



**CITY OF WESTFIELD, IN**  
**Advisory Planning Commission Meeting Agenda**

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**BOARD OR COMMISSION: Advisory Planning Commission Meeting**

**MEETING DATE: Wednesday, May 6, 2026 at 7:00 PM**

**MEETING PLACE: Westfield City Hall - Main Assembly Hall**

**THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF ADVISORY PLANNING COMMISSION**

Michael Neal, President | Township Appointed | 4-year term | 1/1/24-12/31/27  
Billy Bunkowfst, Vice President | Mayoral Appointed | 4-year term | 1/1/24-12/31/27  
Omar Khan | Mayoral Appointed | 4-year term | 1/1/24-12/31/27  
Robert Horkay | Mayoral Appointed | 4-year term | 1/1/24-12/31/27  
Stephanie Carlson | Mayoral Appointed | 4-year term | 7/1/24-12/31/27  
Mark Keen | Township Appointed | 4-year term | 1/1/24-12/31/27  
Ryan Mooney | Council Appointed | 4-year term | 1/1/24-12/31/27  
Victor McCarty | Council Appointed | 4-year term | 1/1/24-12/31/27  
Kurt Wanninger | Council Appointed | 4-year term | 2/2/26-12/31/27

Public input can be submitted in 1 of 2 ways:

- Submit comments via email to [planners@westfield.in.gov](mailto:planners@westfield.in.gov) (Include petition number in the subject line.)
- Attend the meeting at Westfield City Hall for an opportunity to participate and publicly comment on a public hearing.

**A quorum of the Common Council may be present**

[Online Viewable](#)

**OPENING OF REGULAR MEETING**

Note the presence of a quorum

Announce any changes to Agenda

Approval of Minutes - April 6, 2026 & April 20, 2026

Review Rules of Procedure

**CONSENT AGENDA**

**2603-DDP-08**

**Chatham Car Wash**

*1476 Chatham Commons Boulevard*

Edgeworth Laskey Properties, LLC by Kimley-Horn and Associates request Detailed Development Plan review for a

car wash facility on 1.94 acres +/- within the Chatham Commons Planned Unit Development (PUD) District.  
(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))

**2604-DDP-10**

**Trailside Business Park**

947 West State Road 32

Pettijohn Investments LLC by SPACECO, Inc. requests Detailed Development Plan and Secondary Plat review of two (2) industrial lots on 27.71 acres +/- in the Trailside Business Center Planned Unit Development (PUD) District.

(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))

**ITEMS OF BUSINESS**

**2603-PUD-03**

**199<sup>th</sup> & Monon Planned Unit Development (PUD) Amendment I**

*South of and adjacent to 199th Street and west of the Monon Trail*

Onyx & East, LLC by Nelson & Frankenberger LLC requests a change in zoning for 7.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the 199th & Monon Planned Unit Development (PUD) District.

(Planner: Daine Crabtree - [Dcrabtree@westfield.in.gov](mailto:Dcrabtree@westfield.in.gov))

**2603-PUD-04**

**Trace Commons Planned Unit Development (PUD)**

*South of State Road 32, about 1,000 feet East of Gunther Boulevard, & North of the Midland Trace Trail*

Level 2 Development, represented by Church Church Hittle + Antrim, request a change of zoning for 19.4 acres +/- from the GB: General Business and GB-PD: General Business-Planned Development Districts to the Trace Commons Planned Unit Development (PUD) District.

(Planner: Ryan Collingwood - [Rcollingwood@westfield.in.gov](mailto:Rcollingwood@westfield.in.gov))

**2604-PUD-07**

**Westfield Playhouse Planned Unit Development (PUD), Amendment I**

302 North Union Street

Christ United Methodist Church by Church Church Hittle + Antrim requests a change in zoning for 1.03 acres +/- from the SF3: Single-family Medium Density District to Westfield Playhouse Planned Unit Development (PUD) District.

(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))

**26-01**

**Gateway at Lantern Commons**

Approving Amendments to the Declaratory Resolution and Economic Development Plan for the Front Street Economic Development Area (Gateway Allocation Area)

(Presenter: Rachel Baker - [Rbaker@westfield.in.gov](mailto:Rbaker@westfield.in.gov))

**PUBLIC HEARING ITEMS**

No items.

**ITEMS CONTINUED TO A FUTURE MEETING**

**2604-PUD-06** (anticipated workshop on 5/18/26, subject to change)

**The Lakes at Freemont Planned Unit Development (PUD), Amendment I**

*Generally ½ mile north of the intersection at West 193rd Street and Freemont Moore Road*

Grand Communities, LLC and Fischer Homes by Nelson & Frankenberger, LLC requests a change in zoning for 108 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to The Lakes at Freemont Planned Unit

Development (PUD) District.  
(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))

**REPORTS/COMMENTS**

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Plat Committee Liaison

Community Development Department

**ADJOURNMENT**

Adjourn



**CITY OF WESTFIELD, IN**  
**Advisory Planning Commission Meeting Minutes - 4/6/2026**  
*Monday, April 6, 2026 at 7:00 PM*

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**A quorum of the Common Council may be present**

**[Online Viewable](#)**

**OPENING OF REGULAR MEETING**

7:00pm  
[YouTube Time: 0:00](#)

**Note the presence of a quorum**

**Commissioners Members Present In-Person:** Mike Neal, Billy Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty.

**Commissioners Present Virtually:** None.

**Commissioners Absent:** Omar Khan, Kurt Wanninger, Ryan Mooney.

**City Staff Present In-Person:** Kevin Todd, Community Development Director; Daine Crabtree, Current Planning Manager; Weston Rogers, Senior Planner.

**City Staff Present Virtually:** None.

**Legal Counsel Present:** Nicole Buskill, City of Westfield.

**Announce any changes to Agenda**

**Approval of Minutes - March 16, 2026**

Motion: Approve March 16, 2026, APC Meeting Minutes  
By: Victor McCarty  
Seconded: Stephanie Carlson

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney

No: None

Abstain: None

Motion Determination: Passed

**Review Rules of Procedure**

Rogers reviewed APC rules and procedures.

**CONSENT AGENDA**

[YouTube Time: 3:30](#)

Motion: Approve Consent Agenda items

By: Robert Horkay

Seconded: Victor McCarty

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney  
No: None  
Abstain: None

Motion Determination: Passed

**2406-DDP-15**

**Towne Run Commercial**

**2415 Towne Run Road**

**LOR Corporation by Terra Site Development requests Detailed Development Plan review of two (2) commercial buildings totaling 22,167 SF located on 2.19 acres +/- in the Towne Run Planned Unit Development (PUD) District.**

**(Planner: Lauren Gillingham-Teague - [Lgillingham@westfield.in.gov](mailto:Lgillingham@westfield.in.gov))**

**ITEMS OF BUSINESS**

No items.

**PUBLIC HEARING ITEMS**

**2604-PUD-05**

**Grand Park Planned Unit Development (PUD), Amendment IV**

**West Side of Grand Park Boulevard, approximately 0.25 miles south of 191st Street**

**Keystone Realty Group, LLC by Barnes & Thornburg, LLP requests an amendment to 4.95 acres +/- of the Grand Park Planned Unit Development (PUD) District to permit multi-family dwellings.**

**(Planner: Daine Crabtree - [Dcrabtree@westfield.in.gov](mailto:Dcrabtree@westfield.in.gov))**

[YouTube Time: 4:11](#)

Staff presentation / Petitioner presentation

Public Hearing for 2604-PUD-05 opened at 7:05 p.m.

-One (1) public comment.

Public Hearing for 2604-PUD-05 closed at 7:06 p.m.

APC questions and comments / Petitioner responses.

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Motion: Waive Workshop for 2604-PUD-05

By: Victor McCarty

Seconded: Stephanie Carlson

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney

No: None

Abstain: None

Motion Determination: Passed

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Motion: Favorable Recommendation of 2604-PUD-05 to City Council

By: Victor McCarty

Seconded: Robert Horkay

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney

No: None

Abstain: None

Motion Determination: Passed

**2604-PUD-06**

**The Lakes at Freemont Planned Unit Development (PUD), Amendment I**  
**Generally ½ mile north of the intersection at West 193rd Street and Freemont Moore Road**  
**Grand Communities, LLC and Fischer Homes by Nelson & Frankenberger, LLC requests a change**  
**in zoning for 108 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to The Lakes at**  
**Freemont Planned Unit Development (PUD) District.**  
**(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))**

[YouTube Time: 10:26](#)

Staff presentation / Petitioner presentation  
Public Hearing for 2604-PUD-06 opened at 7:26 p.m.  
-Five (5) public comments.  
Public Hearing for 2604-PUD-06 closed at 7:42 p.m.  
APC questions and comments / Petitioner responses.

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No motions called.

**2604-PUD-07**

**Westfield Playhouse Planned Unit Development (PUD), Amendment I**  
**302 North Union Street**  
**Christ United Methodist Church by Church Church Hittle + Antrim requests a change in zoning for**  
**1.03 acres +/- from the SF3: Single-family Medium Density District to Westfield Playhouse Planned**  
**Unit Development (PUD) District.**  
**(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))**

[YouTube Time: 1:00:42](#)

Staff presentation / Petitioner presentation  
Public Hearing for 2604-PUD-07 opened at 8:08 p.m.  
-Four (4) public comments.  
Public Hearing for 2604-PUD-07 closed at 8:15 p.m.  
APC questions and comments / Petitioner responses.

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Motion: Waive 2604-PUD-07 Workshop  
By: William Bunkowfst  
Seconded: Robert Horkay

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney  
No: None  
Abstain: None

Motion Determination: Passed

**ITEMS CONTINUED TO A FUTURE MEETING**

**2603-PUD-03 (anticipated workshop on 4/20/26, subject to change)**

**199<sup>th</sup> & Monon Planned Unit Development (PUD) Amendment I**  
**South of and adjacent to 199th Street and west of the Monon Trail**  
**Onyx & East, LLC by Nelson & Frankenberger LLC requests a chang in zoning for 7.5 acres +/- from**  
**the AG-SF1: Agriculture/Single-Family Rural District to the 199th & Monon Planned Unit**  
**Development (PUD) District.**

(Planner: Daine Crabtree - [Dcrabtree@westfield.in.gov](mailto:Dcrabtree@westfield.in.gov))

**2603-PUD-04 (anticipated workshop on 4/20/26, subject to change)**

**Trace Commons Planned Unit Development (PUD)**

**South of State Road 32, about 1,000 feet East of Gunther Boulevard, & North of the Midland Trace Trail**

**Level 2 Development, represented by Church Church Hittle + Antrim, request a change of zoning for 19.4 acres +/- from the GB: General Business and GB-PD: General Business-Planned Development Districts to the Trace Commons Planned Unit Development (PUD) District.**

(Planner: Ryan Collingwood - [Rcollingwood@westfield.in.gov](mailto:Rcollingwood@westfield.in.gov))

## **WITHDRAWN ITEMS**

**2512-PUD-22**

**Sugarleaf Planned Unit Development (PUD)**

**2432 East 171st Street**

**David Weekley Homes, represented by Nelson & Frankenberger, LLC requests a change in zoning for 10.3 acres from the AG-SF1 and Sanders Glen Planned Unit Development (PUD) Districts to the Sugarleaf Planned Unit Development (PUD) District.**

(Planner: Lauren Gillingham-Teague - [Lgillingham@westfield.in.gov](mailto:Lgillingham@westfield.in.gov))

## **REPORTS/COMMENTS**

[YouTube Time: 1:37:43](#)

**Plan Commission Members**

**City Council Liaison**

**Board of Zoning Appeals Liaison**

**Plat Committee Liaison**

**Community Development Department**

## **ADJOURNMENT**

**Adjourn**

Motion: Adjourn

By: Victor McCarty

Seconded: Robert Horkay

Yes: Michael Neal, William Bunkowfst, Robert Horkay, Mark Keen, Stephanie Carlson, Victor McCarty, Ryan Mooney

No: None

Abstain: None

Motion Determination: Passed



**A quorum of the Common Council may be present**

[Online Viewable](#)

**OPENING OF REGULAR MEETING**

7:00pm

[YouTube Time: 0:00](#)

**Note the presence of a quorum**

**Commissioners Members Present In-Person:** Mike Neal, Robert Horkay, Mark Keen, Ryan Mooney, Stephanie Carlson, Omar Khan, Kurt Wanninger.

**Commissioners Present Virtually:** Victor McCarty.

**Commissioners Absent:** Billy Bunkowfst.

**City Staff Present In-Person:** Kevin Todd, Community Development Director; Lauren Gillingham-Teague, Senior Planner; Ryan Collingwood, Senior Associate Planner; Jenell Fairman, Community and Economic Development Chief.

**City Staff Present Virtually:** None.

**Legal Counsel Present:** Nicole Buskill, City of Westfield.

**Announce any changes to Agenda**

**Approval of Minutes - April 6, 2026 (will be available at the Wednesday, May 6, 2026, APC Meeting)**

**Review Rules of Procedure**

Gillingham-Teague reviewed APC rules and procedures.

**CONSENT AGENDA**

[YouTube Time: 1:32](#)

Motion: Approve

By: Mark Keen

Seconded: Stephanie Carlson

Yes: Michael Neal, Robert Horkay, Mark Keen, Omar Khan, Stephanie Carlson, Victor McCarty, Ryan Mooney, Kurt Wanninger

No: None

Abstain: None

Motion Determination: Passed

**2604-DDP-09**

**Westfield Fire Station 82 (Addition)**

*Generally located at 1920 E. 151st Street.*

City of Westfield, represented by JPS Consulting Engineers, requests Detailed Development Plan review of a 4,658 sq. ft. building addition to the existing fire station on 2.12 acres +/- within the AG-SF1: Agricultural / Single-family Rural District.

*(Planner: Ryan Collingwood - [Rcollingwood@westfield.in.gov](mailto:Rcollingwood@westfield.in.gov))*

**WORKSHOP ITEMS**

**2603-PUD-03**

**199<sup>th</sup> & Monon Planned Unit Development (PUD) Amendment I**

*South of and adjacent to 199th Street and west of the Monon Trail*

Onyx & East, LLC by Nelson & Frankenberger LLC requests a change in zoning for 7.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the 199th & Monon Planned Unit Development (PUD) District.

*(Planner: Daine Crabtree - [Dcrabtree@westfield.in.gov](mailto:Dcrabtree@westfield.in.gov))*

[YouTube Time: 2:17](#)

Staff presentation / Petitioner Presentation / APC Comments & Questions / Petitioner Responses / General Discussion

**2603-PUD-04**

**Trace Commons Planned Unit Development (PUD)**

*South of State Road 32, about 1,000 feet East of Gunther Boulevard, & North of the Midland Trace Trail*

Level 2 Development, represented by Church Church Hittle + Antrim, request a change of zoning for 19.4 acres +/- from the GB: General Business and GB-PD: General Business-Planned Development Districts to the Trace Commons Planned Unit Development (PUD) District.

*(Planner: Ryan Collingwood - [Rcollingwood@westfield.in.gov](mailto:Rcollingwood@westfield.in.gov))*

[YouTube Time: 32:27](#)

Staff presentation / Petitioner Presentation / APC Comments & Questions / Petitioner Responses / General Discussion

**SPECIAL PRESENTATION**

**Grand Park Zoning District**

Introduction of new Grand Park Zoning District and discussion of zoning district development and adoption timeline.

*(Presented by: Jenell Fairman / Lauren Gillingham-Teague)*

[YouTube Time: 52:01](#)

## ITEMS CONTINUED TO A FUTURE MEETING

**2604-PUD-06 (anticipated workshop on 5/18/26, subject to change)**

**The Lakes at Freemont Planned Unit Development (PUD), Amendment I**

**Generally ½ mile north of the intersection at West 193rd Street and Freemont Moore Road**

**Grand Communities, LLC and Fischer Homes by Nelson & Frankenberger, LLC requests a change in zoning for 108 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to The Lakes at Freemont Planned Unit Development (PUD) District.**

**(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))**

**2604-PUD-07 (anticipated recommendation on 5/6/26, subject to change)**

**Westfield Playhouse Planned Unit Development (PUD), Amendment I**

**302 North Union Street**

**Christ United Methodist Church by Church Church Hittle + Antrim requests a change in zoning for 1.66 acres +/- from the SF3: Single-family Medium Density District to Westfield Playhouse Planned Unit Development (PUD) District.**

**(Planner: Weston Rogers - [Wrogers@westfield.in.gov](mailto:Wrogers@westfield.in.gov))**

## REPORTS/COMMENTS

[YouTube Time: 1:35:47](#)

**Plan Commission Members**

**City Council Liaison**

**Board of Zoning Appeals Liaison**

**Plat Committee Liaison**

**Community Development Department**

## ADJOURNMENT

### **Adjourn**

Motion: Adjourn

By: Omar Khan

Seconded: Ryan Mooney

Yes: Michael Neal, Robert Horkay, Mark Keen, Omar Khan, Stephanie Carlson, Victor McCarty, Ryan Mooney, Kurt Wanning

No: None

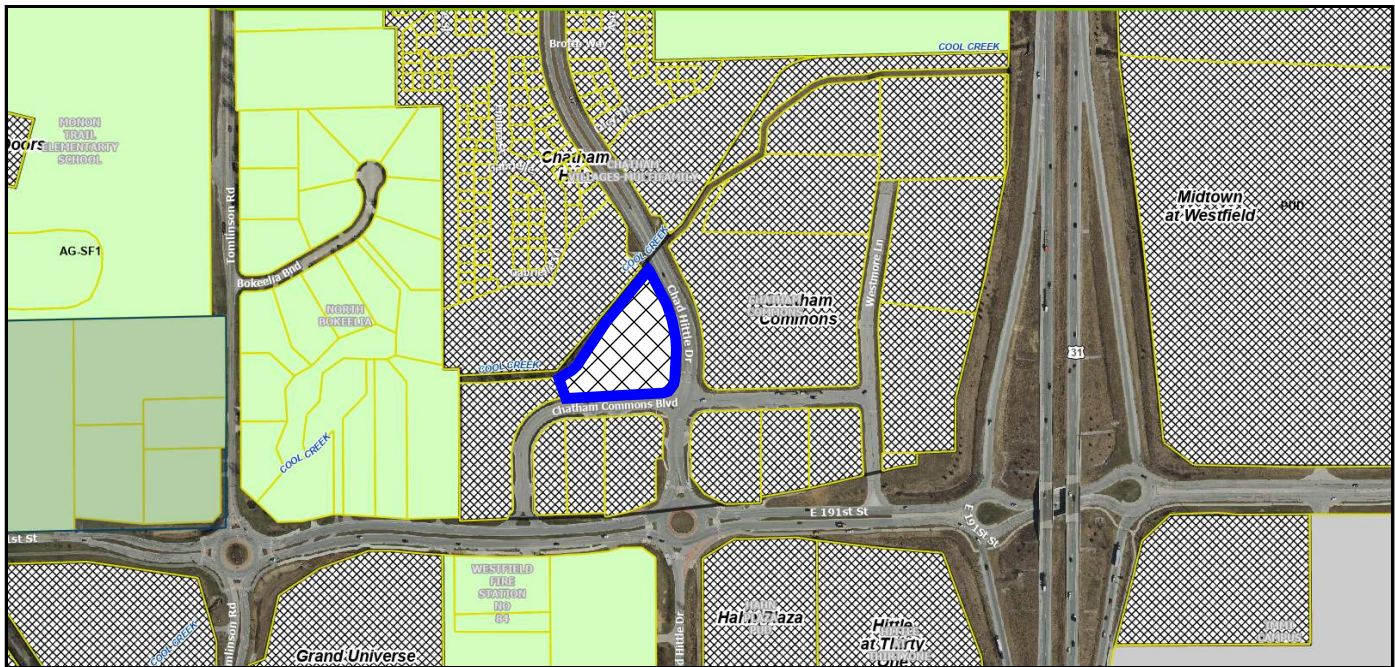
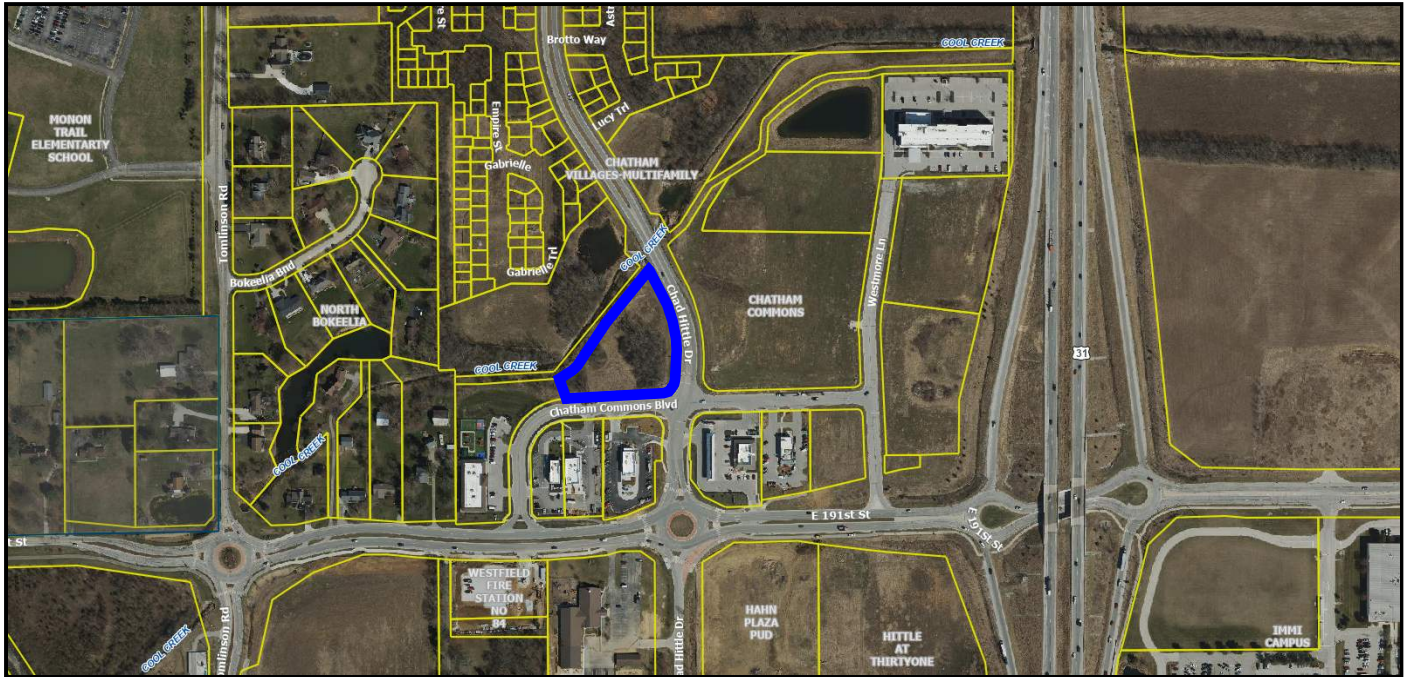
Abstain: None

Motion Determination: Passed

# Project Location Map Chatham Car Wash 2603-DDP-08



 SITE





**Petition Number:** 2603-DDP-08

**Project Name:** Chatham Car Wash

**Subject Property:** 1476 Chatham Commons Blvd. (the "Property")

**Petitioner:** Edgeworth Laskey Properties, LLC

**Representative:** Kimley-Horn and Associates

**Request:** Petitioner requests **Detailed Development Plan** review of a 4,541 SF car wash facility on 1.94 acres +/- in the Chatham Commons Planned Unit Development (PUD) District.

