Wabash College Campus Center & Central Utility Plant	Wabash College	12,292,604	60	5/29/26
Concrete-Purdue Hillenbrand	Purdue University	8,888,317	97	6/1/26
Purdue - Hillenbrand Residence Hall South	Purdue University	116,795,627	63	6/1/26
Wabash College CUP - Masonry	Wabash College	875,800	0	6/4/26
Wabash College Chiller Plant - General Trades	Wabash College	152,477	0	6/6/26
Airport Westin Hotel - Concrete	Shiel Sexton Company	10,868,578	17	6/6/26
Simtra Project Green Light	Simtra Biopharma Solutions	85,795,420	64	6/30/26
Poplars-Bloomington	BPIU Partners, LLC	54,567,059	49	7/27/26
ISU CIED Flooring	Indiana State University	697,965	2	8/1/26
BSU - ACMU/TH	Ball State University	1,423,408	25	8/17/26
Wabash Chiller Plant - Concrete	Wabash College	1,148,000	0	8/27/26
Purdue Academic Success Building Concrete	The Trustees of Purdue University	13,743,527	25	8/31/26
LKC-Phase 2	Confidential Client-Wisconsin	146,744,799	14	9/5/26
Purdue Daniels School of Business - Carpentry	The Trustees of Purdue University	2,396,016	0	9/18/26
Henry Street Bridge	City of Indianapolis	44,150,003	52	10/9/26
Purdue Nursing & Pharmacy - Carpentry	The Trustees of Purdue University	278,204	1	10/15/26
IU Ft. Wayne Hospital - Masonry	Pepper Construction	5,733,500	10	11/2/26
CLWSP - Project B Booster Station and Tanks	Citizens Energy Group	8,018,000	0	11/2/26
Sheraton Garage - Phases 3 & 5	NEW Group	3,037,000	2	12/1/26
Union Flats at Fishers	Thompson Thrift	11,624,015	35	4/5/27
Purdue Aquatic Center HVAC Replacement	Purdue University	9,736,893	3	4/12/27
BCSC Maple Grove Elementary	Pepper Construction	975,000	0	5/21/27
HUMS Elementary School	School City of Mishawaka	38,161,022	1	5/28/27
Purdue Indianapolis Academic Science Building - Civil	Shiel Sexton Company	3,284,498	14	6/1/27
IU Health NDH - Doors, Frames & Hardware	Indiana University Health, Inc.	53,734,116	31	8/2/27
Westin Indy Airport BP #3 - Casework	Shiel Sexton Company	2,417,000	2	9/2/27
IUNDH - Flooring	Indiana University Health, Inc.	23,052,672	19	9/30/27



MAJOR PROJECTS IN PROGRESS

Job Name	Owner	Project Value	% Complete	Estimated Completion
IUNDH - Towers Wall Protection	Indiana University Health, Inc.	8,625,600	6	9/30/27
IUNDH - Towers Millwork Installation	Indiana University Health, Inc.	6,481,591	2	9/30/27
Duke Mabash Basin Closure Phase II	Duke Energy Indiana, Inc.	65,956,777	38	11/30/28

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

Balance Sheets

December 31, 2025 and 2024

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

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*Independent Auditor's Report
on Supplementary Information*

Board of Directors and Stockholders
Wilhelm Construction, Inc.

We have audited the consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries as of and for the years ended December 31, 2025 and 2024, and have issued our report thereon dated February 24, 2026, which contained an unmodified opinion on those consolidated financial statements.

Our audits were performed for the purpose of forming an opinion on the consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries as a whole. The information included in the accompanying balance sheets of F.A. Wilhelm Construction Co., Inc. (a wholly-owned subsidiary of Wilhelm Construction, Inc.) as of December 31, 2025 and 2024, is presented for purposes of additional analysis and is not a required part of the consolidated financial statements. Such information is the responsibility of management and was derived from and relates directly to the underlying accounting and other records used to prepare the consolidated financial statements. The information has been subjected to the auditing procedures applied in the audit of the consolidated financial statements and certain additional procedures, including comparing and reconciling such information directly to the underlying accounting and other records used to prepare the consolidated financial statements or to the consolidated financial statements themselves, and other additional procedures in accordance with auditing standards generally accepted in the United States of America. In our opinion, the accompanying balance sheets of F.A. Wilhelm Construction Co., Inc. as of December 31, 2025 and 2024, are fairly stated in all material respects in relation to the consolidated financial statements of its parent as a whole. However, the accompanying information should be read in conjunction with the consolidated financial statements and related notes.

Katz, Sapper & Miller, LLP

Indianapolis, Indiana
February 24, 2026

F.A. Wilhelm Construction Co., Inc.
(A Subsidiary of Wilhelm Construction, Inc.)

Balance Sheets
December 31, 2025 and 2024

	<u>2025</u>	<u>2024</u>
Assets		
Current assets		
Cash and equivalents	\$ 88,069,266	\$ 135,269,417
Contract receivables	341,524,129	262,797,278
Contract retainage	97,260,234	93,968,985
Note receivable from subsidiary - current	2,862,000	
Contract assets	2,038,224	3,305,851
Inventory	1,470,439	1,222,944
Other assets	6,471,064	5,790,247
Total Current Assets	<u>539,695,356</u>	<u>502,354,722</u>
Property and equipment		
Machinery and equipment	65,808,758	53,197,181
Autos and trucks	10,899,698	8,275,932
Office equipment	422,759	1,395,943
Leasehold improvements	7,000,567	6,354,330
	<u>84,131,782</u>	<u>69,223,386</u>
Accumulated depreciation	(52,616,808)	(45,749,863)
Total Property and Equipment, net	<u>31,514,974</u>	<u>23,473,523</u>
Operating lease right-of-use-assets	<u>490,922</u>	<u>627,247</u>
Note receivable from subsidiary - long-term	<u>24,784,997</u>	<u> </u>
	<u>\$ 596,486,249</u>	<u>\$ 526,455,492</u>
Liabilities and Division Equity		
Current liabilities		
Accounts payable		
Due currently	\$ 207,955,659	\$ 153,692,112
Retainage payable	66,224,378	60,951,663
Accrued expenses	54,435,730	36,745,337
Contract liabilities	216,995,533	231,213,530
Operating lease liabilities - current	213,193	181,713
Total Current Liabilities	<u>545,824,493</u>	<u>482,784,355</u>
Long-term liabilities		
Operating lease liabilities - long-term	277,729	445,534
Division equity	<u>50,384,027</u>	<u>43,225,603</u>
	<u>\$ 596,486,249</u>	<u>\$ 526,455,492</u>

See notes to consolidated financial statements of Wilhelm Construction, Inc. and Subsidiaries.



775 Commerce Parkway West Drive, Greenwood, IN 46143

Phone: 317-8893-6515

Quotation To: Wilhelm
ATTN: Ariana Binder
Project: Westfield - Performance Platform
Location: Westfield, IN
Bid Date: 6/3/26

Quote #: 26-0849
Addenda Rec'd: NONE

Poynter proposes to fabricate, powder coat, and deliver the performance platform for Westfield Park:
Framing - Aluminum 2" x 3/16" wall square tubing welded together with welds ground smooth
Perimeter - 3/16" aluminum panel wraps around the perimeter and extends 3" above adjacent decking. Panels attach to frame with SS fasteners
Ramp - 1/4" Aluminum Diamond Plate
Aluminum Strap - 1/4" x 2" @ 16" OC fastened to structural tube.

IPE Decking is not included in this quote.

Exclusions

- Sales Tax
- Design and calculations
- Overtime
- Shift
- IPE Decking

This quotation is valid for 30 days from the date thereof, but may be accepted at a later date at the sole discretion of Poynter Sheet Metal. Due to the current raw material availability and tariffs in the US, the lead times and price may fluctuate. This order is hereby acknowledged and accepted, subject to the term scope description listed above.

Total Price: \$367,801
Lead times 12 weeks
Submittals
Shop drawings
Delivery

Submitted by: *Tek Osborn*

Per company requirements please date, sign, affix a PO# and return or email to tekosborn@poyntersheetmetal.com . Poynter Sheet Metal will not proceed with work unless written authorization is received.

Signature: _____ Date: _____ PO# _____



BID PACKAGE 32E – PERFORMANCE PLATFORM BID FORM

1.1 PROJECT: City of Westfield – Park Street Improvements Project

1.2 FROM: Company: Verkler, Inc.
 Address: 7240 Georgetown Road, Indianapolis, IN 46268
 Contact: James M. Lusk
 Phone: 317-297-7054
 Email: jmlusk@verkler.com
 Date: 06/03/2026
 State License Number (if applicable): #C1742900

1.3 TO: F.A. Wilhelm Construction Co., Inc.
 Attn: Ariana Binder
 (Submitted through Building Connected)

1.4 BASE BID:
 Total Bid price for all work, complete, in accordance with the Bidding Documents:
 Bid Amount (in words): THREE HUNDRED EIGHTY FIVE THOUSAND
 Dollars: \$ 385,000

1.5 BID BREAKDOWN (For Accounting Purposes Only):

1. Park Street (Plan Area A, B, C)	
a. N/A	
2. Plaza (Plan Area D)	
a. Performance Platform	\$ <u>385,000</u>
3. Miscellaneous Items	\$ <u>0</u>
4. Total Base Bid Amount	\$ <u>385,000</u>

1.6 ALTERNATES:

1. Alternate #1: Provide Payment & Performance Bond
 ADD / DEDUCT \$ 4,000.00
2. Alternate #2: Voluntary Alternate: _____
 ADD / DEDUCT \$ _____



3. Alternate #3: Voluntary Alternate: N/A
 ADD / DEDUCT \$ _____

4. Alternate #4: Voluntary Alternate: N/A
 ADD / DEDUCT \$ _____

1.7 ACKNOWLEDGEMENTS:

- A. Documents and correspondence shall be submitted as indicated within the Bid Notification.
- B. Construction Manager Reserves the Right to reject any and all Bids at their sole discretion.
- C. Proposals to remain valid for 90 days from receipt of bid.
- D. Bidder has included all resources required to comply with the Project Schedule.
- E. RECEIPT OF ADDENDA

Addendum No. <u>1</u>	Dated <u>5/22/26</u>
Addendum No. <u>2</u>	Dated <u>5/29/26</u>
Addendum No. _____	Dated _____
Addendum No. _____	Dated _____

F. Information to be provided with Bid Proposal:

- 1. Bid Package 32E Performance Platform – Bid Form
- 2. Bid Form Attachment 1 – Combined Bid (if applicable)
- 3. Bid Form Attachment 2 – Supplemental Bid Information
- 4. Subcontractor/Supplier Qualification Form
- 5. Contractor’s Bid for Public Work – Form 96

G. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: James M. Zush
 (Member of Firm Authorized to Sign Bid)

Title: President Date: 06/03/2026



BID FORM ATTACHMENT 1 – COMBINED BID

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Verkler, Inc. DATE: 06/03/2026

All Bidders have the option of offering a combined bid for multiple bid packages, however Bid Package Breakdowns must be submitted for all bid packages included in the Combined Bid.

Total Combined Bid price for all work, complete, in accordance with the Bidding Documents:

Bid Package Name and Number: SITE FURNISHINGS 32D

Bid Package Name and Number: PERFORMANCE PLATFORM 32E

Bid Package Name and Number: _____

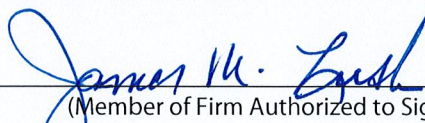
Bid Package Name and Number: _____

Bid Package Name and Number: _____

Bid Package Name and Number: _____

Combined Bid Amount: Dollars \$ 1,268,000

A. The undersigned, do hereby declare that I/we have carefully examined the Site of the proposed Work; also, the Bid Documents, and do hereby agree to furnish and/or install, as specified in the bid package, all materials, transportation, equipment, labor, supervision, tools and all other items necessary to do all Work in strict accordance with the Bid Documents.

Signed By: 
(Member of Firm Authorized to Sign Bid)

Title: President

Date: 06/03/2026



BID FORM ATTACHMENT 2 – SUPPLEMENTAL BID INFORMATION

PROJECT: City of Westfield – Park Street Improvements Project

BIDDER: Verkler, Inc. DATE: 06/03/2026

BID PACKAGE: 32E Performance Platform

Bidder shall include the requested supplemental bid information for all Bid Packages.

A. PROPOSED STAFF

Name and Title	% On-Site
<u>Ryan Aldreykt</u>	<u>25%</u>
_____	_____
_____	_____
_____	_____

B. MAJOR EQUIPMENT *(individual pieces of equipment over \$10,000.00)*

Equipment and Manufacturer	Quantity	Lead Time
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____



C. TIERED AND/OR DIVERSE SUBCONTRACTS AND SUPPLIERS

Scope of Work	Supplier/Sub	Value	XBE (Y/N)	XBE Type
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

Signed By: James M. Zasl
(Member of Firm Authorized to Sign Bid)

Title: President Date: 06/03/2026

City of Westfield – Park Street Improvements Project

Subcontractor/Supplier Qualification Form

General Business Information						Part 1
Legal Business Name: Verkler Inc					Date: 05-11-2026	
Street Address: 7240 Georgetown Road			Mailing Address: SAME			
City: Indianapolis	State: IN	Zip: 46268	City:	State:	Zip:	
<i>Former Business Name (if applicable):</i>						
Street Address:			Mailing Address:			
City:	State:	Zip:	City:	State:	Zip:	
Telephone: 317-297-7054		Fax: 317-298-7045		Website Address: verkler.com		
Contractor's License #: C1742900		State: Indiana		Expiration: 12-31-2026		
State Sales Tax Registration #: 0001844423-001		State Unemployment #: 23571		Federal ID #: 35-0982166		
Primary Contact Info						
Contact Name: Corey Lusk			Title: Estimator			
Telephone: 317-297-7054			Location: Main			
Email: cjusk@verkler.com						
Secondary Contact Info (if applicable)						
Contact Name: C. Luke Sanders			Title Accounting/Payroll Manager			
Telephone: 317-297-7054			Location: Main			
Email: lsanders@verkler.com						
Contractor Type	<input checked="" type="checkbox"/> General Contractor <input type="checkbox"/> Sub-Contractor <input type="checkbox"/> Supplier <input type="checkbox"/> Other					
Business Type	<input checked="" type="checkbox"/> Corporation <input type="checkbox"/> Sole Proprietorship <input type="checkbox"/> Partnership <input type="checkbox"/> LLC/LLP <input type="checkbox"/> Other					
Union Affiliation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No (*) <i>If yes, please list all unions that your company is signatory with</i>		Signatory Unions: 1.) LiLUNA - Indiana (Laborers) 4.) _____ 2.) Central Midwest Carpenters 5.) _____ 3.) Cement Masons Local 692 6.) _____			
Contract Size			Area of Operation			
-Maximum contract amount your company can effectively manage? (\$) <u>15,000,000</u>			<input checked="" type="checkbox"/> Metro Indianapolis <input checked="" type="checkbox"/> Indiana <input checked="" type="checkbox"/> Central Indiana <input type="checkbox"/> NE Indiana <input type="checkbox"/> NW Indiana <input type="checkbox"/> SE Indiana <input type="checkbox"/> Illinois <input type="checkbox"/> Kentucky <input type="checkbox"/> Michigan <input type="checkbox"/> Ohio <input type="checkbox"/> Nationwide <input type="checkbox"/> International			
-What is the largest dollar volume on a single contract that you have performed over the past 3 years? (\$) <u>6,623,608.00</u>						
-Largest Project completed in the past 3 years? (\$) <u>8,282,508.19</u>						
-What percentage of work does your company sub-contract on a typical job? (\$) <u>45%</u>						

Licenses/Product Certifications (*)	
State License Numbers	City License Number
Indiana Department of Administration (IDOA) License Number <u>N/A</u> Expiration Date <u>05/25/2028</u>	City of <u>Indianapolis</u> License Type: <u>Contractor License</u> License Number <u>C1742900</u> Expiration Date <u>12/31/2026</u>
Indiana Department of Transportation (INDOT) License Number _____ Expiration Date _____	City of _____ License Type: _____ License Number _____ Expiration Date _____
(*) Please attach current IDOA and/or INDOT Certification	(*) Please attach current City Certification and/or license

(*) If requested, please provide any documentation which substantiates licenses.

Trade Specific License	
Trade <u>General Contractor</u>	Trade _____
License Number <u>C1742900</u>	License Number _____

(*) If requested, please provide any documentation which substantiates trade licenses.

Safety Questionnaire (*)				Part 2
OSHA Year	EMR Rate	Total Recordable Injury Rate (*TRIR)	Lost Time Case Rate (*)	OSHA or IOSHA Citations (#)
2025	.76	0	0	0
2024	.75	3.07	3.07	0
2023	.73	0	0	0
2022	.91	3.32	3.32	0
OSHA Year	Work Related Fatalities (Column G)	Number of Lost Restricted Workdays (Column H+I)	Number of Medical Treatment Cases (Column J)	
2025	0	0	0	
2024	0	7	1	
2023	0	0	0	
2022	0	1	1	
<i>Totals</i>	0	8	2	

Do you have an OSHA compliant safety program in place? Yes No

Do you have a designated safety officer at your company? Yes No

Does this person conduct safety inspections on all job site(s)? Third Party Safety Company - Safety Management Group Yes No

Have you implemented a hazardous communication plan(s)? Yes No

Have you implemented a drug testing program? Yes No

Do you have a light-duty program? Yes No

Do you review the safety procedures, and history of any sub-contractor you work with? Yes No

Do you provide safety training to all employees? Yes No

Would you allow an audit of your company manuals relating to safety policy/procedure? Yes No

Please describe the safety training provided to the employees and whether it is provided in-house or through a third party:
Third Party Safety Training Provided by OSHA Approved Vendor, and Rental Company on specific equipment

List OSHA or IOSHA citations received in the last 5 years that required fines to be paid. Provide the year, the citation and the amount of the fine:
N/A

(*If requested, please provide along with this Qualification form any documentation that substantiates the requested information in the safety questionnaire above. Including but not limited to; OSHA logs, citation records, Worker's Compensation EMR verification, Safety Programs, Fall Prevention / Protection program, Hoisting & Rigging programs and current PICS certification.

(* To calculate TRIR rate combine columns G, H, J and J from OSHA form 300 x (200,000)/Employee Hours Worked. (*) To calculate Lost Time Case Rate use column H from OSHA form 300 x (200,000)/Employee Hours Worked.

Insurance Information (*)		Part 3
Insurance Agency: The MJ Cos	Phone: () 317-805-7551	
Insurance Contact Name: Griffin Blackman	Fax: () 317-805-7515	
Street Address: 571 Monon Blvd., Suite 400		
City: Carmel	State: IN	Zip: 46032

Insurance Plan		Insurance Carrier	Max Obtainable Coverage (\$)	Plan Deductible	Expiration
Worker's Compensation	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 1,000,000	\$0	01/01/2027
General Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 2,000,000	\$10,000	01/01/2027
Excess Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 10,000,000	\$0	01/01/2027
Auto Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	FCCI Insurance	(\$) 1,000,000	\$1,000	01/01/2027
Professional Liability	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Berkley	(\$) 2,000,000	\$25,000	01/01/2027
Other	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Travelers	(\$) 100,000 - Rent/Leased	\$1,000	01/01/2027

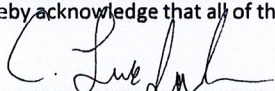
(*If requested, please include a copy of your current insurance certifications

Banking/Financial (*)		Part 4	
Bank Name: Centier Bank		Contact Name: Brad Duncan	
Phone: () 317-634-0243		Line of Credit Amount: (\$) 0	
Amount Available: (\$) 0		Secured: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Description of Collateral: N/A		Personal <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
What is your current backlog of work? \$17,000,000		D-U-N-S #: 003804317	
Please provide annual revenue for the past 3 years			
Year	2025	2024	2023
Revenue	(\$) 20,446,000	(\$) 20,231,086	(\$) 20,681,346
<p>-On a separate sheet, list any major construction projects your organization has in progress, giving the name of project, contract amount, and scheduled completion date.</p> <p>-On a separate sheet, list the major projects your organization has completed in the past 5 years.</p>			

()If requested, please provide along with this Qualification form the last 3 year end audited financial statements (with footnotes), along with the most recent interim financial statement including balance sheets and audited income statements.*

Bonding/Surety Information (*)		Part 5	
Agent's Name: Gregory & Appel		Bonding/Surety Company: CNA Surety	
Phone: () 317-686-6461		Bonding Capacity: Total: (\$) 40,000,000 Per Job: (\$) 20,000,000	
Personal Guarantee: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Dollar value of bonded work on hand: (\$) 13,500,000	

()If requested, please provide along with this Qualification form a bondability letter from your surety indicating per job and aggregate bonding capacity and also current available capacity.*

Authorization
I hereby acknowledge that all of the information provided in this document is true and is not purposefully misleading.


() By authorizing this Qualification form the subcontractor named herein, is agreeing to supply any documentation noted in this qualification form, at the request of the designated party at F.A. Wilhelm Construction Co., Inc. for the purposes of selecting a subcontractor for this project. Additional questions and/or information may be required.*



CONTRACTOR'S BID FOR PUBLIC WORK - FORM 96

State Form 52414 (R2 / 2-13) / Form 96 (Revised 2013)

Prescribed by State Board of Accounts

PART I

(To be completed for all bids. Please type or print)

Date (month, day, year): 06/03/2026

1. Governmental Unit (Owner): City of Westfield
2. County : Hamilton
3. Bidder (Firm): Verkler, Inc.
Address: 7240 Georgetown Rd.
City/State/ZIPcode: Indianapolis, IN 46268
4. Telephone Number: (317)297-7054
5. Agent of Bidder (if applicable): N/A

Pursuant to notices given, the undersigned offers to furnish labor and/or material necessary to complete the public works project of City of Westfield Park St. Improvements - Bid Event #3
(Governmental Unit) in accordance with plans and specifications prepared by _____

Rundell Ernstberger Associates and dated 04/30/2026 for the sum of
(see attached) \$ 385,000

The undersigned further agrees to furnish a bond or certified check with this bid for an amount specified in the notice of the letting. If alternative bids apply, the undersigned submits a proposal for each in accordance with the notice. Any addendums attached will be specifically referenced at the applicable page.

If additional units of material included in the contract are needed, the cost of units must be the same as that shown in the original contract if accepted by the governmental unit. If the bid is to be awarded on a unit basis, the itemization of the units shall be shown on a separate attachment.

The contractor and his subcontractors, if any, shall not discriminate against or intimidate any employee, or applicant for employment, to be employed in the performance of this contract, with respect to any matter directly or indirectly related to employment because of race, religion, color, sex, national origin or ancestry. Breach of this covenant may be regarded as a material breach of the contract.

CERTIFICATION OF USE OF UNITED STATES STEEL PRODUCTS *(If applicable)*

I, the undersigned bidder or agent as a contractor on a public works project, understand my statutory obligation to use steel products made in the United States (I.C. 5-16-8-2). I hereby certify that I and all subcontractors employed by me for this project will use U.S. steel products on this project if awarded. I understand that violations hereunder may result in forfeiture of contractual payments.

ACCEPTANCE

The above bid is accepted this _____ day of _____, 2026, subject to the following conditions: _____

Contracting Authority Members:

PART II (For projects of \$150,000 or more – IC 36-1-12-4)

Governmental Unit: City of Westfield

Bidder (Firm) Verkler, Inc.

Date (month, day, year): 06/03/2026

These statements to be submitted under oath by each bidder with and as a part of his bid. Attach additional pages for each section as needed.

SECTION I EXPERIENCE QUESTIONNAIRE

1. What public works projects has your organization completed for the period of one (1) year prior to the date of the current bid?

Contract Amount	Class of Work	Completion Date	Name and Address of Owner
3,089,163.08	General Trades	2025	Westfield YMCA, Westfield IN
5,767,061.98	New Construction	2025	Lebanon Elementary, Lebanon IN
5,241,527.23	New Construction	2025	Shelby Eastern, Morristown, IN
5,950,793.79	General Trades	2025	Sugar Grove, Greenwood, IN

2. What public works projects are now in process of construction by your organization?

Contract Amount	Class of Work	Expected Completion Date	Name and Address of Owner
6,966,267.00	New Construction	2027	Westfield PD, Westfield IN
5,199,414.00	General Trades	2026	DPW Sanitation, Indianapolis IN
2,851,526.72	General Trades	2026	IPS TC Howe, Indianapolis IN
8,263,093.19	New Construction	2026	Shamrock Springs, Westfield, IN

3. Have you ever failed to complete any work awarded to you? No If so, where and why?

4. List references from private firms for which you have performed work.

Weaver Popcorn

6353 Commerce Dr.

Lebanon, IN 46052

Jeff White

SECTION II PLAN AND EQUIPMENT QUESTIONNAIRE

1. Explain your plan or layout for performing proposed work. *(Examples could include a narrative of when you could begin work, complete the project, number of workers, etc. and any other information which you believe would enable the governmental unit to consider your bid.)*

General procedures with safety of the utmost concern.