**Current Zoning:** Chatham Commons PUD District

**Current Land Use:** Vacant

**Approximate Acreage:** 1.94 acres +/-

**Property History:** Chatham Commons PUD (Ord. 17-03 / 1703-PUD-03; 4/11/2017)  
Chatham Commons Overall Development Plan & Primary Plat (1703-ODP-01 & 1703-SPP-01, 4/17/2017)

**Staff Reviewer:** Weston Rogers, Senior Planner

**BACKGROUND**

The applicable zoning district is the Chatham Commons Planned Unit Development (PUD) District. The property has an underlying zoning classification of General Business (GB). The project is for a new 4,541 SF car wash facility.

**DEVELOPMENT PLAN (Article 10.7(G) of the UDO):**

**The plans comply.**

- 1) Title, scale, north arrow and date.
- 2) Proposed name of the development.
- 3) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 4) Address and legal description of the property.
- 5) Boundary lines of the property including all dimensions.
- 6) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.



- 7) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 8) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 9) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 10) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 11) Layout, number, dimension and area (in square feet and acres) of all Lots and Out-lots with Building Setback Lines.
- 12) Location and dimensions of all existing structures and paved areas.
- 13) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 14) Location of all Floodplain areas within the boundaries of the property.
- 15) Names of legal ditches and streams on or adjacent to the site.
- 16) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 17) Identify buildings proposed for demolition.
- 18) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 19) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

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**DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):**

**The plans comply.**

- 20) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 21) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 22) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
  - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
  - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
  - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.



- 23) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

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**DISTRICT STANDARDS**

**The plans comply with Article 4.16 (GB District) and Chatham Commons PUD District (Ord. 17 03, Section 8 – General Regulations).**

24) Permitted Uses

- a) All uses permitted in the Underlying Zoning District (GB / General Business), as set forth in Chapter 4 and Chapter 13 of the UDO, shall be permitted unless otherwise noted within the Chatham Commons PUD.
  - i) High Intensity Retail (car wash facility) permitted

25) Minimum Lot Area: No Minimum

26) Minimum Lot Frontage: 80 feet

27) Minimum Building Setback Lines:

- a) Front Yard: Internal to District: 15 feet
- b) Side Yard: No Minimum
- c) Rear Yard: No Minimum

28) Minimum Lot Width: No Minimum

29) Building Height:

- a) District 2 Minimum Building Height:
  - i) One (1) story

30) Maximum Building Height (all districts):

- a) None, except that no structure taller than two (2) stories shall be construction on Out-lot 1 as identified on "Exhibit B" (of Ord. 17-03) so long as adjacent property is used for single-family residential use.

31) Minimum Building Size:

- a) District 2: 3,000 square-foot footprint, shall include outdoor seating area.

32) Maximum Building Size:

- a) 80,000 square-foot footprint per building occupant, except hotel or office uses which shall not have a maximum building size.

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## **DEVELOPMENT STANDARDS**

**The plans comply with Chapter 6 Development Standards and Chatham Commons PUD District (Ord. 17-03, Section 9 – Development Standards), as applicable to a Detailed Development Plan.**

### 33) Accessory use and Building Standards

- a) Garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas, loading areas and other similar facilities shall be completely and permanently screened from view of Rights-of-way and where possible, adjoining properties.
- b) Enclosures shall not be located in an Established Front Yard or in any required Side or Rear Yard. If the Lot contains more than one Established Front Yard, then the Director may approve a location within the Established Front Yard.
- c) Screening methods shall include a solid enclosure on all sides not less than six (6) feet in height above grade or two (2) feet above the receptacle, whichever is greater. The solid enclosure shall be a Masonry Material that matches or complements the Principal Building.
- d) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES.
- e) Enclosures shall be equipped with opaque gates, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES, that shall not be oriented towards residential properties or the Right-of-way, where possible.
- f) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal. Pedestrian access openings shall be substantially similar to those illustrated in FIGURE 6.1(3): DUMPSTER MAN-DOORS.
- g) Enclosures, which include swinging and movable doors, shall be kept closed at all times when said doors are not in active use.
- h) Landscaping shall be provided around enclosures in accordance with Article 6.8 Landscaping Standards.

### 34) Architectural Standards

The Architectural Design Requirements of Article 5.3(K) of the State Highway 32 Overlay District (the "32 Overlay") shall apply to the development of the Real Estate, except as modified by the Chatham Commons PUD.

- a) 5.3(K) Architectural Design Requirements:
  1. General Design Theme Standards: Architectural variation is encouraged. These architectural requirements are intended to provide consistent architectural quality among buildings and other improvements within the corridor. All structures shall be thoughtfully designed in a manner that visually and functionally complements the existing topography.
  2. Building Elevation:

a. All Building Façades shall have a defined base or foundation, a middle or modulated wall, and a top formed by a pitched roof or articulated, three-dimensional cornice as illustrated in FIGURE 5.3(3): BUILDING MODULATION.

i. Building Façades, which are ninety (90) feet or greater in length, shall be designed with offsets (projecting or recessed) at intervals of not greater than sixty (60) feet.

ii. Buildings less than ten thousand (10,000) square feet in Gross Floor Area shall be designed with offsets at interval of not greater than forty (40) feet.

iii. Offsets shall extend the entire vertical plane of the Building Façade and shall be a minimum depth of four (4) feet and a minimum aggregate length of twenty percent (20%) of the horizontal plane of the overall Building Façade.

iv. Building footprint modulation offset may be met with setbacks of the Building Façade and/or with architectural elements (i.e., arcades, columns, ribs, piers, and pilasters), if such architectural elements meet the minimum offset requirements of this requirement.

c. Buildings shall be constructed with the same building material quality and level of architectural detail on all Building Façades (e.g., 360 degree architecture).

d. Openings:

i. Design elements of the Building Façade shall be organized such that openings (including windows, doors, loading berths, faux windows and architectural or painted elements resembling openings) line up horizontally and vertically with other openings, as illustrated in FIGURE 5.3(5): DESIGN BALANCE.

ii. Openings in a Building Façade shall be arranged in a balanced, relatively uniform fashion (see FIGURE 5.3(6): BALANCE OF OPENINGS).

iii. Exceptions may be permitted if openings are organized in an aesthetically pleasing manner and constitute an essential artistic design element appropriate for the building type, scale, orientation, location and site.

e. Gutters and Downspouts: Shall be visually integrated with the architectural style of the structure. The color of gutters and downspouts shall be selected to complement or to be consistent with the building materials.

f. Roofs:

ii. Flat Roofs:

- (a) Flat roofs are permitted if edged by a parapet wall with an articulated, three-dimensional cornice as illustrated in FIGURE 5.3(9): ARTICULATED CORNICE.
- (b) Parapet walls shall be fully integrated into the architectural design of the building to create seamless design transitions between the main building mass and roof-mounted architectural elements (which may include screening elements for roof-mounted equipment).
- (c) Modulation or variation of the roofs and/or roof lines shall be required in order to eliminate the appearance of box-shaped buildings. Buildings shall comply with at least one (1) of the following:
  - (1) A building with a flat roof shall have varying roof height sections, as illustrated in FIGURE 5.3(10): FLAT ROOF VARIATION. A varied roof section shall have a minimum roof height difference of five (5) feet from an adjacent roof section. The maximum horizontal roof line length without variation shall be sixty percent (60%) of the total length of the Building Façade's roof line.
  - (2) A roof line modulation shall include a vertical change in the visible roof line of at least four (4) feet, with a minimum aggregate modulation length of forty percent (40%) of each Building Façade, as illustrated in FIGURE 5.3(11): FLAT ROOF - ROOF LINE MODULATION. The maximum horizontal roof line length without modulation shall be sixty (60) feet, or forty (40) feet for Buildings with a Gross Floor Area less than ten thousand (10,000) square feet.

iii. Dormers and cupolas shall be designed with appropriate details, proportion and style consistent with the overall building composition and roofed with symmetrical gable, hip or barrel roofs (see FIGURE 5.3(12): DORMERS AND CUPOLAS).

iv. All visible vents, attic ventilators, turbines, flues and other visible roof penetrations shall be: (a) painted to match the color of the roof or flat black; and (b) oriented to minimize their visibility from adjacent Lots and Streets.

g. Main Entrances:

- i. All buildings shall be designed with a main entrance and at least two (2) window openings associated with the main entrance.
- ii. Building entrances shall be clearly defined and articulated by multiple architectural elements such as lintels, pediments, pilasters, columns, awnings, porticos and other design elements appropriate to the architectural style and details of the building as a whole.
- iii. The location, orientation, proportion and style of doors shall complement the style of the building.

h. Windows:

- i. All window designs shall be compatible with the style, materials, color, details and proportion of the building. The number of windowpanes, the number of window openings, window trim and other architectural design elements designed to accent the windows shall be consistent with and complementary to the architectural style of the building (see FIGURE 5.3(14): WINDOW DESIGNS).
- ii. Window trim and other architecture design elements designed to accent the windows shall be required for all windows. Acceptable design elements include shutters, keystones, masonry arches, awnings, decorative stone frames, masonry rowlock frames, as illustrated in FIGURE 5.3(15): WINDOW ACCENTS, or other such trim or design elements as approved by the Plan Commission or Director (see FIGURE 5.3(15): WINDOW ACCENTS).

i. Awnings:

- i. Fixed or retractable awnings are permitted if they complement the building's architectural style, material, colors and details, as illustrated in FIGURE 5.3(16): AWNINGS.
- ii. Awnings shall be made of a nonreflective material.
- iii. All awnings shall be kept in good repair.
- iv. Awnings used to comply with the architectural design requirements of this Article shall not be removed unless the Building Façade would otherwise comply with such architectural design requirements without such awnings.

j. Building Materials:

- i. Masonry Materials shall be the preferred and primary exterior building material used on buildings within the corridor.



- ii. Masonry Materials shall be used to create a wainscot or brick-wrap effect around buildings.
- iii. A minimum of sixty percent (60%) of each Building Façade, exclusive of windows (including faux windows and glazing), doors and loading berths, shall be covered with Masonry Materials.
- iv. No more than twenty-five percent (25%) of each Building Façade, exclusive of windows (including faux windows and glazing), doors and loading berths, may be covered with metal, Fiber Cement Siding, Polymeric Cladding, E.I.F.S., stucco, or vinyl exterior building materials.
- v. In order to create an aesthetically pleasing appearance and to create an appearance of high-quality, visually interesting architecture, increased and enhanced use of Masonry Material and other architectural ornamentation shall be required around building entrances and on Building Façades visible from State Highway 32.

- k. Accessory Buildings: All Accessory Buildings shall be architecturally compatible with the Principal Building(s) with which they are associated.

35) Building Standards (*Article 6.4*)

36) Fence Standards (*Article 6.5*)

a) Applicability:

- i) These standards shall apply to all Zoning Districts.

b) Location:

- i) Fences may be built directly along Lot Lines; however, fences shall not encroach into the Right-of-way, nor into easements that otherwise prohibit the installation of fences (e.g., drainage and utility easements).

c) Height Limitations:

- i) Fence height is measured from the topmost point thereof to the grade of the ground adjacent to the fence. Any fence placed upon an erected mound or berm or masonry wall must govern its total height to the limitations herein.
- ii) Fences located within a required Side or Rear Yard of a residential Lot shall not exceed six (6) feet in height.
- iii) Fences located within a required or Established Front Yard of a residential Lot shall not exceed forty-two (42) inches in height.
- iv) Open wire mesh fences surrounding sports courts that only enclose a regulation court area and standard apron areas may be erected to a height of sixteen (16) feet.



- v) Fences enclosing an Institutional Use or a business or industrial property may consist of an open mesh fence not to exceed a height of ten (10) feet, unless otherwise further restricted by this Ordinance.
  - vi) Fences for Agricultural Uses shall not be subject to height limitations.
  - vii) Fences within Common Areas of residential Subdivisions shall not exceed eight (8) feet in height, except as otherwise permitted by herein.
  - d) Opaque Fences:
    - i) Fences shall be installed so the finished side of the fence is facing outward (e.g., toward the Lot Line). Fences on a Lot Line in which two (2) or more Property Owners share in the expense of the fence shall not be subject to this provision.
  - e) Outdoor Screening:
    - i) Fences for screening of permitted outside storage or display areas shall also comply with Article 6.12 Outside Storage and Display.
  - f) Vision Clearance:
    - i) Fences shall comply with Article 6.19 Vision Clearance Standards.
  - g) Declaration of Covenants:
    - i) Property Owners are advised to refer to their Subdivision's Declaration of Covenants and Restrictions, if applicable, which may impose greater restrictions than are found herein.
- 37) Height Standards (*Article 6.6*)
- 38) Landscaping Standards (*Article 6.8*)
- a) Content of Landscape Plan:
    - i) Landscape Plans shall comply with the following standards:
      - (1) Landscape Plans shall be submitted for all required landscaping, green belt buffer areas, Buffer Yards, Open Space areas, conservation easements, landscape easements, and areas owned in common within proposed developments. It is recommended that Landscape Plans be prepared by licensed landscape architects, nurserymen, or other professionals experienced in landscape design, installation, and maintenance. A narrative describing ownership, Use, and maintenance responsibilities of these areas should be specified in the submittal.
      - (2) Landscape Plans show the entire project drawn to scale on standard sized sheets (minimum 24" x 36") and shall contain the following information:
        - (a) Names and addresses of Property Owners, developers, plan preparer, plan preparation date, scale, and north arrow.
        - (b) Locations and dimensions of all existing and proposed structures, Parking Areas, driveways, Streets, Private Streets, Rights-of-way, sidewalks, pedestrian pathways, bicycle pathways, ground Signs, refuse disposal areas, bicycle parking areas, freestanding electrical equipment, recreation facilities, utility lines, easements,

freestanding structural features, landscape improvements, earth berms, walls, fences, screens, sculptures, fountains, street furniture, lights, courts, paved areas, Buffer Yards, and Open Space.

- (c) Locations, quantities, sizes, and names (botanical names and common names) - of planting materials.
- (d) Existing and proposed grading plans, indicating contours at not more than two-foot (2') intervals.
- (e) Locations of barriers to be placed at or beyond driplines of trees to be preserved and types of materials to be used for barriers.
- (f) Planting and installation details as necessary to ensure conformance with required standards.
- (g) Details including specific grading measures or protective devices to be utilized where trees are to be preserved in areas of cut and fill.
- (h) Location of dense trees and shrubs, and other Natural Areas which are to be preserved or removed.
- (i) An inventory of existing trees to be credited and preserved may be shown on the Landscape Plan, or separately, as otherwise set forth in this Article, which may include tables clearly displaying relevant statistical information (including numbers of existing trees and numbers of trees preserved, for example).

b) Selection, Installation, and Maintenance of Plant Materials:

- i) Selection: The minimum sizes set forth below shall apply to required plantings at installation, unless otherwise specified herein.
  - (1) Shade Trees: A minimum of eight (8) feet in height and two (2) inches in Caliper. Shall be of a variety that will attain an average mature spread greater than twenty (20) feet.
  - (2) Evergreen Trees: A minimum of six (6) feet in height.
  - (3) Ornamental Trees: A minimum of two (2) inches in Caliper.
  - (4) Shrubs: A minimum of eighteen (18) inches in height.
  - (5) Credit for Larger Trees: A proportional decrease in the required number of trees is allowed if larger Caliper trees than required herein are planted (e.g., trees with Caliper measures of four (4) inches may replace two (2) required two (2) inch Caliper trees).

c) General Landscaping Design Standards:

- i) Consultation: A landscape architect, nurseryman, or other professional experienced in the installation and care of plant materials shall be consulted to ensure that proposed plants are appropriate and will survive.
- ii) Scale and Nature of Landscaping: The scale and nature of landscaping materials shall be appropriate to the size of proposed structures. Largescale buildings should be complemented by large-scale plants. Form, texture, color, pattern of growth, and adaptability to local conditions shall be considered when selecting plant materials.

- iii) Groundcover: Landscape Plans shall clearly identify areas for Groundcover. Groundcover is not required for:
  - (1) decorative mulch planting beds containing stone or other inert materials, trees and/ or shrubs;
  - (2) inert stabilization in areas subject to severe runoff or erosion;
  - (3) low impact development areas (e.g., rain gardens). Areas not so designated shall be required to have grass or other Groundcover and shall be used in all green space areas and Yards, including, but not limited to required mounds and Parking Area landscape islands.
- iv) Placement: Installed plantings shall comply with the following:
  - (1) Clearance with Structures: Trees shall be planted so that when they reach maturity, there will be a minimum of five (5) feet of clearance between tree trunks and structures, building overhangs, walls, fences, and other trees.
  - (2) Vision Clearance: Plantings and mounds shall also comply with Article 6.19 Vision Clearance Standards.
  - (3) Right-of-way: With the exception of Street Trees, as required herein, or trees as may otherwise be approved by the Plan Commission or Public Works Department, landscape material shall not be planted or placed in Rights-of-way or easements without permission from the City or the easement holder.
  - (4) Minimum Distance from Sidewalk and Curb: Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.
  - (5) Minimum Distance from Stormwater Structures: Trees shall be planted a minimum distance of ten (10) feet from any storm sewer or subsurface drain, unless otherwise permitted in accordance with the City's Construction Standards or approved in writing by the Public Works Department.
- v) Easements: Required landscaping should be located in landscape easements or designated Common Areas that are exclusive of utility or drainage easements that would otherwise prohibit the required landscaping.
- vi) Arrangement: A natural or irregular row and spacing of plantings is preferred. Trees and shrubs should be grouped or clustered where possible to simulate natural tree stands.
- vii) In-lieu Fee:
  - (1) If the Director of Parks and Recreation, or their designee, determines that the site cannot feasibly accommodate a required tree, all or part of the applicable planting requirement may be waived.
  - (2) All waived trees shall be subject to a mandatory in-lieu fee of three hundred dollars (\$300) per tree, to be paid into the Greenspace Beautification Fund.
- viii) Energy Conservation: Plantings shall be arranged to promote energy conservation wherever practical. This includes using deciduous trees on the south and west sides of buildings to

- provide shade from summer sun and planting evergreens on the north of buildings to insulate against winter winds.
- ix) Noise Reduction: Properties adjacent to highly trafficked Streets or businesses shall arrange landscaping to reduce the intensity of noise by reflecting, deflecting, or absorbing sound. Some techniques to accomplish this include using berms, walls, fences, or plantings to provide physical separation and to absorb noise.
- d) General Screening Standards:
- i) Mechanical Screening:
- (1) Wall and ground-mounted Mechanical Equipment for nonresidential or multi-family structures shall be completely screened from all ground-level viewpoints. Clearance for proper functioning of the equipment and access to the equipment for maintenance shall be incorporated into the design. Screening may be achieved by using either:
- (a) a wall or fence constructed of Masonry Material, wood, fiber cement, that is visually integrated to the adjacent building façade with a minimum height that fully screens the equipment;
- (b) a solid evergreen screen with a combination of trees and shrubs;
- (c) a combination of the aforementioned. (See also Article 6.3 Architectural Standards for roof-mounted equipment.)
- ii) Service and Loading Areas:
- (1) Loading areas, loading docks, service areas, and maintenance areas shall be screened from residential Uses and Rights-of-way. Screening shall be achieved by using either:
- (a) a six-foot (6') high, completely opaque fence or wall;
- (b) a six-foot (6') high berm;
- (c) a six-foot (6') high screen of evergreen trees planted nine (9) feet on center in a double staggered row; or
- (d) a combination of the aforementioned that accomplishes the same effect. See also Article 6.1 Accessory Use and Building Standards regarding dumpster enclosures.
- e) Detention and Retention Areas:
- i) Natural Appearances:
- (1) Detention and Retention Areas shall be landscaped in a manner that replicates the natural form of ponds and shall include shade trees, ornamental trees, evergreens, shrubs, hedges, and/or other plantings (see also Minimum Lot Landscaping Requirements and Article 8.6 Open Space and Amenity Standards).
- (2) Wetlands/aquatic vegetation planted around the wet perimeter of such areas should be utilized to further this design objective; however, if such plantings are utilized for water quality control, then Landscape Plans shall be prepared and stamped by a licensed landscape architect.



- (3) Detention and Retention Areas shall be designed to be natural in appearance, with meandering edges.
- f) Street Trees
  - i) Requirement: Street Trees shall be required within the Right-of-way of all new or re-developed Local Streets (public or private) in residential Major Subdivisions.
- g) Minimum Lot Landscaping Requirements:
  - i) Yards and Open Space areas of all Lots shall be landscaped in accordance with this section (the "Minimum Lot Landscaping Requirements")
    - (1) Business Uses:
      - (a) 10 Shade Trees / Acre, 10 Ornamental or Evergreen Trees / Acre, and 25 Shrubs / Acre of overall development.

<b>Lot Landscaping (1.94 acres)</b>			
Business Use (per acre)	Required	Provided	Deficient
10 Shade Trees	<b>19</b>	<b>19</b>	<b>0</b>
10 Ornamental or Evergreen Trees	<b>19</b>	<b>27</b>	<b>0</b>
25 Shrubs	<b>49</b>	<b>49+</b>	<b>0</b>

- ii) Credit:
  - (1) All other landscaping plantings required by this Article to be located on the subject Lot (e.g., Foundation Plantings, Parking Area Landscaping) or within an Open Space/Common Area (e.g., Buffer Yard Landscaping, External Street Frontage Landscaping) may be credited toward the individual Lot's or Open Space/Common Area's Lot Landscaping Requirement at a 1:1 ratio, with the exception of Street Trees, as otherwise set forth herein, which may not be credited.
- h) Foundation Plantings:
  - i) Foundation plantings shall be provided as follows:
    - (1) Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Façades, fences, and other barriers to create a softening effect.
    - (2) Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet (Single-family Dwelling and Duplex Dwelling buildings are exempt from this requirement).



<b>Northeast Façade (facing Chad Hittle Drive) (est. 114 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 12 LF	<b>10</b>	<b>10+</b>	<b>0</b>

<b>Southeast Façade (est. 26 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 12 LF	<b>2</b>	<b>2+</b>	<b>0</b>

<b>Southwest Façade (facing Chatham Commons Blvd.) (est. 114 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 12 LF	<b>10</b>	<b>10+</b>	<b>0</b>

- (3) The primary landscaping material used shall be ornamental trees, shrubs, and ornamental grasses. Groundcover plants may supplement the required plant materials. Plantings may be clustered to provide a more natural appearance and to accommodate vehicular and pedestrian access, loading and maintenance areas.
  - (4) Plantings shall be located within fifteen (15) feet of the Building Façade, fence or other barrier being softened, and shall occur within planting beds at least eight (8) feet in width.
  - (5) Monument Signs shall include a landscaped area at the base of the Monument Sign. The minimum size of the landscaped area shall be equivalent to one (1) side of the Monument Sign's Sign Face. The landscaped area shall be substantially covered with a variety of planting types such as Groundcover, perennials, shrubs, and ornamental trees.
- i) External Street Frontage Landscaping Requirements:
- i) A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any nonresidential development. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental trees and twenty-five (25) shrubs per one hundred (100) lineal feet.
  - ii) This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-way.



<b>Chad Hittle Drive (est. 400 LF)</b>			
	Required	Provided	Deficient
3 Shade or Evergreen Trees / 100 LF	<b>12</b>	<b>12+</b>	<b>0</b>
2 Ornamental Trees / 100 LF	<b>8</b>	<b>8</b>	<b>0</b>
25 Shrubs / 100 LF	<b>100</b>	<b>100</b>	<b>0</b>

\* Please disperse the required landscape along the entire Chad Hittle Drive frontage

j) Buffer Yard Requirements:

i) Per Ord. 17-03, Section 9.4 UDO Article 6.8(N) shall not apply.

k) Parking Area Landscaping:

i) This section shall apply to Parking Areas in order to: (i) screen Parking Areas from Right-of-way; (ii) prevent the creation of large expanses of paving; and (iii) provide shade to paved areas.

ii) Interior Parking Area Landscaping:

(1) Minimum Area Required: A minimum landscape area of Parking Areas shall be set aside for Parking Area islands in accordance with the following:

(a) 5-24 or more spaces = 5% of parking area to be landscape islands

<b>Interior Parking Area Landscaping</b>			
<b>Size</b>	Required (5%)	Provided	Deficient
+/- 4,000 SF	<b>200 SF</b>	<b>200+ SF</b>	<b>0</b>

Interior Parking Area Islands:

(b) Location: Parking Area islands shall be dispersed throughout Parking Areas in a design and configuration that aesthetically corresponds to the size and shape of Parking Areas. Combining or placing Parking Area islands together such that more than one (1) tree may be planted in the island shall be considered when possible.

(c) Parking Area islands shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.

(d) Design: Parking Area islands shall be: (a) constructed at least six (6) inches above the surface of Parking Areas and curbed in a manner that restricts vehicles from driving over landscaped areas; (b) a minimum area of one hundred twenty (120) square feet; and (c) a minimum of seven (7) feet in width, measured from back of curb to back of curb.

(e) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred percent (100%) of every island shall be covered with permitted Groundcover material to achieve complete coverage.



Parking Area Islands			
Parking Islands	Required	Provided	Deficient
Trees (1 / Parking Island)	3	3	0
Shrubs (4 / Parking Island)	4 / island	4+ / island	0

(f) Vision Clearance: No landscaping within Parking Area islands may unreasonably obstruct visibility for vehicles entering, maneuvering in, or exiting Parking Areas. Such landscaping shall be constructed in compliance with Article 6.19 Vision Clearance Standards.

iii) Perimeter Parking Area Landscaping:

- (1) Application: Perimeter landscaping is required for Parking Areas with ten (10) or more spaces where the Parking Area is located within: (i) an Established Front Yard; (ii) a required Yard; or (iii) twenty (20) feet of a Lot Line or Right-of-way line. In instances where parking is shared between adjacent Lots, the standards of this article shall not apply to the shared Lot Line.
- (2) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
  - (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.
  - (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.
  - (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

South Parking Lot Perimeter (Est. 130')			
	Required	Provided	Deficient
1 tree per 30 LF	4	5	0
1 shrub per 3 LF	43	43	0

(3) Drive Aisles: Plantings within the perimeter Parking Area landscape areas between drive aisles and a Rear or Side Lot Line may be reduced by up to fifty percent (50%) of the required plantings above, if no Parking Spaces are located between the Lot Line and the drive aisle.

39) Lighting Standards (Article 6.9)

a) General Lighting Standards:

- i) All Light Fixtures, with the exception of internally-illuminated Signs or Electronic Signage, shall be Fully Shielded and direct light downward toward the earth's surface.



- ii) All lighting sources shall be directed away from reflective surfaces to minimize glare upon adjacent Lots and Rights-of-way.
  - iii) All lighting sources, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner as to direct light away from adjacent Lots and Rights-of-way.
  - iv) Light pole height shall not exceed twenty-five (25) feet. All Light Fixtures in Parking Areas shall be designed and located to confine emitted light to the Parking Area.
  - v) All Light Fixtures shall meet City Building Code requirements for their appropriate construction class.
- b) Multi-family Residential, Business, and Industrial Standards:
- i) All Light Fixtures, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner so that no light-emitting surface is visible from a residential Lot Right-of-way when viewed at ground level.
  - ii) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) footcandle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]
  - iii) All lights on poles, stands, or mounted on a building shall have a shield, adjustable reflector, and non-protruding diffuser.
  - iv) All canopy structures shall have lights with diffusers which are recessed, and which do not extend below the surface of the canopy as measured on a plane parallel to the earth's surface.
  - v) Lighting under awnings and canopies shall only illuminate a Front Building Façade, a Sign under an awning or canopy as measured on a plane parallel to the earth's surface.
  - vi) All Parking Area lighting for nonresidential Uses shall be reduced (e.g., turned off or dimmed) by a minimum of thirty percent (30%) within thirty (30) minutes of closing of the last business or no later than 11:00 p.m.

40) Lot Standards (Article 6.10)

41) Outside Storage and Display (Article 6.12)

- a) Business Districts and Business Uses: The following shall apply to Business Districts and Business Uses permitted in other Zoning Districts:
  - i) Outside Storage:
    - (1) Outside Storage shall only be permitted if delineated on an approved Development Plan and in accordance with the following:
      - (a) Size: A Lot's Outside Storage area shall not exceed fifty percent (50%) of the Lot's Principal Buildings' gross floor area.
      - (b) Location: Outside Storage areas:
        - (i) Shall be located immediately adjacent to the Principal Building.

- (ii) Shall not encroach into any required Rear or Side Yard.
  - (iii) Shall be prohibited in an Established Front Yard.
  - (iv) Shall be delineated on an approved Development Plan.
  - (c) Screening: Outside Storage areas shall be incorporated into the building's design as part of the Principal Building as follows:
    - (i) Outside Storage areas shall be completely screened from view from any adjacent property or Right-of-way
    - (ii) Outside Storage areas shall be screened on all sides with a solid wall, not less than seven (7) feet in height, consisting of Masonry Materials that compliment the Principal Building.
    - (iii) Perimeter access into Outside Storage areas shall not be oriented toward a Front Yard. Gates shall be required for such access and shall be opaque and architecturally compatible with the materials used on the Principal Building. A chain link fence or a variation of a chain link fence combination shall not constitute an acceptable gate material.
  - (d) Storage Restrictions: All materials, product or merchandise stored in an Outside Storage area shall be stacked no higher than one (1) foot below the top of the wall.
- ii) Outside Sales Display:
- (1) Permitted Use: Outside Sales Displays, including vending machines, kiosks, and outdoor point of sale items (e.g., flowers, propane, salt, firewood), shall be prohibited, except for the following:
    - (a) Automobile dealerships, and other similar Uses as determined by the Director or Plan Commission.
    - (b) Outside Sales Displays that otherwise comply with the Outside Storage standards set forth in this Article.
    - (c) Merchandise associated with a temporary Use or event conducted pursuant to Article 6.18 Temporary Uses and Events.
  - (2) Approval: Any proposed Outside Sales Display shall be delineated on an approved Development Plan and subject to approval by the Plan Commission, except as otherwise permitted by Article 6.18 Temporary Uses and Events, and subject to the following:
    - (a) The Development Plan shall include the types of merchandise and/or finished products, location, landscaping and other improvement of the Outside Sales Display area.
    - (b) Pedestrian circulation areas shall not be obstructed and enhancements may be required by the Director or Plan Commission to ensure safe pedestrian movements.
    - (c) The Director or Plan Commission may require enhanced site design features to ensure that Outside Sales Display areas are delineated and that such areas are compatible with the design of the building and site context.



(d) In addition to the standards of the Zoning District, the Plan Commission or Director may require enhanced screening or landscaping to ensure the compatibility of the proposed Use with adjoining areas.

(e) Once approved, the Outside Sales Display area shall not be materially or substantially changed or altered without the approval of an amendment to a Development Plan.

42) Parking and Loading Standards (Article 6.14)

a) Required Parking Spaces

i) Other Uses: Parking Space requirements for other Uses shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished. Parking data shall demonstrate an appropriate amount of parking will be provided for the proposed business / operational use of the property.

b) Required Bicycle Parking:

i) Number of Spaces: A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.

43) Setback Standards (Article 6.16)

44) Sign Standards (Article 6.17)

45) Vision Clearance Standards (Article 6.19)

46) Yard Standards (Article 6.21)

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**DESIGN STANDARDS (Chapter 8 of UDO)**

**The plans comply.**

47) Block Standards (Article 8.1)

48) Easement Standards (Article 8.3)

49) Monument and Marker Standards (Article 8.5)

50) Pedestrian Network Standards (Article 8.7)

51) Storm Water Standards (Article 8.8)

52) Street and Right-of-Way Standards (Article 8.9)

53) Street Light Standards (Article 8.10)

54) Street Sign Standards (Article 8.11)

55) Surety Standards (Article 8.12)

56) Utility Standards (Article 8.13)



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**DEPARTMENT COMMENTS:**

**The plans presented comply with the applicable zoning ordinances.**

Requested Action: Approve 2603-DDP-08 with the following conditions:

- That all necessary approvals be obtained from the Westfield Public Works Department prior to any work beginning on the Property.

Please contact Weston Rogers at [wrogers@westfield.in.gov](mailto:wrogers@westfield.in.gov) or (317) 408-9895 with questions prior to the meeting.

Drawing name: K:\IND\DEV\170161001\_19181 at carwash\_westfield.in V2 Design\CADD\plan\sheds\C3.0-SITE PLAN.dwg C3.0 Apr 28, 2026 11:27am by Casey/Fiscoble  
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Indiana Utilities Protection Service

# Call 811

before you dig

PLANNING COMMENTS	CWF	DATE	BY
	03/24/26		
	04/24/26		
	04/28/26		

### EXISTING LEGEND

○ BOLLARD	○ MISC LID	○ YARD LIGHT
⊕ CONTROL BENCHMARK	⊕ MONITOR WELL	○ SANITARY CLEANOUT
⊕ ROW MONUMENT	⊕ GAS MARKER	○ SANITARY MANHOLE
⊕ FLAG POLE	⊕ GAS METER	○ VENT PIPE
⊕ MAIL BOX	⊕ GAS VALVE	○ STORM CURB INLET
○ UTILITY POLE	⊕ AC UNIT	○ STORM INLET
○ POST	⊕ AREA LIGHT	○ STORM ROOF DRAIN
○ SOIL BORING	⊕ ELECTRICAL BOX	○ STORM DRAIN MANHOLE
○ HANDICAP SYMBOL	⊕ ELECTRICAL HAND HOLE	○ STORM YARD DRAIN
○ SIGN	⊕ ELECTRICAL METER	○ FIRE DEPT CONNECTION
○ CABLE MANHOLE	⊕ ELECTRICAL MANHOLE	○ FIRE HYDRANT
○ CABLE PEDESTAL	⊕ ELECTRICAL MARKER	○ IRRIGATION VALVE
○ TELEPHONE PEDESTAL	⊕ ELECTRICAL TRANSFORMER	○ POST INDICATOR VALVE
○ TELEPHONE HAND HOLE	⊕ POWER POLE	○ WELL
○ TELEPHONE MARKER	⊕ TRAFFIC SIGNAL POLE	○ WATER METER
○ TELEPHONE MANHOLE	⊕ TRAFFIC MANHOLE	○ WATER VALVE
○ FIBER OPTIC MARKER	○ TREE / STUMP	
○ SWALE	○ TOE OF SLOPE	
○ FENCE LINE	○ TOP OF BANK	
○ SANITARY SEWER	○ UNDERGROUND FIBER OPTIC	
○ STORM DRAIN	○ OVERHEAD ELECTRICAL	
○ WATER LINE	○ GAS UNDERGROUND GAS	
○ TREE LINE	○ UNDERGROUND TELEPHONE	

### PAVING LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	INDOT CLASS III APPROACH DRIVE SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	ASPHALT TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	GRAVEL SEE CONSTRUCTION DETAILS FOR GRAVEL SECTION

### BENCHMARKS

**SITE BENCHMARKS:**  
(LOCATIONS SHOWN ON SURVEY)

**SBM #1:**  
STATION NAME: 29G 511  
4" DIAMETER INDOT DISK STAMPED 29G 511. SET IN CONCRETE AT THE WEST CORNER OF BRIDGE ABUTMENT OF WOODEN BRIDGE OVER LINDLEY DITCH. LOCATED AT THE MAGREGOR PARK ENTRANCE DRIVE. YEAR ESTABLISHED 2010. ELEVATION=875.38 (NAVD 88 DATUM)

**SBM #2:**  
#1779 TOP SW FLANGE BOLT  
ELEVATION=894.54

**SBM #3:**  
#150 TOP S FLANGE BOLT  
ELEVATION=899.60

**SBM #4:**  
#2077 CXF S FLANGE BOLT  
ELEVATION=902.15

**SBM #5:**  
#1670 TOP WEST FLANGE BOLT  
ELEVATION=900.47

**SBM #6:**  
#153 TOP W FLANGE BOLT  
ELEVATION=904.00

### SITE SUMMARY

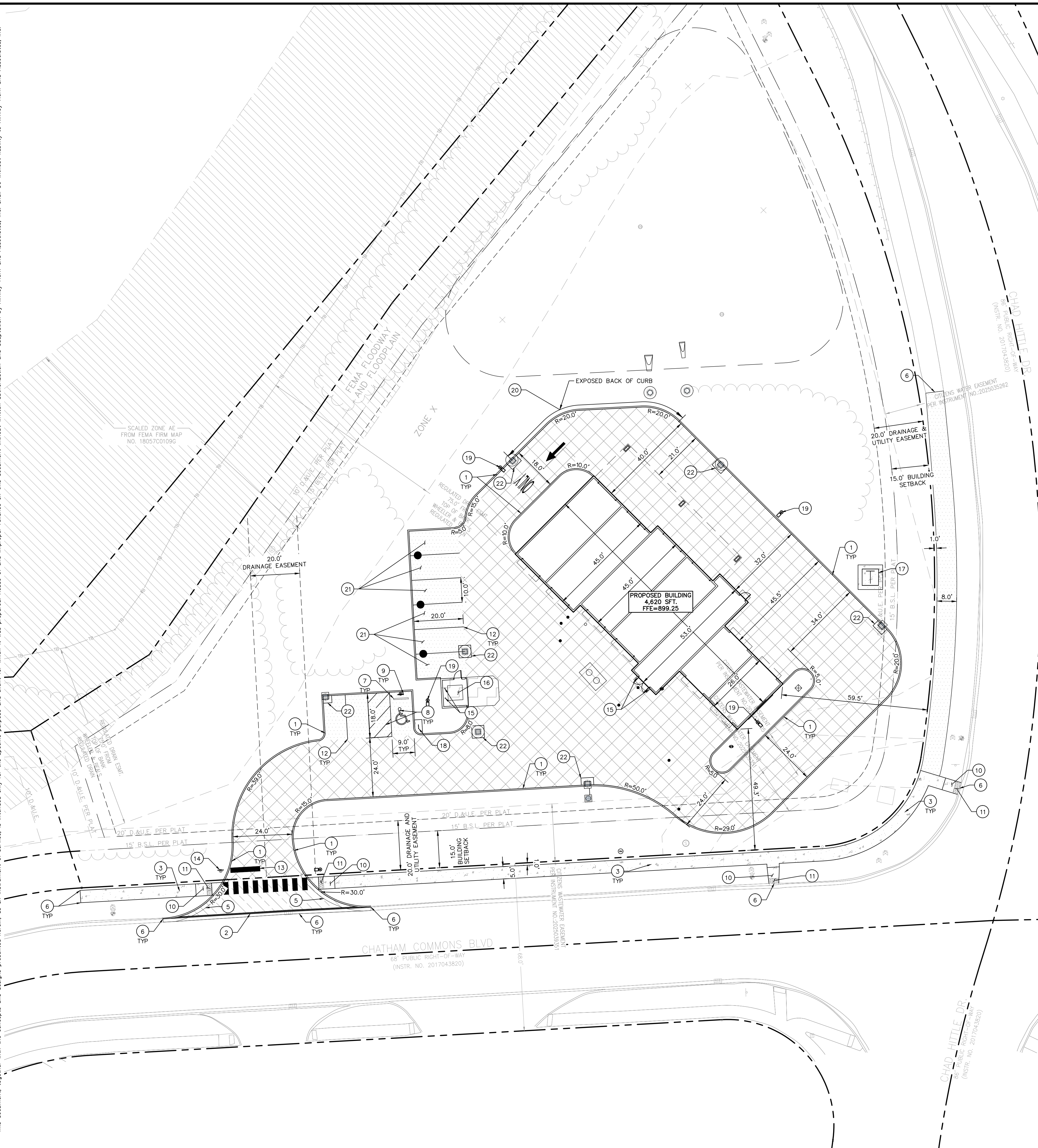
SITE ZONING	= PUD
SITE ACREAGE	= 1.94 AC.±
BUILDING AREA	= 4,541 SF
REQUIRED PARKING SPACES (STANDARD)	= 1 SPACE
PROVIDED PARKING SPACES (STANDARD)	= 2 SPACES
PROVIDED PARKING SPACES (ACCESSIBLE)	= 1 SPACE
TOTAL PARKING SPACES	= 3 SPACES
REQUIRED BIKE PARKING SPACES	= 1 SPACE
PROVIDED BIKE PARKING SPACES	= 2 SPACES

### KEY NOTES

- CONCRETE CURB, TYP. (SEE DETAILS)
- LIP CURB AND GUTTER (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- COMBINED CURB AND WALK (SEE DETAIL) (5' FROM FACE OF CURB)
- CONCRETE CURB AND GUTTER (SEE DETAILS)
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- CONCRETE PARKING BUMPER TYP. (SEE DETAILS)
- ACCESSIBLE PAVEMENT MARKINGS, TYP. (SEE DETAILS)
- ACCESSIBLE PARKING SIGN, TYP. (SEE PLAN FOR VAN LOCATION) (MUTCD R7-B, SEE DETAILS)
- ACCESSIBLE ADA RAMP (SEE DETAILS)
- 2" WIDE TACTILE WARNING STRIP
- 4" WIDE PAVEMENT MARKING, WHITE SOLID LINE, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- CONCRETE BOLLARD, TYP. (SEE DETAILS)
- TRASH COMPACTOR AND ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- TRANSFORMER PAD (REFER TO UTILITY PROVIDER)
- BIKE PARKING RACK (SEE DETAILS)
- LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
- VARIABLE HEIGHT CONCRETE CURB
- VACUUM PARKING SPACE
- CLASS A CONCRETE COLLAR, 18" MIN.
- OUTDOOR SALES AREA (VENDING MACHINE)

### SITE NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS, DOOR LOCATIONS, PRIOR TO ORDERING MATERIALS.
- RADII ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.