2. Please list the names and addresses of all subcontractors *(i.e. persons or firms outside your own firm who have performed part of the work)* that you have used on public works projects during the past five (5) years along with a brief description of the work done by each subcontractor.

See attached.

3. If you intend to sublet any portion of the work, state the name and address of each subcontractor, equipment to be used by the subcontractor, and whether you will require a bond. However, if you are unable to currently provide a listing, please understand a listing must be provided prior to contract approval. Until the completion of the proposed project, you are under a continuing obligation to immediately notify the governmental unit in the event that you subsequently determine that you will use a subcontractor on the proposed project.

N/A

4. What equipment do you have available to use for the proposed project? Any equipment to be used by subcontractors may also be required to be listed by the governmental unit.

Necessary and required equipment for the project.

5. Have you entered into contracts or received offers for all materials which substantiate the prices used in preparing your proposal? If not, please explain the rationale used which would corroborate the prices listed.

We have received proposals, however no contracts have been written.

SECTION III CONTRACTOR'S FINANCIAL STATEMENT

Attachment of bidder's financial statement is mandatory. Any bid submitted without said financial statement as required by statute shall thereby be rendered invalid. The financial statement provided hereunder to the governing body awarding the contract must be specific enough in detail so that said governing body can make a proper determination of the bidder's capability for completing the project if awarded.

SECTION IV CONTRACTOR'S NON – COLLUSION AFFIDAVIT

The undersigned bidder or agent, being duly sworn on oath, says that he has not, nor has any other member, representative, or agent of the firm, company, corporation or partnership represented by him, entered into any combination, collusion or agreement with any person relative to the price to be bid by anyone at such letting nor to prevent any person from bidding nor to include anyone to refrain from bidding, and that this bid is made without reference to any other bid and without any agreement, understanding or combination with any other person in reference to such bidding.

He further says that no person or persons, firms, or corporation has, have or will receive directly or indirectly, any rebate, fee, gift, commission or thing of value on account of such sale.

SECTION V OATH AND AFFIRMATION

I HEREBY AFFIRM UNDER THE PENALTIES FOR PERJURY THAT THE FACTS AND INFORMATION CONTAINED IN THE FOREGOING BID FOR PUBLIC WORKS ARE TRUE AND CORRECT.

Dated at Indianapolis this 3rd day of June, 2026

Verkler, Inc.
(Name of Organization)

By *James M. Lusk*
James M. Lusk, President
(Title of Person Signing)

ACKNOWLEDGEMENT

STATE OF Indiana)
) ss
COUNTY OF Marion)

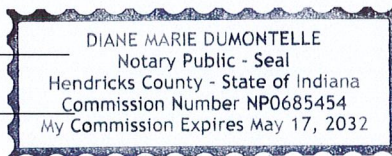
Before me, a Notary Public, personally appeared the above-named James M. Lusk and
swore that the statements contained in the foregoing document are true and correct.

Subscribed and sworn to before me this 3rd day of June, 2026.

Diane Dumontelle
Notary Public

My Commission Expires: 05/17/2032

County of Residence: Hendricks



Verkler Incorporated
Subcontractor List

Division	Company	Address	City	State	Zip	Phone	Fax
2	Capitol City Fence	920 E. Ohio St.	Indianapolis	IN	46202	317 638-3381	317 686-2233
2	Harco Asphalt Paving	1650 Harco Way	Indianapolis	IN	46217	317 786-8356	317 786-6881
2	Milestone Contractors LP	5950 S. Belmont Ave.	Indianapolis	IN	46217	317 788-6885	317 788-6925
4	Broadly-Campbell Inc.	2115 Dr. Andrew J. Brown Ave.	Indianapolis	IN	46202	317 925-4261	(317) 925-4263
4	Complete Masonry Services Inc.	PO Box 236	Yorktown	IN	47396	765 759-8966	765 759-8928
4	Davenport Masonry Inc.	7160 Graham Rd, Suite B	Indianapolis	IN	46250	317 200-3833	317 200-3834
4	Don Scharer Masonry	4737 S.R. 43 North	West Lafayette	IN	47906	765 463-3911	765 463-6120
4	Hagerman Construction	10315 Allisonville Road	Fishers	IN	46038	317 577-6836	317 713-0634
4	Purdy Masonry Inc.	7601 Indianapolis Rd	Zionsville	IN	46077	317 769-4673	317 769-4693
4	Rock Solid Masonry	299 Moorman Rd	Bloomington	IN	47403	812 824-9505	812 824-9510
5	Almet Inc.	300 Hartzel Rd.	New Haven	IN	46774	260 493-1556	260 493-1299
5	Century Steel Fabricating Inc.	4421 E. N. County Line Road	Camby	IN	46113	317 834-1295	317 834-1579
5	Geiger & Peters Inc.	761 S. Sherman Dr.	Indianapolis	IN	46203	317 359-9521	317 359-9525
5	Marion Steel Fab	2301 S. Western Ave.	Marion	IN	46952	765 664-1478	765 662-9052
5	Stone City Ironworks	1771 US Hwy 50 East	Bedford	IN	47421	812 279-3023	812 279-2005
6	Davis & Associates	2852 N. Webster Ave.	Indianapolis	IN	46202	317 263-9947	317 238-9209
6	BC Countertops / SESCO Millwork, Inc.	1222 N. Pennsylvania St.	Indianapolis	IN	46202	317 713-4268	317 637-4426
6	Chisholm Arch. Millwork	3535 Roosevelt Ave.	Indianapolis	IN	46218	317 547-3535	317 547-3537
7	Hinshaw Roofing & Sheet	2452 S. State Rd. 39	Frankfort	IN	46041	765 659-3311	765 659-5390
7	Horning Roofing and Sheet Metal, LLC	2340 Enterprise Park	Indianapolis	IN	46218	317 636-9128	317 636-9134

Verkler Incorporated
Subcontractor List

7	Shaffner Heaney Associates	6330 E. 75 th St. Suite 144	Indianapolis	IN	46250	317 842-6090	317 842-6135
7	Spohn Associates Inc.	7150 Winton Dr. Suite 100	Indianapolis	IN	46268	317 921-0021	317 921-2454
8	Central Indiana Hardware	9190 Corporation Dr.	Indianapolis	IN	46256	317 558-5700	317 558-5711
8	Delaware Glass & Mirror Co., Inc.	4341 W. Williamsburg Blvd.	Muncie	IN	46239	765 282-9539	765 282-9576
8	Hooster Glass Co. Inc.	562 S. Post Rd	Indianapolis	IN	46239	317 897-1818	317 897-1806
8	Mulhaupt, Inc.	8227 Northwest Blvd	Indianapolis	IN	46278	317 228-9470	317 228-9479
8	Professional Garage Door	2707 E. Main St.	Plainfield	I	46168	317 839-3050	317 838-3528
9	American Art Mosaic & Tile	3220 S. Arlington Suite D	Indianapolis	IN	46227	317 786-2658	317 786-3551
9	Blakley Corporation	8060 E. 88 th Street	Indianapolis	IN	46250	317 842-9600	317 841-3651
9	Bouma Betten of Indiana	216 Farabee Drive	Lafayette	IN	47905	765 447-5009	765 447-1799
9	Cincinnati Floor Company	8320 Brookville Rd., Suite M	Indianapolis	IN	46239	317 357-3562	317 357-5338
9	Circle B Company Inc.	5636 Meridian St.	Indianapolis	IN	46217	317 787-5746	317 780-2654
9	Gibson-Lewis of Indianapolis	5366 Rock Hampton Crt	Indianapolis	IN	46268	317 876-7054	317 876-0827
9	Interior Specialties	7215 Thompson Rd	Indianapolis	IN	46239	317 862-3134	317 862-3087
9	Martin Flooring Co.	7828 St. Andrews Church Rd	Louisville	KY	40214	502 935-3831	502 935-2074
9	Performance Contracting	9810 Mayflower Park Suite #100	Carmel	IN	46032	317 872-4812	317 334-5872
9	Perry Acoustics Inc.	701 E. Bridge St.	Mooresville	IN	46158	317 831-3454	317 834-3210
9	Rosema Corporation	PO Box 8949	Fort Wayne	IN	46898	260 482-6501	260 482-6510
9	Indy Walls & Ceilings Inc.	1740 Wales Avenue	Indianapolis	IN	46218	317 352-9215	317 351-9629
9	Santarossa Mosaic & Tile Co.	2707 Roosevelt Ave.	Indianapolis	IN	46218	317 632-9494	317 631-5567

Verkler Incorporated
Subcontractor List

9	Chance Bros Marble & Tile Inc. (9.3 & 9.6)	114 W. McCarty St.	Indianapolis	IN	46225	317 635-7531	317 636-8976
9	EF Marburger (9.3 & 9.6)	9999 N. Allisonville Rd.	Fishers	IN	46038	317 841-7250	317 841-7260
9	Kiefer Specialty Flooring	2910 Falling Waters Blvd	Lindenhurst	IL	60046	847 245-8450	847 245-8589
9.9	Bill Lawrence Paint Co.	221 N. College	Indianapolis	IN	46202	317 632-0363	317 685-0517
9.9	Odle Inc.	2560 W. Kilgore	Muncie	IN	47304	765 288-3611	765 288-7673
9.9	Diversified Painting Co. Inc.	1681 Expo Lane, Suite A	Indianapolis	IN	46214	317 209-9899	317 209-9886
10	Wilson-Partenheimer	2818 E. 55th Place	Indianapolis	IN	46220	317 251-4541	317 255-5383
10	A&M Specialties, Inc.	1810 S. Lynhurst Drive Suite R	Indianapolis	IN	46241	317 228-9170	317 228-9190
11	Bushong Restaurant Equipment	422 East Bacon Street	Dayton	OH	45402	937 224-7253	937 224-4140
11	C & T Design & Equipment	2750 Tobey Drive	Indianapolis	IN	46219	317 898-9602	317 899-8753
11	Indiana Restaurant Equipment	PO Box 1004	Warsaw	IN	46580	574 267-3288	574 267-8299
11	Wasserstrom Company	1949 Needmore Road	Dayton	OH	45414	937 222-2020	937 222-5122
11	Stafford-Smith	3414 S. Burdick	Kalamazoo	MI	49001	269 343-1240	269 343-1284
12	Lee Company Inc.	27 South 12 th St.	Terre Haute	IN	47807	812 235-8155	812 235-3587
12	DECO Associates Inc.	7225 E. 87 th Street	Indianapolis	IN	46256	317 842-4444	317 842-5588
12	Westmark Products Inc.	14980 Hwy 135 N. E.	Palmyra	IN	47164	812 364-4708	253 536-0156
15	Dalmation Fire Inc.	5670 W. 73 rd St.	Indianapolis	IN	46278	317 299-3889	317 299-4078
15	DEEM, LLC	6831 E. 32nd St., Suite 200	Indianapolis	IN	46226	317 860-2990	317 860-2808
15	Downton & West Mechanical	1402 Commerce Ave.	Indianapolis	IN	46201	317 638-5970	317 637-2154

Verkler Incorporated
Subcontractor List

15	Ferrer Mechanical Services, Inc	540 Ransdell Road	Lebanon	IN	46052	765 482-4635	765 482-4266
15	General Piping Inc.	P.O. Box 34367	Indianapolis	IN	46234	317 388-0552	317 388-0554
15	Greiner Bros.	6161 English Ave.	Indianapolis	IN	46219	317 356-0926	317 356-9302
15	Grunau Company	4341 W. 96 th St.	Indianapolis	IN	46268	317 872-7360	317 872-2133
15	ICS Mechanical – Industrial	6191 W. 400 N	Greenfield	IN	46140	317 894-1955	317 894-1954
15	Johnson Melloh Inc.	5925 Stockberger Place	Indianapolis	IN	46241	317 244-5993	317 243-5777
15	Quality Plumbing & Heating	120 E. McKinley	Bunker Hill	IN	46914	765 689-9175	765 689-8512
15	R. E. Griesemer Inc.	51 West Raymond St	Indianapolis	IN	46222	317 638-4344	317 264-1165
15	Rescue Fire Protection	3838 S. Arlington Ave.	Indianapolis	IN	46203	317 786-9817	317 786-9820
15	United Mechanical Contractors	13801 Springmill Rd.	Carmel	IN	46032	317 844-8283	317 758-6033
16	Custer Electric, Inc	1744 East 800 North	Rushville	IN	46903	765 645-5511	765 645-5013
16	Huston Electric (Kokomo)	PO Box 904	Kokomo	IN	46173	765 457-9137	765 459-4116
16	Lafever Electric	131 N. Range Line Rd.	Carmel	IN	46032	317 846-4687	317 844-7943
16	Payne Electric Co. Inc.	4945 W. Raymond St.	Indianapolis	IN	46241	317 240-3264	317 244-7435
16	Larjac Electric Inc.	6131 E. 30 th St.	Indianapolis	IN	46219	317 542-1369	317 549-0926
16	Sidney Electric Company	3100 E. CR 350 N	Muncie	IN	46219	765 284-1594	

BID OF

Verkler, Inc. _____
(Contractor)

7240 Georgetown Road _____
(Address)

Indianapolis, IN 46268 _____

FOR

PUBLIC WORKS PROJECTS

OF

City of Westfield Park St. Improvements - Bid Event #3

Filed _____, _____

Action taken _____

VERKLER, INC.
FINANCIAL STATEMENTS
AND
SUPPLEMENTARY INFORMATION
DECEMBER 31, 2024 AND 2023

CPAs / ADVISORS



VERKLER, INC.

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DECEMBER 31, 2024 AND 2023

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Blue & Co., LLC / 12800 N. Meridian Street, Suite 400 / Carmel, IN 46032
phone 317.848.8920 fax 317.573.2458 email blue@blueandco.com

REVIEW REPORT OF INDEPENDENT ACCOUNTANTS

Board of Directors
Verkler, Inc.
Indianapolis, Indiana

We have reviewed the accompanying financial statements of Verkler, Inc. (the Company), which comprise the balance sheets as of December 31, 2024 and 2023, and the related statements of income and retained earnings, and cash flows for the years then ended, and the related notes to the financial statements. A review includes primarily applying analytical procedures to management's financial data and making inquiries of the Company's management. A review is substantially less in scope than an audit, the objective of which is the expression of an opinion regarding the financial statements as a whole. Accordingly, we do not express such an opinion.

Management's Responsibility for the Financial Statements

Management is responsible for the preparation and fair presentation of these financial statements in accordance with accounting principles generally accepted in the United States of America; this includes the design, implementation, and maintenance of internal control relevant to the preparation and fair presentation of the financial statements that are free from material misstatement whether due to fraud or error.

Accountant's Responsibility

Our responsibility is to conduct the review engagements in accordance with Statements on Standards for Accounting and Review Services promulgated by the Accounting and Review Services Committee of the American Institute of Certified Public Accountants. Those standards require us to perform procedures to obtain limited assurance as a basis for reporting whether we are aware of any material modifications that should be made to the financial statements for them to be in accordance with accounting principles generally accepted in the United States of America. We believe that the results of our procedures provide a reasonable basis for our conclusion.

We are required to be independent of the Company and to meet our other ethical responsibilities, in accordance with the relevant ethical requirements related to our reviews.

Accountant's Conclusion

Based on our reviews, we are not aware of any material modifications that should be made to the accompanying financial statements in order for them to be in conformity with accounting principles generally accepted in the United States of America.

**REVIEW REPORT OF INDEPENDENT AUDITORS
(CONTINUED)**

Supplementary Information

The supplementary information included on page 15 is presented for purposes of additional analysis and is not a required part of the basic financial statements. Such information is the responsibility of management and was derived from, and relates directly to, the underlying accounting and other records used to prepare the financial statements. The supplementary information has been subjected to the review procedures applied in our review of the basic financial statements. We are not aware of any material modifications that should be made to the supplementary information. We have not audited the information and, accordingly, do not express an opinion on such information.

Blue & Co., LLC

Carmel, Indiana
February 14, 2025

VERKLER, INC.**BALANCE SHEETS
DECEMBER 31, 2024 AND 2023****ASSETS**

	<u>2024</u>	<u>2023</u>
Current assets		
Cash	\$ 2,297,299	\$ 2,072,468
Receivables	3,299,121	2,363,476
Contract assets	<u>1,629,801</u>	<u>920,965</u>
Total current assets	7,226,221	5,356,909
Property and equipment, net	197,777	109,841
Cash surrender value of life insurance	<u>5,998</u>	<u>5,085</u>
	<u>\$ 7,429,996</u>	<u>\$ 5,471,835</u>

LIABILITIES AND STOCKHOLDERS' EQUITY**Liabilities**

Accounts payable		
Open accounts	\$ 3,140,880	\$ 1,220,717
Retainage	948,717	386,810
Contract liabilities	839,317	1,424,107
Accrued expenses	<u>45,346</u>	<u>45,528</u>
Total liabilities	4,974,260	3,077,162

Stockholders' equity

Common stock, no par value; 20,000 shares authorized, 17,967 shares issued and outstanding	1,900,699	1,900,699
Retained earnings	<u>555,037</u>	<u>493,974</u>
Total stockholders' equity	<u>2,455,736</u>	<u>2,394,673</u>
	<u>\$ 7,429,996</u>	<u>\$ 5,471,835</u>

*See review report of independent accountants and
accompanying notes to financial statements.*

VERKLER, INC.**STATEMENTS OF INCOME AND RETAINED EARNINGS
YEARS ENDED DECEMBER 31, 2024 AND 2023**

	<u>2024</u>	<u>2023</u>
Contract revenues earned	\$ 20,231,086	\$ 20,681,346
Cost of contract revenues	<u>17,504,668</u>	<u>17,372,920</u>
Gross profit	2,726,418	3,308,426
Indirect construction costs	1,257,534	1,219,174
General and administrative expenses	<u>790,945</u>	<u>862,981</u>
Income from operations	677,939	1,226,271
Other income (expense)		
Interest income	<u>54,049</u>	<u>22,811</u>
Net income	731,988	1,249,082
Retained earnings, beginning of year	493,974	81,428
Dividends	<u>(670,925)</u>	<u>(836,536)</u>
Retained earnings, end of year	<u>\$ 555,037</u>	<u>\$ 493,974</u>

*See review report of independent accountants and
accompanying notes to financial statements.*

VERKLER, INC.STATEMENTS OF CASH FLOWS
YEARS ENDED DECEMBER 31, 2024 AND 2023

	<u>2024</u>	<u>2023</u>
Operating activities		
Net income	\$ 731,988	\$ 1,249,082
Adjustments to reconcile net income to net cash flows from operating activities:		
Depreciation	55,678	50,160
Gain on sale of property and equipment	(17,192)	-0-
Increase in cash surrender value of life insurance	(913)	(606)
Changes in assets and liabilities:		
Receivables	(935,645)	(689,358)
Contract assets	(708,836)	73,712
Accounts payable	2,482,070	(570,941)
Contract liabilities	(584,790)	749,496
Accrued expenses	(182)	(31,001)
Net cash flows from operating activities	<u>1,022,178</u>	<u>830,544</u>
Investing activities		
Proceeds from sale of property and equipment	17,192	-0-
Capital expenditures	(143,614)	(10,730)
Net cash flows from investing activities	<u>(126,422)</u>	<u>(10,730)</u>
Financing Activities		
Dividends	(670,925)	(836,536)
Net change in cash	224,831	(16,722)
Cash, beginning of year	<u>2,072,468</u>	<u>2,089,190</u>
Cash, end of year	<u>\$ 2,297,299</u>	<u>\$ 2,072,468</u>

See review report of independent accountants and
accompanying notes to financial statements.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

1. SUMMARY OF SIGNIFICANT ACCOUNTING POLICIES

Description of Business Activities

Verkler, Inc. (the Company) is a general contractor engaged in the construction of commercial, industrial, institutional, and educational buildings in Indiana and surrounding states. The Company's headquarters is located in Indianapolis, Indiana.

The Company's contracts are generally performed under fixed-price contracts, cost-plus-fee contracts, and fixed-price contracts modified by incentive and penalty provisions. Work on contracts is performed by specialty subcontractors generally under the terms of fixed-price subcontracts with the Company. The Company also manages, for a fee, construction projects for others. The length of its contracts varies but are generally more than one year.

In connection with its construction activities, the Company may be required to acquire performance bonds. The surety issuing the bonds has recourse against the Company's assets in the event the surety is required to honor the bonds. It is the Company's practice to require performance bonds from its significant subcontractors.

The significant accounting policies followed by the Company in the preparation of its financial statements are as follows:

Estimates

Management uses estimates and assumptions in preparing these financial statements in accordance with accounting principles generally accepted in the United States of America. Those estimates and assumptions affect the reported amounts of assets and liabilities, the disclosure of contingent assets and liabilities, and the reported revenues and expenses. Actual results could vary from the estimates that were used.

Balance Sheet Classification

The Company includes in current assets and liabilities retainage amounts receivable and payable under construction contracts, which may extend beyond one year. A period of one year from the balance sheet date is used as the basis for classifying all other current assets and liabilities.

Receivables

Receivables represent net amounts billed to customers based on performance of contractual terms. Amounts billed, excluding retainage, are generally due 30 days after issuance of the invoice. Retainage, which is a component of contract assets, is generally due following substantial completion of the project, or earlier as project milestones are met.

Allowance for Credit Losses

In evaluating the need for an allowance for credit losses, management reviews receivables and contract assets, including retainage receivables, by customer and by project. Management

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

estimates the allowance for credit losses based on an evaluation of the Company's historical losses, the aging of receivables, current and forecasted economic conditions, and other factors unique to the Company's customer base. Balances are written off against the allowance when management determines the amounts are uncollectible. Management has determined no allowance for credit losses on receivables or contract assets was required at December 31, 2024 and 2023.

Revenue and Cost Recognition

The Company recognizes contract revenues for financial reporting purposes over time, as performance obligations are satisfied, due to the continuous transfer of control to the customer. Construction contracts are generally accounted for as a single unit of account (a single performance obligation), and are not segmented between types of services. Progress toward completion of the Company's contracts is measured by the percentage of costs incurred to date to estimated total costs for each contract. This method is used because management considers cost incurred to be the best available measure of revenues earned on uncompleted contracts.

Because of the inherent uncertainties in estimating the percentage of contract revenues earned and final contract revenues (including change orders approved as to scope, but unapproved as to price) being subject to customer approval, it is at least reasonably possible that the Company's estimates of costs and revenues may significantly change in the near term.

Contracts may include additional consideration or penalties that depend on the Company's performance, and which would impact the revenue to which the Company is entitled. For performance bonuses or contractual penalties based on objective criteria, such as meeting or failing to meet specified construction deadlines, the Company estimates the amount of consideration to be earned or penalty to be incurred based on historical experience for similar projects. If weather conditions, lack of historical experience for similar projects, or other factors create uncertainty about the amount to which the Company expects to be entitled, the Company recognizes revenue at an amount that will not result in a significant reversal of revenue when the uncertainty is resolved. Performance contractual provisions based on subjective criteria are generally recognized as revenue only upon customer approval.

Cost of contract revenues include all direct labor and related expenses, subcontractor and other direct costs related to contract performance. Indirect construction costs, such as depreciation, other equipment costs and insurance, and general and administrative expenses are charged to expense as incurred.

Provisions for estimated losses on uncompleted contracts are made in the period in which such losses are determined. Changes in estimated job profitability resulting from variable consideration (such as incentives for completing a contract early or on time, penalties for not completing a contract on time, claims for which the Company has enforceable rights, or contract modifications/change orders in which the scope of modification has been approved, but the price has not been determined or approved) are accounted for as changes in estimates in the current period, but limited to an amount that will not result in a significant reversal of revenue recognized to date.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Contract Assets and Liabilities

Contract assets represent revenues recognized in excess of amounts billed to customers, plus retainage receivables. Contract liabilities represent amounts billed to customers in excess of revenues recognized.

Practical Expedients

If the Company has a right to consideration from a customer in an amount that corresponds directly with the value of the Company's performance completed to date (such as a contract in which the Company bills a fixed amount for each hour of service provided), the Company recognizes revenue in the amount to which it has a right to invoice for services performed. The Company does not adjust the contract price for the effects of a significant financing component if the Company expects, at contract inception, that the period between when the Company transfers a service to a customer and when the customer pays for that service will be one year or less.

The Company has made an accounting policy election to exclude from the measurement of the transaction price all taxes assessed by governmental authorities that are collected by the Company from its customers. The Company has made an accounting policy election to recognize the incremental costs of obtaining a contract as an expense when incurred if the amortization period of the asset that the entity otherwise would have recognized is one year or less.

Warranties

The Company generally provides limited warranties for work performed under its construction contracts. The warranty periods typically extend for a limited duration following substantial completion of the Company's work on a project. Historically, warranty claims have not resulted in material costs incurred, and any estimated costs for warranties are included within accrued expenses.