AS NOTED  
DESIGNED BY: CWF  
DRAWN BY: D.J.F.  
CHECKED BY: CWF

SCALE: 1" = 40'

**CA THEIRNE W. F.**  
REGISTERED PROFESSIONAL ENGINEER  
STATE OF INDIANA  
NO. 10222  
NOT APPROVED FOR CONSTRUCTION

*Catherine Fiscoble*

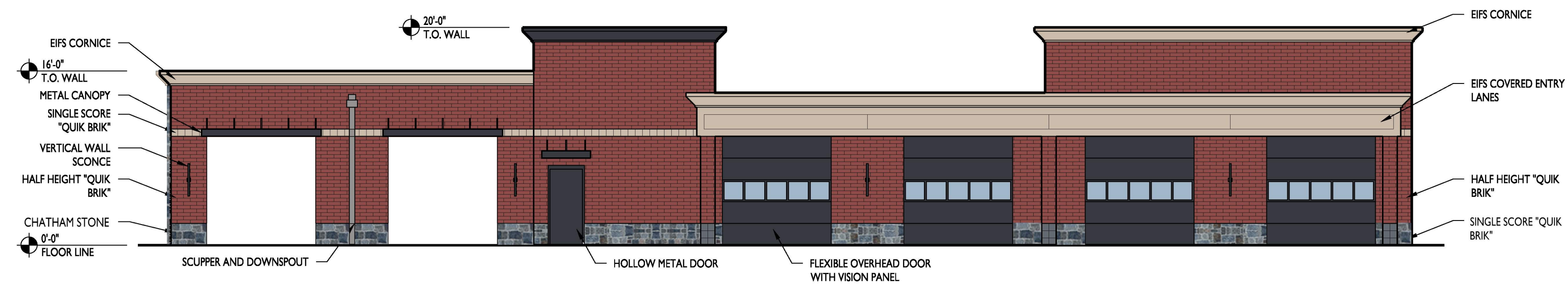
## SITE PLAN

CHATHAM  
CAR WASH  
1476 CHATHAM  
COMMONS BLVD  
WESTFIELD, IN 46074

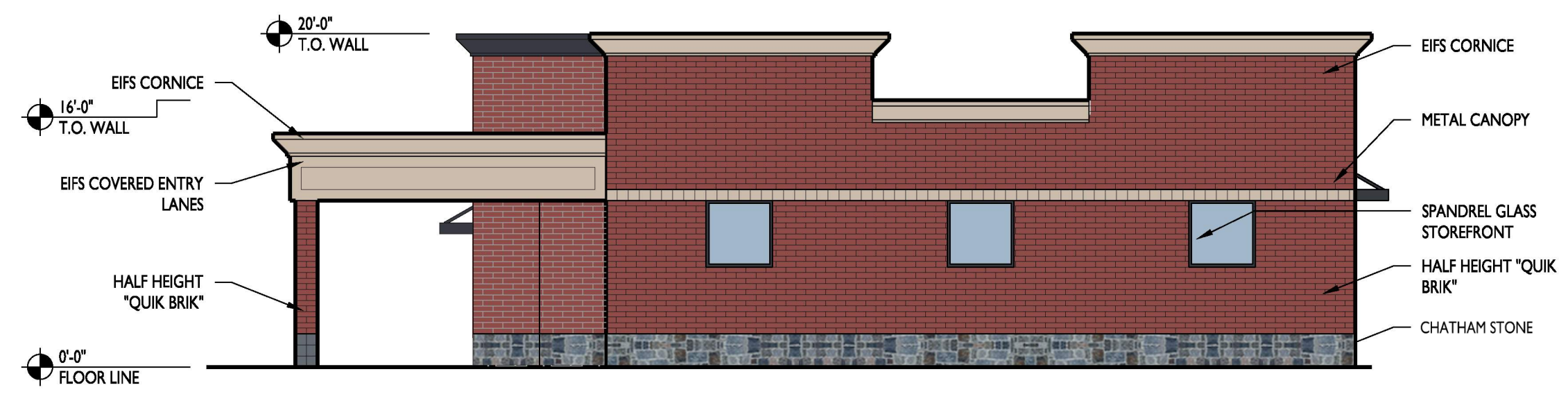
ORIGINAL ISSUE:  
1/30/2026  
KHA PROJECT NO.  
170161001  
SHEET NUMBER  
**C3.0**



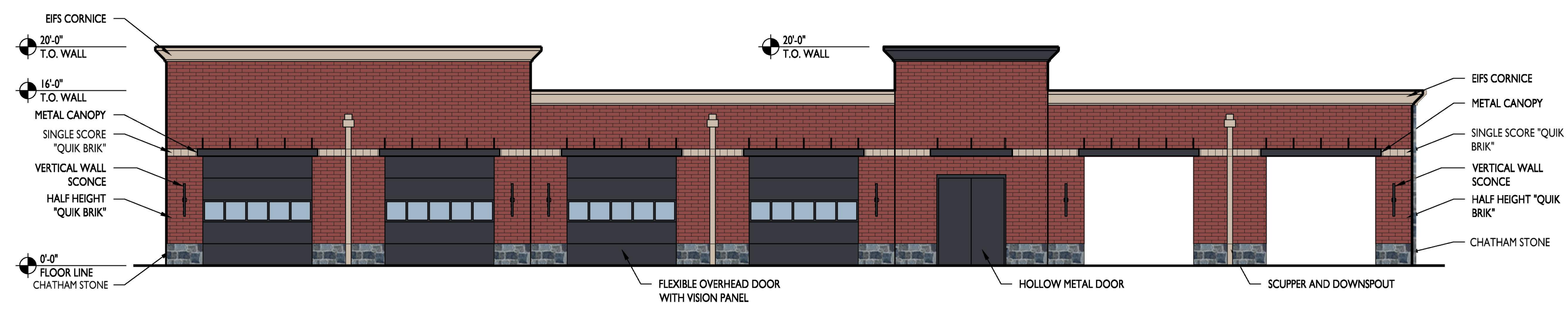




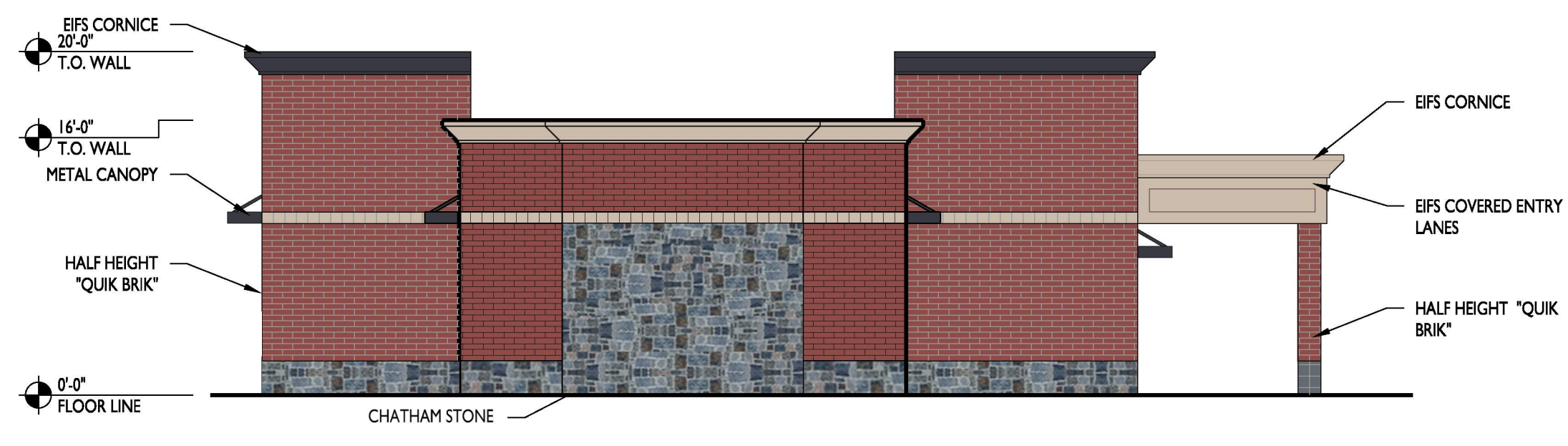
**EAST ELEVATION** 1  
1/8" = 1'-0"



**NORTH ELEVATION** 2  
1/8" = 1'-0"



**WEST ELEVATION** 3  
1/8" = 1'-0"



**SOUTH ELEVATION** 4  
1/8" = 1'-0"

**MATERIAL LIST**

EAST ELEVATION (1,351 SF total)		
1.	"CHATHAM HILLS" (OR EQ.) STONE VENEER MASONRY	101 SF 7.5%
2.	QUIK-BRIK MASONRY	873 SF 67.5%
3.	EIFS	337 SF 25.0%
75.0% TOTAL MASONRY ON EAST ELEVATION		
NORTH ELEVATION (1,021 SF total)		
1.	"CHATHAM HILLS" (OR EQ.) STONE VENEER MASONRY	106 SF 10.3%
2.	QUIK-BRIK MASONRY	764 SF 74.8%
3.	EIFS	151 SF 14.9%
85.1% TOTAL MASONRY ON NORTH ELEVATION		
WEST ELEVATION (1,365 SF total)		
1.	"CHATHAM HILLS" (OR EQ.) STONE VENEER MASONRY	95 SF 6.9%
2.	QUIK-BRIK MASONRY	1,114 SF 81.6%
3.	EIFS	156 SF 11.5%
88.5% TOTAL MASONRY ON WEST ELEVATION		
SOUTH ELEVATION (981 SF total)		
1.	"CHATHAM HILLS" (OR EQ.) STONE VENEER MASONRY	214 SF 21.8%
2.	QUIK-BRIK MASONRY	649 SF 66.1%
3.	EIFS	118 SF 12.1%
87.9% TOTAL MASONRY ON SOUTH ELEVATION		
NOTE: SQUARE FOOTAGE AND PERCENTAGES DO NOT INCLUDE DOORS, WINDOWS OR OPENINGS IN WALLS.		



**CURRAN**  
ARCHITECTURE  
5745 LAWTON LOOP EAST DR #200  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681

CERTIFICATION

**PRELIMINARY**  
NOT FOR CONSTRUCTION

04.22.26

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PROJECT INFORMATION

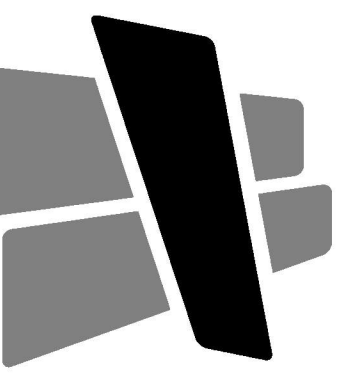
CHATHAM HILLS  
CAR WASH  
WESTFIELD, IN

ISSUE DATES

ISSUE	DATE

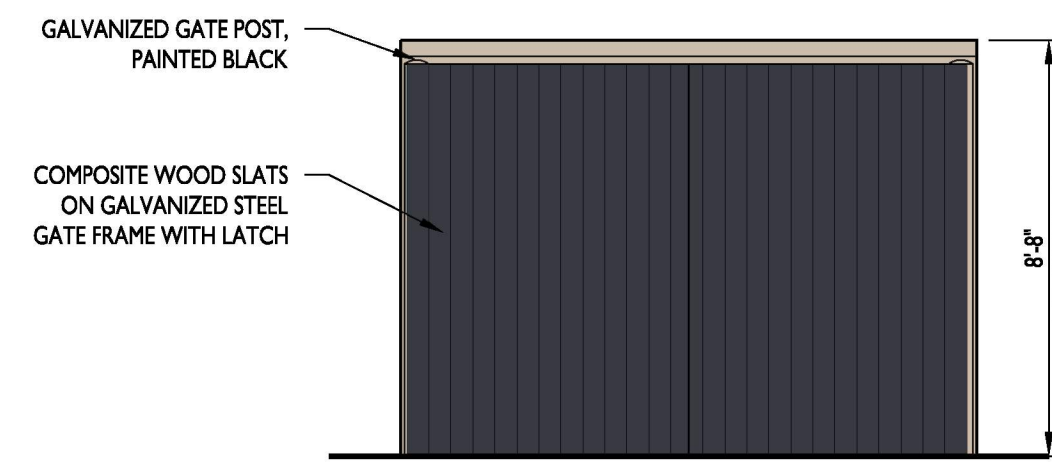
260002  
EXTERIOR ELEVATIONS

**A201**  
Page 36 of 233

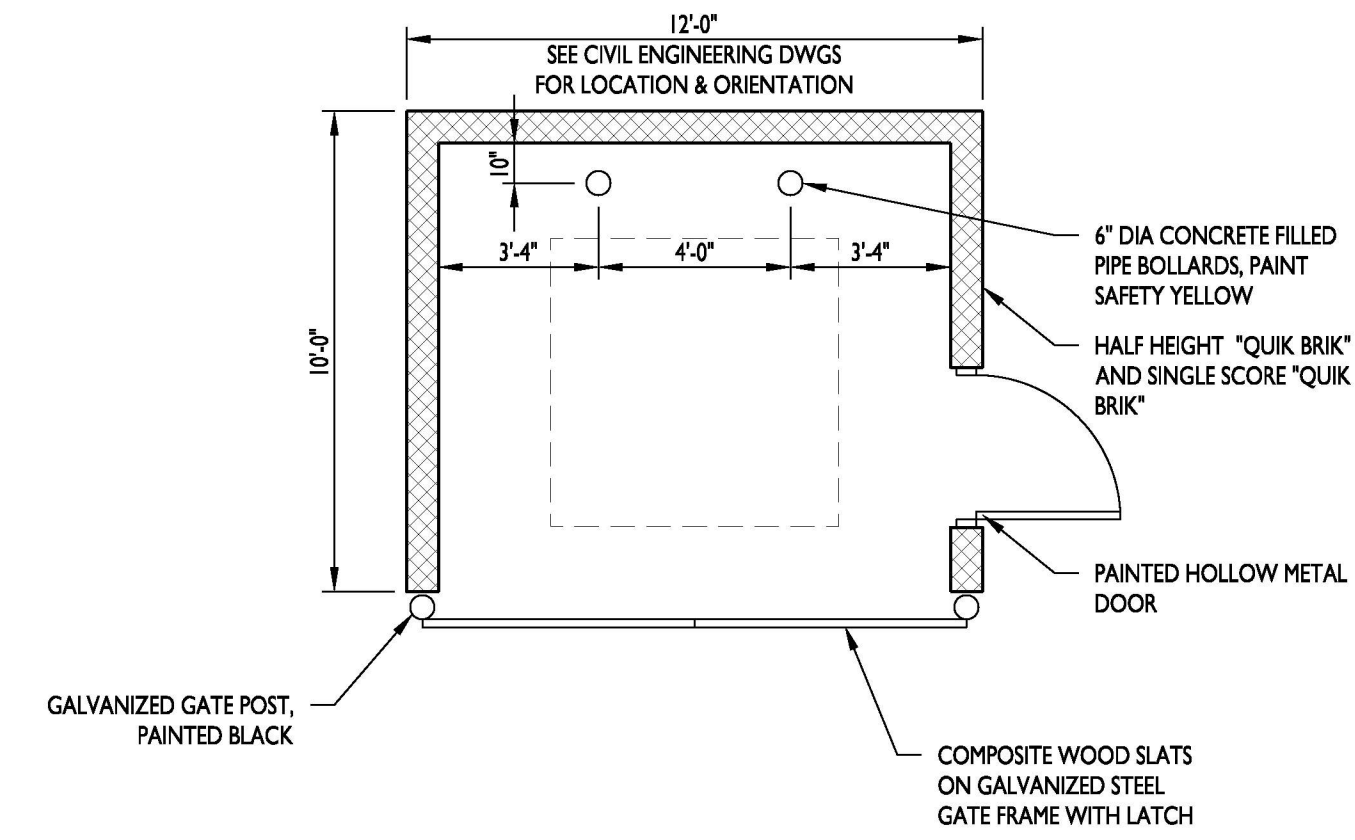


# CURRAN ARCHITECTURE

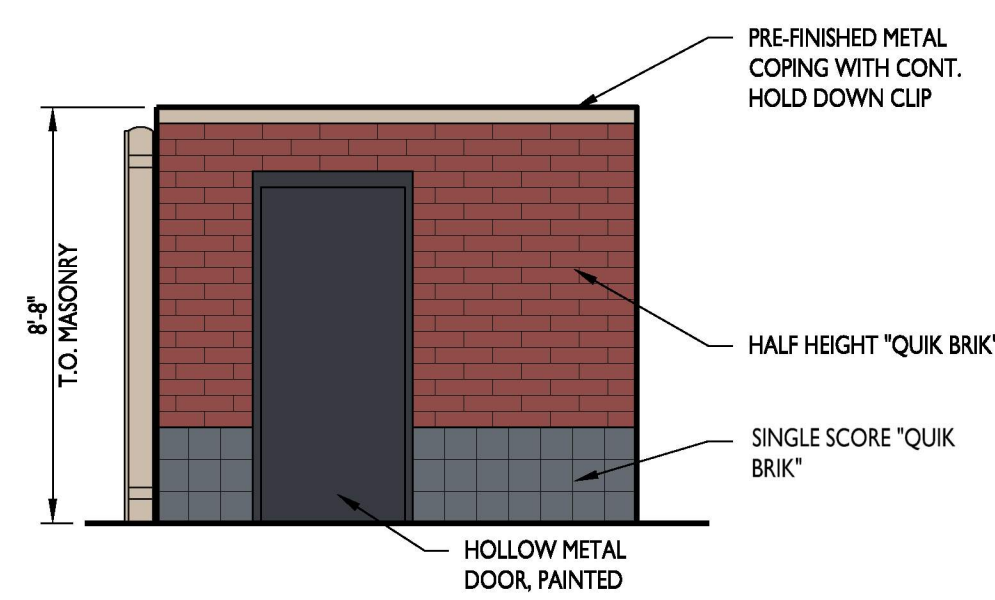
5745 LAWTON LOOP EAST DR #200  
INDIANAPOLIS, IN 46216  
O :: 317 . 288 . 0681



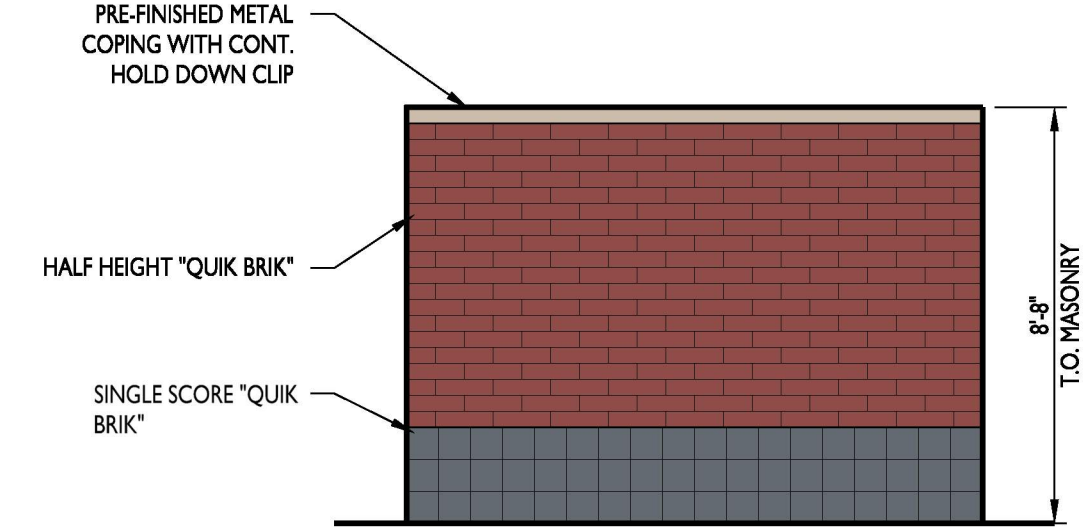
**FRONT ELEVATION** 4  
1/4" = 1'-0"



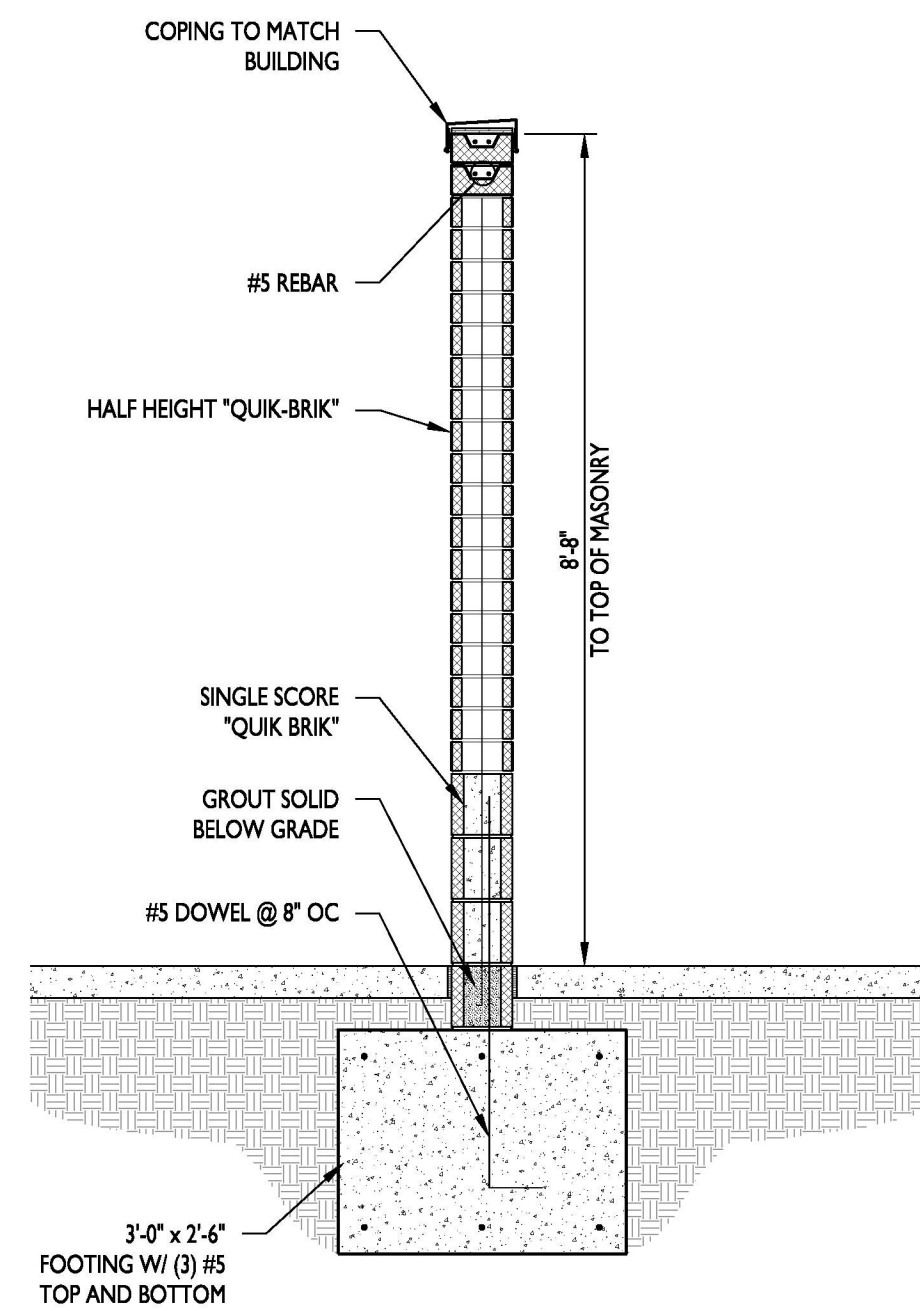
**PLAN** 1  
1/4" = 1'-0"



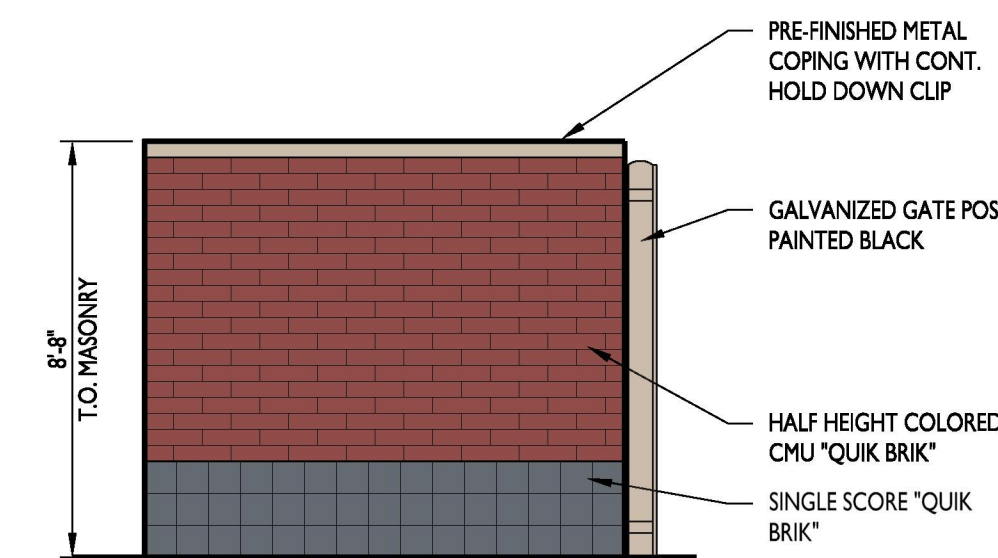
**SIDE ELEVATION** 5  
1/4" = 1'-0"



**REAR ELEVATION** 2  
1/4" = 1'-0"



**SECTION** 6  
1/2" = 1'-0"



**SIDE ELEVATION** 3  
1/4" = 1'-0"

### CERTIFICATION

### PRELIMINARY NOT FOR CONSTRUCTION

04.22.26

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### PROJECT INFORMATION

CHATHAM HILLS CAR WASH  
WESTFIELD, IN

### ISSUE DATES

ISSUE	DATE

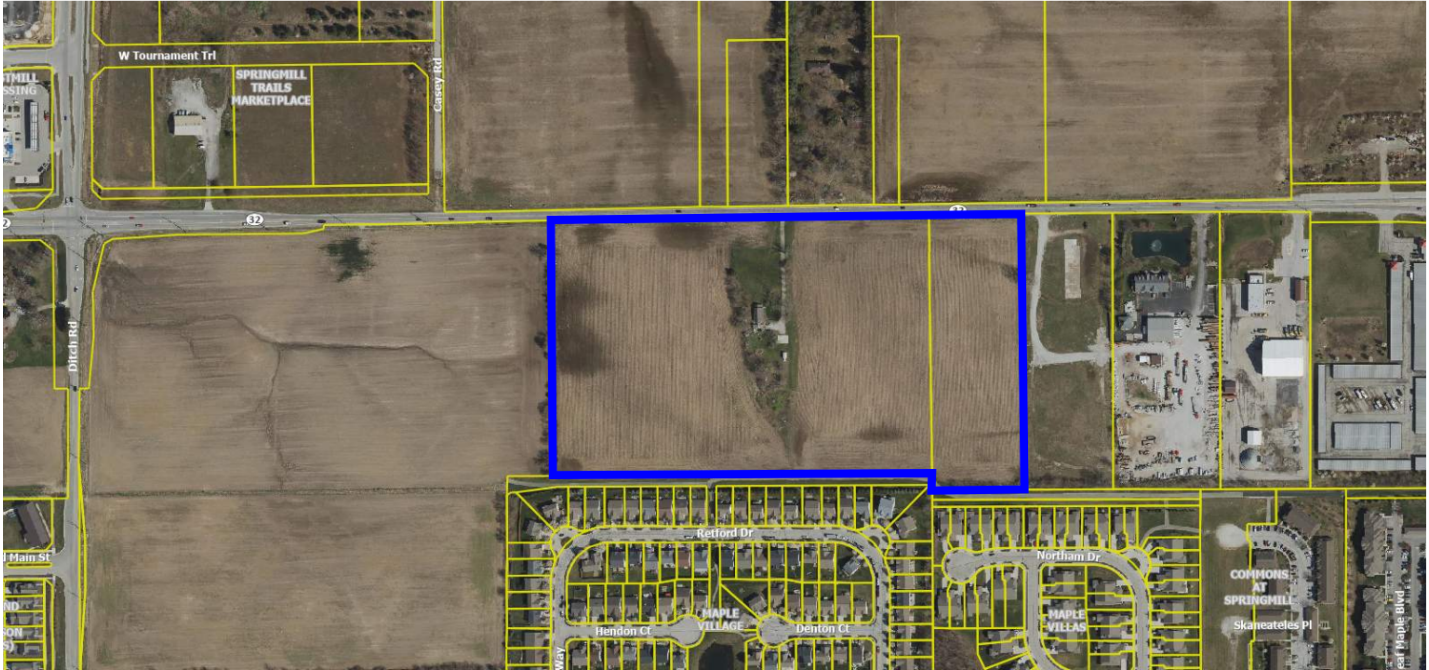
260002

### DUMPSTER DETAILS

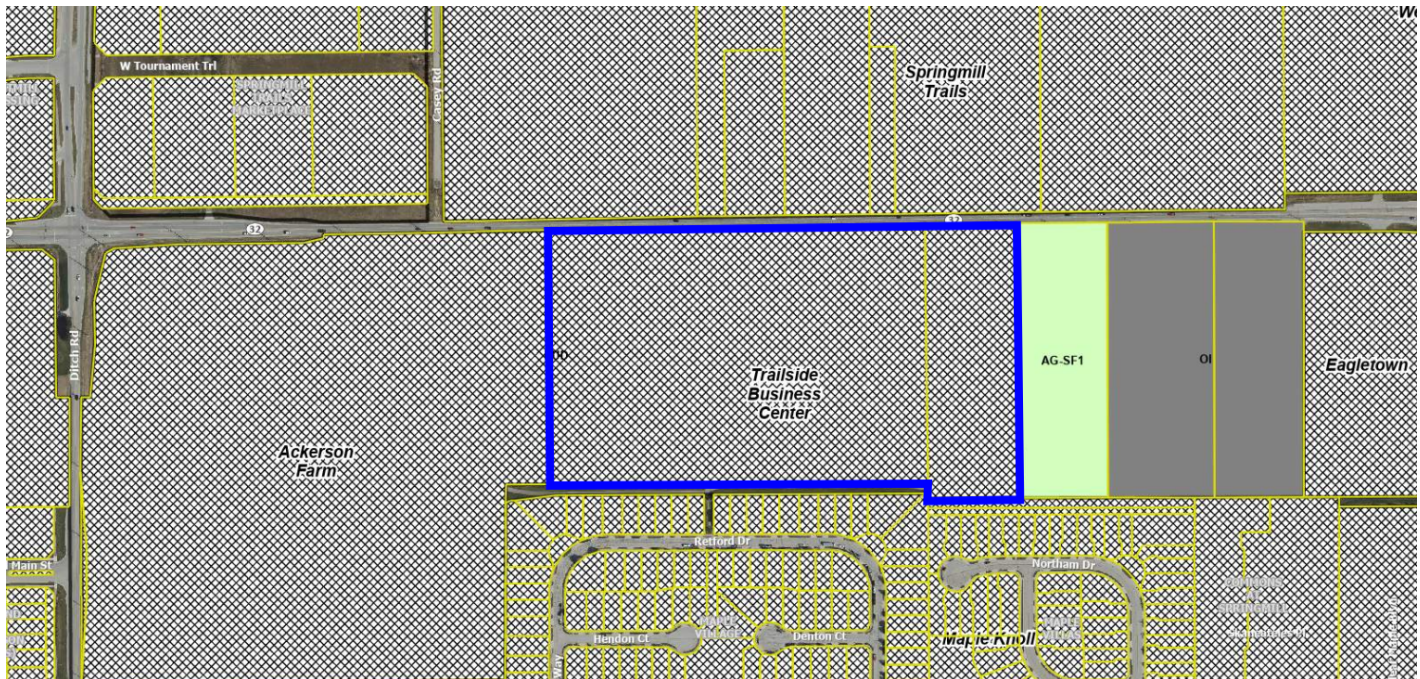
# A140

**Aerial Location Map**

SITE



**Zoning Map**





<b>Petition Number:</b>	2604-DDP-10
<b>Project Name:</b>	Trailside Business Center
<b>Subject Site Address:</b>	947 W State Road 32, Westfield, IN 46074 (the "Property")
<b>Petitioner:</b>	i3 Investors
<b>Representative:</b>	Spaceco Engineering
<b>Request:</b>	Detailed Development Plan review for two (2) enclosed industrial buildings on 24.81 acres +/-
<b>Current Zoning:</b>	Trailside Business Center Planned Unit Development (PUD) District
<b>Current Land Use:</b>	Vacant / Residential
<b>Approximate Acreage:</b>	24.81 acres +/-
<b>Property History:</b>	Trailside Business Center PUD ( <u>Ord. 25-35</u> )
<b>Staff Reviewer:</b>	Weston Rogers, Senior Planner

**BACKGROUND**

The Property is currently zoned the Trailside Business Center PUD (Ord. 25-35), approved July 14, 2025.

The comments contained herein are in review of the filed Detailed Development Plan scheduled for the March 17, 2026, Technical Advisory Committee meeting date.

**DEVELOPMENT PLAN - General Plan Requirements**

*Article 10.7(H)2 of the Westfield UDO*

**The plans comply.**

- 1) Title, scale, north arrow and date.
- 2) Proposed name of the development.
- 3) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 4) Address and legal description of the property.
- 5) Boundary lines of the property including all dimensions.
- 6) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 7) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 8) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.



- 9) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 10) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 11) Layout, number, dimension and area (in square feet and acres) of all Lots and Out-lots with Building Setback Lines.
- 12) Location and dimensions of all existing structures and paved areas.
- 13) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 14) Location of all Floodplain areas within the boundaries of the property.
- 15) Names of legal ditches and streams on or adjacent to the site.
- 16) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 17) Identify buildings proposed for demolition.
- 18) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 19) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
- 20) Label Building Separation and/or / Building Setback Lines in relation to Front, Rear and Side Lot Lines.

---

### **DEVELOPMENT STANDARDS**

*Associated articles within Chapter 6 of the Westfield UDO and the Trailside Business Center PUD*

#### **The plans comply.**

- 21) Accessory Use and Building Standards (Article 6.1)
  - 6.1(H) Screening of Receptacles and Loading Areas
    - a) Garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas, loading areas and other similar facilities shall be completely and permanently screened from view of Rights-of-way and where possible, adjoining properties.
    - b) Enclosures shall not be located in an Established Front Yard or in any required Side or Rear Yard. If the Lot contains more than one Established Front Yard, then the Director may approve a location within the Established Front Yard.
    - c) Screening methods shall include a solid enclosure on all sides not less than six (6) feet in height above grade or two (2) feet above the receptacle, whichever is greater. The solid enclosure shall be a Masonry Material that matches or complements the Principal Building.
    - d) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES.

- e) Enclosures shall be equipped with opaque gates, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES, that shall not be oriented towards residential properties or the Right-of-way, where possible.
- f) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal. Pedestrian access openings shall be substantially similar to those illustrated in FIGURE 6.1(3): DUMPSTER MAN-DOORS.
- g) Enclosures, which include swinging and movable doors, shall be kept closed at all times when said doors are not in active use.
- h) Landscaping shall be provided around enclosures in accordance with Article 6.8 Landscaping Standards.

## 22) Architectural Standards (Article 6.3)

- a) Architectural Standards. Article 6.3(G)(2) shall not apply to the District. Instead, the Buildings in the District shall be constructed in substantial compliance with the renderings and elevations attached hereto as Exhibit C ("Building Elevations"). The precise locations of Building entrances and fenestrations may vary from those depicted in the Building Elevations; however, the overall architectural design and character of the Buildings shall remain substantially consistent with the Building Elevations, as determined by the Director.

## 23) Building Standards (Article 6.4)

- a) Industrial and Business Uses:
  - i) More than one (1) Principal Building shall be permitted on a Lot in an Industrial or Business District when such buildings are devoted to Industrial or Business Uses.

## 24) Fence Standards (Article 6.5)

- a) Applicability:
  - i) These standards shall apply to all Zoning Districts.
- b) Location:
  - i) Fences may be built directly along Lot Lines; however, fences shall not encroach into the Right-of-way, nor into easements that otherwise prohibit the installation of fences (e.g., drainage and utility easements).
- c) Height Limitations:
  - i) Fence height is measured from the topmost point thereof to the grade of the ground adjacent to the fence. Any fence placed upon an erected mound or berm or masonry wall must govern its total height to the limitations herein.
  - ii) Fences located within a required Side or Rear Yard of a residential Lot shall not exceed six (6) feet in height.
  - iii) Fences located within a required or Established Front Yard of a residential Lot shall not exceed forty-two (42) inches in height.



- iv) Open wire mesh fences surrounding sports courts that only enclose a regulation court area and standard apron areas may be erected to a height of sixteen (16) feet.
  - v) Fences enclosing an Institutional Use or a business or industrial property may consist of an open mesh fence not to exceed a height of ten (10) feet, unless otherwise further restricted by this Ordinance.
  - vi) Fences for Agricultural Uses shall not be subject to height limitations.
  - vii) Fences within Common Areas of residential Subdivisions shall not exceed eight (8) feet in height, except as otherwise permitted by herein.
- d) Opaque Fences:
- i) Fences shall be installed so the finished side of the fence is facing outward (e.g., toward the Lot Line). Fences on a Lot Line in which two (2) or more Property Owners share in the expense of the fence shall not be subject to this provision.
- e) Outdoor Screening:
- i) Fences for screening of permitted outside storage or display areas shall also comply with Article 6.12 Outside Storage and Display.
- f) Vision Clearance:
- i) Fences shall comply with Article 6.19 Vision Clearance Standards.
- g) Declaration of Covenants:
- i) Property Owners are advised to refer to their Subdivision's Declaration of Covenants and Restrictions, if applicable, which may impose greater restrictions than are found herein.
- 25) Height Standards (Article 6.6)
- a) Per Ord. 25-35 the maximum building height within the District shall be thirty-five feet (35').
- 26) Landscaping Standards (Article 6.8)
- a) Content of Landscape Plan:
    - i) Landscape Plans shall comply with the following standards:
      1. Landscape Plans shall be submitted for all required landscaping, green belt buffer areas, Buffer Yards, Open Space areas, conservation easements, landscape easements, and areas owned in common within proposed developments. It is recommended that Landscape Plans be prepared by licensed landscape architects, nurserymen, or other professionals experienced in landscape design, installation, and maintenance. A narrative describing ownership, Use, and maintenance responsibilities of these areas should be specified in the submittal.
      2. Landscape Plans show the entire project drawn to scale on standard sized sheets (minimum 24" x 36") and shall contain the following information:
        - (a) Names and addresses of Property Owners, developers, plan preparer, plan preparation date, scale, and north arrow.

- (b) Locations and dimensions of all existing and proposed structures, Parking Areas, driveways, Streets, Private Streets, Rights-of-way, sidewalks, pedestrian pathways, bicycle pathways, ground Signs, refuse disposal areas, bicycle parking areas, freestanding electrical equipment, recreation facilities, utility lines, easements, freestanding structural features, landscape improvements, earth berms, walls, fences, screens, sculptures, fountains, street furniture, lights, courts, paved areas, Buffer Yards, and Open Space.
  - (c) Locations, quantities, sizes, and names (botanical names and common names) - of planting materials.
  - (d) Existing and proposed grading plans, indicating contours at not more than two-foot (2') intervals.
  - (e) Locations of barriers to be placed at or beyond driplines of trees to be preserved and types of materials to be used for barriers.
  - (f) Planting and installation details as necessary to ensure conformance with required standards.
  - (g) Details including specific grading measures or protective devices to be utilized where trees are to be preserved in areas of cut and fill.
  - (h) Location of dense trees and shrubs, and other Natural Areas which are to be preserved or removed.
  - (i) An inventory of existing trees to be credited and preserved may be shown on the Landscape Plan, or separately, as otherwise set forth in this Article, which may include tables clearly displaying relevant statistical information (including numbers of existing trees and numbers of trees preserved, for example).
- b) Selection, Installation, and Maintenance of Plant Materials:
- i) Selection: The minimum sizes set forth below shall apply to required plantings at installation, unless otherwise specified herein.
    1. Shade Trees: A minimum of eight (8) feet in height and two (2) inches in Caliper. Shall be of a variety that will attain an average mature spread greater than twenty (20) feet.
    2. Evergreen Trees: A minimum of six (6) feet in height.
    3. Ornamental Trees: A minimum of two (2) inches in Caliper.
    4. Shrubs: A minimum of eighteen (18) inches in height.
    5. Credit for Larger Trees: A proportional decrease in the required number of trees is allowed if larger Caliper trees than required herein are planted (e.g., trees with Caliper measures of four (4) inches may replace two (2) required two (2) inch Caliper trees).
- c) General Landscaping Design Standards:
- i) Consultation: A landscape architect, nurseryman, or other professional experienced in the installation and care of plant materials shall be consulted to ensure that proposed plants are appropriate and will survive.

- ii) **Scale and Nature of Landscaping:** The scale and nature of landscaping materials shall be appropriate to the size of proposed structures. Large-scale buildings should be complemented by large-scale plants. Form, texture, color, pattern of growth, and adaptability to local conditions shall be considered when selecting plant materials.
- iii) **Groundcover:** Landscape Plans shall clearly identify areas for Groundcover. Groundcover is not required for:
  - 1. decorative mulch planting beds containing stone or other inert materials, trees and/ or shrubs;
  - 2. inert stabilization in areas subject to severe runoff or erosion;
  - 3. low impact development areas (e.g., rain gardens). Areas not so designated shall be required to have grass or other Groundcover and shall be used in all green space areas and Yards, including, but not limited to required mounds and Parking Area landscape islands.
- iv) **Placement:** Installed plantings shall comply with the following:
  - 1. **Clearance with Structures:** Trees shall be planted so that when they reach maturity, there will be a minimum of five (5) feet of clearance between tree trunks and structures, building overhangs, walls, fences, and other trees.
  - 2. **Vision Clearance:** Plantings and mounds shall also comply with Article 6.19 Vision Clearance Standards.
  - 3. **Right-of-way:** With the exception of Street Trees, as required herein, or trees as may otherwise be approved by the Plan Commission or Public Works Department, landscape material shall not be planted or placed in Rights-of-way or easements without permission from the City or the easement holder.
  - 4. **Minimum Distance from Sidewalk and Curb:** Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.
  - 5. **Minimum Distance from Stormwater Structures:** Trees shall be planted a minimum distance of ten (10) feet from any storm sewer or subsurface drain, unless otherwise permitted in accordance with the City's Construction Standards or approved in writing by the Public Works Department.
- v) **Easements:** Required landscaping should be located in landscape easements or designated Common Areas that are exclusive of utility or drainage easements that would otherwise prohibit the required landscaping.
- vi) **Arrangement:** A natural or irregular row and spacing of plantings is preferred. Trees and shrubs should be grouped or clustered where possible to simulate natural tree stands.
- vii) **In-lieu Fee:**
  - 1. If the Director of Parks and Recreation, or their designee, determines that the site cannot feasiblely accommodate a required tree, all or part of the applicable planting requirement may be waived.



2. All waived trees shall be subject to a mandatory in-lieu fee of three hundred dollars (\$300) per tree, to be paid into the Greenspace Beautification Fund.
- viii) Energy Conservation: Plantings shall be arranged to promote energy conservation wherever practical. This includes using deciduous trees on the south and west sides of buildings to provide shade from summer sun and planting evergreens on the north of buildings to insulate against winter winds.
  - ix) Noise Reduction: Properties adjacent to highly trafficked Streets or businesses shall arrange landscaping to reduce the intensity of noise by reflecting, deflecting, or absorbing sound. Some techniques to accomplish this include using berms, walls, fences, or plantings to provide physical separation and to absorb noise.
- d) General Screening Standards:
- i) Mechanical Screening:
    1. Wall and ground-mounted Mechanical Equipment for nonresidential or multi-family structures shall be completely screened from all ground-level viewpoints. Clearance for proper functioning of the equipment and access to the equipment for maintenance shall be incorporated into the design. Screening may be achieved by using either:
      - (a) a wall or fence constructed of Masonry Material, wood, fiber cement, that is visually integrated to the adjacent building façade with a minimum height that fully screens the equipment;
      - (b) a solid evergreen screen with a combination of trees and shrubs;
      - (c) a combination of the aforementioned. (See also Article 6.3 Architectural Standards for roof-mounted equipment.)
  - ii) Service and Loading Areas:
    1. Per Ord. 25-35, Article 6.8(H)(2) is hereby clarified and shall not be applicable to the east and west property lines of the site.
    2. Loading areas, loading docks, service areas, and maintenance areas shall be screened from residential Uses and Rights-of-way. Screening shall be achieved by using either:
      - (a) a six-foot (6') high, completely opaque fence or wall;
      - (b) a six-foot (6') high berm;
      - (c) a six-foot (6') high screen of evergreen trees planted nine (9) feet on center in a double staggered row; or
      - (d) a combination of the aforementioned that accomplishes the same effect. See also Article 6.1 Accessory Use and Building Standards regarding dumpster enclosures.
- e) Detention and Retention Areas:
- i) Natural Appearances:
    1. Detention and Retention Areas shall be landscaped in a manner that replicates the natural form of ponds and shall include shade trees, ornamental trees, evergreens, shrubs,



hedges, and/or other plantings (see also Minimum Lot Landscaping Requirements and Article 8.6 Open Space and Amenity Standards).