Property and Equipment and Depreciation

Property and equipment are recorded at cost. Major repairs to property and equipment are capitalized while minor repairs are expensed as incurred. The Company depreciates property and equipment using the straight-line method over the estimated useful service lives of the related assets, as follows:

<u>Description</u>	<u>Ranges of useful lives</u>
Office furniture and equipment	5 - 10 years
Computer equipment and software	3 - 5 years
Vehicles	5 years
Construction equipment	5 - 10 years
Leasehold improvements	10 - 40 years

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Impairment of Long-Lived Assets

The Company reviews long-lived assets for impairment whenever events or circumstances indicate that the carrying value of such assets may not be fully recoverable. Impairment is present when the sum of undiscounted estimated future cash flows expected to result from use of the assets is less than their aggregate carrying value. If impairment is present, the carrying value of the impaired asset is reduced to its fair value. There was no impairment loss recognized for long-lived assets during the years ended December 31, 2024 and 2023.

Private Company Accounting Alternative

The Company adopted an accounting alternative which permits private companies to not apply variable interest entity guidance to certain commonly controlled entities. The Company has further disclosed the nature and risks associated with its involvement with legal entities under common control in Note 5 to the financial statements.

Income Taxes

The Company's stockholders have elected to be taxed under the provisions of Subchapter S of the Internal Revenue Code. Under these provisions, net taxable income (including any adjustments arising from an examination by a taxing jurisdiction) is taxed directly to the stockholders individually and not the Company, and any tax credits are utilized by the stockholders individually, and not the Company. Accordingly, the accompanying financial statements do not include any provision for federal or state income taxes.

If it is probable that an uncertain tax position will result in a material liability payable at the Company reporting level, and the amount of the liability can be estimated, then the estimated liability is accrued. As of December 31, 2024 and 2023, there were no material uncertain tax positions at the Company reporting level.

The Company has filed its federal and state income tax returns for periods through December 31, 2023 and is subject to routine audits by taxing jurisdictions. As of the date the financial statements were available to be issued, there were no audits for any tax periods in progress. Income tax returns are generally open for examination by the relevant taxing authorities for a period of three years from the later of the date the return was filed or its due date (including approved extensions).

Subsequent Events

The Company evaluates events occurring subsequent to the date of the financial statements in determining the accounting for and disclosure of transactions and events that affect the financial statements. Subsequent events have been evaluated through February 14, 2025, which is the date the financial statements were available to be issued.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024 AND 2023

2. RECEIVABLES

Receivables include the following:

	2024	2023
Completed contracts	\$ 84,858	\$ 99,157
Contracts in progress	3,214,263	2,264,319
	\$ 3,299,121	\$ 2,363,476

At January 1, 2023, the balance of receivables was \$1,674,118.

3. CONTRACT ASSETS AND LIABILITIES

Information relative to contracts in progress, earnings thereon and related billings are summarized as follows:

	2024	2023
Costs incurred on uncompleted contracts	\$ 23,545,523	\$ 13,986,314
Estimated earnings on uncompleted contracts	2,937,755	1,478,530
	26,483,278	15,464,844
Billings on uncompleted contracts	(27,249,983)	(16,789,930)
	\$ (766,705)	\$ (1,325,086)

Included in the accompanying balance sheets under the following captions:

Contract assets component - see below	\$ 72,612	\$ 99,021
Contract liabilities	(839,317)	(1,424,107)
	\$ (766,705)	\$ (1,325,086)

Contract assets consist of:

	2024	2023
Contract assets from contracts in progress	\$ 72,612	\$ 99,021
Retainage receivables	1,557,189	821,944
	\$ 1,629,801	\$ 920,965

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

Contract assets at January 1, 2023 were \$994,677, and contract liabilities at that date were \$674,611.

The Company's backlog at December 31, 2024 (the total dollar value of work to be performed after December 31, 2024 on contracts awarded and in progress at that date) was approximately \$23.5 million, substantially all of which is estimated to be performed within twenty months from December 31, 2024. Although the backlog reflects business that is considered to be firm, cancellations, deferrals, scope adjustments, or other adjustments provided for in the contracts may occur.

4. PROPERTY AND EQUIPMENT

Property and equipment consist of the following:

	<u>2024</u>	<u>2023</u>
Office furniture and equipment	\$ 107,139	\$ 107,139
Computer equipment and software	115,616	107,325
Vehicles	325,922	276,318
Construction equipment	347,421	313,421
Leasehold improvements	<u>85,053</u>	<u>67,715</u>
	981,151	871,918
Accumulated depreciation	<u>(783,374)</u>	<u>(762,077)</u>
	<u>\$ 197,777</u>	<u>\$ 109,841</u>

The unamortized leasehold improvements balances associated with leases under common control is \$41,142 and \$28,105 at December 31, 2024 and 2023, respectively. The remaining useful life of the leasehold improvements associated with the short-term common control lease at December 31, 2024 is approximately 24 years.

5. RELATED PARTY TRANSACTIONS

Lease Arrangements

Short-term leases (leases with an initial term of 12 months or less or leases that are cancelable by the lessee and lessor without significant penalties) are not capitalized but are expensed on a straight-line basis over the lease term. The majority of the Company's short-term leases relate to office space and storage units.

During 2024 and 2023, the Company leased its Indianapolis facility from a related entity by common ownership, Wilber Partnership ("Wilber"), under the terms of a short-term lease. During 2024 and 2023, the lease provided for monthly rental payments aggregating \$9,115 and \$7,665, respectively.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

The Company's total short-term lease expense for the years ended December 31, 2024 and 2023 was \$113,105 and \$93,927, respectively, including \$109,380 and \$91,980, respectively, paid to Wilber.

On December 27, 2024, the Company entered into a new lease with Wilber to lease the above-mentioned facility through December 31, 2025, with monthly rental payments of \$9,115. Future annual commitments under lease total \$109,380 for 2025.

In evaluating contracts to determine if they qualify as a lease, the Company considers factors such as if it has obtained substantially all of the rights to the underlying asset through exclusivity, if the Company can direct the use of the asset by making decisions about how and for what purpose the asset will be used and if the lessor has substantive substitution rights. Furthermore, the Company assesses whether it is reasonably certain to exercise options to extend or terminate a lease considering all relevant factors that create economic incentive to exercise such options, including asset, contract, market, and entity-based factors. These evaluations may require significant judgment.

6. PROFIT SHARING PLAN

The Company has a 401(k) profit-sharing plan covering all employees not covered under union sponsored pension plans. Eligibility for the plan is based on ninety days of service. The Company may make discretionary matching contributions to the plan. Contributions to the plan are decided on an annual basis and are determined within the plan limits as defined by the plan. The Company made discretionary matching contributions of \$38,493 and \$75,001 to the plan for the years ended December 31, 2024 and 2023, respectively.

7. MULTIEMPLOYER PENSION PLANS

The Company contributes to three multiemployer defined benefit pension plans under the terms of collective bargaining agreements that cover its union-represented employees. The risks of participating in these multiemployer plans are different from single-employer plans in the following aspects:

- a. Assets contributed to the multiemployer plan by one employer may be used to provide benefits to employees of other participating employers.
- b. If a participating member stops contributing to the plan, the unfunded obligations of the plan may be borne by the remaining participating employers.
- c. If the Company chooses to stop participating in its multiemployer plans, it may be required to pay those plans an amount based on the underfunded status of the plan, referred to as a withdrawal liability.

The Company's participation in these plans for the annual periods ended December 31, 2024 and 2023 is outlined in the table below. The "EIN/Pension Plan Number" column provides the

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS
DECEMBER 31, 2024 AND 2023

Employer Identification Number (EIN) and the three-digit plan number. The most recent Pension Protection Act (PPA) zone status available as of December 31, 2024 is indicated.

The zone status is based on information that the Company received from the plan and is certified by the plan actuary. Among other factors, zone status is based on the projected funding status of benefits, as follows:

- Critical Status (C) – Less than 65% funded, or a funding deficiency projected within the next four years.
- Critical and Declining Status (D) – Meets criteria for critical status, and with insolvency projected within the next twenty years.
- Endangered Status (E) – Not in critical status, and less than 80% funded or a funding deficiency projected within the next seven years.
- Seriously Endangered Status (S) – Meets criteria for endangered status, and is both less than 80% funded and has a funding deficiency projected within the next seven years.
- Plans that are not in the above categories (N) are more than 80% funded, and otherwise do not meet the criteria for critical or endangered status.

Information on a funding improvement plan (FIP) or a rehabilitation plan (RP) is not provided, as the plans to which the Company contributes are all in the (N) status, and not required to have either a FIP or RP. The last column lists the expiration dates of the collective bargaining agreements to which the plans are subject.

Pension Fund	EIN/Pension Plan Number	Pension Protection Act Zone Status		Company Contributions		Surcharge Imposed	Expiration Date of Collective Bargaining Agreement
		2024	2023	2024	2023		
Indiana/Kentucky/Ohio Regional Council of Carpenters Pension Fund							
	51-6123713 / 001	(N) as of July 1, 2023	(N) as of July 1, 2022	\$ 232,447	\$ 223,535	No	March 2027
Indiana Laborers Pension Fund (a)							
	35-6027150 / 001	(N) as of June 1, 2024	(N) as of June 1, 2023	122,357	134,272	No	March 2027
Other Fund				<u>78,479</u>	<u>72,125</u>		
Total contributions				<u>\$ 433,283</u>	<u>\$ 429,932</u>		

(a) This fund has utilized the special 30-year amortization rules under Section 431(b)(8)(A) of the Internal Revenue Code (IRC), which allows for net investment losses from 2009 to be amortized over a period of 30 years compared to the original amortization of 15 years.

According to the most current (and available) Form 5500, the Company did not provide more than 5 percent of the total contributions for the plan years ending in 2024 and 2023.

See review report of independent accountants.

VERKLER, INC.

NOTES TO FINANCIAL STATEMENTS DECEMBER 31, 2024 AND 2023

The Company's contributions to the respective pension funds are based on the hours worked by covered employees, and thus overtime premiums and bonus payments do not affect the contributions.

8. CONCENTRATION OF CREDIT RISK

The Company maintains its cash in bank deposit accounts which, at times, may exceed federally insured limits. The Company has not experienced any losses in such accounts and does not believe it is exposed to any significant credit risk on cash.

The Company performs contracts and grants credit primarily in central Indiana for commercial projects. The Company's policy is to not require collateral on receivables due to special rights afforded under contractual agreements, and collateral is generally not available for governmental projects.

As of December 31, 2024 and for the year then ended, three customers represented 66% of receivables and five customers represented 78% of contract revenues earned. As of December 31, 2023 and for the year then ended, three customers represented 83% of receivables and five customers represented 75% of contract revenues earned.

Substantially all of the labor included in contract costs is for workers covered by collective bargaining agreements.

9. CONTINGENCIES

Disputes and Legal Actions

The Company is subject to disputes or legal actions arising in the ordinary course of business and insures against such risks when appropriate. Management believes that, as of the date the financial statements were available to be issued, all pending or threatened legal actions were covered by insurance, subject to specified deductible amounts, and that the ultimate resolution of such actions will not have a significant adverse effect on the Company's financial position, results of operations, or cash flows.

See review report of independent accountants.

SUPPLEMENTARY INFORMATION

VERKLER, INC.

GENERAL AND ADMINISTRATIVE EXPENSES
YEARS ENDED DECEMBER 31, 2024 AND 2023

	<u>2024</u>	<u>2023</u>
Executive salaries	\$ 260,000	\$ 260,000
Office salaries and wages	89,240	98,793
Payroll taxes	26,092	30,564
Officer's life and disability insurance, net	25,650	32,328
Group insurance	26,400	26,400
Rental expense	113,105	93,927
Legal services	10,529	22,677
Repairs and maintenance	69,822	56,787
Office supplies	30,719	28,972
Other professional services	27,211	80,802
Communication	19,618	19,137
Audit and tax services	27,450	28,875
Employee benefits	3,457	6,258
Utilities	19,849	19,239
Travel, lodging, and mileage	24,232	33,489
Charitable contributions	6,500	5,050
Depreciation	7,709	6,595
Postage and delivery	3,128	4,812
Miscellaneous	<u>234</u>	<u>8,276</u>
Total general and administrative expenses	<u>\$ 790,945</u>	<u>\$ 862,981</u>

See review report of independent accountants.



Date: June 12, 2026

To: Trey Cleeter

Re: Change Granite from Iridian to Charcoal Black

Please see below costs associated with the change of the Granite from Iridian to Charcoal Black as requested in Final Construction Documents.

Coldspring Iridian Granite	(\$13,180.00)
Coldspring Charcoal Black Granite	\$14,980.00
FEE	<u>\$270.00</u>
Total	\$2,070.00

F. A. Wilhelm Construction Co., Inc.

Joel Tresslar

Joel Tresslar
Sr. Masonry Estimator / Project Manager



bo-mar Industries, Inc.3838 S Arlington Ave
Indianapolis, IN 46203Phone: 317-899-1240
Fax: 317-899-1241
Fed ID: 35-1843148**Quote No: 30182**
Tuesday, June 23, 2026

Page: 1

Attention:**F.A. Wilhelm Construction Co., Inc.**3914 Prospect Street
Indianapolis, IN 46203
Phone: 317-359-5411CITY OF WESTFIELD - PARK STREET IMPROVEMENTS
2728 EAST 171 ST STREET
WESTFIELD, INDIANA 46074**Change Order #01**Line: **1**Part ID: **FIRE PIT CONTROL**
ALUMINUM ASSEMBLY

Rev:

Reference Drawing Sheet SD38 - Detail 3

Aluminum Tube ; 8 SQ X .250 WALL 6061-T6 SHARP CORNER ALUMINUM TUBING

Finish: Powder Coat - Final Color TBD - Color Selection FromExcludes: Timer/Controls/Switch/Foundation

Quantity	U/M	Unit Price	Discount	Discounted Unit Price	Addl Charge	Lead Time	Total Price
1.00	EA	3,980.00			Installation 1,400.00		\$5,380.00

Salesperson:

Prices are Valid Until Wednesday, June 24, 2026

Quote offered by: Blake Russell
Please refer to this quote number when ordering.***SPECIAL NOTE*****Due to instability in metals markets, all prices quoted are based on today's cost of material. Bo-mar Industries reserves the right to adjust our selling price to price in effect at the time material is ordered. All quotes are subject to material availability at the time material order is placed.****Payment terms are net 30, new accounts will be COD.****Credit card payments: Add 3%*****Above pricing does not include shipping, unless installation is included, applicable sales taxes, or any bond cost unless stated otherwise.***



Change Order No. 001 — Scope Additions to Base Contract

City of Westfield — Park Street Improvements · Package 26A Electrical · Issued to F.A. Wilhelm Construction Co., Inc.

PROJECT INFORMATION

PREPARED FOR

Trey Cleeter, Project Manager
F.A. Wilhelm Construction Co., Inc.
O 317.359.5411 | M 317.270.8575
treycleeter@fawilhelm.com

PREPARED BY

Scott Newlin, Service Manager
Huston Electric, Inc. — Indianapolis Division
317-804-9009 | scotttn@hustonelectric.com

PROJECT / CONTRACT REFERENCE

City of Westfield — Park Street Improvements
HEI Base Bid (Bid Event 2): **\$705,362**
Bid Basis: 50% CDs (03-20-2026) + Addendum 1 (04-17-2026)

CO REFERENCE DOCUMENTS

Scope Clarification SCN-001 (05-06-2026)
Final CD Set dated: **04-30-2026**
Items Priced: SCN-001 Items 2 through 7

⚠ ITEM 1 (FULL AV / CAMERA / NETWORK SYSTEM) — SEPARATE CO PENDING

Per SCN-001 Item 1, the Full AV/Camera/Network scope (IT rack in P1, 8+ Hanwha cameras, Altronix PoE switches, 24+ speaker locations, DSP/amp/touchpanel, OS2 fiber, Cat6A cabling, 16AWG speaker cable, 1-1/4" conduit at all poles) is **not included in CO-001**. This scope will be priced as a separate change order once Wilhelm confirms scope responsibility and provides final direction. HEI's original base bid carried only a rough-in allowance and a \$4,975 PA alternate.

SCOPE OF WORK — ITEMS INCLUDED IN CO-001

#	DESCRIPTION	SCN REF	CO PRICE
1	Stage Power Pedestal — 2 Dedicated 20A Circuits (Plan Note 7) Install stage power pedestal per Plan Note 7 added in the Final CD set. Scope includes: (2) 20A circuit breakers in P1 panel; 3/4" EMT conduit stub-up from panel; underground conduit run to stage area; #12 AWG THHN branch circuit conductors; NEMA 3R weatherproof enclosure/pedestal with stand; (2) 20A weatherproof GFCI duplex receptacles with in-use covers; grounding as required. <i>Trench by others.</i>	SCN-001 Item 2 / Plan Note 7	\$2,826
2	WP GFCI Duplex Receptacles at +14' on S1/S2 Holophane Poles (12 poles) Furnish and install (1) 20A weatherproof GFCI duplex receptacle with WP in-use cover at 14' AFF on each of the twelve (12) S1/S2 Holophane decorative	SCN-001 Item 3 / S1 fixture spec	\$6,111

#	DESCRIPTION	SCN REF	CO PRICE
	poles, per fixture specification added in Final CDs. Scope includes mounting hardware, wire routed through pole shaft from base handhole to outlet elevation, and final test of GFCI function at each location. <i>Assumes HEI has access to pole handholes. Bucket truck or lift not anticipated at 14' AFF; A-frame ladder access assumed.</i>		
3	<p>8-Pole Lighting Contactor LC-2 — Addition to P1 Panel (Delta over Base Bid)</p> <p>Furnish and install one (1) 8-pole lighting contactor LC-2 within the P1 panel enclosure as called out by name in the Final CDs. Base bid included a single generic 4-pole contactor; this CO covers the additional 8-pole unit (LC-2) and associated mounting, control wiring, load circuit terminations, and commissioning. The bid 4-pole unit (LC-1) remains in the base contract.</p>	SCN-001 Item 4 / LC-2	\$1,625
4	<p>GFCI Quadraplex Outlets inside P1 Cabinet — 2 Circuits (Plan Note 6)</p> <p>Furnish and install (2) 20A circuit breakers in P1 panel per Plan Note 6 added in Final CDs, feeding (2) 20A GFCI quadraplex duplex outlets surface-mounted inside the P1 enclosure. Includes all wire, surface-mount boxes, and terminations within the enclosure.</p>	SCN-001 Item 5 / Plan Note 6	\$1,051
5	<p>24-Hour Mechanical Time Switch — Firepit Circuit (Plan Note 4, Modified)</p> <p>Furnish and install one (1) 24-hour mechanical time switch (20A, SPST, 120V, heavy-duty) on the dedicated firepit circuit per modified Plan Note 4 in the Final CDs. Original note directed connection to firepit per manufacturer only; the added time switch was not carried in HEI's base bid takeoff. Includes enclosure, wiring modification to route circuit through switch, and programming of on/off times per owner direction.</p>	SCN-001 Item 6 / Plan Note 4	\$725
6	<p>Branch Circuit Wire Upgrade — #8/#6/#4 AWG vs. #10 AWG (Delta Cost)</p> <p>This CO covers the material and labor cost delta resulting from the wire gauge change shown on the Final CD plan sheets versus the #10 AWG specified in the bid-phase electrical narrative. HEI's base bid carried 12,500 LF of #10 AWG THHN/THWN branch conductors. Final CDs show #8 AWG on the majority of lighting branch circuits and #6/#4 AWG on heavier circuits. <i>Pricing assumes approximately 9,000 LF upgraded to #8, 2,000 LF to #6, and 1,500 LF to #4 AWG. A drawing takeoff will be performed upon Final CD release confirmation to reconcile actual quantities; CO amount is subject to adjustment if actual quantities differ materially from these assumptions.</i></p>	SCN-001 Item 7 / wire schedule	\$6,213
8	<p>Lighting Fixture Changes — Post-Bid Drawing Revisions (Three Sub-Items)</p> <p>Per updated drawings vs. bid-phase lighting package (Light Source Quote 26-38978-3 → 26-38978-4), three fixture-level changes are required. Vendor delta pricing is contractor net; HEI overhead & markup applied at 15%.</p>	LS Quote 26- 38978-4 / E6 Rev.1 / fixture schedule	\$43,055

#	DESCRIPTION	SCN REF	CO PRICE
	<p>8a — Catenary Lighting (CL) Spacing: 24" O.C. → 36" O.C. Catenary strand reduced in density per updated CD drawings (E6 Rev.1). Fewer drop pendants and adapters result in a material credit from Light Source. <i>Vendor credit: (\$4,356.24)</i></p> <p>8b — CP2 Bollard Fixture Model Change BEGA B84713-BK-MOD (5 units) replaced by BEGA 14 RFNS1 BK MOD 06797 (5 units) per updated fixture schedule. Includes \$500 vendor handling fee for model swap. Same quantity; different spec. <i>Vendor add: \$10,786.00</i></p> <p>8c — S1 & S2 Decorative Poles: Add 2'×4' Banner Arms + GFI Provision (×13 poles) Valmont pole spec updated to include one pair of 2'×4' banner arms and integrated GFI electrical provision on all S1 (×5) and S2 (×8) Holophane poles per revised fixture specification. Banner arm structural installation by others. GFI provision (pole-mounted electrical box) interfaces with HEI receptacle scope in Item 2 above. <i>Vendor add: \$31,009.70</i></p> <p>Lighting Material Delta (net, contractor net, no tax): \$37,439.46 HEI Overhead & Markup (15%): \$5,615.54 <i>Note: 13 S1/S2 poles confirmed per updated Valmont quote; CO-001 Item 2 priced 12 poles — one additional pole receptacle may require a separate adjustment.</i></p>		
9	<p>Excavation & Pole Bases — Subcontractor Scope Increase (Pink Lady Contracting Est. 26-060) HEI's base bid carried excavation sub pricing based on Pink Lady Contracting Est. 26-060 (5/1/26 rates) at \$79,700. The revised estimate dated 6/1/26 reflects three changes resulting in an increased sub cost of \$50,650. HEI passes through the delta at 10% markup.</p> <p>Change 1 — Trench Rate Increase (Site Lighting, 1" poly): 4,000 LF Unit rate increased from \$5.45 to \$6.95/LF due to updated conduit pricing (6/1/26 basis). <i>Delta: +\$6,000.00</i></p> <p>Change 2 — Trench Rate Increase (Site Audio, 1.25" poly): 4,000 LF Unit rate increased from \$5.95 to \$6.95/LF. <i>Delta: +\$4,000.00</i></p> <p>Change 3 — 24" Light Pole Bases Added (NEW scope not in original estimate) 26 bases for S1, S2, and CP poles + 5 bases for CP2 poles = 31 total. Hand-rubbed finish, 4,500 PSI concrete. Testing by others. <i>Delta: +\$35,650.00 (31 × \$1,150)</i></p> <p>Change 4 — Hydro Excavation Allowance (NEW) Added as a lump-sum allowance for unforeseen conflicts during trenching. <i>Delta: +\$5,000.00</i></p>	Pink Lady Est. 26-060 Rev. 6/1/26	\$55,715

#	DESCRIPTION	SCN REF	CO PRICE
	<p>Sub delta (Pink Lady): \$50,650.00 HEI markup (10%): \$5,065.00 <i>Exclusions: Granular fill alternate (\$30,600) not included — carried as a separate decision pending plow vs. fill determination. Layout, private locates, and cement-stabilized subbase trenching by others per sub exclusions.</i></p>		
10	<p>AV / Camera System — HEI Low-Voltage Wiring Installation (Partial CO-001; Equipment Pricing Pending Separate Item)</p> <p>HEI to furnish and install low-voltage cabling for the full technology system per T-sheets (T1–T7). Quantities estimated from plan scale (1"=10'-0" area plans) and site trench lengths per Pink Lady Est. 26-060 (4,000 LF audio trench, 4,000 LF lighting trench). Actual quantities to be confirmed against record drawings; pricing subject to adjustment if field quantities differ materially.</p> <p>System Summary: 31 speakers (SP01–SP31) across 4 areas; 10 cameras (CAM01–CAM10, owner-furnished) with 4 Altronix PoE switch groupings; P1 cabinet audio/IT rack at one end of site.</p> <p>OS2 6-Strand Single-Mode Fiber Optic Cable (Outdoor Rated) — 4,000 LF</p> <p>Backbone run from P1 cabinet through site connecting 4 Altronix NETWAY4E1WP PoE switch locations (Areas A–D). Routed through 1-1/4" innerduct in 4" conduit per Detail 2/T1. Includes pulls, slack, and terminations at each Altronix enclosure and P1 fiber panel. 4,000 LF × \$18.00/LF = \$72,000</p> <p>Cat6A Outdoor Rated Cable (Direct Burial) — 2,000 LF</p> <p>Runs from each Altronix PoE switch to cameras served: CAM01+CAM02 (Area A), CAM04+CAM05+CAM06 (Area B), CAM07+CAM08 (Area C), CAM03+CAM10 (Areas A/D), CAM09 pier (Area C). Average estimated run ~150 LF per camera × 10 cameras, plus slack and vertical pole pulls. Cameras owner-furnished; HEI provides and installs cable and terminates at camera and Altronix enclosure. 2,000 LF × \$9.00/LF = \$18,000</p> <p>16AWG 2-Conductor Outdoor Speaker Cable (Direct Burial / 12/2 DB) — 5,500 LF</p> <p>Runs from QSC MPA-Q 4×250 amplifier (P1 cabinet) to all 31 speakers (SP01–SP31) across 4 areas via 4 amp zone circuits. Routed through 1-1/4" conduit per drawings. Includes vertical pulls up poles to speaker mounting height (+10'-0") and slack at each speaker location. 5,500 LF × \$3.00/LF = \$16,500</p> <p><i>Note: AV sub-system equipment (Altronix enclosures, DSP, amp, network switch, touchpanel, SFP modules, fiber enclosure/panel) priced under separate</i></p>	T1–T7 drawings / Plan scale estimate	\$106,500