2. Wetlands/aquatic vegetation planted around the wet perimeter of such areas should be utilized to further this design objective; however, if such plantings are utilized for water quality control, then Landscape Plans shall be prepared and stamped by a licensed landscape architect.
  3. Detention and Retention Areas shall be designed to be natural in appearance, with meandering edges.
- ii) Location: Detention and Retention Areas should be located to enhance view sheds and incorporated as amenities to the development (see also Article 8.6 Open Space and Amenity Standards).
  - iii) Side Slopes: Side slopes above the water line for Retention Areas and water features shall not exceed 4:1. Side slopes above the water line for Detention Areas shall not exceed 4:1 and shall be graded to harmonize with the overall Open Space design of the site.
- f) Minimum Lot Landscaping Requirements:

- i) Yards and Open Space areas of all Lots shall be landscaped in accordance with this section (the "Minimum Lot Landscaping Requirements")
  1. Industrial Uses:
    - (a) 5 Shade Trees / Acre, 5 Ornamental or Evergreen Trees / Acre, and 25 Shrubs / Acre of overall development.

Lot Landscaping (24.81 acres)			
Industrial Uses (per acre)	Required	Provided	Deficient
5 Shade Trees	124	124+	0
5 Ornamental or Evergreen Trees	124	124+	0
25 Shrubs	621	621+	0

- ii) Credit:
  1. All other landscaping plantings required by this Article to be located on the subject Lot (e.g., Foundation Plantings, Parking Area Landscaping) or within an Open Space/Common Area (e.g., Buffer Yard Landscaping, External Street Frontage Landscaping) may be credited toward the individual Lot's or Open Space/Common Area's Lot Landscaping Requirement at a 1:1 ratio, with the exception of Street Trees, as otherwise set forth herein, which may not be credited.

g) Foundation Plantings:

- i) Per Ord. 25-35 Article 6.8(L) of the UDO shall not apply to the following Building elevations as identified on the Concept Plan: (i) the south elevations of Buildings 1 and 3; and (ii) the north elevations of Buildings 2 and 4.



ii) Foundation plantings shall be provided as follows:

- Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Façades, fences, and other barriers to create a softening effect.

<b>Building 1 West Façade (est. 150 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 40 LF	4	4+	0
<b>Building 2 West Façade (est. 150 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 40 LF	4	4+	0
<b>Building 1 East Façade (est. 150 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 40 LF	4	4+	0
<b>Building 2 East Façade (est. 150 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 40 LF	4	4+	0

- Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet (Single-family Dwelling and Duplex Dwelling buildings are exempt from this requirement).

<b>Building 1 North Façade (est. 470 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 12 LF	39	39+	0
<b>Building 2 South Façade (est. 470 LF)</b>			
	Required	Provided	Deficient
1 shrub or ornamental tree per 12 LF	39	39+	0

- The primary landscaping material used shall be ornamental trees, shrubs, and ornamental grasses. Groundcover plants may supplement the required plant materials. Plantings may be clustered to provide a more natural appearance and to accommodate vehicular and pedestrian access, loading and maintenance areas.
- Plantings shall be located within fifteen (15) feet of the Building Façade, fence or other barrier being softened, and shall occur within planting beds at least eight (8) feet in width.
- Monument Signs shall include a landscaped area at the base of the Monument Sign. The minimum size of the landscaped area shall be equivalent to one (1) side of the Monument



Sign's Sign Face. The landscaped area shall be substantially covered with a variety of planting types such as Groundcover, perennials, shrubs, and ornamental trees.

h) External Street Frontage Landscaping Requirements:

i) Nonresidential Uses:

1. A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any nonresidential development.
2. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental trees and twenty-five (25) shrubs per one hundred (100) lineal feet.
3. This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-way.
4. In addition, for Industrial Districts, a minimum three-foot (3') tall undulating mound shall be required along the entire External Street frontage.

North Property Perimeter (est. 1,381 LF)			
	Required	Provided	Deficient
3 Shade or Evergreen Trees / 100 LF	42	42+	0
2 Ornamental Trees / 100 LF`	28	28+	0
25 shrubs / 100 LF	345	345+	0
minimum three-foot (3') tall undulating mound	3' mound	3' mound	0

i) Buffer Yard Requirements:

i) Per Ord. 25-35

1. The Real Estate shall be developed in two phases. The first phase includes Building 1 and Building 2, as identified on the Concept Plan ("Phase 1"). The Buffer Yard improvements along the entire south property line of the Real Estate, including the installation of the Midland Trace Trail connection amenity area and communal lawn identified on the Concept Plan, and the Site Amenities, shall be installed as part of Phase 1.
2. To the extent Article 6.(8)(N) conflicts with the installation of the Midland Trace Trail connection amenity area and communal lawn identified on the Concept Plan, Article 6.8(N) shall not be inapplicable to the Buffer Yard along the south property line of the Real Estate.
3. Fencing shall not be required along the south property line of the Real Estate

- ii) Buffer Yards shall be required in order to soften the potential conflicts between land Uses by using distance, plantings, fences, walls and mounds set forth in this section.



- iii) North Property Line
  - 1. External Street Frontage Landscaping Applies
- iv) East Property Line
  - 1. Industrial adjacent to AG-SF1 – Type A Buffer Required
- v) South Property Line
  - 1. Industrial adjacent to Residential – Type C Buffer Yard Required

South Property Perimeter (est. 990 LF) (excludes amenity area frontage)			
Type C Buffer Yard	Required	Provided	Deficient
50' width	50'	50'+	0
5 Shade Trees / 100 LF	50	50+	0
5 Evergreen Trees / 100 LF`	50	50+	0
20 shrubs / 100 LF	198	198+	0
4' tall undulating mound for a minimum of 60% of the length of the shared Lot Line	4' mound >60%	4' mound >60%	0

- vi) West Property Line
  - 1. Industrial adjacent to Business – Type A Buffer Yard Required

West Property Perimeter (est. 770 LF)			
Type A Buffer Yard	Required	Provided	Deficient
30' width	30'	30'	0
3 Shade Trees / 100 LF	24	24+	0
3 Evergreen Trees / 100 LF`	24	24+	0
10 shrubs / 100 LF	78	78+	0

j) Parking Area Landscaping:

- i) Per Ord. 25-35 For the purposes of applying Article 6.8(O)(1), the vehicular use areas between the Buildings, as depicted in the Concept Plan, shall not be considered Parking Areas.
- ii) This section shall apply to Parking Areas in order to: (i) screen Parking Areas from Right-of-way; (ii) prevent the creation of large expanses of paving; and (iii) provide shade to paved areas.
- iii) Interior Parking Area Landscaping:
  - 1. Minimum Area Required: A minimum landscape area of Parking Areas shall be set aside for Parking Area islands in accordance with the following:



- (a) 50 or more spaces = 10% of parking are to be landscape islands

Interior Parking Area Landscaping			
Parking Lot Size	Required (10%)	Provided	Deficient
39,420 SF	<b>3,942 SF</b>	<b>3,946 SF</b>	<b>0</b>

2. Interior Parking Area Islands:

- (a) Location: Parking Area islands shall be dispersed throughout Parking Areas in a design and configuration that aesthetically corresponds to the size and shape of Parking Areas. Combining or placing Parking Area islands together such that more than one (1) tree may be planted in the island shall be considered when possible.
- (b) Parking Area islands shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.
- (c) Design: Parking Area islands shall be: (a) constructed at least six (6) inches above the surface of Parking Areas and curbed in a manner that restricts vehicles from driving over landscaped areas; (b) a minimum area of one hundred twenty (120) square feet; and (c) a minimum of seven (7) feet in width, measured from back of curb to back of curb.
- (d) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred percent (100%) of every island shall be covered with permitted Groundcover material to achieve complete coverage.

Parking Area Islands			
Parking Islands	Required	Provided	Deficient
Trees (1 / Parking Island)	<b>18</b>	<b>18</b>	<b>0</b>
Shrubs (4 / Parking Island)	<b>4 / island</b>	<b>4+ / island</b>	<b>0</b>

- (e) Vision Clearance: No landscaping within Parking Area islands may unreasonably obstruct visibility for vehicles entering, maneuvering in, or exiting Parking Areas. Such landscaping shall be constructed in compliance with Article 6.19 Vision Clearance Standards.

iv) Perimeter Parking Area Landscaping:

1. Application: Perimeter landscaping is required for Parking Areas with ten (10) or more spaces where the Parking Area is located within: (i) an Established Front Yard; (ii) a required Yard; or (iii) twenty (20) feet of a Lot Line or Right-of-way line. In instances where parking is shared between adjacent Lots, the standards of this article shall not apply to the shared Lot Line.
2. Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
  - (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.



- (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.
- (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

North Parking Lot Perimeter (est. 470 LF)			
	Required	Provided	Deficient
1 tree per 30 LF	16	31	0
1 shrub per 3 LF	157	157+	0

- 3. Drive Aisles: Plantings within the perimeter Parking Area landscape areas between drive aisles and a Rear or Side Lot Line may be reduced by up to fifty percent (50%) of the required plantings above, if no Parking Spaces are located between the Lot Line and the drive aisle.

27) Lighting Standards (Article 6.9)

- a) Per Ord. 25-35, The standards of Article 6.9 of the UDO shall apply to the District. Lighting shall be installed in substantial compliance with the lighting plan attached hereto as Exhibit D (“Lighting Plan”). Minor modifications or substitutions to the Lighting Plan may be approved by the Director.
- b) General Lighting Standards: The following standards shall apply:
  - i) All Light Fixtures, with the exception of internally-illuminated Signs or Electronic Signage, shall be Fully Shielded and direct light downward toward the earth's surface.
  - ii) All lighting sources shall be directed away from reflective surfaces to minimize glare upon adjacent Lots and Rights-of-way.
  - iii) All lighting sources, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner as to direct light away from adjacent Lots and Rights-of-way.
  - iv) Light pole height shall not exceed twenty-five (25) feet. All Light Fixtures in Parking Areas shall be designed and located to confine emitted light to the Parking Area.
  - v) All Light Fixtures shall meet City Building Code requirements for their appropriate construction class.
- c) Multi-family Residential, Business and Industrial Standards: The following shall apply to all Multi-family, Business, and Industrial Uses:
  - i) All Light Fixtures, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner so that no light-emitting surface is visible from a residential Lot Right-of-way when viewed at ground level.
  - ii) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]



- iii) All lights on poles, stands, or mounted on a building shall have a shield, adjustable reflector, and non-protruding diffuser.
  - iv) All canopy structures shall have lights with diffusers which are recessed, and which do not extend below the surface of the canopy as measured on a plane parallel to the earth's surface.
  - v) Lighting under awnings and canopies shall only illuminate a Front Building Façade, a Sign under an awning or canopy as measured on a plane parallel to the earth's surface.
  - vi) All Parking Area lighting for nonresidential Uses shall be reduced (e.g., turned off or dimmed) by a minimum of thirty percent (30%) within thirty (30) minutes of closing of the last business or no later than 11:00 p.m.
- d) Sign Lighting:
- i) Light Fixtures used to illuminate an outdoor advertising Sign, other than a Monument Sign or an internally-illuminated Sign, shall be mounted on top of or above the Sign structure and shall comply with the shielding requirements of this Article.
  - ii) Light Fixtures used to illuminate ground-mounted, or Monument Signs may be illuminated with a ground-mounted or bottom-mounted Light Fixture, provided that the Light Fixture is Fully Shielded and all light output is directed onto the Sign surface.
  - iii) Lamps utilized for the internal illumination of Wall Signs shall be turned off at 11:00 p.m. or when business closes.
- e) Lighting Plans: The Applicant for any permit required by this Ordinance that proposes outdoor lighting shall submit a Lighting Plan which includes:
- i) A site plan indicating the location of all lighting structures, supports and Light Fixtures, including those Light Fixtures which presently exist on site and those which are proposed for the site.
  - ii) A graphic and/or textual description of all lighting fixtures, both proposed and existing on-site. The description may include, but is not limited to cut sheets and illustrations by the manufacture, lamp types, wattages, and lumen outputs.
  - iii) A site plan with illuminance levels superimposed on the site plan in the form of an iso foot-candle diagram or point-by-point grid diagram.
  - iv) All plot lighting levels shall be depicted at ten-foot (10') intervals or less.
  - v) The iso foot-candle diagram shall plot foot-candle increments of one-half (0.5) foot-candle or less.
  - vi) Photometric data depicting the angle of cut off of light emissions.
  - vii) Any other information that the Director determines necessary to ensure compliance with the provisions of this Article.

28) Lot Standards (Article 6.10)

29) Outside Storage and Display (Article 6.12)



- a) Business Districts and Business Uses: The following shall apply to Business Districts and Business Uses permitted in other Zoning Districts:
  - i) Outside Storage:
    1. Outside Storage shall only be permitted if delineated on an approved Development Plan and in accordance with the following:
      - (a) Size: A Lot's Outside Storage area shall not exceed fifty percent (50%) of the Lot's Principal Buildings' gross floor area.
      - (b) Location: Outside Storage areas:
        - (i) Shall be located immediately adjacent to the Principal Building.
        - (ii) Shall not encroach into any required Rear or Side Yard.
        - (iii) Shall be prohibited in an Established Front Yard.
        - (iv) Shall be delineated on an approved Development Plan.
      - (c) Screening: Outside Storage areas shall be incorporated into the building's design as part of the Principal Building as follows:
        - (i) Outside Storage areas shall be completely screened from view from any adjacent property or Right-of-way
        - (ii) Outside Storage areas shall be screened on all sides with a solid wall, not less than seven (7) feet in height, consisting of Masonry Materials that compliment the Principal Building.
        - (iii) Perimeter access into Outside Storage areas shall not be oriented toward a Front Yard. Gates shall be required for such access and shall be opaque and architecturally compatible with the materials used on the Principal Building. A chain link fence or a variation of a chain link fence combination shall not constitute an acceptable gate material.
      - (d) Storage Restrictions: All materials, product or merchandise stored in an Outside Storage area shall be stacked no higher than one (1) foot below the top of the wall.
    - ii) Outside Sales Display:
      1. Permitted Use: Outside Sales Displays, including vending machines, kiosks, and outdoor point of sale items (e.g., flowers, propane, salt, firewood), shall be prohibited, except for the following:
        - (a) Automobile dealerships, and other similar Uses as determined by the Director or Plan Commission.
        - (b) Outside Sales Displays that otherwise comply with the Outside Storage standards set forth in this Article.
        - (c) Merchandise associated with a temporary Use or event conducted pursuant to Article 6.18 Temporary Uses and Events.



2. Approval: Any proposed Outside Sales Display shall be delineated on an approved Development Plan and subject to approval by the Plan Commission, except as otherwise permitted by Article 6.18 Temporary Uses and Events, and subject to the following:
  - (a) The Development Plan shall include the types of merchandise and/or finished products, location, landscaping and other improvement of the Outside Sales Display area.
  - (b) Pedestrian circulation areas shall not be obstructed and enhancements may be required by the Director or Plan Commission to ensure safe pedestrian movements.
  - (c) The Director or Plan Commission may require enhanced site design features to ensure that Outside Sales Display areas are delineated and that such areas are compatible with the design of the building and site context.
  - (d) In addition to the standards of the Zoning District, the Plan Commission or Director may require enhanced screening or landscaping to ensure the compatibility of the proposed Use with adjoining areas.
  - (e) Once approved, the Outside Sales Display area shall not be materially or substantially changed or altered without the approval of an amendment to a Development Plan.

30) Outdoor Café and Eating Areas (Article 6.13)

31) Parking and Loading Standards (Article 6.14)

- a) Site Access and Circulation:
  - i) All proposed site access locations shall provide for the safe and efficient movement of vehicular and pedestrian movement to and from the proposed development.
  - ii) Site circulation patterns shall be designed to minimize conflicts between vehicular and pedestrian traffic, and create a safe and efficient movement of both vehicular and pedestrian traffic in and around the site.
  - iii) Where site access has been officially approved by an agency other than the City, the Plan Commission or Director shall not be compelled to include such approved access in the approval of a Development Plan or an Improvement Location Permit
- b) Size:
  - i) Off-street parking spaces shall be at least nine (9) feet in width and at least eighteen (18) feet in length, exclusive of access drives, aisles, ramps, columns, and office or work area. Such Parking Spaces shall have vertical clearance of at least seven (7) feet. Parallel Parking Spaces shall be a minimum of twenty-four (24) feet in length.
- c) Required Spaces: Off-street Parking Spaces shall be provided as follows:
  - i) Other Uses:
    1. Parking Space requirements for other Uses shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for an Improvement Location Permit.

- d) **Bicycle Parking:** It is the purpose of this section to provide adequate and safe facilities for the storage of bicycles. This section shall apply to all new development and/or building expansions requiring Development Plan approval or an Improvement Location Permit.
  - i) **Number of Spaces:** A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.
  - ii) **Proximity to Principal Building:** the bicycle parking spaces shall be located in close proximity to the main entryway into the Principal Building or be located inside the Principal Building.
  - iii) **Rack Requirement:** A bicycle rack, which may contain multiple bicycle parking spaces, shall be installed on a hard dustless surface that allows the parking structure to be securely fastened to the ground and that secures the bicycles.
  - iv) **Pedestrian Ways:** Bicycle Parking Areas shall be designed such that when in use, the bicycles (and trailers), shall not obstruct an adjacent sidewalk, path, or other pedestrian way and located to provide a minimum of five (5) feet of clearance behind the bicycle to allow for room to maneuver.

32) Setback Standards (Article 6.16)

33) Sign Standards (Article 6.17)

34) Vision clearance standards (article 6.19)

- a) **Vision Clearance:** No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:
  - i) Forty (40) feet from intersections of Collectors or Local Streets.
  - ii) Seventy-five (75) feet from intersections of Expressways or Arterials.
  - iii) Ten (10) feet from intersections of Driveways or Alleys.
  - iv) Twenty-five (25) feet from intersections of Private Streets.
- b) **Rounded Property Corners:** In the case of rounded Lot Lines, the distances shall be measured from the point at which the Right-of-way lines would intersect if they were not to have been rounded at the corner.

35) Yard standards (article 6.21)

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**DISTRICT STANDARDS**

*El: Enclosed Industrial District of the Westfield UDO and the Trailside Business Center PUD*

**The plans comply.**

36) The Underlying Zoning District of the Real Estate shall be the El: Enclosed Industrial District

- a) Permitted Uses.



i) All uses permitted in the Underlying Zoning District shall be permitted, except as otherwise modified below: 5.1

1. Additional Uses: The following additional uses shall be permitted:

- (a) Development Amenities
- (b) Business Center Uses
- (c) Commercial Recreational Facility – permitted subject to the Director’s determination of adequate parking facilities to support such use
- (d) Warehousing and Distribution Operation (Inside Storage) – permitted as an ancillary component of Business Center Uses.

ii) Prohibited Uses:

1. The following uses shall be explicitly prohibited:

- (a) Special Exception Uses, except as otherwise permitted herein.
- (b) Auction Rooms
- (c) Garden and Lawn Center
- (d) Data Processing / Call Centers
- (e) Self-storage Facility
- (f) Trucking Companies
- (g) Heliports
- (h) Wireless Communication Service Facilities
- (i) Bus Stations / Transit Stops

- b) Minimum Tract Area: 3 acres
- c) Minimum Lot Frontage: 70’
- d) Minimum Lot Width: No minimum
- e) Maximum Building Height: 35’
- f) Minimum Building Size: substantial compliance w/ Concept Plan governs
- g) Minimum Building Setback Lines:
  - i) Front Yard: 30 from right of way (SR 32 overlay standards).
  - ii) Side Yard: 20 feet
  - iii) Rear Yard: 20 feet

37) Concept Plan Compliance

- a) The concept plan (the “Concept Plan”) attached hereto and made a part hereof as Exhibit B is hereby incorporated in accordance with the UDO’s Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan. The Real Estate shall be developed in substantial compliance with the Concept Plan.

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**DEVELOPMENT PLAN REVIEW**

*Article 10.7(E) of the Westfield UDO*

**Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:**

- 38) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 39) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- a) The standards of Article 5.3(F) and 5.3(K) shall not apply to the District. The required eight foot (8') asphalt path along the entire State Highway 32 frontage of the Real Estate shall be installed as part of Phase 1
  - b) State Highway 32 Overlay District:
    - i) Article 5.3(L) Trail Corridor Design Standards:
      - (a) The Trail Corridor shall be a minimum width of thirty (30) feet parallel and immediately abutting the State Highway 32 right-of-way line or the edge of pavement, whichever results in a greater distance from the State Highway 32 centerline.
      - (b) Alternative Transportation Trail Design: The trail improvements shall be installed in substantial compliance with FIGURE 5.3(18): TRAIL CORRIDOR DESIGN and shall be a minimum of eight (8) feet in width and constructed of asphalt material in compliance with the City's Construction Standards (see also Article 7.3 Principles and Standards of Design). Construction of the trail with a meandering design is encouraged.
      - (c) Inter-connectivity: All developments along State Highway 32 shall provide for alternative transportation inter-connectivity between neighboring uses, developments and the Trail Corridor in order to encourage and facilitate alternative transportation movements without directly accessing State Highway 32. Cross access easements and connections to the alternative transportation trail referenced above shall be appropriately provided to ensure continued alternative transportation access and connectivity between and through uses along the Trail Corridor (see also Article 8.3 Easement Standards).
2. Trail Corridor Plantings: The primary landscaping materials used within the Trail Corridor shall be shade trees, ornamental trees, shrubs, Groundcover and grass.
- (a) A minimum of three (3) shade trees and one (1) ornamental tree shall be provided per every one hundred (100) linear feet of Trail Corridor along State Highway 32. Installation of plantings on both sides of the alternative transportation trail referenced above is encouraged. All trees shall be a minimum of two and one-half (2.5) inches in caliper at the time of planting.