#	DESCRIPTION	SCN REF	CO PRICE
	<i>CO item. Conduit for camera and audio cabling carried in CO-001 Items 1–9 base contract and excavation scope.</i>		
11	<p>AV Sub-System Equipment Delta — AV Designers & Technology (Q-31 Updated + Q-34 Microphone Adder vs. Base Bid Q-31)</p> <p>HEI's base bid carried AV Designers & Technology quote Q-31 V1 (Apr 17, 2026) at \$63,352.32. The AV sub has issued two updated documents dated June 23, 2026 reflecting post-bid scope additions. HEI passes through the combined delta at 10% markup.</p> <p>Updated Audio System — Q-31 V1 (Jun 23, 2026): \$80,089.84 Same base scope as original Q-31 (30× JBL CBT-50LA speakers, QSC CX-Q 4K4 amplifier, enclosure, Tascam recorder, lift rental) with the following additions vs. original bid: <i>Added — Chatsworth 11790-718 swing gate wall rack (\$800.18); QSC Core 8 Flex DSP (\$3,525.00); QSC TSC-70-G3 touchscreen controller (\$2,000.00); JBL MTC-PC2 terminal covers ×30 (\$1,350.00); Cat6 keystone + wire accessories (\$239.27). Bracket pricing adjustment: JBL MTC-CBT-FM1 reduced from \$3,596 → \$1,950 (credit).</i></p> <p>Microphone Adder — Q-34 V2 (Jun 23, 2026): \$13,505.58 New scope — full wireless microphone and DSP system for stage/public address use. Includes: Biamp TesiraFORTE AI 12×8 DSP (\$3,384.00); RF Venue COMB4CPB 4-channel antenna packs ×2 (\$3,398.00); Wirepath RG59 coax ×2 (\$1,000.00); Shure SLXD24/B58-G58 wireless vocal system (\$1,050.00); Shure SLXD1 bodypack (\$316.00); Shure SM35-TQG headset microphone (\$136.00); West Penn 22/4 CM cable (\$295.80); plus freight and 2-yr warranty adjustment.</p> <p>Combined updated AV sub cost: \$80,089.84 + \$13,505.58 = \$93,595.42 Original base bid AV sub cost (Q-31 April): \$63,352.32 Net sub cost delta: \$30,243.10 HEI markup (10%): \$3,024.31 <i>Note: AV sub scope explicitly excludes underground trenching and conduit (carried in CO-001 Items 9 and base contract). Pathways and rough-in are HEI scope per sub's scope-of-work language.</i></p>	<p>AV DT Q-31 Jun 23 / Q-34 V2 Jun 23</p>	\$33,267
12	<p>Fire Pit Control Station — New Scope (Not on 80% Drawings)</p> <p>Drawing SD38 (issued 04/30/2026) introduced a fire pit control pedestal and associated electrical scope not present in the 80% bid set. Per BP 26A scope delineation, the following items are HEI-furnished and installed:</p> <p>1-Hour User-Operated Dial Timer with NEMA Rain Tight Enclosure — pedestal-mounted, user-operated start/auto-off. Ignition faces fire pit per drawing note. Includes rain tight NEMA cover.</p> <p>Emergency Stop Switch — pull-to-release type, rain tight NEMA enclosure. Mounted on back of pedestal per SD38. To be combined with timer or separate per shop drawing approval.</p> <p>Conduit — Pedestal to Fire Pit J-Box (20 LF, 3/4" RGS/IMC, outdoor — field</p>	<p>SD38 / SD39 — BP 26A; E4/E5 P1-15</p>	\$4,165

#	DESCRIPTION	SCN REF	CO PRICE
	<p>confirmed) — feeds from pedestal base to fire pit stem wall junction box. Includes all fittings and 120VAC conductors.</p> <p>Junction Box at Fire Pit Stem Wall — outdoor-rated, surface-mounted to concrete stem wall for hard-wired connection to 120VAC electronic ignition assembly per SD39 section detail.</p> <p>Panel P1 to Fire Pit Pedestal — Home Run Conduit & Wire (est. 160 LF, 3/4" RGS underground) — Circuit P1-15, 20A, 1-pole. Panel P1 is located in Area C (Sheet E4); fire pit pedestal is in Area D (Sheet E5). Run follows existing conduit corridor shared by P1-3, P1-5, P1-6, P1-8 circuits already serving Area D. Includes #12 THWN conductors and ground, all fittings and terminations. Footage is scaled from E4/E5 at 1"=10' — field verification recommended; reconciliation will be issued if actual footage varies materially.</p> <p><i>Note: Both timer devices are confirmed as separate and required. Item 6 (24-hr time switch) controls panel-level circuit availability — restricts what hours of day the fire pit circuit is energized. Item 12 (1-hr dial timer) is user-operated at the pedestal — allows a visitor to start a session up to 1 hour, auto-off. Two distinct functions, no overlap.</i></p>		

INVESTMENT SUMMARY

CHANGE ORDER CO-001 — ITEMS 2 THROUGH 12 (LUMP SUM)	
Item 2 — Stage Power Pedestal (Plan Note 7)	\$2,826
Item 3 — WP GFCI Outlets at +14' on S1/S2 Poles (×12)	\$6,111
Item 4 — 8-Pole Lighting Contactor LC-2 (add to P1)	\$1,625
Item 5 — GFCI Quadraplex Outlets inside P1 (Plan Note 6)	\$1,051
Item 6 — 24-Hour Time Switch, Firepit Circuit (Plan Note 4) — panel-level circuit timer, restricts daily operating hours	\$725
Item 7 — Branch Wire Upgrade, #8/#6/#4 vs. #10 AWG (delta)	\$6,213
Item 8 — Lighting Fixture Changes (CL spacing, CP2 model, S1/S2 banner arms)	\$43,055
Item 9 — Excavation & Pole Bases — Sub Delta (Pink Lady Contracting)	\$55,715
Item 10 — AV/Camera Wiring: OS2 Fiber, Cat6A, Speaker Cable (HEI Install)	\$106,500
Item 11 — AV Sub Equipment Delta (AV DT Q-31 Updated + Q-34 Mic Adder vs. Base Bid)	\$33,267
Item 12 — Fire Pit Control Station: Timer, E-Stop, Conduit, J-Box + P1 Home Run (SD38/E4/E5)	\$4,165
CO-001 TOTAL CHANGE ORDER AMOUNT	\$261,253
Original Contract Value (HEI Base Bid)	\$705,362
REVISED CONTRACT TOTAL (Base + CO-001)	\$966,615
<i>All labor & materials included for items listed. Tax exempt — City of Westfield public owner (ST-105 on file).</i>	

INCLUDED / NOT INCLUDED

✓ INCLUDED

- ✓ All HEI labor and supervision for CO-001 scope items
- ✓ All materials listed in scope descriptions above
- ✓ Stage power pedestal enclosure, stand, and hardware
- ✓ 12 WP GFCI receptacles and covers, pole-mounted at +14'
- ✓ 8-pole contactor LC-2 furnish and install
- ✓ GFCI quad outlets inside P1 per Plan Note 6
- ✓ 24-hour time switch furnish and install (Item 6); fire pit 1-hour dial timer, E-stop, pedestal conduit & J-box (Item 12)
- ✓ Delta material and labor cost for wire gauge upgrade
- ✓ Lighting fixture material delta: CL spacing reduction (credit), CP2 model swap, S1/S2 banner arm + GFI pole upgrades
- ✓ Excavation sub delta: trench rate increases + 31 pole bases + hydro excavation allowance (Pink Lady Contracting)
- ✓ Job site cleanup for all CO-001 work
- ✓ Coordination with base contract work and schedule

✗ NOT INCLUDED

- ✗ Trenching, excavation, or backfill for power pedestal conduit (by others)
- ✗ Concrete cutting, core drilling, or patching
- ✗ AV / Camera / Network system — Item 1, separate CO pending
- ✗ Engineering, stamped drawings, or arc flash studies
- ✗ Bucket truck or aerial lift (A-frame ladder assumed for +14' pole work; if lift required, additional cost may apply)
- ✗ Owner-furnished equipment or special fixtures
- ✗ Work outside normal business hours
- ✗ Indiana sales tax (City of Westfield is tax exempt — ST-105 required)

TERMS & CONDITIONS

Payment: Payment per the terms of the executed subcontract agreement between Huston Electric, Inc. and F.A. Wilhelm Construction Co., Inc. All applicable pay application and lien waiver requirements of the subcontract apply to this change order.

Change Order Scope: This change order adds \$261,253 to the HEI base contract value of \$705,362, bringing the revised contract total to **\$966,615** for Items 2–12. Item 12 fire pit home run footage (est. 160 LF) is subject to field verification — reconciliation will be issued if actual footage varies materially from estimate.

Wire Upgrade Quantities (Item 7): The CO-001 amount for Item 7 is based on estimated conductor quantities pending confirmation against the Final CD set. HEI will perform a full drawing takeoff and provide a reconciliation within five (5) business days of CO execution. If actual quantities differ materially from the stated assumptions, a credit or additional CO will be issued accordingly.

Prevailing Wage: This project is subject to Indiana prevailing wage requirements. Labor rates used in this estimate reflect applicable prevailing wage classifications for Hamilton County. Certified payroll will be maintained and provided to Wilhelm upon request.

Tax Exemption: This change order assumes the City of Westfield is sales tax exempt. A completed ST-105 form must be on file prior to commencement of CO-001 work.

Warranty: All Huston Electric workmanship warranted one (1) year from date of completion. Manufacturer warranties apply to all furnished materials and equipment.

Concealed Conditions: This CO is based on visible and accessible conditions consistent with the Final CD drawings. Additional costs may result from concealed conditions discovered during installation. HEI will notify Wilhelm prior to proceeding with any work beyond this change order scope.

Validity: This change order proposal is valid thirty (30) days from date of issue.

AUTHORIZED BY — HUSTON ELECTRIC, INC.

Scott Newlin

Scott Newlin

Service Manager — Indianapolis Division

ACCEPTED BY — F.A. WILHELM CONSTRUCTION CO., INC.

Trey Cleeter

Project Manager

Date: _____



June 12th, 2026

Brandon Keller & Trey Cleeter
F.A. Wilhelm Construction Co. Inc.
3914 Prospect Street
Indianapolis, IN 46203

RE: FAW Project# 11522 – Westfield Park Street Site Improvements – BP31A Sitework
CE-002 Park Street 100% Plans Rev.2

Brandon / Trey,

F.A. Wilhelm Construction is pleased to provide pricing for the following scope of work regarding the above referenced project. The cost includes all field labor, material, and equipment for the requested change:

CE-002 Park Street 100% Plans REV.2

TOTAL CHANGE ESTIMATE COSTS..... \$289,339.00

Should you require additional information, please call with any questions.

Sincerely,

Zac Irons
Assistant Project Manager
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cc: File

Attachments: Estimate Summary and worksheets





CHANGE ESTIMATE SUMMARY

Project # - Name: 11522 - Westfield Park Street Site Improvements - BP31A

Date: 6/12/2026

FAW Change Estimate No.: CE-002 Park Street 100% Plans Pricing Rev.2

Description: This pricing accounts for the 100% Drawings dated April 30th, 2026

	DESCRIPTION		MATERIAL/ EQUIP	LABOR	SUB	LINE TOTAL
1	General Conditions		\$750	\$35,100		\$35,850
2	Additional Storm / Underdrain Add		\$12,979	\$1,532	\$878	\$15,389
3	Telecom Duct Bank Add		\$41,359	\$10,834	\$13,860	\$66,053
4	Telecom Credit for Vault and Lateral Removal		(\$8,038)	(\$2,167)	(\$2,812)	(\$13,017)
5	Sanitary Lateral - Install & Permit		\$39,457	\$46,231	\$39,292	\$124,980
6	Stone Material Escalation from Bid to 100%		\$42,198			\$42,198
7	Pipe Material Escalation from Bid to 100%		\$1,669			\$1,669
8	.					\$0
9	.					\$0
10						\$0
11						\$0
12						\$0
13						\$0
	SUB TOTALS #1 totaled across	-----	\$130,374	\$91,530	\$51,218	\$273,122
	Sales Tax	0.00%	\$0	-----	-----	\$0
	SUB TOTALS #2 totaled across	-----	\$130,374	\$91,530	\$51,218	\$273,122
	Contingency	0.00%	\$0	\$0	\$0	\$0
	Insurance Requirements	0.00%	\$0	\$0	\$0	\$0
	SUB TOTALS #3 totaled across		\$130,374	\$91,530	\$51,218	\$273,122
	Subcontractor Markup	10.00%	N/A	N/A	\$5,122	\$5,122
	FAW (overhead & profit)	5.00%	\$6,519	\$4,577	N/A	\$11,095
	SUB TOTALS #4 totaled across		\$136,893	\$96,107	\$56,340	\$289,339
	Bond	1.000%	is bond required (yes/no)?:		No	\$0.00
	TOTAL				\$289,339

Scope Clarifications and Exclusions

- 1 All Gas utilities excluded from this pricing
- 2 This pricing is based on the assumption that the Sanitary Lateral can be installed without requiring a Sanitary Bypass.
- 3 Sanitary Bypass pumping is not included in this pricing.
- 4 Please note that the addition of the Sanitary Lateral install adds 3 weeks to our schedule after receiving permits from CEG
- 5 Pricing assumes 1 new connection fee for CEG Lateral Permits - If additional connection fees are needed it will be a added

GENERAL REQUIREMENTS / CONDITIONS

Project: 11522 - Westfield Park Street Site Improvements - BP31A

Date: 6/12/26 6:58 AM

Work scope: **General Conditions** Months: _____

Weeks: _____

Calendar Days: _____ Work Days: _____

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL		LABOR		SERVICE/SUBCONTRACT		LINE ITEM TOTALS	
		QUANTITY	UNIT	UNIT PRICE	MATERIAL DOLLARS	UNIT PRICE	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS
	General Conditions / Staffing										
	Project Executive / Ops Manager										
	Project Manager	120	HR			\$90.00	\$10,800			\$90.00	\$10,800
	Project Engineer	120	HR			\$70.00	\$8,400			\$70.00	\$8,400
	MEP Manager										
	General Superintendent										
	Superintendent	120	HR			\$90.00	\$10,800			\$90.00	\$10,800
	Safety Manager / Coordinator										
	Intern										
	Layout	1.5	WK	\$500.00	\$750	\$3,400.00	\$5,100				\$5,850
	Admin Assistant										
	VP of Preconstruction Services										
	Preconstruction Manager										
	Senior Estimator										
	Estimator										
	BIM / VDC Engineer										
	Scheduling Manager										
	Office Trailer(s)										
	Office Trailer Set-up & Tear Down										
	Office Equipment & Supplies										
	Phones / Internet / Computers										
	Monthly Power for Trailer(s)										
	Drinking Water										
	Furniture in Trailer(s)										
	Plans / Reprographics										
	Travel / Lodging										
	Procure Project Management										
	General Requirements										
	Initial Benchmark and Surveying										
	Temporary Fencing & Maintenance										
	Concrete Jersey Barriers for Fence										
	Temporary Gravel (Staging / Road)										
	Utility Locates / Vac Truck										

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A
 work scope: Additional Storm / Underdrain Add

due date:
 calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP		LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS				
				UNIT	MATERIAL OR EQUIP	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS	
						\$/hr=	HOURS	\$/hr=	HOURS	\$/hr=	HOURS							
						PRICE	DOLLARS	RATE	HOURS	RATE	HOURS							RATE
	Structure 108A Add - Inlet and Pipe																	
	Structure 108A - Structure / Casting / Pipe	1	EA	\$2,500.00	\$2,500		0		0		0	0.00	0	\$0	\$0	\$2,500.00	\$2,500	
	Structure 108A Install Cost																	
	Duration	3	MH				0		0		3			\$172	\$0	\$57.21	\$172	
324	Excavator	3	HR	\$165.13	\$495		0		3		0			\$235	\$0	\$243.21	\$730	
930	Loader	3	HR	\$112.60	\$338		0		3		0			\$235	\$0	\$190.88	\$573	
	Vac Truck	3	HR				0		0		0			\$0	\$250.00	\$750	\$250.00	\$750
	Backfill for Pipe & Structure - #8s	20	Tons	\$35.75	\$715		0		0		0			\$0	\$0	\$35.75	\$715	
	Underdrain Add																	
	Underdrain Material	1	LS	\$500.00	\$500		0		0		0			\$0	\$0	\$500.00	\$500	
	Underdrain Install																	
	Duration	5	MH				0		0		5			\$286	\$0	\$57.21	\$286	
324	Excavator	5	HR	\$165.13	\$826		0		5		0			\$391	\$0	\$243.41	\$1,217	
no.8	Backfill for Underdrain	15	Tons	\$35.75	\$536		0		0		0			\$0	\$0	\$35.73	\$536	
	Structure 111 Add - Structure																	
	Nyloplast Structure 111	1	EA	\$2,000.00	\$2,000		0		0		0			\$0	\$0	\$2,000.00	\$2,000	
	Duration	1	MH				0		0		1			\$57	\$0	\$57.21	\$57	
324	Excavator	1	HR	\$165.13	\$165		0		1		0			\$78	\$0	\$243.21	\$243	
930	Loader	1	HR	\$112.60	\$113		0		1		0			\$78	\$0	\$191.21	\$191	
	Backfill	3	TN	\$35.75	\$107		0		0		0	0.00	0	\$0	\$0	\$35.67	\$107	
	Haul off	1	HR				0		0		0	0.00	0	\$0	\$128.00	\$128	\$128.00	\$128
	Pipe Material Change - SDR 12" to SDR 16"																	
	Credit 220 LFT of SDR 21 pipe 12"	220	LF	(\$28.24)	(\$6,213)		0		0		0	0.00	0	\$0	\$0	(\$28.24)	(\$6,213)	
	Added 220LFT of SDR 21 pipe 16"	220	LF	\$49.53	\$10,897		0		0		0	0.00	0	\$0	\$0	\$49.53	\$10,897	
TOTALS					\$12,979		0		13		9		22	\$1,532	\$878		\$15,389	
add sales tax on material (yes/no ?):					no	0.00%	exempt										exempt	
					\$12,979													
													doesn't add	addition OK			addition OK	

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A

due date:

work scope: **Telecom Duct Bank Add**

calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP				LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS	
		QUANTITY	UNIT	UNIT PRICE	MATERIAL OR EQUIP DOLLARS	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS
						\$/hr=	\$90.00	\$/hr=	\$78.21	\$/hr=	\$57.21						
						RATE	HOURS	RATE	HOURS	RATE	HOURS						
	Additional Telecom																
	Telecom Main - Material Add																
	4" SCH 40 Pipe	1,700	LF	\$4.50	\$7,650	0	0	0	0	0.00	0	\$0	\$0	\$4.50	\$7,650		
	2" SCH 40 Pipe	400	LF	\$2.50	\$1,000	0	0	0	0	0.00	0	\$0	\$0	\$2.50	\$1,000		
	1.25" SCH 40 Pipe	150	LF	\$2.10	\$315	0	0	0	0	0.00	0	\$0	\$0	\$2.10	\$315		
	Telecom Lateral - Material Add																
	1.25" SCH 40 Pipe	130	LF	\$2.10	\$273	0	0	0	0	0.00	0	\$0	\$0	\$2.10	\$273		
	Additional Telecom Main Install																
	Duration	8	HR			0	0	0	0	0.00	0	\$0	\$0	\$57.21	\$458		
324	Excavator	8	HR	\$165.13	\$1,321	0	8	8	0	1.00	8	\$626	\$0	\$243.34	\$1,947		
930	Loader	8	HR	\$112.60	\$901	0	8	8	0	1.00	8	\$626	\$0	\$190.84	\$1,527		
	Vac truck	8	HR		\$80	0	0	0	0	0.00	0	\$0	\$250.00	\$2,000	\$2,000		
	Plate Compactor	8	HR	\$10.00	\$80	0	0	8	8	1.00	8	\$458	\$0	\$67.21	\$538		
	Haul off	4	HR			0	0	0	0	0.00	0	\$0	\$128.00	\$512	\$128.00		
	Dump Fee	3	EA			0	0	0	0	0.00	0	\$0	\$100.00	\$300	\$100.00		
no 8	Backfill	45	TN	\$35.75	\$1,609	0	0	0	0	0.00	0	\$0	\$0	\$35.76	\$1,609		
	Additional Comm Material																
	4" SCH 40 Pipe	300	LF	\$4.50	\$1,350	0	0	0	0	0.00	0	\$0	\$0	\$4.50	\$1,350		
	Bulk 4 Series Box	4	EA	\$2,000.00	\$8,000	0	0	0	0	0.00	0	\$0	\$0	\$2,000.00	\$8,000		
	Comm Breakoff install																
	Duration	32	MH			0	0	32	32	1.00	32	\$1,831	\$0	\$57.21	\$1,831		
324	Excavator	32	HR	\$165.13	\$5,284	0	32	32	0	1.00	32	\$2,503	\$0	\$243.34	\$7,787		
930	Loader	32	HR	\$112.60	\$3,603	0	32	32	0	1.00	32	\$2,503	\$0	\$190.80	\$6,106		
	Vac truck	32	HR		\$320	0	0	0	0	0.00	0	\$0	\$250.00	\$8,000	\$8,000		
	Plate Compactor	32	HR	\$10.00	\$320	0	0	32	32	1.00	32	\$1,831	\$0	\$67.21	\$2,151		
	Haul Off	16	HR			0	0	0	0	0.00	0	\$0	\$128.00	\$2,048	\$2,048		
	Dump Fee	10	EA			0	0	0	0	0.00	0	\$0	\$100.00	\$1,000	\$1,000		
no. 8	Backfill	270	TN	\$35.75	\$9,653	0	0	0	0	0.00	0	\$0	\$0	\$35.75	\$9,653		
TOTALS					\$41,359	0	80	80	160	\$10,834			\$13,860		\$66,053		
add sales tax on material (yes/no?): no					0.00%	exempt									exempt		
					\$41,359												

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A

due date:

work scope: **Telecom Duct Bank Add**

calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP		LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS			
		QUANTITY	UNIT	UNIT	MATERIAL OR EQUIP	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS
						\$/hr=	\$90.00	\$/hr=	\$78.21	\$/hr=	\$57.21						
		PRICE	DOLLARS	RATE	HOURS	RATE	HOURS	RATE	HOURS	COMP RATE	addition OK	addition OK	addition OK				

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A

due date:

work scope: **Telecom Credit for Vault and Lateral Removal**

calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP		LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS				
		QUANTITY	UNIT	UNIT PRICE	MATERIAL OR EQUIP DOLLARS	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS	
						\$/hr=	\$90.00	\$/hr=	\$78.21	\$/hr=	\$57.21							
						RATE	HOURS	RATE	HOURS	RATE	HOURS							
	Telecom Material Removed																	
	Telecom Vault	1	EA	(\$3,522.00)	(\$3,522)		0		0		0	0.00	0	\$0	\$0	(\$3,522.00)	(\$3,522)	
	2" SCH40 Pipe x 4	200	LF	(\$2.50)	(\$500)		0		0		0	0.00	0	\$0	\$0	(\$2.50)	(\$500)	
	1.25" SCH40 Pipe x 1	50	LF	(\$2.10)	(\$105)		0		0		0	0.00	0	\$0	\$0	(\$2.10)	(\$105)	
	Telecom Lateral Install (Removed)																	
	Duration	8	HR				0		0		-8	-1.00	-8	(\$458)	\$0	(\$57.21)	(\$458)	
324	Excavator	8	HR	(\$165.13)	(\$1,321)		0		-8		0	-1.00	-8	(\$626)	\$0	(\$243.34)	(\$1,947)	
930	Loader	8	HR	(\$112.60)	(\$901)		0		-8		0	-1.00	-8	(\$626)	\$0	(\$190.84)	(\$1,527)	
	Vac truck	8	HR				0		0		0	0.00	0	\$0	(\$250.00)	(\$2,000)	(\$2,000)	
	Plate Compactor	8	HR	(\$10.00)	(\$80)		0		0		-8	-1.00	-8	(\$458)	\$0	(\$67.21)	(\$538)	
	Haul off	4	HR				0		0		0	0.00	0	\$0	(\$128.00)	(\$512)	(\$128.00)	
	Dump Fee	3	EA				0		0		0	0.00	0	\$0	(\$100.00)	(\$300)	(\$100.00)	
no 8	Backfill	45	TN	(\$35.75)	(\$1,609)		0		0		0	0.00	0	\$0	\$0	(\$35.76)	(\$1,609)	
TOTALS					(\$8,038)		0		-16		-16		-32	(\$2,167)		(\$2,812)	(\$13,017)	
add sales tax on material (yes/no?): no 0.00%					exempt												exempt	
					(\$8,038)													
												addition OK	addition OK					addition OK