North Trail Corridor Landscaping (est. 1,381 LF)			
	Required	Provided	Deficient
3 Shade Trees / 100 LF	42	0	0
1 Ornamental Tree / 100 LF	14	0	0

- (b) Shade trees planted with the Trail Corridor shall be spaced a minimum of fifteen (15) feet and no more than forty (40) feet apart.
  - (c) Landscaping required within the Trail Corridor shall be counted toward meeting the requirements of Article 6.8 Landscaping Standards, as if the Trail Corridor were a part of the adjacent Lot being developed.
3. Trail Corridor Mounds/Berms: The construction of intermittent, undulating mounds or berms within the Trail Corridor is encouraged, but not required. If mounds or berms are installed, then they should be designed in a manner that complements other improvements in the vicinity and in no event shall such mounds or berms be installed in a manner that unsafely inhibits vehicular line of sight (see also Article 6.19 Vision Clearance Standards) or use of the alternative transportation trail.
- 40) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
  - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
  - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 41) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

**DESIGN STANDARDS**

*Chapter 8 of Westfield UDO*

**The plans comply.**

- 42) Block Standards (Article 8.1)
- 43) Easement Standards (Article 8.3)
- 44) Monument and Marker Standards (Article 8.5)
- 45) Open Space and Amenity Standards (Article 8.6)
  - a) Per Ord. 25-35

- i) Site amenities shall be provided in substantial compliance with those amenities depicted on the Concept Plan and Building Elevations.
- ii) Site amenity improvements to be installed include, but are not limited to, the following:
  - 1. 1 Shawnee Shelter Structure – 16’ wide, 24’ long
  - 2. 11 Denali Round Surface Mount Tables, 4 Seats Each
  - 3. 2 Oxford Extra Heavy Duty Tables (picnic tables)
  - 4. 4 Denali Park Benches
  - 5. 4 Oxford Trash Receptacles
  - 6. 3 Bike Racks
  - 7. 1 Bike Repair Station
- iii) Specifications for the Site Amenities are attached hereto as Exhibit E (“Site Amenities”). Minor modifications or substitutions to the Site Amenities may be approved by the Director.

46) Pedestrian Network Standards (Article 8.7)

a) Internal Pedestrian Network Standards:

- i) The minimum sidewalk width shall be as indicated in the Thoroughfare Plan or five (5) feet (six (6) feet if immediately abutting the curb), whichever is greater.
- ii) Sidewalks shall be required on both sides on internal Streets and internal Private Streets in all developments.
- iii) When a proposed development lies between or adjacent to existing developments which have been provided with sidewalks, connecting sidewalks or pathways (which are extensions of the existing sidewalks) shall be constructed.
- iv) Connector sidewalks shall be provided from the sidewalk or path adjacent to the Street to the front entrance of all nonresidential structures. Where the sidewalk intersects driving lanes or parking aisles within the Parking Area, then crosswalks and ramps shall be installed in accordance with ADA requirements and such areas shall be delineated (e.g., pavers, stamped, bricked), as determined by the Plan Commission or Director, to reinforce pedestrian safety.

b) Perimeter/External Pedestrian Network Standards: All developments shall participate in the establishment or improvement to the pedestrian network along Streets adjacent to its perimeter in accordance with the following:

- i) Where a proposed Development Plan or Subdivision abuts an existing Right-of-way, then pedestrian paths, jogging paths, and bicycle paths shall be provided along the perimeter Street(s) or Private Street(s) in accordance with the Thoroughfare Plan. The type of pedestrian facility required shall be as set forth in the Thoroughfare Plan. The County or Public Works Department, as applicable, may waive the requirement for a path along perimeter streets for a Minor Subdivision.



- ii) Generally, all required pedestrian facility improvements shall be located within the Right-of-way. Required improvements located outside of the Right-of-way shall be located within an easement approved by the Director or Public Works Department.
- iii) The Plan Commission or Director may require Developers, at their expense, to construct off-site pedestrian facilities adjacent to the proposed development to respond to the proposed development's impact and infrastructure demands (see also Article 8.9 Street and Right-of-Way Standards as it may apply).

47) Storm Water Standards (Article 8.8)

48) Street and Right-of-Way Standards (Article 8.9)

49) Street Light Standards (Article 8.10)

50) Street Sign Standards (Article 8.11)

51) Surety Standards (Article 8.12)

52) Utility Standards (Article 8.13)

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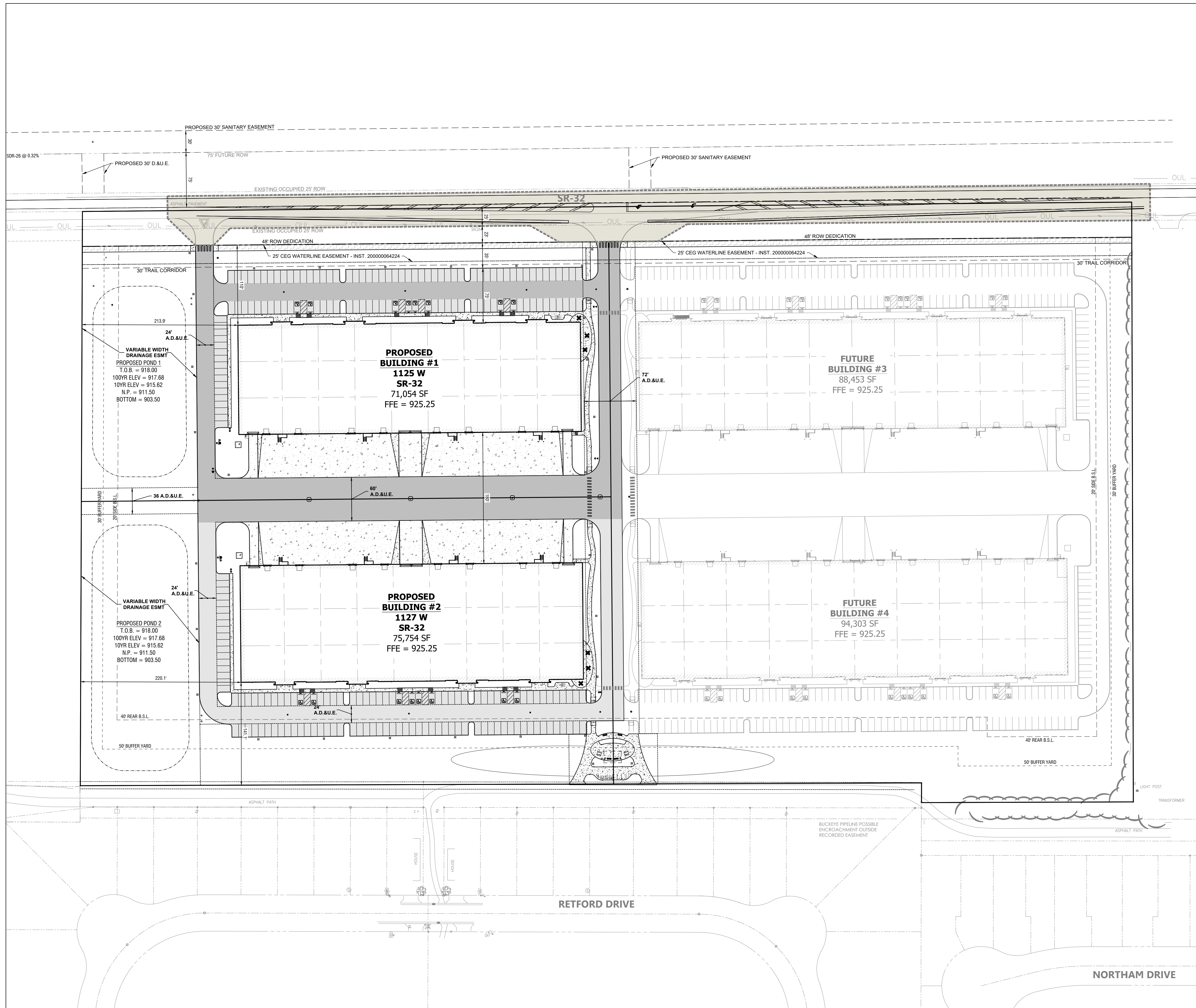
**DEPARTMENT COMMENTS:**

**The plans presented comply with the applicable zoning ordinances.**

Requested Action: Approve 2603-DDP-08 with the following conditions:

- That all necessary approvals be obtained from the Westfield Public Works Department prior to any work beginning on the Property.

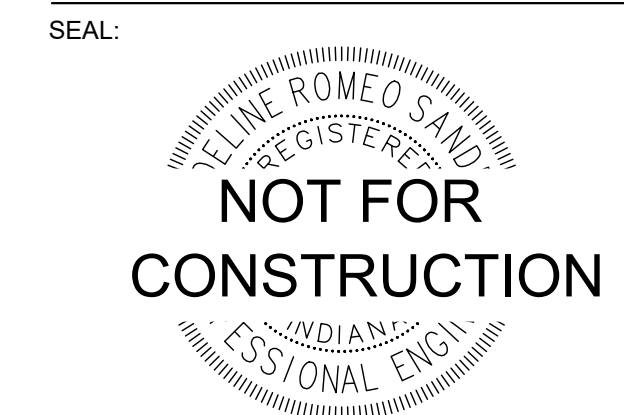
Please contact Weston Rogers at [wrogers@westfield.in.gov](mailto:wrogers@westfield.in.gov) or (317) 408-9895 with questions prior to the meeting.



- SITE PLAN NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING, OR VERIFYING, THAT ALL PERMITS AND APPROVALS ARE OBTAINED FROM THE RESPECTIVE CITY, COUNTY, AND STATE AGENCIES PRIOR TO STARTING CONSTRUCTION.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES IN THE VICINITY OF THE CONSTRUCTION AREA PRIOR TO STARTING CONSTRUCTION.
  - IT SHALL BE THE CONTRACTORS RESPONSIBILITY FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH RESPECTIVE UTILITY COMPANIES.
  - ALL CONSTRUCTION ACTIVITY ON THIS SITE IS TO BE PERFORMED IN COMPLIANCE WITH MOST CURRENT APPLICABLE OSHA STANDARDS FOR WORKER SAFETY.
  - ALL RADII AND STREET DIMENSIONS SHALL BE MEASURED TO FACE OF CURB OR FACE OF INTEGRAL CURB AND WALK. ALL DIMENSIONS TO THE BUILDING ARE TO THE OUTSIDE OF BUILDING FOUNDATION WALL.
  - EXISTING PAVEMENT TO BE SAW CUT IN ALL AREAS WHERE INDICATED NEW PAVEMENT TO JOIN EXISTING PAVEMENT.
  - THE EDGE OF THE EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
  - ALL CONSTRUCTION JOINTS SHALL BE SAW, CLEANED OF DEBRIS, BLOWN DRY AND IMMEDIATELY SEALED WITH THE APPROPRIATE SEALANT ACCORDING TO MANUFACTURER'S DIRECTIONS.
  - ALL PARKING STRIPES ARE TO BE 4" WHITE PAINT. ADA PARKING AREAS AND ACCESS AISLES TO BE 4" BLUE PAINT.
  - BEARINGS, DIMENSIONS AND EASEMENTS ARE SHOWN FOR REFERENCE ONLY. SEE RECORD SURVEYS AND PLATS FOR EXACT INFORMATION.
  - SEE ARCHITECTURAL PLANS FOR DETAILS OF BUILDINGS AND BUILDING DIMENSIONS.
  - TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL STANDARDS, MUTCD AND INDOT SPECIFICATIONS.
  - ANY DISCREPANCIES OR CONFLICTS WHICH BECOME APPARENT BEFORE OR DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER PRIOR TO CONSTRUCTION SO THAT CLARIFICATION OR REDESIGN MAY OCCUR.
  - CONTACT ENGINEER IF ADDITIONAL DIMENSIONS ARE NEEDED FOR CONSTRUCTION.
  - SEE STRUCTURAL AND ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE STOOPS TO BE CONSTRUCTED OUTSIDE BUILDING AT ENTRY POINTS. ALL STOOPS TO BE 5X5' UNLESS NOTED OTHERWISE.

- LEGEND:**
- STANDARD DUTY ASPHALT PAVEMENT
  - HEAVY DUTY ASPHALT PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - SIDEWALK CONCRETE PAVEMENT
  - ASPHALT PATH
  - PATIO (REFER TO LANDSCAPE PLANS)
  - ENTRANCE DESIGN BY OTHERS

**SITE SUMMARY:**  
 ZONING: TRILSIDE BUSINESS CENTER PUD  
**BUILDING 1 PROPOSED PARKING**  
 109 PARKING SPACES  
 8 ADA PARKING SPACES  
 4 BIKE SPACES  
 121 TOTAL SPACES  
**BUILDING 2 PROPOSED PARKING**  
 110 PARKING SPACES  
 8 ADA PARKING SPACES  
 4 BIKE SPACES  
 122 TOTAL SPACES  
**SITE AREA**  
 24.8 ACRES  
**IMPERVIOUS AREA**  
 PAVEMENT: 5.06 AC  
 BUILDING: 3.37  
 TOTAL IMPERVIOUS: 8.43 AC  
 34% IMPERVIOUS



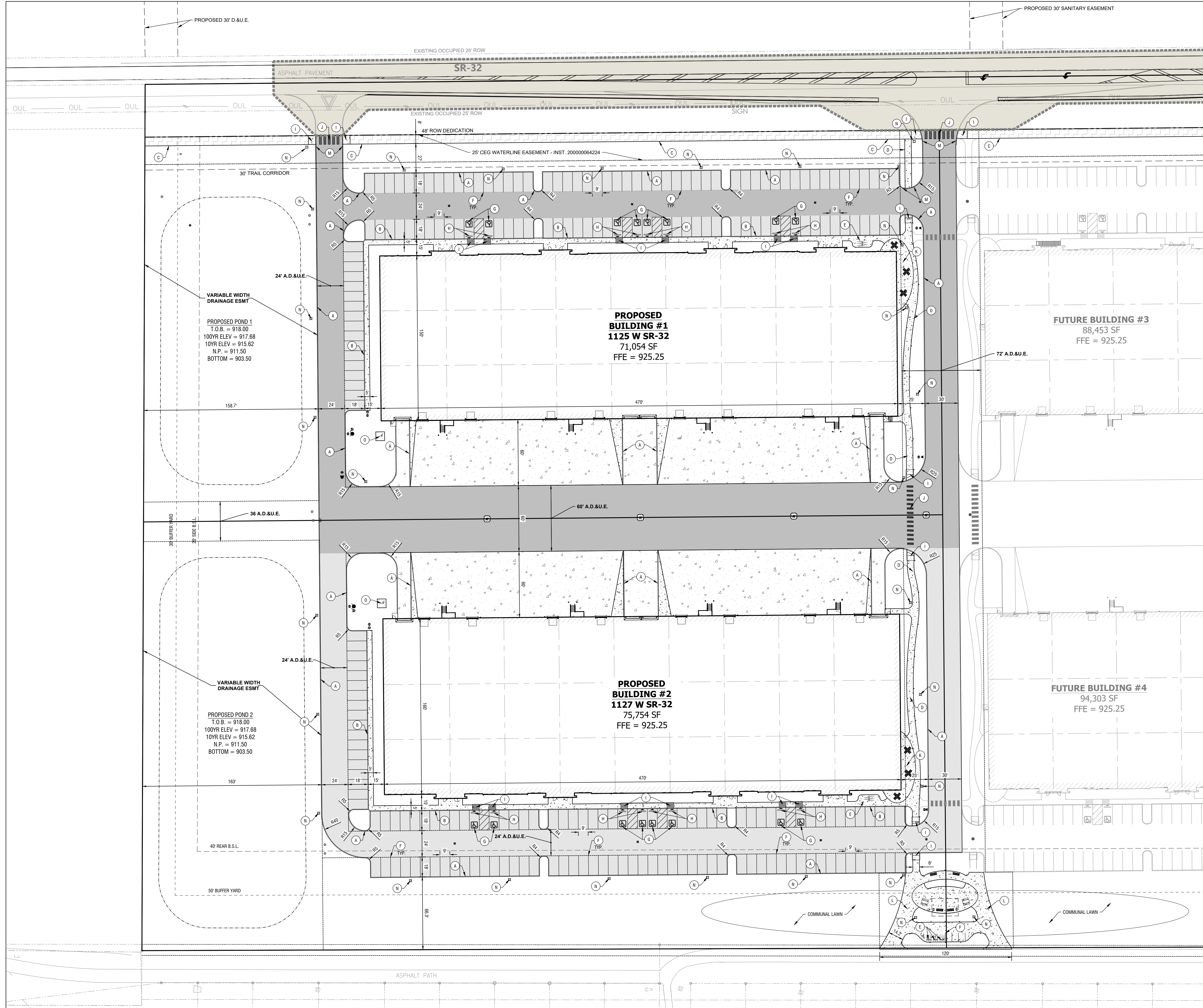
**SUBMITTALS / REVISIONS:**

NO.	DATE	DESCRIPTION
1	2026.02.27	SUBMITTAL TO CITY

PROJECT NO.: 12871.00 DRAWN BY: MRS  
 SHEET TITLE: OVERALL SITE PLAN

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SCALE 1" = 60'  
 0 60 120



- SITE PLAN NOTES:**
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  - ALL CONSTRUCTION ACTIVITY ON THIS SITE IS TO BE PERFORMED IN COMPLIANCE WITH MOST CURRENT APPLICABLE OSHA STANDARDS FOR WORKER SAFETY.
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  - THE EDGE OF THE EXISTING ASPHALT PAVEMENT SHALL BE PROPERLY SEALED WITH A TACK COAT MATERIAL IN ALL AREAS WHERE NEW ASPHALT PAVEMENT IS INDICATED TO JOIN EXISTING ASPHALT.
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- LEGEND:**
- STANDARD DUTY ASPHALT PAVEMENT
  - HEAVY DUTY ASPHALT PAVEMENT
  - HEAVY DUTY CONCRETE PAVEMENT
  - SIDEWALK CONCRETE PAVEMENT
  - ASPHALT PATH
  - PATIO (REFER TO LANDSCAPE PLANS)
  - ENTRANCE DESIGN BY OTHERS

- KEYNOTES:**
- A. 6" CONCRETE CURB
  - B. INTEGRAL CURB AND WALK
  - C. ASPHALT PATH
  - D. CONCRETE SIDEWALK
  - E. BIKE RACK (U-SHAPE)
  - F. PARKING STRIPING (4" PAINTED WHITE LINE)
  - G. ADA PARKING SPACE, ADA SYMBOL, AND PARKING SIGN (BLUE PAINT STRIPING)
  - H. PRECAST CONCRETE WHEELSTOP
  - I. ADA ACCESSIBLE RAMP
  - J. PAINTED CROSSWALK
  - K. PATIO (DESIGN BY OTHERS)
  - L. TRAILHEAD IMPROVEMENTS BY OTHERS
  - M. 2" CURB TAPER
  - N. LIGHT POLE (REFER TO PHOTOMETRIC PLAN)
  - O. TRANSFORMER PAD (COORDINATE LOCATION WITH UTILITY)

- PARKING SUMMARY:**
- BUILDING 1 PROPOSED PARKING**  
 109 PARKING SPACES  
 8 ADA PARKING SPACES  
 5 BIKE SPACES  
**122 TOTAL SPACES**
- BUILDING 2 PROPOSED PARKING**  
 110 PARKING SPACES  
 8 ADA PARKING SPACES  
 5 BIKE SPACES  
**123 TOTAL SPACES**
- TRAIL HEAD PROPOSED PARKING**  
 3 GOLF CART PARKING SPACES  
 9 BIKE SPACES  
**12 TOTAL SPACES**

DESIGN BUILDER:  
**ARCO**  
 DESIGN/BUILD  
 385 INTERSTATE N PKWY, STE 210  
 ATLANTA, GA 30339 770.541.1700

DESIGNER/ ENGINEER:  
**Spaceco**  
 Civil Engineering & Surveying  
 3883 S PROBITY WAY DR, STE 110  
 INDIANAPOLIS, IN 46240 317.779.2194

OWNER:  
**i3investors**  
 Industrial Investment Income Properties

PROJECT TITLE:  
**TRAILSIDE BUSINESS PARK**  
 Westfield, IN 46074



**SUBMITTALS / REVISIONS:**

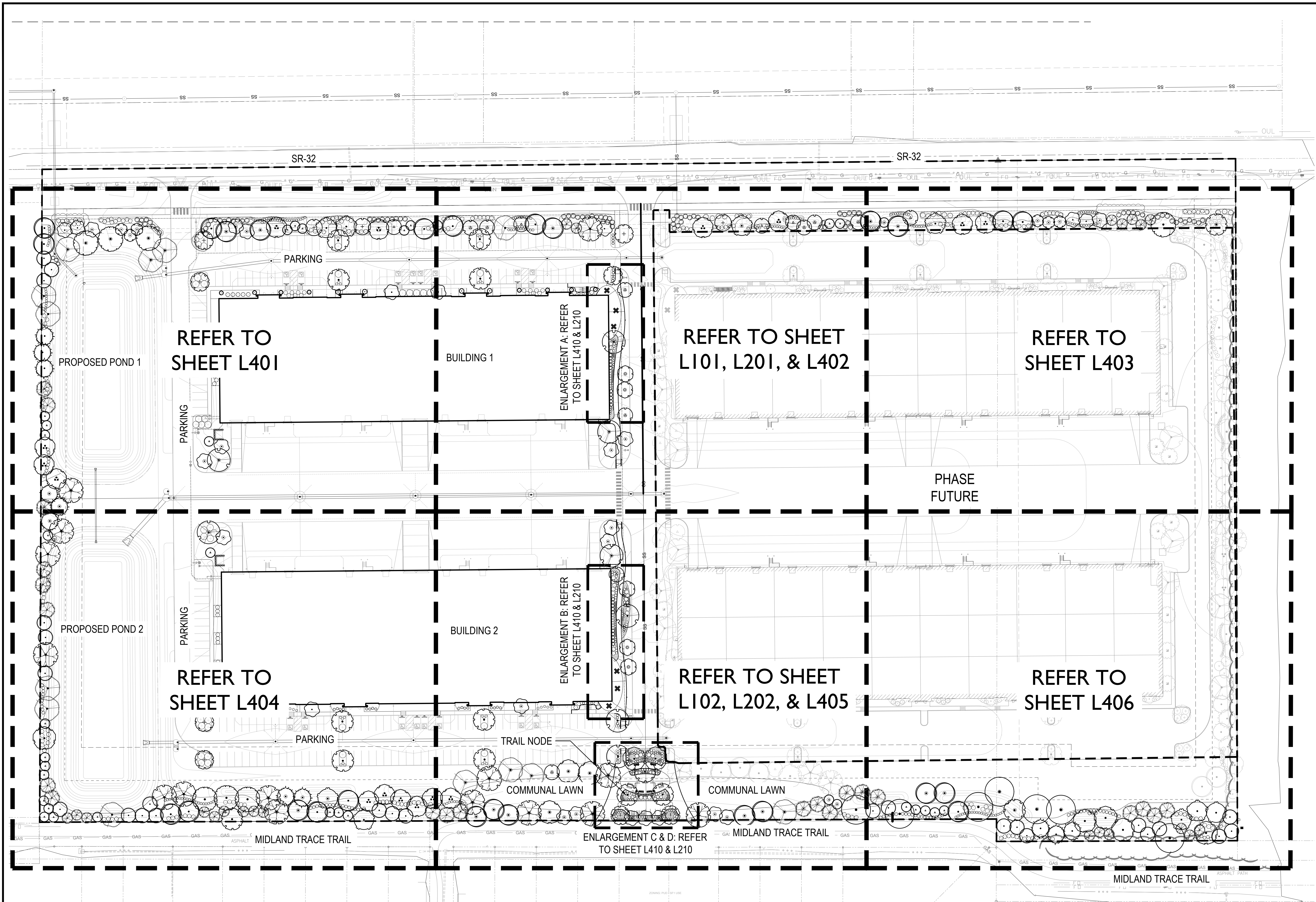
NO.	DATE	DESCRIPTION
1	2026.02.27	SUBMITTAL TO CITY