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A
 work scope: Sanitary Lateral - Install & Permit

due date:
 calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP			LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS		
		QUANTITY	UNIT	UNIT PRICE	MATERIAL OR EQUIP DOLLARS	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS
						\$/hr=	HOURS	\$/hr=	HOURS	\$/hr=	HOURS						
						90.00		78.21		57.21							
	Sanitary Lateral Permits																
	New Connection Fee x 1	1	EA	\$2,000.00	\$2,000		0		0	0.00	0	\$0		\$0	\$2,000.00	\$2,000	
	Sanitary Lateral Tie-In Materials																
	6in SDR35 Pipe	156	LF	\$4.84	\$755		0		0	0.00	0	\$0		\$0	\$4.84	\$755	
	8" x 6" T-Wye	4	EA	\$145.10	\$580		0		0	0.00	0	\$0		\$0	\$145.00	\$580	
	Cap	4	EA	\$19.64	\$79		0		0	0.00	0	\$0		\$0	\$19.75	\$79	
	6" SDR35 Cleanout	6	EA	\$36.77	\$221		0		0	0.00	0	\$0		\$0	\$36.83	\$221	
	Cleanout Adapter Plug	4	EA	\$23.77	\$95		0		0	0.00	0	\$0		\$0	\$23.75	\$95	
	Cleanout Cover & Frame	4	EA	\$215.00	\$860		0		0	0.00	0	\$0		\$0	\$215.00	\$860	
	Sanitary Lateral Tie-In - Install 4 Day Each																
	Duration	3	WK				0		480	0.01	480	\$27,461		\$0	\$9,153.60	\$27,461	
324	Excavator	3	WK	\$3,521.00	\$10,563		0	120	0	0.03	120	\$9,385		\$0	\$6,649.40	\$19,948	
930	Loader	3	WK	\$2,639.59	\$7,919		0	120	0	0.03	120	\$9,385		\$0	\$5,768.07	\$17,304	
	Trench Box - 2 EA	3	WK	\$1,000.00	\$3,000		0	0	0	0.00	0	\$0		\$0	\$1,000.00	\$3,000	
	Road Plate - 4	3	WK	\$400.00	\$1,200		0	0	0	0.00	0	\$0		\$0	\$400.00	\$1,200	
	Hydro-Vac	120	HR				0	0	0	0.00	0	\$0	\$250.00	\$30,000	\$250.00	\$30,000	
	Haul off - Trucking	64	HR				0	0	0	0.00	0	\$0	\$128.00	\$8,192	\$128.00	\$8,192	
	Dump Fee	11	EA				0	0	0	0.00	0	\$0	\$100.00	\$1,100	\$100.00	\$1,100	
	Backfill Material - #8s	220	TN	\$35.75	\$7,865		0	0	0	0.00	0	\$0		\$0	\$35.75	\$7,865	
	Type 3 Barricades - 6 EA	3	WK	\$1,440.00	\$4,320		0	0	0	0.00	0	\$0		\$0	\$1,440.00	\$4,320	
	TOTALS				\$39,457		0	240	480		720	\$46,231		\$39,292		\$124,980	
	add sales tax on material (yes/no ?):	no	0.00%	exempt												exempt	
					\$39,457												
										addition OK		addition OK				addition OK	

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A
 work scope: Stone Material Escalation from Bid to 100%

due date:
 calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP		LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS				
		QUANTITY	UNIT	UNIT PRICE	MATERIAL OR EQUIP DOLLARS	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS	
						\$/hr=	\$90.00	\$/hr=	\$78.21	\$/hr=	\$57.21							
						RATE	HOURS	RATE	HOURS	RATE	HOURS							
no.53	Stone Base <i>Bid Rate = 27.37</i> <i>Material Escalation Rate = 31.00</i>	1,391	TN	\$3.63	\$5,049		0		0		0	0.00	0	\$0		\$0	\$3.63	\$5,049
no.8	Storm Backfill <i>Bid Rate = 27.37</i> <i>Material Escalation Rate = 35.75</i>	2,200	TN	\$8.38	\$18,436		0		0		0	0.00	0	\$0		\$0	\$8.38	\$18,436
no.8	Duct Bank Backfill <i>Bid Rate = 27.37</i> <i>Material Escalation Rate = 35.75</i>	2,233	TN	\$8.38	\$18,713		0		0		0	0.00	0	\$0		\$0	\$8.38	\$18,713
TOTALS					\$42,198		0		0		0		0	\$0		\$0		\$42,198
add sales tax on material (yes/no ?): no 0.00%					exempt													exempt
					\$42,198													
												addition OK	addition OK			addition OK		

ESTIMATE PRICING WORKSHEET

project: 11522 - Westfield Park Street Site Improvements - BP31A
 work scope: Pipe Material Escalation from Bid to 100%

due date:
 calc date: 6/12/26 6:58 AM

CODE #	LINE ITEM DESCRIPTION	ITEM QUANTITY		MATERIAL / EQUIP		LABOR						SERVICE/SUBCONTRACT		LINE ITEM TOTALS				
		QUANTITY	UNIT	UNIT PRICE	MATERIAL OR EQUIP DOLLARS	SUPERINTENDENT		OPERATOR		LABORER		TOTAL HOURS	LABOR DOLLARS	UNIT PRICE	SERVICE OR SUBCONTRACT DOLLARS	UNIT PRICE	LINE ITEM TOTAL DOLLARS	
						\$/hr=	\$90.00	\$/hr=	\$75.10	\$/hr=	\$54.51							
						RATE	HOURS	RATE	HOURS	RATE	HOURS							
	12" SDR21 Pipe <i>Bid price = 25.69</i> <i>Current Price = 28.34</i>	520	LF	\$2.65	\$1,378		0		0		0	0.00	0	\$0		\$0	\$2.65	\$1,378
	18" SDR21 Pipe <i>Bid price = 44.44</i> <i>Current Price = 59.00</i>	20	LF	\$14.56	\$291		0		0		0	0.00	0	\$0		\$0	\$14.55	\$291
TOTALS					\$1,669		0		0		0		0	\$0		\$0		\$1,669
add sales tax on material (yes/no?): no 0.00%					exempt													exempt
					\$1,669													
												addition OK	addition OK			addition OK		

CHANGE ORDER REQUEST

1



Title: 100% Construction Documents
Project Name: Westfield Park Street Improvements
Project Address: 229 Mill Street
 Westfield, IN 46074
COR Date: 06/09/2026
J.C. Ripberger Const. Corp. Job Number: 989
Customer Job Number: 11460
Customer Reference Number:

Our Information

J.C. Ripberger Const. Corp.
 5300 West 106th Street
 Zionsville, IN 46077
Phone: (317)-873-3383

Customer Information

F.A. Wilhelm Construction
 3914 Prospect Street
 Indianapolis, IN 46203
Phone: (317)-359-5411

Description of Change Order Request

Added concrete in 100% CD's

Labor

Description	Qty (HR)	Unit (HR)	Rate (HR)	Total Cost
Carpenter Journeyman	8.00	ST	\$82.00	\$656.00
Laborer	8.00	ST	\$63.50	\$508.00
Hours Subtotals: ST: 16.00			Total Labor:	\$1,164.00

Material

Description	Qty of Material	Unit of Measure	Rate	Total Cost
Concrete	5.00	CY	\$165.00	\$825.00
			Total Material:	\$825.00

Subtotal				\$1,989.00
Mark Up (Labor)			10.000%	\$116.40
Mark Up (Subcontractor)			5.000%	\$0.00
Mark Up (Materials)			10.000%	\$82.50
Mark Up (Equipment)			10.000%	\$0.00
Mark Up (Others)			10.000%	\$0.00
Requested Total				\$2,188.00

Terms & Conditions

From: Steve Hastings <shastings@mli-in.com>
Sent: Friday, May 8, 2026 1:19 PM
To: Cleeter, Trey <treycleeter@fawilhelm.com>
Subject: RE: 11460 Park Street Final CD Set

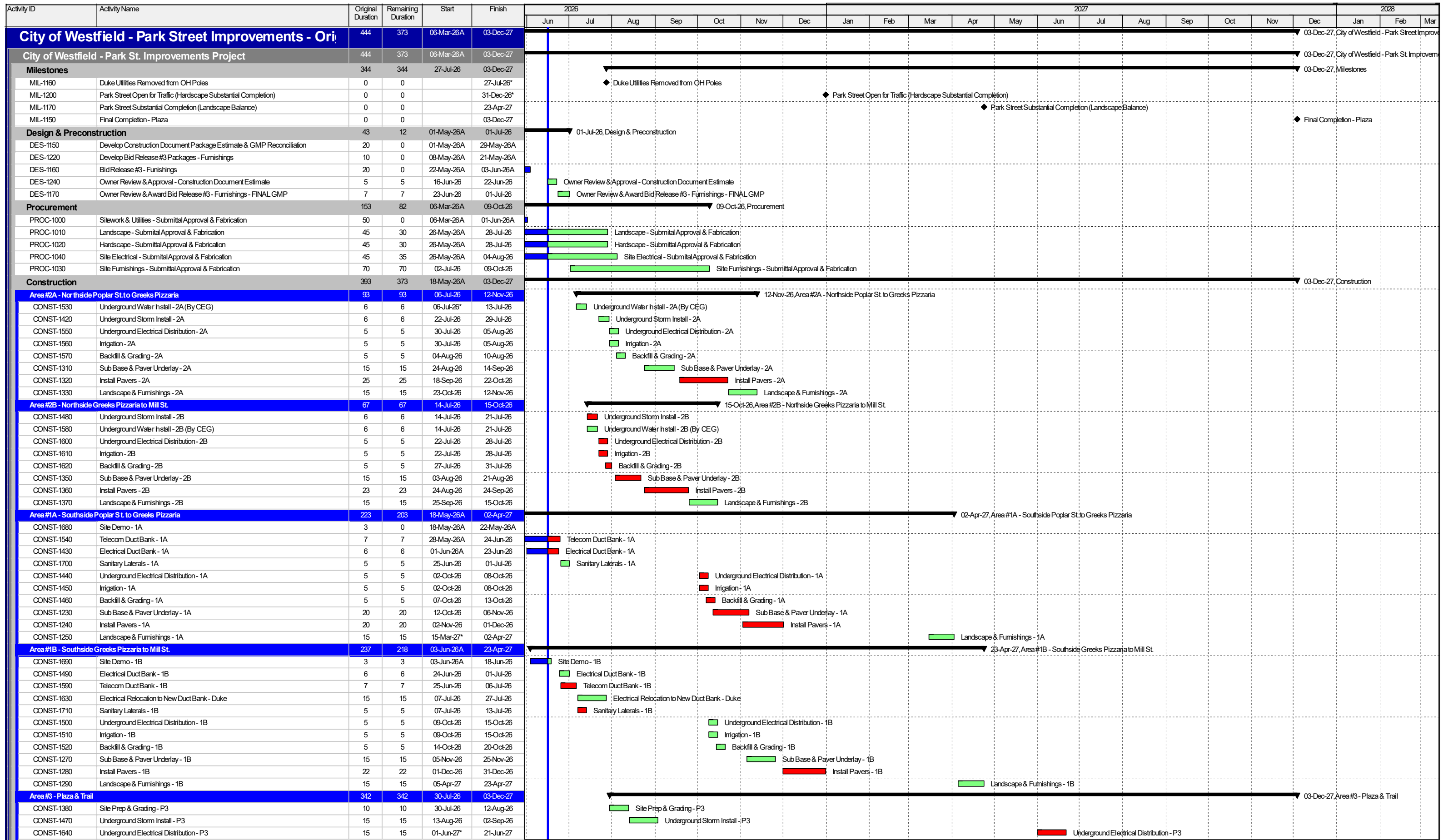
Here are the adjustments

Park Street (Plan Area A, B, C)		100% CD	ORG	DELTA
Plantings & Trees	\$	28,999.49	\$ 30,745.92	\$ (1,746.43)
Mulch & Planting Soils	\$	33,211.84	\$ 51,086.35	\$ (17,874.51)
Tree Grates and Metal Edging	\$	58,152.47	\$ 58,152.47	\$ -
Irrigation	\$	31,183.09	\$ 31,183.09	\$ -
Subtotal >>>	\$	151,546.89	\$ 171,167.83	\$ (19,127.93)
Plaza (Plan Area D)				
Plantings & Trees	\$	69,212.47	\$ 62,570.59	\$ 6,641.88
Mulch & Planting Soils	\$	61,363.12	\$ 33,103.14	\$ 28,259.98
Tree Grates and Metal Edging				\$ -
Irrigation	\$	33,244.58	\$ 33,244.58	\$ (0.00)
Subtotal >>>	\$	163,820.17	\$ 128,918.31	\$ 34,798.81
Miscellaneous Items	\$	56,698.85	\$ 56,698.85	\$ (0.00)
Subtotal >>>	\$	56,698.85	\$ 56,698.85	\$ (0.00)
TOTAL >>>	\$	372,065.91	\$ 356,785.00	\$ 15,670.88



STEVE HASTINGS
 EVP | PRESIDENT – LANDSCAPE DEVELOPMENT
 c. 317.379.6980
 o. 317.672.3788 ext. 203
 www.mli-in.com
 6800 E. 30th Street | Indpls, IN 46219





█ Remaining Level of Effort █ Remaining Work
█ Actual Level of Effort █ Critical Remaining Work
█ Actual Work ◆ Milestone

Data Date = 16-Jun-26
Schedule Printed on 22-Jun-26, at 14:00
 Page 1 of 2

Park Street Improvements

Full Schedule - Standard Layout



SOUTH SIDE CONSTRUCTION

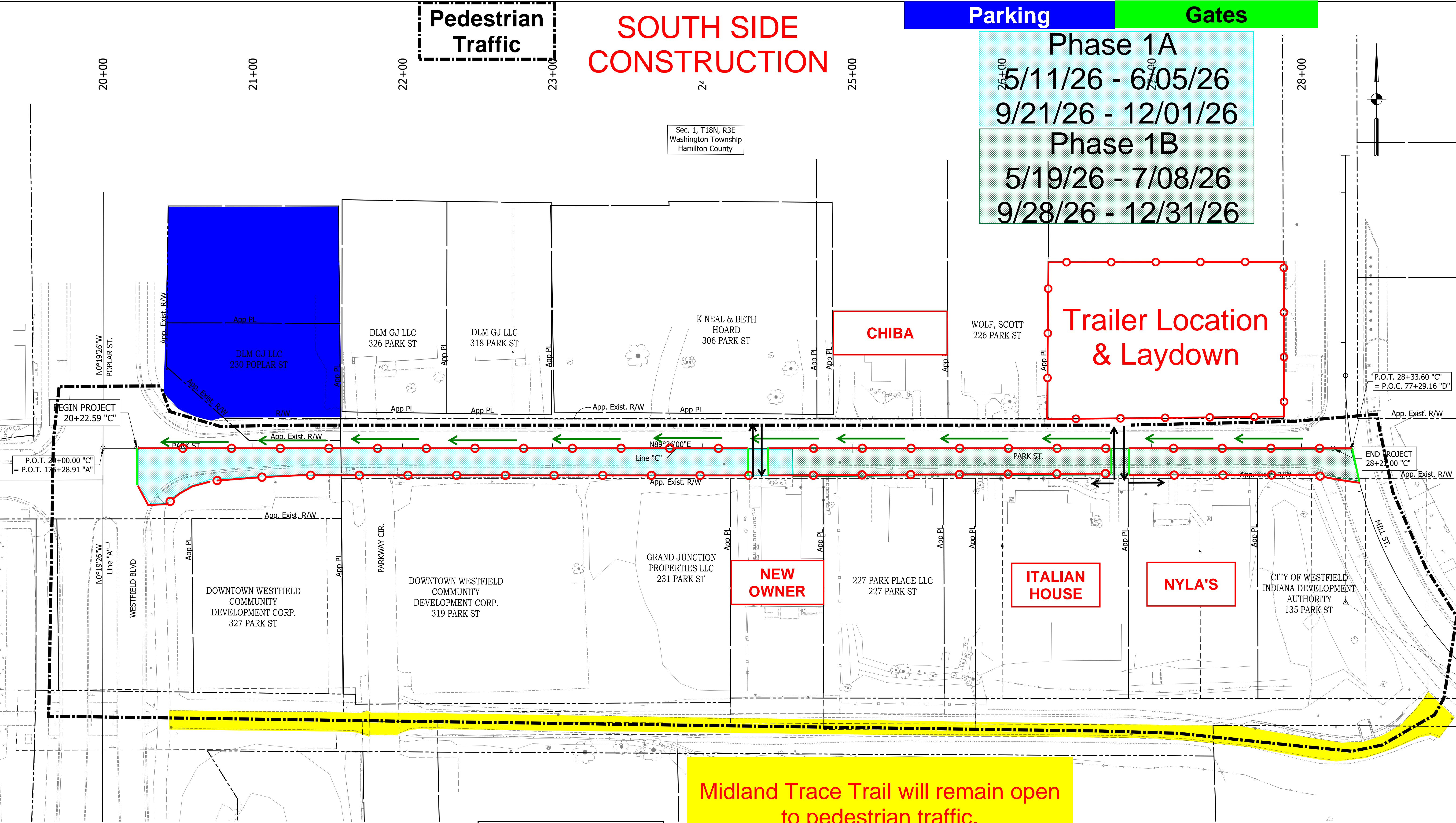
Parking

Gates

Phase 1A
5/11/26 - 6/05/26
9/21/26 - 12/01/26

Phase 1B
5/19/26 - 7/08/26
9/28/26 - 12/31/26

Trailer Location & Laydown



Midland Trace Trail will remain open to pedestrian traffic.

DESIGN STATUS & LIMITATIONS

STORM DRAINAGE: The storm sewer network layout is currently under design development and remains subject to significant modification. All structure types, pipe sizes, and backfill quantities are subject to change on future submittals.

UTILITY COORDINATION: As of this submittal, formal utility work plans from third-party providers (including, but not limited to, Duke Energy, Citizens Water, and communication carriers) have not been finalized or incorporated. All proposed utility locations and duct bank configurations are conceptual and subject to change based on future utility coordination. Furthermore, these changes could impact other project infrastructure designs.

GRADING & EARTHWORK: Detailed site grading is incomplete. All proposed elevations and earthwork volumes are preliminary. Final grading requirements may result in changes to earthwork balance and site topography.

SITE LAYOUTS: Full coordination with the Landscape Architect and other sub-consultants is ongoing. Project limits, right-of-way/encasement needs, and the overall site layout may be altered as design is finalized.

PERMITTING: This project is subject to Local and State Agency regulatory permit review. As of this submittal, final approvals have not been obtained. Design revisions, plan corrections, or conditions of approval issued by these agencies during the permitting process may necessitate changes to the site layout, drainage design, or construction specifications.

DD
SET

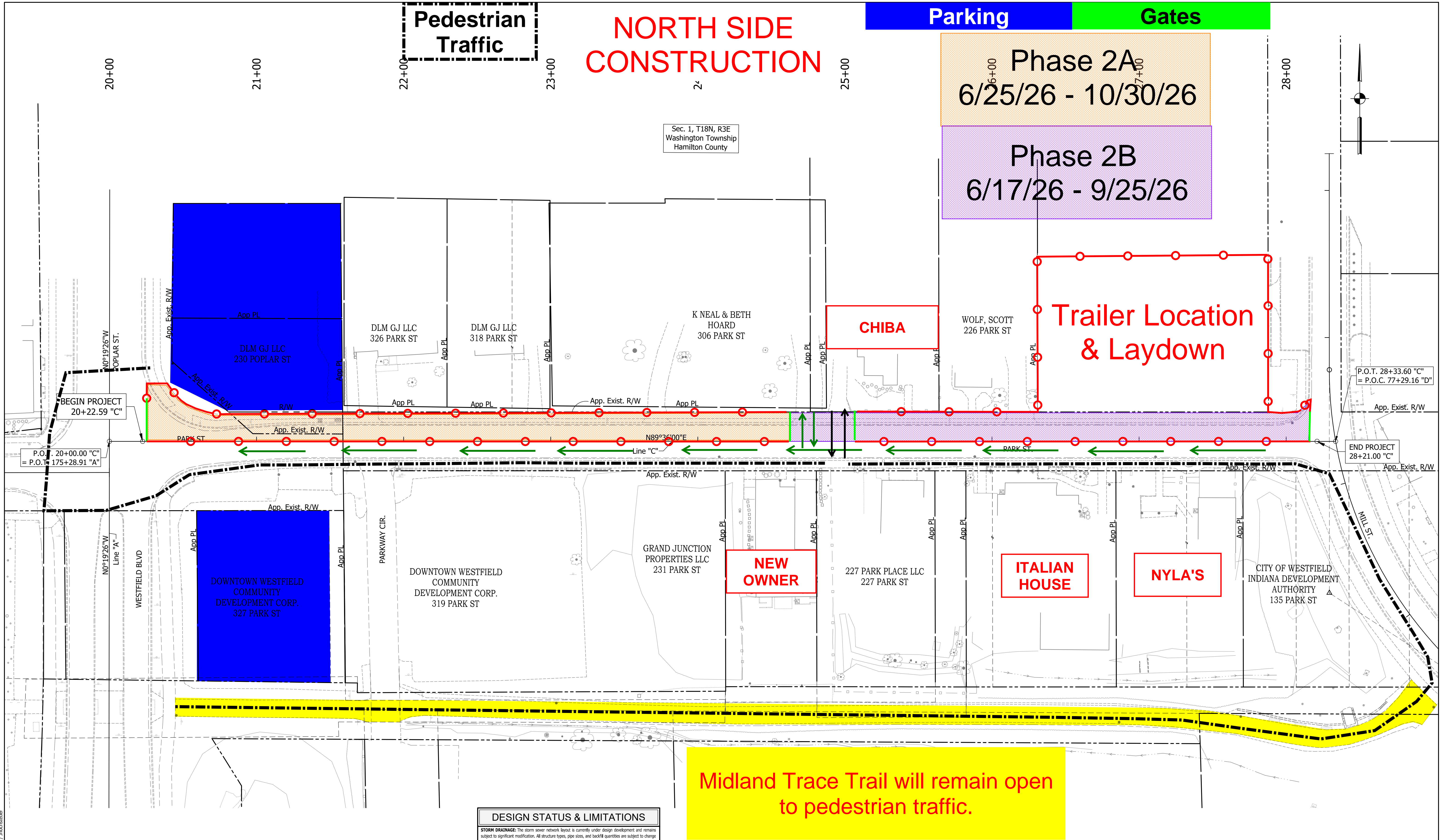
RECOMMENDED FOR APPROVAL		DESIGN ENGINEER	DATE
DESIGNED: JJH	DRAWN: TB		
CHECKED: WFH	CHECKED: WFH		

CITY OF WESTFIELD

PLAT NO. 1

HORIZONTAL SCALE	BRIDGE FILE
1"=30'	-
VERTICAL SCALE	DESIGNATION
N/A	-
SURVEY BOOK	SHEETS
-	3 of 31
CONTRACT	PROJECT
-	-

DIRECTORY PATH: R:\Active\Roundell Ernshberger Associates\Park Street Improvements\Design\CAD\Plans
 FILENAME: PLAT.dwg
 DATE/TIME: 1/16/2026 4:00 PM Jbrockmeier



NORTH SIDE CONSTRUCTION

Parking

Gates

Phase 2A
6/25/26 - 10/30/26

Phase 2B
6/17/26 - 9/25/26

Trailer Location
& Laydown

CHIBA

NEW OWNER

ITALIAN HOUSE

NYLA'S

Midland Trace Trail will remain open to pedestrian traffic.

DESIGN STATUS & LIMITATIONS

STORM DRAINAGE: The storm sewer network layout is currently under design development and remains subject to significant modification. All structure types, pipe sizes, and backfill quantities are subject to change on future submittals.

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SITE LAYOUT: Full coordination with the Landscape Architect and other sub-consultants is ongoing. Project limits, right-of-way/assessment needs, and the overall site layout may be altered as design is finalized.

PERMITTING: This project is subject to Local and State Agency regulatory permit review. As of this submittal, final approvals have not been obtained. Design revisions, plan corrections, or conditions of approval issued by these agencies during the permitting process may necessitate changes to the site layout, drainage design, or construction specifications.

DD SET

RECOMMENDED FOR APPROVAL	DESIGN ENGINEER	DATE
DESIGNED: JJH	DRAWN: TB	
CHECKED: WFH	CHECKED: WFH	

CITY OF WESTFIELD
PLAT NO. 1

HORIZONTAL SCALE	BRIDGE FILE
1"=30'	
VERTICAL SCALE	DESIGNATION
N/A	
SURVEY BOOK	SHEETS
	3 of 31
CONTRACT	PROJECT

DIRECTORY PATH: R:\Active\Roundell Ernberger Associates\Park Street Improvements\Design\CAD\Plans
 FILENAME: PLAT.dwg
 DATE/TIME: 1/16/2026 4:00 PM J_brochstein

PROFESSIONAL SERVICES AGREEMENT

This Professional Services Agreement (the "Agreement"), executed as of _____, 2026 (the "Effective Date"), by and between the City of Westfield, Indiana ("City"), and Aaron Coleman ("Service Provider" and with City, the "Parties" and each a "Party"), WITNESSES:

Recitals

WHEREAS, City has determined that it is necessary or desirable to obtain the services in connection with the project "Hold the Stars," as further described on Exhibit A (the "Services");

WHEREAS, Service Provider has experience in providing the Services; and

WHEREAS, City and Service Provider desire to enter into this Agreement to formalize the terms and conditions upon which Service Provider shall perform the Services;

Agreement

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are acknowledged hereby, City and Service Provider agree as follows:

1. Services. Subject to the terms and conditions of this Agreement, Service Provider shall perform the Services in accordance with the schedule set forth on Exhibit B. Service Provider shall be an independent contractor of City. The term of this Agreement shall be for the period: (a) commencing on the Effective Date; and (b) ending on the date that is 1 year thereafter, unless earlier terminated or extended in accordance with the terms and conditions of this Agreement (the "Term"). The City may terminate this Agreement without cause upon sixty (60) days prior written notice to Service Provider. In the event of such termination without cause, Service Provider shall be entitled to receive payment for the conforming Services provided up to the date of termination, in addition to 10% of the profits lost by Service Provider as a direct result of City's termination of this Agreement without cause (in no case shall the total payment to Service Provider exceed the total cost provided in Exhibit C). Additionally, this Agreement may be terminated for cause in accordance with Section 8(d). **2. Payment.** Service Provider's compensation for the Services shall be computed in the manner, at the rates, and on the payment schedule described on Exhibit C.

3. Performance. Service Provider shall perform the Services: (a) in coordination with City; (b) in accordance with the prevailing professional standards in the Hamilton County, Indiana area for similar services; and (c) in compliance with all applicable laws, statutes, and/or ordinances, and any applicable governmental rules, regulations, guidelines, orders, and/or decrees (collectively, the "Laws"). Prior to commencing the Services, Service Provider shall: (a) obtain all permits and approvals required by the Laws; and (b) obtain, and maintain during performance of the Services, all professional licenses and certifications required by the Laws. Services Provider shall provide to City, upon request, copies of any and all such licenses and certifications. If performance of the Services requires the entry by Service Provider onto real estate not owned by City or Service Provider, then Service Provider shall be responsible for obtaining permission to enter onto such real estate. City may designate its point of contact for the purposes of this Agreement to Service Provider in writing to act on City's behalf with respect to Service Provider's performance of the Services. Service Provider is the sole author and creator of the original work of art titled "Hold the Stars" (the "Artwork"), and the concept, design, and artistic expression of the Artwork are the Service Provider's. The Services include providing the artistic direction, design, drawings, and specifications for the Artwork and overseeing the fabrication, finishing, and installation of the Artwork by 900 North Studio (the "Fabricator"). Service Provider shall furnish the Fabricator with the design, drawings, specifications, and written direction necessary to fabricate the Artwork, and shall be responsible for reviewing, monitoring, and approving the Fabricator's work at reasonable stages of fabrication and installation to ensure that the completed Artwork conforms to Service Provider's artistic vision and intent.

Service Provider shall promptly notify the City of any material deviation by the Fabricator from Service Provider's artistic vision that Service Provider is unable to cause the Fabricator to correct.

4. Work Product. Service Provider shall: (a) retain all rights in and to its know-how, methods, techniques, discoveries, concepts, and ideas, whether patentable or not, and whether possessed by Service Provider prior to or acquired by or for Service Provider in the performance of the Services and/or this Agreement; and (b) retain all rights in and to all works of authorship fixed in a tangible medium of expression that were made, created, or acquired by or for Service Provider prior to the effective date of this Agreement. The finished, installed physical artwork/sculpture created pursuant to this Agreement and placed on City's property (the "Artwork") shall become the property of City upon final installation and acceptance by City. City shall have a perpetual, non-exclusive, royalty-free license to use, reproduce, and display photographic and digital imagery and representations of the Artwork for promotional, educational, archival, governmental, and related purposes. Service Provider retains all ownership rights in and to all creative works, original designs, artistic concepts, drawings, sketches, and Work Product created in the performance of the Services. Service Provider shall be entitled to use and display images and representations of the Artwork in Service Provider's portfolio and for professional purposes. Service Provider retains all moral rights in and to the Artwork, including the right to attribution and the right to object to any modification, distortion, or destruction of the Artwork that would be prejudicial to Service Provider's honor or reputation. Notwithstanding anything in this Agreement to the contrary, Service Provider shall retain all rights in and to its know-how, methods, techniques, discoveries, concepts, and ideas, whether patentable or not.

City acknowledges that any works, items, materials, or other matters developed, created, or invented by personnel of Service Provider or any of its officers, employees, agents, or subcontractors not substantively involved in performing the Services shall be presumed: (a) not to be Work Product; and (b) to remain the sole and exclusive property of Service Provider (or such officer, employee, agent, or subcontractor).

5. Relationship. The employees of Service Provider: (i) are (and shall be considered for all purposes to be) the employees or contractors of Service Provider; and (ii) are not (and shall not be considered for any purpose to be) the employees or contractors of City. Accordingly, City shall have no obligations or liabilities with respect to such employees, who shall look exclusively to Service Provider to discharge all obligations and duties as their employer or principal. Subject to Section 18, Service Provider shall indemnify and hold harmless City from and against all claims, suits, judgments, liabilities, losses, costs, and expenses (including, without limitation, reasonable attorneys' fees and court costs) that result from any claim for wages, benefits, or otherwise by any agent, employee, or contractor of Service Provider. The indemnities set forth in this Section shall survive the expiration or earlier termination of this Agreement.

6. Insurance. Service Provider is an individual artist engaged to provide artistic direction and oversight services and is not engaged in fabrication, construction, or installation. Accordingly, Service Provider shall not be required to procure or maintain any policies of insurance under this Agreement, and the insurance requirements set forth on Exhibit D shall not apply to Service Provider. The Parties acknowledge that liability insurance for the fabrication and installation of the Artwork shall be carried by 900 North Studio under its separate agreement with the City.

7. Liens. Service Provider shall not suffer or cause the filing of any mechanic's lien against City's property, or any part thereof, by reason of labor, services or materials claimed to have been performed or furnished to or for Service Provider. If any such mechanic's lien is filed against City's property, or any part thereof, then Service Provider shall cause such mechanic's lien to be discharged of record within 30 days after notice of filing by bonding, or as provided or required by law. Nothing in this Agreement shall be deemed or construed to: (a) constitute consent to, or request of, any party for the performance of any work for, or the furnishing of any materials to, Service Provider; or (b) give Service Provider the right or authority to contract for, authorize, or permit the performance of any work, or the furnishing of any materials, that would permit the attaching of a mechanic's lien to City's interest in its property.

8. Remedies.Default.

(a) Events of Default. it shall be an "Event of Default" if either Party fails to perform or observe any term or condition of this Agreement to be performed or observed by it: (i) with respect to the obligation to pay money to the other Party, if such failure is not cured within forty-five (45) days after such payment is due and such payment is not made within such forty-five (45) day period; and (ii) with respect to any other obligation, if such failure is not cured within a 30-day period following such written notice.

(b) General Remedies. whenever an Event of Default occurs, the non-defaulting Party may take whatever actions at law or in equity are necessary or appropriate to: (i) collect any payments due to it under this Agreement; (ii) protect the rights granted to the non-defaulting party under this Agreement; or (iii) cure, for the account of the defaulting Party, any failure of the defaulting Party to perform or observe a material term or condition of this Agreement to be performed or observed by it.

(c) No Remedy Exclusive. Except as provided to the contrary in Section 8, no right or remedy herein conferred upon, or reserved to, a non-defaulting Party is intended to be exclusive of any other available right or remedy, unless otherwise expressly stated; instead, each and every such right or remedy shall be cumulative and in addition to every other right or remedy given under this Agreement or now or hereafter existing at law or in equity. No delay or omission by a non-defaulting Party to exercise any right or remedy upon any Event of Default shall impair any such right or remedy, or be construed to be a waiver thereof, and any such right or remedy may be exercised from time to time, and as often as may be deemed to be expedient.

(d) Termination For Cause. Either Party may terminate this Agreement, for cause, by delivering to

the other Party a "Notice to Cease Services," upon which this Agreement shall terminate thirty (30) days after delivery of such notice.

9. Representations and Warranties.

(a) General. Each of Service Provider and City represents and warrants that: (i) it shall not enter into any contracts or undertakings that would limit, conflict with, or constitute a breach of this Agreement; (ii) it has the power to enter into this Agreement and to perform its obligations hereunder; (iii) it has been authorized by proper action to: (A) execute and deliver this Agreement; and (B) perform its obligations hereunder; and (iv) this Agreement is the legal, valid, and binding obligation of Service Provider and City, respectively.

(b) Entity. Service Provider represents and warrants that he is an individual resident of the State of Indiana. Service Provider represents and warrants that he is an individual residing in, and authorized to do business in, the State of Indiana, and that he is the artist and sole author and creator of the Artwork. City represents that it is a public body organized and existing under the State of Indiana.

10. Additional Services. If City and Service Provider agree that Service Provider shall provide services to City that are not included within the Services (the "Additional Services"), then City and Service Provider either shall: (a) amend this Agreement to include the Additional Services; or (b) enter into a new agreement with respect to the performance of the Additional Services. Until such time as there is either: (a) an amendment to this Agreement that includes the Additional Services; or (b) a new agreement with respect to the performance of the Additional Services; in either case executed by City, City shall have no obligation to compensate Service Provider for the performance of the Additional Services.

11. Assignment and Subcontracting. Service Provider shall not assign this Agreement without the prior written consent of City, which consent may be withheld in City's sole discretion. City may assign this Agreement without the prior written consent to any agency or instrumentality of the City. City otherwise shall not assign this Agreement without the prior written consent of Service Provider, which consent may be withheld in Service Provider's sole discretion. In the event that any subcontractors are engaged by Service Provider, Service Provider shall remain solely responsible for managing, directing, and paying the person or persons to whom such responsibilities or obligations are subcontracted or delegated. City shall have no obligation whatsoever toward such persons or entities. Service Provider shall take sole responsibility for the quality and quantity of any services rendered by such persons or entities. In the event of any assignment, subcontracting, or delegation in accordance with this Section, City or Service Provider shall remain liable to Service Provider or City, respectively, for the performance such obligations. Nothing herein shall be construed as creating any personal liability on the part of any officer, agent, official, or employee of City.

12. Nondiscrimination. In connection with the performance of this Agreement, Service Provider shall not discriminate against any employee, applicant for employment, and/or other person in the subcontracting and/or performance of the Services with respect to hire, tenure, terms, conditions, or privileges of employment or any matter directly or indirectly related to employment, because of race, age, color, religion, sex, disability, national origin, or ancestry. No notice or cure period shall apply with respect to the obligation of Service Provider under this Section, and a default under this Section shall be an immediate event of default.

13. Conflict of Interest. Service Provider certifies and warrants to City that neither Service Provider nor any of its officers, agents, employees, or subcontractors who participate in the performance of any Services has any conflict of interest with City.

14. Debarment. Service Provider certifies, by entering into this Agreement, that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from or ineligible for participation in any federal assistance program by any federal department or agency, or by any department, agency or political subdivision of the State of Indiana (the "State"). The term "principal" for purposes of this Agreement means an officer, director, owner, partner, key employee, or other person with primary management or supervisory responsibilities, or a person who has a critical influence on or substantive control over the operations of Service Provider. Service Provider certifies, by entering into this Agreement, that it does not engage in investment activities in Iran as more particularly described in Indiana Code § 5-22-16.5. Service Provider shall provide immediate written notice to City if, at any time after entering into this Agreement, Service

Provider learns that its certifications were erroneous when submitted, or Service Provider is debarred, suspended, proposed for debarment, declared ineligible, has been included on a list or received notice of intent to include on a list created pursuant to Indiana Code § 5-22-16.5, or voluntarily excluded from or becomes ineligible for participation in any federal assistance program. Any such event shall be cause for termination of this Agreement as provided herein. Service Provider shall not subcontract with any party which is debarred or suspended or is otherwise excluded from or ineligible for participation in any federal assistance programs by any federal department or agency, or by any department, agency, or political subdivision of the State.

15. Notice. All notices required to be delivered hereunder shall be in writing, and shall be deemed to have been delivered when: (a) delivered in person; (b) sent by facsimile, with electronic confirmation of receipt; or (c) sent by nationally recognized overnight carrier; in any case addressed as follows: (a) to City at: 2728 East 171st Street, Westfield, Indiana 46074; Attn: Chris McConnell; with a copy to City of Westfield Chief of Legal, Kaitlin Glazier, 2728 East 171st Street, Westfield, Indiana 46074 and (b) to Service Provider at: _____;. Either party may change its address for notice by written notice delivered to the other party as provided in this Section. Notwithstanding the foregoing, City may orally provide to Service Provider any notice required or permitted by this Agreement; provided that such notice also shall be delivered as required by this Section within 10 business days after the date of such oral notice.

16. Force Majeure. If Service Provider or City is unable to perform, satisfy, or observe any of its respective obligations under this Agreement as a result of any cause that is not within the reasonable control of Service Provider or City, respectively, and does not result from the fault or negligence of Service Provider or City, respectively (including, without limitation, unusually inclement weather, acts of God, the unusual unavailability of materials, equipment, services or labor, and utility or energy shortages or acts or omissions of public utility providers), then: (a) such performance, satisfaction, or observance shall be excused for the period of days that such performance, satisfaction, or observance is delayed or prevented; and (b) the deadlines for performance, satisfaction, or observance, as applicable, shall be extended for the same period.

17. Limitation of Liability. In no event shall either Party be liable for consequential, special, indirect, incidental, punitive, or exemplary damages, costs, expenses, or losses (including, without limitation, lost profits and opportunity costs). This Section shall apply regardless of the form of the claims asserted, whether in contract, statute, tort, or otherwise. The terms and conditions of this Section shall survive the termination or expiration of this Agreement.

18. Decisions. City acknowledges and agrees that the Services may include advice and recommendation, but that all decisions in connection with the implantation of such advice and recommendations shall be the sole responsibility of, and made by, City. Service Provider shall not perform management functions or make management decisions for City. City shall render decisions and approvals and provide information in a reasonably timely manner so as to avoid unreasonable delay in the orderly and sequential progress of the Services. Pursuant to Exhibit A, Service Provider will work cooperatively and collaboratively with City to develop a schedule for the performance of the Services, including timeframes for decision making by City.

19. Compliance with E-Verify. Pursuant to Indiana Code Title 22, Article 5, Chapter 1.7 or such successor provisions, the Service Provider shall enroll in and verify the work eligibility status of all newly hired employees of Service Provider through the E-Verify Program (the "Program"). The Service Provider is not required to verify the work eligibility status of all newly hired employees through the Program if the Program no longer exists. Further, the Service Provider must execute an affidavit which affirms that the Service Provider does not knowingly employ an unauthorized alien and confirms the Service Provider's

enrollment in the Program, unless the Program no longer exists. The Service Provider must file such executed affidavit with Owner prior to the execution of this Agreement. This Agreement shall not be deemed fully executed until such affidavit is delivered to City.

20. Third-Party Usage. Any advice, recommendations, information, deliverables, or Work Product provided to City under this Agreement is: (a) for the sole use of City; and (b) not intended to be relied upon by any third party. Except to the extent required by Law, City shall not disclose or permit access to such advice, recommendations, information, deliverables, or Work Product to any third party without Service Provider's prior consent, which consent shall not be withheld unreasonably.

21. Active Files. Service Provider may use models, electronic files, and spreadsheets with embedded macros created by Service Provider in providing the Services. If City requests a working copy of any such model, electronic file, or spreadsheet, then Service Provider, at its discretion, may make the same available to City for City's internal use only, in which case the same shall be considered a deliverable hereunder.

22. Confidential Information. Information relating to the Services contemplated pursuant to this Agreement, including information shared or transmitted between the Parties pursuant to this Agreement ("Confidential Information"), unless in the public domain, shall be kept confidential by Service Provider and shall not be disclosed or made available by Service Provider to third parties without the written consent of the City, unless so required by court order. Service Provider and its contractors warrant that they shall use reasonable care to ensure that any Confidential Information, to which Service Provider has obtained possession or knowledge of in connection with this Agreement (from the City) will not be disclosed to any third parties, in whole or in part, without the prior written permission of the City. Service Provider may disclose Confidential Information to representatives of Service Provider who need to know such information to provide the Services to the City, who agree to keep such Confidential Information confidential pursuant to the terms of this Agreement. Service Provider shall use Confidential Information of the City solely for the purposes of providing the Services under this Agreement. Service Provider shall not have the obligation to maintain the confidentiality of any Confidential Information that: (a) is lawfully obtained by Service Provider from a third party that, to the knowledge of Service Provider, did not acquire the information under an obligation of confidentiality; (b) is at the time of disclosure, or thereafter, becomes publicly known through no act or omission by Service Provider or its employees; or (c) is independently developed by Service Provider or its employees or agents who did not have access to Confidential Information of the City. Upon the City's request, Service Provider will immediately return or destroy any and all Confidential Information that has been provided to it by the City. Notwithstanding the foregoing, Service Provider shall not be required to erase Confidential Information that has been saved to a back-up file in accordance with its ordinary document retention policies and procedures and may continue to store Confidential Information solely for such purpose and for such period as required to comply with such policies and procedures and any applicable law or regulation. Service Provider agrees to maintain the confidentiality of the Confidential Information during the term of this Agreement, including any renewals or extensions thereof, and for five (5) years following the expiration or termination, including any renewals or extensions, of this Agreement.

23. Indemnification.

Service Provider agrees to indemnify, defend, and hold harmless the City and its respective officers, agents, contractors, and employees for any and all third party claims, actions, causes of action, judgments and liens to the extent they arise out of any negligent or wrongful acts or omission or breach of any provision of this Agreement by the Service Provider or any of its officers, agents, employees, or contractors. To the fullest extent permitted by law, City likewise agrees to indemnify, defend, and hold harmless Service Provider and its respective officers, agents, employees, and contractors for any and all third party claims, actions, causes of action, judgments and liens to the extent they arise out of any negligent or wrongful act or omission or breach of any provision of this Agreement by City or any of its officers, agents, or employees. City's obligations hereunder shall be limited by applicable state and federal statutes and constitutional provisions protecting the exposure and liability of City (including but not limited to the terms of Indiana's Tort

Claims Act), so that City's obligations to indemnify, defend, and hold harmless hereunder shall not exceed what might have been City's liability to a claimant had City sued directly by the claimant and all appropriate defenses had been raised by City.

To the extent permitted by applicable law, such indemnity shall include reasonable attorney's fees and all costs and other expenses arising therefrom or incurred in connection therewith and shall not be limited by reason of the enumeration of any insurance coverage required herein. Neither Party shall be obligated to indemnify the other Party to the extent any injury, damage, death, or loss is attributable to the negligence, willful misconduct, or breach of this Agreement by the Party otherwise entitled to indemnification under this Section. Notwithstanding anything to the contrary set forth herein, the obligations of the Parties under this Section 23 shall survive the termination of this Agreement.

24. Non-Appropriation. Notwithstanding any other provisions of this Agreement, the Parties acknowledge that City is a governmental entity whose funds are subject to appropriation by its fiscal body. Payments to Service Provider under this Agreement are limited to the unpaid, obligated balance of the funds duly appropriated and encumbered for this Agreement, and City shall not pay Service Provider any amount under this Agreement that exceeds the amount so appropriated and encumbered for the applicable budget period. City represents and warrants that funds sufficient to satisfy City's payment obligations under this Agreement have been duly appropriated, encumbered, and made available for the Term. In the event that any portion of such funds is not available due to appropriation failure or reversion, City shall provide Service Provider with written notice within ten (10) business days of such determination, the Agreement shall thereupon terminate, and City shall pay for all conforming Services provided prior to the exhaustion of appropriated funds. Upon any such non-appropriation: (a) City shall not be obligated to perform under this Agreement unless and until sufficient funds are appropriated; and (b) Service Provider shall be entitled to receive all Monthly Fees and Reimbursable Expenses highlighted in Exhibit C payable through the effective date of termination, which shall be the sole remedies available to Service Provider in connection with any such termination. This provision shall survive any termination of this Agreement.

25. Miscellaneous. Time is of the essence of this Agreement. Unless "business day" is specified, the term "day" as used herein means a calendar day. The term "business day" means any day other than a Saturday, Sunday, or federal or state holiday. If the last date for any act to be performed hereunder falls on a Saturday, Sunday, or federal or state holiday, then the time for performance shall be extended to the next business day. This Agreement is the final expression of the complete agreement between City and Service Provider. There are no oral representations, warranties, agreements, or promises pertaining to the Services and the other subject matter hereof not incorporated in writing in this Agreement. This Agreement may be amended, modified, or supplemented only by a writing signed by both the City and the Service Provider. The section headings herein are for convenience and shall not be considered in any way to affect the interpretation of this Agreement. This Agreement shall: (a) bind, and inure to the benefit of, City and Service Provider and their respective successors and assigns; and (b) be governed by, and construed in accordance with, the laws of the state of Indiana (the "State"). This Agreement shall not be construed to create a contractual relationship with, give rights or benefits to, or create a cause of action in favor of, anyone other than the parties hereto. This Agreement shall not be construed more strictly against one party than against the other merely by virtue of the fact that the Agreement may have been prepared primarily by counsel for one of the parties, it being recognized that both City and Service Provider and their respective counsel have contributed substantially and materially to the preparation of this Agreement. The invalidity or unenforceability of any term or condition of this Agreement shall not affect the other terms and conditions, and this Agreement shall be construed in all respects as if such invalid or unenforceable term or condition had not been contained herein. The Parties agree that the failure to enforce any provision or obligation under this Agreement shall not constitute a waiver thereof, or serve as a bar to the subsequent enforcement of any such provision or obligation under this Agreement. Each of the undersigned represents that he or she has: (a) the authority to bind City or Service Provider, as applicable; and (b) the proper power and authority to execute this Agreement. All Exhibits referenced in this Agreement are attached

hereto and incorporated herein by reference. This Agreement may be executed in separate counterparts, each of which when so executed shall be an original, but all of such counterparts shall together constitute but one and the same instrument. A facsimile or email transmission of a duly-executed counterpart of this Agreement shall be sufficient to evidence the binding agreement of each party to the terms hereof. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Indiana. All proceedings arising in connection with this Agreement shall be tried and litigated only in the state courts in Hamilton County, Indiana, or the federal courts with venue that includes Hamilton County, Indiana. Service Provider waives, to the extent permitted under applicable law: (a) the right to trial by jury; and (b) any right Service Provider may have to: (i) assert the doctrine of "forum non conveniens"; or (ii) object to venue.

[Signature page to follow.]

IN WITNESS WHEREOF, City and Service Provider have executed this Agreement as of the Effective Date.

CITY:

City of Westfield, Indiana

By:

Christopher J McConnell, Director of Parks and Rec.

SERVICE PROVIDER:

Aaron Coleman

By:

Aaron
Coleman

INDEX OF EXHIBITS

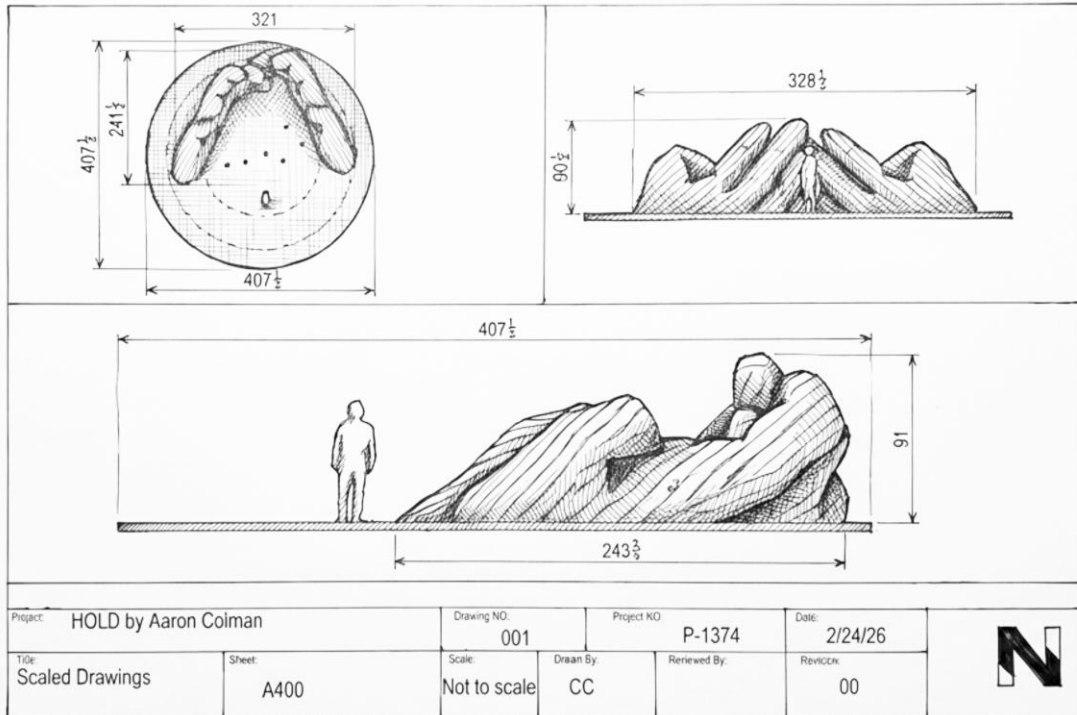
Exhibit A	Description of the Services
Exhibit B	Schedule of the Services
Exhibit C	Schedule of Fees and Compensation
Exhibit D	Required Insurance

EXHIBIT A

Description of the Services

Service Provider shall perform the following scope of services under this Agreement:

Project: __HOLD THE STARS__



Dear Selection Committee,

My proposed piece, *Hold the Stars*, is a large-scale figurative sculpture designed to be both symbolic monument and immersive architectural experience. Two cupped hands emerge from the ground creating a space sheltered on three sides, an interior sanctuary where visitors can run their fingers over the sculpture's complex surfaces, marvel at the elegant craftsmanship, and examine the inlaid constellation of stars that illustrate

the big dipper. The gently upturned palms and laced fingers are designed with integrated seating so that one may pause to rest and contemplate or share a peaceful moment with others. To encounter *Hold the Stars* is to witness the brave black men, women, and children following the North Star toward freedom and the unwavering love of Westfield's Quaker families; their stories course through every wooden fiber, so what *Hold* keeps within its grasp is the indelible echoes imprinted on us all.

The brutality of the Transatlantic Slave Trade materializes in the collective consciousness as images of kidnapped humans packed suffocatingly tight into a ship's hold, the darkness a near-constant erasure of time and space across 4,000 miles. Despite every effort to strip captured Africans of their dignity and agency they remained resilient, strong, and brave. *Hold* draws on this immutable lifeforce that fortified souls from the inside out. The monstrous architecture of the slave ship's hold is destroyed, and reclaimed through the construction of something else: a new vessel carrying the essential substance of life; two hands cupped collecting water to drink. *Hold the Stars* shows that belief transforms. It speaks truth to oppression and reclaims the essence that fueled enslaved people's perseverance and continued cultural innovation despite bondage. *Hold the Stars* presents viewers with two realities: the unvarnished facts of chattel slavery in the United States as well as the self-emancipation that delivered black Americans their autonomy. There is a third critical detail that would come to play a pivotal role in the struggle for freedom. The Quakers that fled the South in protest of slavery and settled in Westfield were dedicated abolitionists and allies to those seeking freedom. Safehouses were established and escapees given assistance, guidance, and even protection from the constant threat of recapture.

Crafted from native white oak using the same ancient ship building technique of steaming wood to achieve the precision curves necessary for seaworthy vessels and, in this case, my sculpture. Additionally, in my research I learned much about the industrious nature of Quakers and their rich history of fine artisanry. I channeled some of those same traditional design and construction methods into my proposed sculpture. It is important to me that at all steps of material acquisition, fabrication, etc local suppliers are used. It is for this reason that I reached out to 900 North Studios for help with all technical aspects of *Hold the Stars*. They are committed to sustainability, only using local vendors and lumber sourced from trees naturally felled during storms. A circular concrete base that is fully ADA compliant will ensure all are able to experience, learn from, and take pride in *Hold the Stars*. A defining feature of the sculpture inlaid into the top of the concrete base is a polished stainless steel star map. The thin stainless steel will trace the Big Dipper with 7 recessed can lights to make the 7 stars glow. Stars. This constellation was instrumental for escaped slaves to locate Polaris, the North Star, which was the celestial guide of the Underground Railroad. Additionally, the dipper form which watches over and points the way from its place in the night sky bears a striking resemblance in appearance and objective to the sculpture's cupped hands that offer nourishment and care. Songs sung by enslaved people such as "Follow the Drinking Gourd", the drinking gourd being a non-Western interpretation of the so-called "Big

Dipper” constellation, contained hidden within them coded instructions and melodically encrypted maps for navigating the Underground Railroad to freedom.

Westfield’s embracing complicated shared histories and the City’s clear-eyed investment in equity through public education via targeted public sculpture speaks to the City’s foresight, wisdom, and commitment to its communities; those past, present, and future.

It is of no small significance to have advanced to the final selection for this commission, and I am grateful for the opportunity to contribute to a project that highlights the fundamental role Westfield played in the fight for freedom. While I am extremely excited to be in this position, I feel I must also share how meaningful *Hold the Stars* would be to the arts communities of Westfield, and beyond. The project’s universal impact would be felt across many affinity groups; the students at the Herron School of Art—where I am one of only three Black professors—would be among the countless beneficiaries. Alongside their fellow Hoosiers, students will experience firsthand a community-facing sculpture intimately engaged with the histories of their home, the larger city, and indeed the nation. The symbolic importance of a local artist of color authoring a monumental public work—one that calls forth the very stories that animate his and others’ marginalized identities—is incalculable. It will be a renowned cultural landmark and situate Westfield’s public art program among the most influential in the United States.

Hold the Stars contains much information but shares even more, presenting an interactive environment in which viewers are able to look at, listen to, and touch history. Through direct engagement with the sculpture, history and art are transformed from abstract concepts to a lived understanding of what it means to be held and carried, nurtured and nourished, cared for and protected.

Thank you very much for the opportunity to present my project.

Sincerely,

Aaron Coleman



HOLD

Technical & Fabrication Information

Primary Materials

- Native White Oak, 1" thick x minimum 3" width (naturally insect repellent and rot resistant; Shou Sugi Ban treated and sealed with a UV-resistant clear coat).
- A36 Structural Steel, 1/4" thick x 3" wide primary structural members, black powder coated.

Structural System

The internal armature consists of CNC laser-cut A36 steel ribs fabricated from 1/4" thick plate. Primary structural members are 3" wide and incorporate welded tabbed steel connection plates at regular intervals. These tabbed plates are shop-welded to the primary ribs prior to finishing and coating.

Wood to Steel Connection

Each welded steel tab is fabricated with pre-drilled holes designed to receive #8-32 stainless steel machine screws. Welded nuts are fixed to the steel tab plates to create a secure threaded connection point. The white oak members are pre-drilled to align precisely with the steel tab pattern. Machine screws pass through the wood and engage the welded nuts, binding the wood tightly to the structural steel armature. The fastener pattern is spaced at regular intervals along each steel rib to create a uniform visual rhythm and consistent structural load distribution. Fasteners are concealed where

feasible to maintain the visual integrity of the exterior wood surface while ensuring long-term structural performance and durability.

Wood Fabrication

Steam-bent native white oak slats (1" thick x minimum 3" width) are formed to the steel armature, shaped, sanded, charred (Shou Sugi Ban process), re-sanded, and sealed for exterior durability. Native white oak is naturally insect repellent and rot resistant. The Shou Sugi Ban charring process, paired with a UV-resistant clear coat, provides additional protection against decay, weathering, UV exposure, and long-term environmental damage.

Lighting

Integrated internal lighting coordinated with the Town of Westfield and concrete contractor.

Maintenance Plan

- Routine maintenance shall occur twice annually, in the Spring and Fall.
- Perform a visual inspection of all accessible fasteners.
- Any loose fasteners shall be re-tightened as necessary.
- Inspect all wood components for damage.
- Individual boards may be removed and replaced if damage is identified.
- The exterior wood surface shall be cleaned and re-sealed every five (5) years to maintain weather protection and longevity.
- Removable wood panels located near the base of the sculpture may be unbolted to allow access to the interior for electrical repairs, lighting maintenance, and periodic cleaning.

EXHIBIT B

Schedule of the Services

The services described in Exhibit A will be performed by the Service Provider via the following schedule, subject to the cooperation of and the collaboration with the City:

Project Schedule

Phase	Duration
Design	8 Weeks
Material Lead Times	4 Weeks
In Shop Fabrication	13 Weeks
Coatings & Finishes	4 Weeks
Concrete Work	2 Weeks
Electrical Work	1 Week
On Site Installation	1.5 Weeks

EXHIBIT C
Schedule of Fees and Compensation

Payment Due	Percentage	Amount
At Execution of Contract	50%	\$24,000.00
January 31, 2027	50%	\$24,000.00

EXHIBIT D

Required Insurance

Upon execution of this Agreement, and prior to the Service Provider's commencement of any work or services with regard to the Services, Service Provider shall furnish the City with certificates evidencing such insurance meeting the following specifications:

Service Provider shall provide to the City evidence of insurance meeting the following specifications for Workers' Compensation, Employers liability, Commercial General Liability, Automobile Liability, Umbrella Liability and Professional Liability, if applicable.

1. Workers Compensation Insurance coverage in accordance with statutory requirements.
2. Employers Liability Insurance with limits of not less than \$500,000 Each Accident, \$500,000 Disease Each Employee, \$500,000 Disease Policy Limit.
3. Commercial General Liability Insurance on ISO form GC0001 10 01 (or a substitute form providing coverage) naming the City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City and shall provide for 30-day notice of any cancellation thereof by Service Provider. Additional insured coverage shall apply as primary insurance with respect to any other insurance afforded the City per the following:
 - \$1,000,000 Each Occurrence (BI & PD Combined Single Limit);
 - \$1,000,000 General Occurrence (subject to per project general aggregate provision);
 - \$1,000,000 Personal Injury Liability to include coverage for employee-related claims;
 - \$1,000,000 Products and Completed Operations Aggregate
4. Automobile Liability Insurance with a combined single limit of \$1,000,000 per accident naming City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City, and shall provide for 30-day notice of any cancellation thereof by Service Provider.
5. Umbrella Liability Insurance with an aggregate and per occurrence limit of \$2,000,000, which shall be excess over the Employers Liability Insurance, Commercial General Liability Insurance, and Automobile Liability Insurance and shall name City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City and shall provide for 30-day notice of any cancellation thereof by Service Provider.

Such insurance shall cover liability arising from premises, operations, independent contractors, products-completed operations, personal and advertising injury, and liability assumed under an insured liability including the tort liability of another assumed in a business contract). There shall be no endorsement or modification of the Commercial General Liability form arising from pollution, explosion, collapse, underground property damage or work performed by subcontractors.

PROFESSIONAL SERVICES AGREEMENT

This Professional Services Agreement (the "Agreement"), executed as of _____, 2026 (the "Effective Date"), by and between the City of Westfield, Indiana ("City"), and 900 NORTH STUDIO ("Service Provider" and with City, the "Parties" and each a "Party"), WITNESSES:

Recitals

WHEREAS, City has determined that it is necessary or desirable to obtain the services in connection with the project "Hold the Stars," as further described on Exhibit A (the "Services");

WHEREAS, Service Provider has experience in providing the Services; and

WHEREAS, City and Service Provider desire to enter into this Agreement to formalize the terms and conditions upon which Service Provider shall perform the Services;

Agreement

NOW, THEREFORE, for good and valuable consideration, the receipt and sufficiency of which are acknowledged hereby, City and Service Provider agree as follows:

- 1. Services.** Subject to the terms and conditions of this Agreement, Service Provider shall perform the Services in accordance with the schedule set forth on Exhibit B. Service Provider shall be an independent contractor of City. The term of this Agreement shall be for the period: (a) commencing on the Effective Date; and (b) ending on the date that is 1 year thereafter, unless earlier terminated or extended in accordance with the terms and conditions of this Agreement (the "Term"). The City may terminate this Agreement without cause upon sixty (60) days prior written notice to Service Provider. In the event of such termination without cause, Service Provider shall be entitled to receive payment for the conforming Services provided up to the date of termination, in addition to 10% of the profits lost by Service Provider as a direct result of City's termination of this Agreement without cause (in no case shall the total payment to Service Provider exceed the total cost provided in Exhibit C). Additionally, this Agreement may be terminated for cause in accordance with Section 8(d).
- 2. Payment.** Service Provider's compensation for the Services shall be computed in the manner, at the rates, and on the payment schedule described on Exhibit C.
- 3. Performance.** Service Provider shall perform the Services: (a) in coordination with City; (b) in accordance with the prevailing professional standards in the Hamilton County, Indiana area for similar services; and (c) in compliance with all applicable laws, statutes, and/or ordinances, and any applicable governmental rules, regulations, guidelines, orders, and/or decrees (collectively, the "Laws"). Prior to commencing the Services, Service Provider shall: (a) obtain all permits and approvals required by the Laws; and (b) obtain, and maintain during performance of the Services, all professional licenses and certifications required by the Laws. Service Provider shall provide to City, upon request, copies of any and all such licenses and certifications. If performance of the Services requires the entry by Service Provider onto real estate not owned by City or Service Provider, then Service Provider shall be responsible for obtaining permission to enter onto such real estate. City may designate its point of contact for the purposes of this Agreement to Service Provider in writing to act on City's behalf with respect to Service Provider's performance of the Services. Service Provider acknowledges that the Services constitute the fabrication, finishing, and installation of an original work of art titled "Hold the Stars" (the "Artwork") that was conceived, authored, and designed by Aaron Coleman (the "Artist"), who is the sole author and creator of the Artwork. Service Provider shall perform all fabrication, finishing, and installation strictly in accordance with the Artist's design, drawings, specifications, and written direction (collectively, the "Artist's Design Package") and otherwise in accordance with the Artist's artistic direction and vision. Service Provider shall not deviate from, alter, or materially modify the Artist's design or artistic vision without the Artist's prior written approval. The Artist shall have the right to review, monitor, and approve the Services at reasonable stages of fabrication and installation to confirm that the Artwork conforms to the Artist's artistic vision and intent, and Service Provider shall reasonably cooperate with and accommodate the Artist's exercise of that right.

4. Work Product. The finished, installed physical artwork/sculpture created pursuant to this Agreement and placed on City's property (the "Artwork") shall become the property of City upon final installation and acceptance by City. City shall have a perpetual, non-exclusive, royalty-free license to use, reproduce, and display photographic and digital imagery and representations of the Artwork for promotional, educational, archival, governmental, and related purposes. Service Provider retains ownership of all renderings, technical drawings, CAD files, fabrication documentation, models, electronic files, and other technical and creative work product created in the performance of the Services ("Technical Work Product"). Service Provider hereby grants to City and to Aaron Coleman a perpetual, non-exclusive, royalty-free license to use all imagery, photographs, renderings, and media produced by Service Provider in connection with this Agreement for promotional, educational, portfolio, governmental, professional, and related purposes. City and Aaron Coleman may not use Technical Work Product to fabricate additional copies of the Artwork without Service Provider's prior written consent. Service Provider shall retain all rights in and to its know-how, methods, techniques, fabrication processes, discoveries, concepts, and ideas, whether patentable or not. City acknowledges that any works, items, materials, or other matters developed, created, or invented by personnel of Service Provider or any of its officers, employees, agents, or subcontractors not substantively involved in performing the Services shall be presumed: (a) not to be Work Product; and (b) to remain the sole and exclusive property of Service Provider (or such officer, employee, agent, or subcontractor).

5. Relationship. The employees of Service Provider: (i) are (and shall be considered for all purposes to be) the employees or contractors of Service Provider; and (ii) are not (and shall not be considered for any purpose to be) the employees or contractors of City. Accordingly, City shall have no obligations or liabilities with respect to such employees, who shall look exclusively to Service Provider to discharge all obligations and duties as their employer or principal. Subject to Section 18, Service Provider shall indemnify and hold harmless City from and against all claims, suits, judgments, liabilities, losses, costs, and expenses (including, without limitation, reasonable attorneys' fees and court costs) that result from any claim for wages, benefits, or otherwise by any agent, employee, or contractor of Service Provider. The indemnities set forth in this Section shall survive the expiration or earlier termination of this Agreement.

6. Insurance. During its performance of the Services, Service Provider shall maintain the policies of insurance described on Exhibit D. Each such policy shall: (a) be written by a company reasonably acceptable to City; and (b) provide that it shall not be modified or canceled without written notice to City at least 30 days in advance. The policy of general liability insurance required by this Section to be maintained by Service Provider shall name City as an additional insured. Service Provider shall deliver to City certificates of the insurance policies required by this Section, executed by the insurance company or the general agency writing such policies.

7. Liens. Service Provider shall not suffer or cause the filing of any mechanic's lien against City's property, or any part thereof, by reason of labor, services or materials claimed to have been performed or furnished to or for Service Provider. If any such mechanic's lien is filed against City's property, or any part thereof, then Service Provider shall cause such mechanic's lien to be discharged of record within 30 days after notice of filing by bonding, or as provided or required by law. Nothing in this Agreement shall be deemed or construed to: (a) constitute consent to, or request of, any party for the performance of any work for, or the furnishing of any materials to, Service Provider; or (b) give Service Provider the right or authority to contract for, authorize, or permit the performance of any work, or the furnishing of any materials, that would permit the attaching of a mechanic's lien to City's interest in its property.

8. Remedies.Default.

(a) Events of Default. it shall be an "Event of Default" if either Party fails to perform or observe any term or condition of this Agreement to be performed or observed by it: (i) with respect to the obligation to pay money to the other Party, if such failure is not cured within forty-five (45) days after such payment is due and such payment is not made within such forty-five (45) day period; and (ii) with respect to any other obligation, if such failure is not cured within a 30-day period following such written notice.

(b) General Remedies. whenever an Event of Default occurs, the non-defaulting Party may take whatever actions at law or in equity are necessary or appropriate to: (i) collect any payments due to it under this Agreement; (ii) protect the rights granted to the non-defaulting party under this Agreement; or (iii) cure, for the account of the defaulting Party, any failure of the defaulting Party to perform or observe a material term or condition of this Agreement to be performed or observed by it.

(c) No Remedy Exclusive. Except as provided to the contrary in Section 8, no right or remedy herein conferred upon, or reserved to, a non-defaulting Party is intended to be exclusive of any other available right or remedy, unless otherwise expressly stated; instead, each and every such right or remedy shall be cumulative and in addition to every other right or remedy given under this Agreement or now or hereafter existing at law or in equity. No delay or omission by a non-defaulting Party to exercise any right or remedy upon any Event of Default shall impair any such right or remedy, or be construed to be a waiver thereof, and any such right or remedy may be exercised from time to time, and as often as may be deemed to be expedient.

(d) Termination For Cause. Either Party may terminate this Agreement, for cause, by delivering to

the other Party a "Notice to Cease Services," upon which this Agreement shall terminate thirty (30) days after delivery of such notice.

9. Representations and Warranties.

(a) **General.** Each of Service Provider and City represents and warrants that: (i) it shall not enter into any contracts or undertakings that would limit, conflict with, or constitute a breach of this Agreement; (ii) it has the power to enter into this Agreement and to perform its obligations hereunder; (iii) it has been authorized by proper action to: (A) execute and deliver this Agreement; and (B) perform its obligations hereunder; and (iv) this Agreement is the legal, valid, and binding obligation of Service Provider and City, respectively.

(b) **Entity.** Service Provider represents and warrants that it is a limited liability company organized and existing under the laws of the State of Indiana. City represents that it is a public body organized and existing under the State of Indiana.

10. Additional Services. If City and Service Provider agree that Service Provider shall provide services to City that are not included within the Services (the "Additional Services"), then City and Service Provider either shall: (a) amend this Agreement to include the Additional Services; or (b) enter into a new agreement with respect to the performance of the Additional Services. Until such time as there is either: (a) an amendment to this Agreement that includes the Additional Services; or (b) a new agreement with respect to the performance of the Additional Services; in either case executed by City, City shall have no obligation to compensate Service Provider for the performance of the Additional Services.

11. Assignment and Subcontracting. Service Provider shall not assign this Agreement without the prior written consent of City, which consent may be withheld in City's sole discretion. City may assign this Agreement without the prior written consent to any agency or instrumentality of the City. City otherwise shall not assign this Agreement without the prior written consent of Service Provider, which consent may be withheld in Service Provider's sole discretion. In the event that any subcontractors are engaged by Service Provider, Service Provider shall remain solely responsible for managing, directing, and paying the person or persons to whom such responsibilities or obligations are subcontracted or delegated. City shall have no obligation whatsoever toward such persons or entities. Service Provider shall take sole responsibility for the quality and quantity of any services rendered by such persons or entities. In the event of any assignment, subcontracting, or delegation in accordance with this Section, City or Service Provider shall remain liable to Service Provider or City, respectively, for the performance such obligations. Nothing herein shall be construed as creating any personal liability on the part of any officer, agent, official, or employee of City.

12. Nondiscrimination. In connection with the performance of this Agreement, Service Provider shall not discriminate against any employee, applicant for employment, and/or other person in the subcontracting and/or performance of the Services with respect to hire, tenure, terms, conditions, or privileges of employment or any matter directly or indirectly related to employment, because of race, age, color, religion, sex, disability, national origin, or ancestry. No notice or cure period shall apply with respect to the obligation of Service Provider under this Section, and a default under this Section shall be an immediate event of default.

13. Conflict of Interest. Service Provider certifies and warrants to City that neither Service Provider nor any of its officers, agents, employees, or subcontractors who participate in the performance of any Services has any conflict of interest with City.

14. Debarment. Service Provider certifies, by entering into this Agreement, that neither it nor its principals are presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from or ineligible for participation in any federal assistance program by any federal department or agency, or by any department, agency or political subdivision of the State of Indiana (the "State"). The term "principal" for purposes of this Agreement means an officer, director, owner, partner, key employee, or other person with primary management or supervisory responsibilities, or a person who has a critical influence on or substantive control over the operations of Service Provider. Service Provider certifies, by entering into this Agreement, that it does not engage in investment activities in Iran as more particularly described in Indiana Code § 5-22-16.5. Service Provider shall provide immediate written notice to City if, at any time after entering into this Agreement, Service

Provider learns that its certifications were erroneous when submitted, or Service Provider is debarred, suspended, proposed for debarment, declared ineligible, has been included on a list or received notice of intent to include on a list created pursuant to Indiana Code § 5-22-16.5, or voluntarily excluded from or becomes ineligible for participation in any federal assistance program. Any such event shall be cause for termination of this Agreement as provided herein. Service Provider shall not subcontract with any party which is debarred or suspended or is otherwise excluded from or ineligible for participation in any federal assistance programs by any federal department or agency, or by any department, agency, or political subdivision of the State.

15. Notice. All notices required to be delivered hereunder shall be in writing, and shall be deemed to have been delivered when: (a) delivered in person; (b) sent by facsimile, with electronic confirmation of receipt; or (c) sent by nationally recognized overnight carrier; in any case addressed as follows: (a) to City at: 2728 East 171st Street, Westfield, Indiana 46074; Attn: Chris McConnell; with a copy to City of Westfield Chief of Legal, Kaitlin Glazier, 2728 East 171st Street, Westfield, Indiana 46074 and (b) to Service Provider at: _____;. Either party may change its address for notice by written notice delivered to the other party as provided in this Section. Notwithstanding the foregoing, City may orally provide to Service Provider any notice required or permitted by this Agreement; provided that such notice also shall be delivered as required by this Section within 10 business days after the date of such oral notice.

16. Force Majeure. If Service Provider or City is unable to perform, satisfy, or observe any of its respective obligations under this Agreement as a result of any cause that is not within the reasonable control of Service Provider or City, respectively, and does not result from the fault or negligence of Service Provider or City, respectively (including, without limitation, unusually inclement weather, acts of God, the unusual unavailability of materials, equipment, services or labor, and utility or energy shortages or acts or omissions of public utility providers), then: (a) such performance, satisfaction, or observance shall be excused for the period of days that such performance, satisfaction, or observance is delayed or prevented; and (b) the deadlines for performance, satisfaction, or observance, as applicable, shall be extended for the same period.

17. Limitation of Liability. In no event shall either Party be liable for consequential, special, indirect, incidental, punitive, or exemplary damages, costs, expenses, or losses (including, without limitation, lost profits and opportunity costs). This Section shall apply regardless of the form of the claims asserted, whether in contract, statute, tort, or otherwise. The terms and conditions of this Section shall survive the termination or expiration of this Agreement.

18. Decisions. City acknowledges and agrees that the Services may include advice and recommendation, but that all decisions in connection with the implantation of such advice and recommendations shall be the sole responsibility of, and made by, City. Service Provider shall not perform management functions or make management decisions for City. City shall render decisions and approvals and provide information in a reasonably timely manner so as to avoid unreasonable delay in the orderly and sequential progress of the Services. Pursuant to Exhibit A, Service Provider will work cooperatively and collaboratively with City to develop a schedule for the performance of the Services, including timeframes for decision making by City.

19. Compliance with E-Verify. Pursuant to Indiana Code Title 22, Article 5, Chapter 1.7 or such successor provisions, the Service Provider shall enroll in and verify the work eligibility status of all newly hired employees of Service Provider through the E-Verify Program (the "Program"). The Service Provider is not required to verify the work eligibility status of all newly hired employees through the Program if the Program no longer exists. Further, the Service Provider must execute an affidavit which affirms that the Service Provider does not knowingly employ an unauthorized alien and confirms the Service Provider's enrollment in the Program, unless the Program no longer exists. The Service Provider must file such executed affidavit with Owner prior to the execution of this Agreement. This Agreement shall not be deemed fully executed until such affidavit is delivered to City.

20. Third-Party Usage. Any advice, recommendations, information, deliverables, or Work Product provided to City under this Agreement is: (a) for the sole use of City; and (b) not intended to be relied upon by any third party. Except to the extent required by Law, City shall not disclose or permit access to such advice, recommendations, information, deliverables, or Work Product to any third party without Service Provider's prior consent, which consent shall not be withheld unreasonably.

21. Active Files. Service Provider may use models, electronic files, and spreadsheets with embedded macros created by Service Provider in providing the Services. If City requests a working copy of any such model, electronic file, or spreadsheet, then Service Provider, at its discretion, may make the same available to City for City's internal use only, in which case the same shall be considered a deliverable hereunder.

22. Confidential Information. Information relating to the Services contemplated pursuant to this Agreement, including information shared or transmitted between the Parties pursuant to this Agreement ("Confidential Information"), unless in the public domain, shall be kept confidential by Service Provider and shall not be disclosed or made available by Service Provider to third parties without the written consent of the City, unless so required by court order. Service Provider and its contractors warrant that they shall use reasonable care to ensure that any Confidential Information, to which Service Provider has obtained possession or knowledge of in connection with this Agreement (from the City) will not be disclosed to any third parties, in whole or in part, without the prior written permission of the City. Service Provider may disclose Confidential Information to representatives of Service Provider who need to know such information to provide the Services to the City, who agree to keep such Confidential Information confidential pursuant to the terms of this Agreement. Service Provider shall use Confidential Information of the City solely for the purposes of providing the Services under this Agreement. Service Provider shall not have the obligation to maintain the confidentiality of any Confidential Information that: (a) is lawfully obtained by Service Provider from a third party that, to the knowledge of Service Provider, did not acquire the information under an obligation of confidentiality; (b) is at the time of disclosure, or thereafter, becomes publicly known through no act or omission by Service Provider or its employees; or (c) is independently developed by Service Provider or its employees or agents who did not have access to Confidential Information of the City. Upon the City's request, Service Provider will immediately return or destroy any and all Confidential Information that has been provided to it by the City. Notwithstanding the foregoing, Service Provider shall not be required to erase Confidential Information that has been saved to a back-up file in accordance with its ordinary document retention policies and procedures and may continue to store Confidential Information solely for such purpose and for such period as required to comply with such policies and procedures and any applicable law or regulation. Service Provider agrees to maintain the confidentiality of the Confidential Information during the term of this Agreement, including any renewals or extensions thereof, and for five (5) years following the expiration or termination, including any renewals or extensions, of this Agreement.

23. Indemnification.

Service Provider agrees to indemnify, defend, and hold harmless the City and its respective officers, agents, contractors, and employees for any and all third party claims, actions, causes of action, judgments and liens to the extent they arise out of any negligent or wrongful acts or omission or breach of any provision of this Agreement by the Service Provider or any of its officers, agents, employees, or contractors. To the fullest extent permitted by law, City likewise agrees to indemnify, defend, and hold harmless Service Provider and its respective officers, agents, employees, and contractors for any and all third party claims, actions, causes of action, judgments and liens to the extent they arise out of any negligent or wrongful act or omission or breach of any provision of this Agreement by City or any of its officers, agents, or employees. City's obligations hereunder shall be limited by applicable state and federal statutes and constitutional provisions protecting the exposure and liability of City (including but not limited to the terms of Indiana's Tort Claims Act), so that City's obligations to indemnify, defend, and hold harmless hereunder shall not exceed what might have been City's liability to a claimant had City sued directly by the claimant and all appropriate defenses had been raised by City.

To the extent permitted by applicable law, such indemnity shall include reasonable attorney's fees and all costs and other expenses arising therefrom or incurred in connection therewith and shall not be limited by reason of the enumeration of any insurance coverage required herein. Neither Party shall be obligated to indemnify the other Party to the extent any injury, damage, death, or loss is attributable to the negligence, willful misconduct, or breach of this Agreement by the Party otherwise entitled to indemnification under this Section. Notwithstanding anything to the contrary set forth herein, the obligations of the Parties under this Section 23 shall survive the termination of this Agreement.

24. Non-Appropriation. Notwithstanding any other provisions of this Agreement, the Parties acknowledge that City is a governmental entity whose funds are subject to appropriation by its fiscal body. Payments to Service Provider under this Agreement are limited to the unpaid, obligated balance of the funds duly appropriated and encumbered for this Agreement, and City shall not pay Service Provider any amount under this Agreement that exceeds the amount so appropriated and encumbered for the applicable budget period. City represents and warrants that funds sufficient to satisfy City's payment obligations under this Agreement have been duly appropriated, encumbered, and made available for the Term. In the event that any portion of such funds is not available due to appropriation failure or reversion, City shall provide Service Provider with written notice within ten (10) business days of such determination, the Agreement shall thereupon terminate, and City shall pay for all conforming Services provided prior to the exhaustion of appropriated funds. Upon any such non-appropriation: (a) City shall not be obligated to perform under this Agreement unless and until sufficient funds are appropriated; and (b) Service Provider shall be entitled to receive all Monthly Fees and Reimbursable Expenses highlighted in Exhibit C payable through the effective date of termination, which shall be the sole remedies available to Service Provider in connection with any such termination. This provision shall survive any termination of this Agreement.

25. Miscellaneous. Time is of the essence of this Agreement. Unless “business day” is specified, the term “day” as used herein means a calendar day. The term “business day” means any day other than a Saturday, Sunday, or federal or state holiday. If the last date for any act to be performed hereunder falls on a Saturday, Sunday, or federal or state holiday, then the time for performance shall be extended to the next business day. This Agreement is the final expression of the complete agreement between City and Service Provider. There are no oral representations, warranties, agreements, or promises pertaining to the Services and the other subject matter hereof not incorporated in writing in this Agreement. This Agreement may be amended, modified, or supplemented only by a writing signed by both the City and the Service Provider. The section headings herein are for convenience and shall not be considered in any way to affect the interpretation of this Agreement. This Agreement shall: (a) bind, and inure to the benefit of, City and Service Provider and their respective successors and assigns; and (b) be governed by, and construed in accordance with, the laws of the state of Indiana (the “State”). This Agreement shall not be construed to create a contractual relationship with, give rights or benefits to, or create a cause of action in favor of, anyone other than the parties hereto. This Agreement shall not be construed more strictly against one party than against the other merely by virtue of the fact that the Agreement may have been prepared primarily by counsel for one of the parties, it being recognized that both City and Service Provider and their respective counsel have contributed substantially and materially to the preparation of this Agreement. The invalidity or unenforceability of any term or condition of this Agreement shall not affect the other terms and conditions, and this Agreement shall be construed in all respects as if such invalid or unenforceable term or condition had not been contained herein. The Parties agree that the failure to enforce any provision or obligation under this Agreement shall not constitute a waiver thereof, or serve as a bar to the subsequent enforcement of any such provision or obligation under this Agreement. Each of the undersigned represents that he or she has: (a) the authority to bind City or Service Provider, as applicable; and (b) the proper power and authority to execute this Agreement. All Exhibits referenced in this Agreement are attached hereto and incorporated herein by reference. This Agreement may be executed in separate counterparts, each of which when so executed shall be an original, but all of such counterparts shall together constitute but one and the same instrument. A facsimile or email transmission of a duly-executed counterpart of this Agreement shall be sufficient to evidence the binding agreement of each party to the terms hereof. This Agreement shall be governed by, and construed in accordance with, the laws of the State of Indiana. All proceedings arising in connection with this Agreement shall be tried and litigated only in the state courts in Hamilton County, Indiana, or the federal courts with venue that includes Hamilton County, Indiana. Service Provider waives, to the extent permitted under applicable law: (a) the right to trial by jury; and (b) any right Service Provider may have to: (i) assert the doctrine of “forum non conveniens”; or (ii) object to venue.

[Signature page to follow.]

IN WITNESS WHEREOF, City and Service Provider have executed this Agreement as of the Effective Date.

CITY:

City of Westfield, Indiana

By:

Christopher J McConnell, Director of Parks and Rec.

SERVICE PROVIDER:

900 North Studios
16 S. Keystone
Indianapolis, IN 46201

By:

Representative

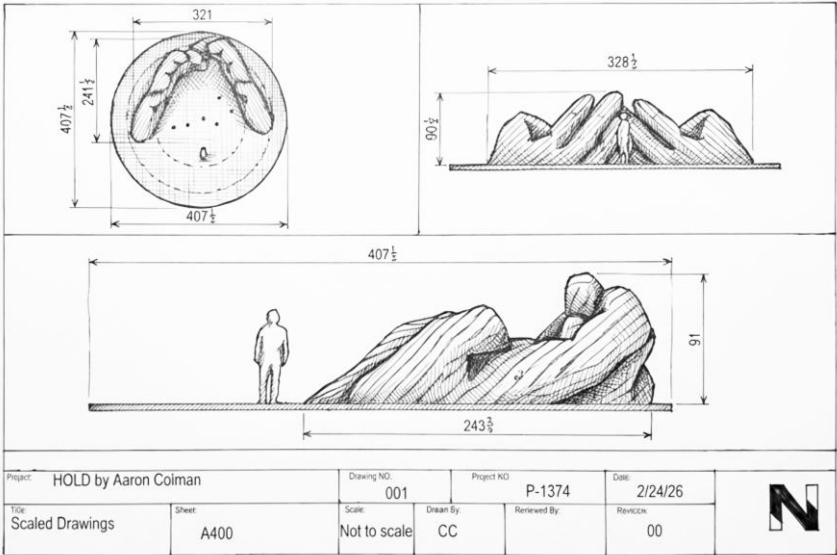
INDEX OF EXHIBITS

Exhibit A	Description of the Services
Exhibit B	Schedule of the Services
Exhibit C	Schedule of Fees and Compensation
Exhibit D	Required Insurance

EXHIBIT A

Description of the Services

Service Provider shall perform the following scope of services under this Agreement:



Dear Selection Committee,

My proposed piece, *Hold the Stars*, is a large-scale figurative sculpture designed to be both symbolic monument and immersive architectural experience. Two cupped hands emerge from the ground creating a space sheltered on three sides, an interior sanctuary where visitors can run their fingers over the sculpture's complex surfaces, marvel at the elegant craftsmanship, and examine the inlaid constellation of stars that illustrate the big dipper. The gently upturned palms and laced fingers are designed with integrated seating so that one may pause to rest and contemplate or share a peaceful moment with others. To encounter *Hold the Stars* is to witness the brave black men, women, and children following the North Star toward freedom and the unwavering love of Westfield's Quaker families; their stories course through every wooden fiber, so what *Hold* keeps within its grasp is the indelible echoes imprinted on us all.

The brutality of the Transatlantic Slave Trade materializes in the collective consciousness as images of kidnapped humans packed suffocatingly tight into a ship's hold, the darkness a near-constant erasure of time and space across 4,000 miles. Despite every effort to strip captured Africans of their dignity and agency they remained resilient, strong, and brave. *Hold* draws on this immutable lifeforce that fortified souls from the inside out. The monstrous architecture of the slave ship's hold is destroyed, and reclaimed through the construction of something else: a new vessel carrying the essential substance of life; two hands cupped collecting water to drink. *Hold the Stars* shows that belief transforms. It speaks truth to oppression and reclaims the essence that fueled enslaved people's perseverance and continued cultural innovation despite bondage. *Hold the Stars* presents viewers with two realities: the unvarnished facts of chattel slavery in the United States as well as the self-emancipation that delivered black Americans their autonomy. There is a third critical detail that would come to play a pivotal role in the struggle for freedom. The Quakers that fled the South in protest of slavery and settled in Westfield were dedicated abolitionists and allies to those seeking freedom. Safehouses were established and escapees given assistance, guidance, and even protection from the constant threat of recapture.

Crafted from native white oak using the same ancient ship building technique of steaming wood to achieve the precision curves necessary for seaworthy vessels and, in this case, my sculpture.

Additionally, in my research I learned much about the industrious nature of Quakers and their rich history of fine artisanry. I channeled some of those same traditional design and construction methods into my proposed sculpture. It is important to me that at all steps of material acquisition, fabrication, etc local suppliers are used. It is for this reason that I reached out to 900 North Studios for help with all technical aspects of *Hold the Stars*. They are committed to sustainability, only using local vendors and lumber sourced from trees naturally felled during storms. A circular concrete base that is fully ADA compliant will ensure all are able to experience, learn from, and take pride in *Hold the Stars*. A defining feature of the sculpture inlaid into the top of the concrete base is a polished stainless steel star map. The thin stainless steel will trace the Big Dipper with 7 recessed can lights to make the 7 stars glow. Stars. This constellation was instrumental for escaped slaves to locate Polaris, the North Star, which was the celestial guide of the Underground Railroad. Additionally, the dipper form which watches over and points the way from its place in the night sky bears a striking resemblance in appearance and objective to the sculpture's cupped hands that offer nourishment and care. Songs sung by enslaved people such as "Follow the Drinking Gourd", the drinking gourd being a non-Western interpretation of the so-called "Big Dipper" constellation, contained hidden within them coded instructions and melodically encrypted maps for navigating the Underground Railroad to freedom.

Westfield's embracing complicated shared histories and the City's clear-eyed investment in equity through public education via targeted public sculpture speaks to the City's foresight, wisdom, and commitment to its communities; those past, present, and future.

It is of no small significance to have advanced to the final selection for this commission, and I am grateful for the opportunity to contribute to a project that highlights the fundamental role Westfield played in the fight for freedom. While I am extremely excited to be in this position, I feel I must also share how meaningful *Hold the Stars* would be to the arts communities of Westfield, and beyond. The project's universal impact would be felt across many affinity groups; the students at the Herron School of Art—where I am one of only three Black professors—would be among the countless beneficiaries. Alongside their fellow Hoosiers, students will experience firsthand a community-facing sculpture intimately engaged with the histories of their home, the larger city, and indeed the nation. The symbolic importance of a local artist of color authoring a monumental public work—one that calls forth the very stories that animate his and others' marginalized identities—is incalculable. It will be a renowned cultural landmark and situate Westfield's public art program among the most influential in the United States.

Hold the Stars contains much information but shares even more, presenting an interactive environment in which viewers are able to look at, listen to, and touch history. Through direct engagement with the sculpture, history and art are transformed from abstract concepts to a lived understanding of what it means to be held and carried, nurtured and nourished, cared for and protected.

Thank you very much for the opportunity to present my project.

Sincerely,

Aaron Coleman



HOLD

Technical & Fabrication Information

Primary Materials

- Native White Oak, 1" thick x minimum 3" width (naturally insect repellent and rot resistant; Shou Sugi Ban treated and sealed with a UV-resistant clear coat).
- A36 Structural Steel, 1/4" thick x 3" wide primary structural members, black powder coated.

Structural System

The internal armature consists of CNC laser-cut A36 steel ribs fabricated from 1/4" thick plate. Primary structural members are 3" wide and incorporate welded tabbed steel connection plates at regular intervals. These tabbed plates are shop-welded to the primary ribs prior to finishing and coating.

Wood to Steel Connection

Each welded steel tab is fabricated with pre-drilled holes designed to receive #8-32 stainless steel machine screws. Welded nuts are fixed to the steel tab plates to create a secure threaded connection point. The white oak members are pre-drilled to align precisely with the steel tab pattern. Machine screws pass through the wood and engage the welded nuts, binding the wood tightly to the structural steel armature. The fastener pattern is spaced at regular intervals along each steel rib to create a uniform visual rhythm and consistent structural load distribution. Fasteners are concealed where

feasible to maintain the visual integrity of the exterior wood surface while ensuring long-term structural performance and durability.

Wood Fabrication

Steam-bent native white oak slats (1" thick x minimum 3" width) are formed to the steel armature, shaped, sanded, charred (Shou Sugi Ban process), re-sanded, and sealed for exterior durability. Native white oak is naturally insect repellent and rot resistant. The Shou Sugi Ban charring process, paired with a UV-resistant clear coat, provides additional protection against decay, weathering, UV exposure, and long-term environmental damage.

Lighting

Integrated internal lighting coordinated with the Town of Westfield and concrete contractor.

Maintenance Plan

- Routine maintenance shall occur twice annually, in the Spring and Fall.
- Perform a visual inspection of all accessible fasteners.
- Any loose fasteners shall be re-tightened as necessary.
- Inspect all wood components for damage.
- Individual boards may be removed and replaced if damage is identified.
- The exterior wood surface shall be cleaned and re-sealed every five (5) years to maintain weather protection and longevity.
- Removable wood panels located near the base of the sculpture may be unbolted to allow access to the interior for electrical repairs, lighting maintenance, and periodic cleaning.

EXHIBIT B
Schedule of the Services

The services described in Exhibit A will be performed by the Service Provider via the following schedule, subject to the cooperation of and the collaboration with the City:

Project Schedule

Phase	Duration
Design	8 Weeks
Material Lead Times	4 Weeks
In Shop Fabrication	13 Weeks
Coatings & Finishes	4 Weeks
Concrete Work	2 Weeks
Electrical Work	1 Week
On Site Installation	1.5 Weeks

EXHIBIT C
Schedule of Fees and Compensation



COST PROPOSAL ADDENDUM

Prepared For: City of Westfield, Indiana **Project:** Hold the Stars (Aaron Coleman) **Date:** June 29, 2026

Reference: Professional Services Agreement **Addendum:** No. 1 **Proposal #:** []

PROJECT OVERVIEW

This Addendum No. 1 is issued by **900 North Studios** to the City of Westfield, Indiana, and amends the Professional Services Agreement for the **Hold the Stars** public sculpture by Aaron Coleman. It revises **Exhibit C - Schedule of Fees and Compensation** and adds a milestone payment schedule. The Total Project Cost is increased by ten percent (10%) of the original total - an increase of **\$24,990.10** - from **\$249,901.00** to **\$274,891.10**. Of this increase, **\$5,000.00** establishes a new **Engineering** line item and the remaining **\$19,990.10** is allocated to Materials and Fabrication. The Artist Fee and all other line items remain unchanged. All other terms, conditions, exhibits, and the scope and schedule of services remain unchanged and in full force and effect.

SCOPE OF SERVICES

This addendum modifies the Agreement as follows:

- **Exhibit C is revised** to add a budget increase of \$24,990.10 (10% of the original total).
- **New Engineering line item** of \$5,000.00, funded from the increase.
- **Remaining \$19,990.10** allocated to Materials and Fabrication; the Artist Fee and all other categories are unchanged.
- **Revised Total Project Cost:** \$274,891.10 (previously \$249,901.00).
- **Milestone payment schedule added** covering all costs except the Artist Fee (\$226,891.10).
- **No change to scope, schedule, or insurance:** Exhibits A, B, and D are unchanged.

SCHEDULE

MILESTONE	DUE
Deposit received - design & engineering begin	At signing
Stamped engineer drawings submitted	2 months after deposit
Fabrication 25% complete	~14 weeks after deposit



900 NORTH STUDIOS

16 S. Keystone Ave, Indianapolis IN 46201 | 317.494.3411 | cory@900-northstudios.com | 900-north.com

Fabrication 50% complete	~20 weeks after deposit
Fabrication 75% complete	~26 weeks after deposit
Fabrication 100% complete	~32 weeks after deposit
Installation complete	~38 weeks after deposit

INVESTMENT

The following payment schedule applies to all project costs **excluding the Artist Fee**, for a payment-schedule total of **\$226,891.10**. The Artist Fee of \$48,000.00 is invoiced separately and is not part of this schedule. The first milestone (stamped engineer drawings) is targeted at two (2) months after the deposit is received; each subsequent milestone follows at four (4) week intervals. All invoiced payments are due within thirty (30) days of the invoice date.

PAYMENT SCHEDULE	DUE	%	AMOUNT
Initial deposit - due upon signing (no design, engineering, or material orders begin until received)	At signing	50%	\$113,445.55
Stamped engineer drawings submitted	Net 30	5%	\$11,344.56
Fabrication 25% complete	Net 30	10%	\$22,689.11
Fabrication 50% complete	Net 30	10%	\$22,689.11
Fabrication 75% complete	Net 30	10%	\$22,689.11
Fabrication 100% complete	Net 30	10%	\$22,689.11
Installation complete	Net 30	5%	\$11,344.55
PAYMENT SCHEDULE TOTAL (excl. Artist Fee)		100%	\$226,891.10

Revised Exhibit C - Schedule of Fees & Compensation

Artist Fee (Aaron Coleman) - unchanged	\$48,000.00
Materials (was \$115,372.00)	\$127,839.76
Fabrication (was \$69,609.00)	\$77,131.34



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Engineering (new)	\$5,000.00
Installation Labor - unchanged	\$11,880.00
Equipment Rental - unchanged	\$3,240.00
Shipping & Freight - unchanged	\$1,800.00
Revised Total Project Cost	\$274,891.10

The budget increase of \$24,990.10 (10% of the original \$249,901.00 total) funds a new \$5,000.00 Engineering line item; the remaining \$19,990.10 is allocated to Materials and Fabrication in proportion to their original values. The payment schedule covers all costs except the Artist Fee. Milestone timeframes are estimates measured from receipt of the deposit. All amounts are exclusive of applicable taxes. This addendum is effective only upon execution by both parties.

TERMS

- **Deposit:** a 50% deposit is due upon signing; no design, engineering, or material orders will begin until the deposit is received.
- **Timeframes:** the first milestone (stamped engineer drawings) is targeted at two (2) months after the deposit; each subsequent milestone follows at six (6) week intervals. Timeframes are estimates subject to weather, approvals, and the City's timely decisions.
- **Invoicing:** all invoiced payments are due within thirty (30) days of the invoice date.
- **Artist Fee:** the \$48,000.00 Artist Fee is excluded from this payment schedule and invoiced separately.
- **Effect:** this Addendum No. 1 supersedes Exhibit C of the original Agreement; all other provisions remain in full force and effect.
- **Execution:** this addendum becomes effective when signed by authorized representatives of both parties.

ACCEPTED & AGREED

City of Westfield, Indiana · Date


900 North Studios · Date **06/29/26**

EXHIBIT D

Required Insurance

Upon execution of this Agreement, and prior to the Service Provider's commencement of any work or services with regard to the Services, Service Provider shall furnish the City with certificates evidencing such insurance meeting the following specifications:

Service Provider shall provide to the City evidence of insurance meeting the following specifications for Workers' Compensation, Employers liability, Commercial General Liability, Automobile Liability, Umbrella Liability and Professional Liability, if applicable.

1. Workers Compensation Insurance coverage in accordance with statutory requirements.
2. Employers Liability Insurance with limits of not less than \$500,000 Each Accident, \$500,000 Disease Each Employee, \$500,000 Disease Policy Limit.
3. Commercial General Liability Insurance on ISO form GC0001 10 01 (or a substitute form providing coverage) naming the City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City and shall provide for 30-day notice of any cancellation thereof by Service Provider. Additional insured coverage shall apply as primary insurance with respect to any other insurance afforded the City per the following:
 - \$1,000,000 Each Occurrence (BI & PD Combined Single Limit);
 - \$1,000,000 General Occurrence (subject to per project general aggregate provision);
 - \$1,000,000 Personal Injury Liability to include coverage for employee-related claims;
 - \$1,000,000 Products and Completed Operations Aggregate
4. Automobile Liability Insurance with a combined single limit of \$1,000,000 per accident naming City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City, and shall provide for 30-day notice of any cancellation thereof by Service Provider.
5. Umbrella Liability Insurance with an aggregate and per occurrence limit of \$2,000,000, which shall be excess over the Employers Liability Insurance, Commercial General Liability Insurance, and Automobile Liability Insurance and shall name City as an additional insured. This insurance shall be primary and non-contributory, shall provide for waiver of subrogation in favor of City and shall provide for 30-day notice of any cancellation thereof by Service Provider.

Such insurance shall cover liability arising from premises, operations, independent contractors, products-completed operations, personal and advertising injury, and liability assumed under an insured liability including the tort liability of another assumed in a business contract). There shall be no endorsement or modification of the Commercial General Liability form arising from pollution, explosion, collapse, underground property damage or work performed by subcontractors.



To: Westfield Parks and Recreation Board
Date: July 8th , 2026
Re: Action Item-Signing Authority
2026 Freedom Trail Restroom and Pickle Ball Project.

By executing below, I acknowledge receipt of a description of the cost of the service, property, or capital improvement, and a description of the manner in which the costs will be paid. I hereby grant approval in accordance with Ind. Code 36-10-3-11(d) and, to the extent required, I authorize the Parks and Recreation Board to take all necessary actions and execute all necessary documents in connection with this signing authority.

Scott A. Willis

Scot Willis, Mayor

The Parks and Recreation Board grants Christopher McConnell, Parks and Recreation Director, signing authority for the 2026 Freedom Trail Restroom and Pickle Ball Project. All proposals in response to the Request for Proposals (“RFP”) are currently being reviewed for proper compliance. The contract(s) will be awarded pursuant to applicable law and criteria established in the RFP, provided the proposed sum is not greater than the budgeted amount of \$1,500,000.00 .

Julia Grimmer, Board President

Kurtis Baumgartner, Board Vice President

Leanne Zentz



Mike Hall

Mike Antrim