PROJECT NO.: 12871.00 DRAWN BY: MRS  
 SHEET TITLE: **SITE PLAN**

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 SHEET NUMBER:

**C4.1**  
 2026.02.27  
 Page 62 of 233



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TAC SUBMITTAL

**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana

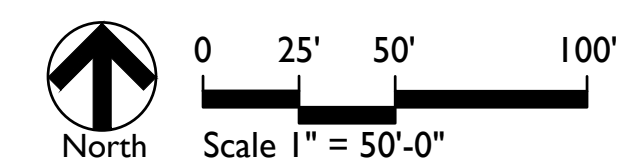
OVERALL SITE REFERENCE PLAN

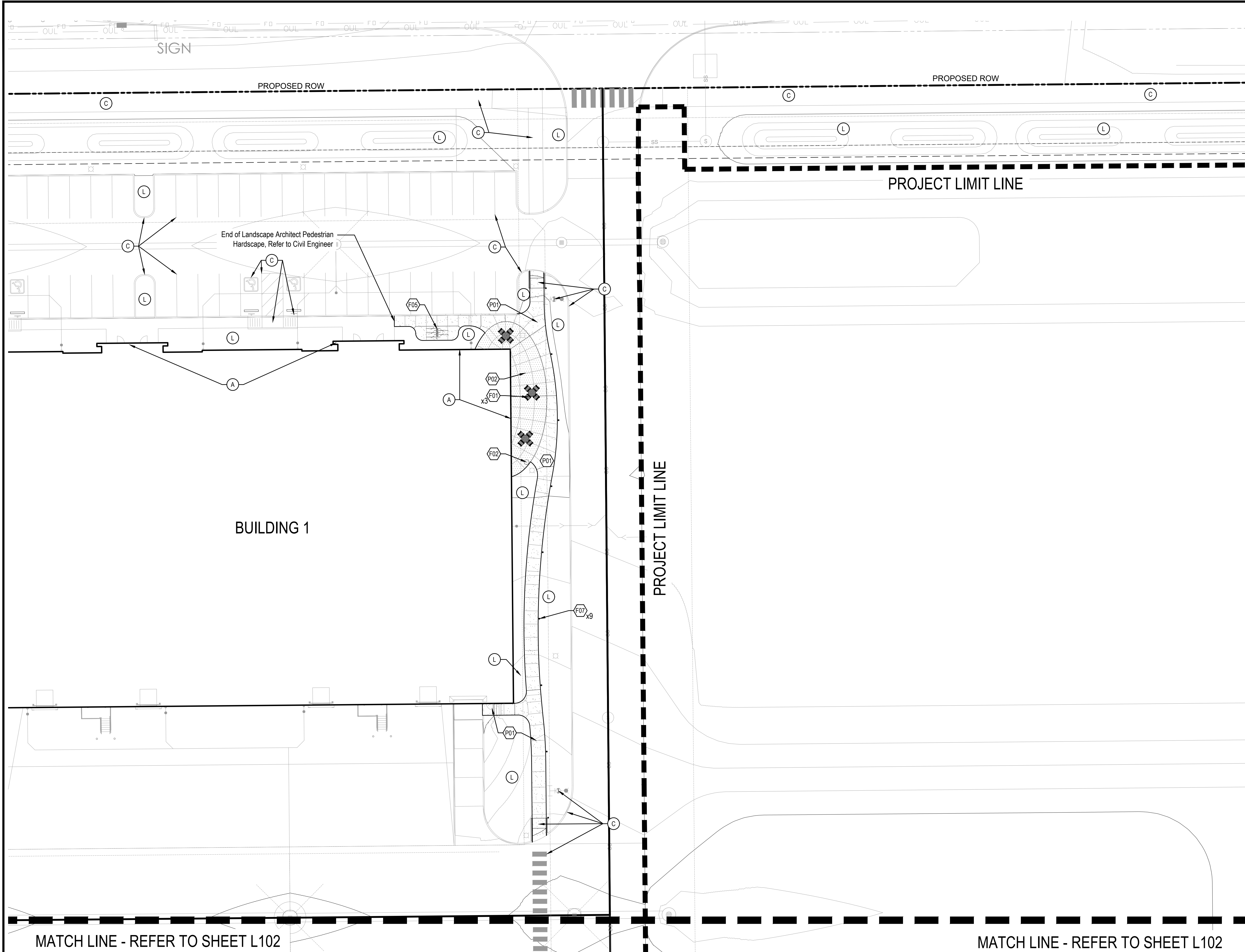
Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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Sheet No:  
**L100**





REFERENCE KEYNOTES	
KEY	DESCRIPTION / REFERENCE
(A)	ARCHITECTURAL FEATURE, REFER TO ARCHITECTURAL SERIES
(C)	CIVIL FEATURE, REFER TO CIVIL SERIES
(L)	LANDSCAPE OR PLANTED AREA REFER TO L400 SHEETS

SITE FURNISHINGS	
KEY	DESCRIPTION / REFERENCE
(F01)	DENALI ROUND SURFACE MOUNT TABLES & 4 SEATS EACH, ULTRASITE MODEL # 413SM-RDR38, REFER TO SPECIFICATION 32 33 00
(F02)	OXFORD TRASH RECEPTACLE, ULTRASITE, MODEL #OX-36R, REFER TO SPECIFICATION 32 33 00
(F03)	DENALI PARK BENCH, ULTRASITE, MODEL # 410SM-R6, REFER TO SPECIFICATION 32 33 00
(F04)	PICNIC TABLE - OXFORD EXTRA HEAVY DUTY TABLES, ULTRASITE MODEL # 238-SR6, REFER TO SPECIFICATION 32 33 00
(F05)	BIKE RACK, ULTRASITE MODEL # 5803SM REFER TO SPECIFICATION 32 33 00
(F06)	BIKE REPAIR STATION, FIXIT PLUS, DERO, REFER TO SPECIFICATION 32 33 00
(F07)	BOLLARD, MIRADA BOLLARD (MRB) LOW LEVEL LIGHTING, LSI INDUSTRIES, REFER TO SPECIFICATION 32 33 00

PAVEMENT MARKINGS	
KEY	DESCRIPTION / REFERENCE
(M01)	GOLF CART PARKING STRIPING REFER TO SPECIFICATION 32 17 23

PAVEMENTS	
KEY	DESCRIPTION / REFERENCE
(P01)	CONCRETE, STANDARD DUTY, REFER TO DETAILS 1-2/L600 AND SPECIFICATION 32 13 16
(P02)	CONCRETE, INTEGRAL COLOR, REFER TO DETAILS 1-2/L600 AND SPECIFICATION 32 13 16

STRUCTURES	
KEY	DESCRIPTION / REFERENCE
(S01)	SHAWNEE SHELTER STRUCTURE, AMERICAN OUTDOORS, REFER TO SITE DETAILS 1-3/L601 AND SPECIFICATION 32 33 00

**SITE AMENITY REQUIREMENTS FOR: Trailside Business Center**

**FROM THE TRAILSIDE BUSINESS CENTER PLANNED UNIT DEVELOPMENT**  
**Section 9: Site Amenities**  
 Requirements: B. Site amenity improvements to be installed include, but are not limited to the following:

- Required: 1 Shawnee Shelter Structure - 16' wide, 24' long  
 Provided: 1
- Required: 11 Denali Round Surface Mount Tables, 4 Seats Each  
 Provided: 6 (remaining 5 to be included in Phase 2)
- Required: 2 Oxford Extra Heavy Duty Tables (picnic tables)  
 Provided: 2
- Required: 4 Denali Park Benches  
 Provided: 4
- Required: 4 Oxford Trash Receptacles  
 Provided: 4
- Required: 3 Bike Racks  
 Provided: 3
- Required: 1 Bike Repair Station  
 Provided: 1

**FROM THE WESTFIELD-WASHINGTON UNIFIED DEVELOPMENT ORDINANCE**  
**Chapter 6: Development Standards**  
 6.14 Parking and Loading Standards

Required: 8 Bike Spaces (1 per 30 vehicular spaces)  
 Provided: 10 Bike Spaces (2 Bike Racks)



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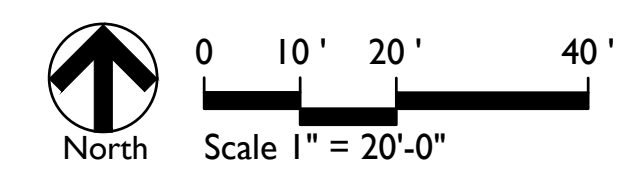
TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
 Westfield, Indiana  
**MATERIALS AND NOTES PLAN**

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
 Project No: 26-1972  
 Drawn by: BH, JL, JT, AY  
 Checked by: GW

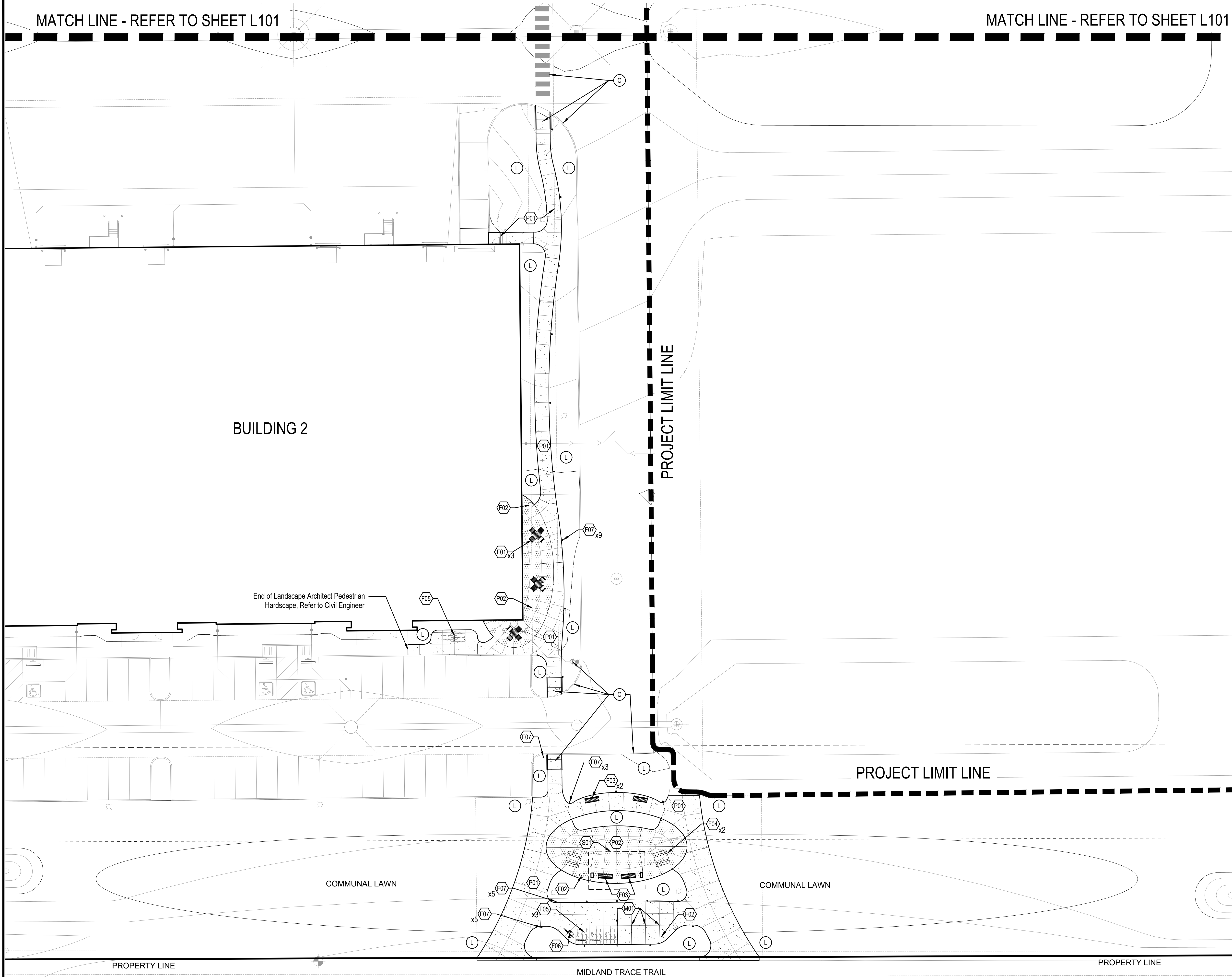
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Sheet No:  
**L101**



MATCH LINE - REFER TO SHEET L101

MATCH LINE - REFER TO SHEET L101



REFERENCE KEYNOTES	
KEY	DESCRIPTION / REFERENCE
(A)	ARCHITECTURAL FEATURE, REFER TO ARCHITECTURAL SERIES
(C)	CIVIL FEATURE, REFER TO CIVIL SERIES
(L)	LANDSCAPE OR PLANTED AREA REFER TO L400 SHEETS

SITE FURNISHINGS	
KEY	DESCRIPTION / REFERENCE
F01	DENALI ROUND SURFACE MOUNT TABLES & 4 SEATS EACH, ULTRASITE MODEL # 413SM-RDR38, REFER TO SPECIFICATION 32 33 00
F02	OXFORD TRASH RECEPTACLE, ULTRASITE, MODEL #OX-36R, REFER TO SPECIFICATION 32 33 00
F03	DENALI PARK BENCH, ULTRASITE, MODEL # 410SM-R6, REFER TO SPECIFICATION 32 33 00
F04	PICNIC TABLE - OXFORD EXTRA HEAVY DUTY TABLES, ULTRASITE MODEL # 238-SR6, REFER TO SPECIFICATION 32 33 00
F05	BIKE RACK, ULTRASITE MODEL # 5803SM REFER TO SPECIFICATION 32 33 00
F06	BIKE REPAIR STATION, FIXIT PLUS, DERO, REFER TO SPECIFICATION 32 33 00
F07	BOLLARD, MIRADA BOLLARD (MRB) LOW LEVEL LIGHTING, LSI INDUSTRIES, REFER TO SPECIFICATION 32 33 00

PAVEMENT MARKINGS	
KEY	DESCRIPTION / REFERENCE
M01	GOLF CART PARKING STRIPING REFER TO SPECIFICATION 32 17 23

PAVEMENTS	
KEY	DESCRIPTION / REFERENCE
P01	CONCRETE, STANDARD DUTY, REFER TO DETAILS 1-2/L600 AND SPECIFICATION 32 13 16
P02	CONCRETE, INTEGRAL COLOR, REFER TO DETAILS 1-2/L600 AND SPECIFICATION 32 13 16

STRUCTURES	
KEY	DESCRIPTION / REFERENCE
S01	SHAWNEE SHELTER STRUCTURE, AMERICAN OUTDOORS, REFER TO SITE DETAILS 1-3/L601 AND SPECIFICATION 32 33 00

**SITE AMENITY REQUIREMENTS FOR: Trailside Business Center**

**FROM THE TRAILSIDE BUSINESS CENTER PLANNED UNIT DEVELOPMENT**  
 Section 9: Site Amenities  
 Requirements: B. Site amenity improvements to be installed include, but are not limited to the following:

- Required: 1 Shawnee Shelter Structure - 16' wide, 24' long  
Provided: 1
- Required: 11 Denali Round Surface Mount Tables, 4 Seats Each  
Provided: 6 (remaining 5 to be included in Phase 2)
- Required: 2 Oxford Extra Heavy Duty Tables (picnic tables)  
Provided: 2
- Required: 4 Denali Park Benches  
Provided: 4
- Required: 4 Oxford Trash Receptacles  
Provided: 4
- Required: 3 Bike Racks  
Provided: 3
- Required: 1 Bike Repair Station  
Provided: 1

**FROM THE WESTFIELD-WASHINGTON UNIFIED DEVELOPMENT ORDINANCE**  
 Chapter 6: Development Standards  
 6.14 Parking and Loading Standards

- Required: 8 Bike Spaces (1 per 30 vehicular spaces)  
Provided: 10 Bike Spaces (2 Bike Racks)



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 TRAILSIDE BUSINESS CENTER  
 Westfield, Indiana

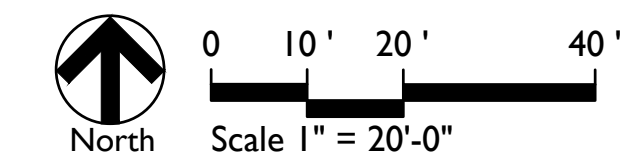
MATERIALS AND NOTES PLAN

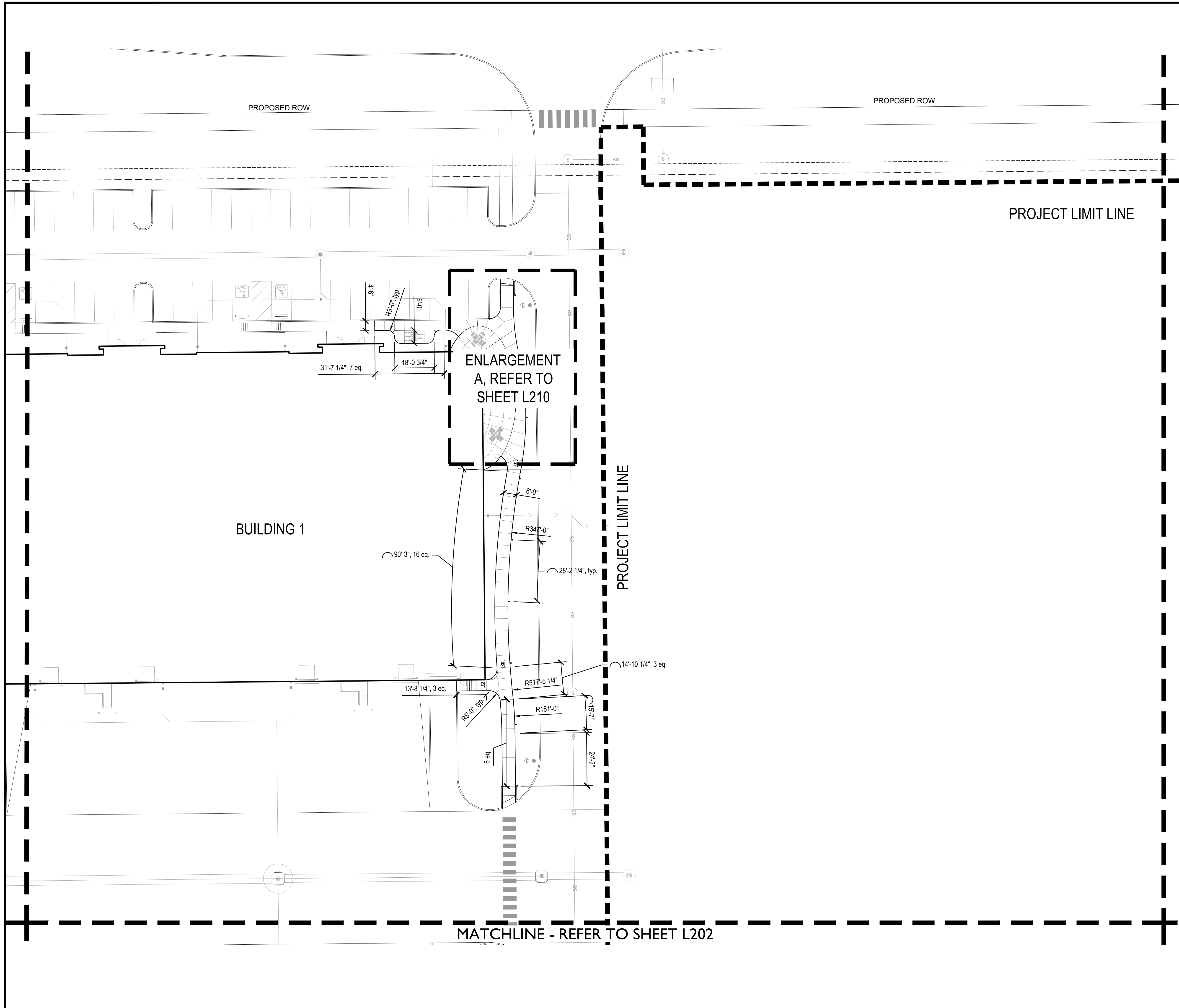
Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
 Project No: 26-1972  
 Drawn by: BH, JL, JT, AY  
 Checked by: GW

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Sheet No:  
**L102**





**LAYOUT NOTES**

1. Dimensions are shown to Face of Curb unless otherwise noted.
2. Contractor shall coordinate final joint locations in the field with the Landscape Architect. Align to existing conditions when practical, including at building and wall corners, connections to existing work, and to centerlines of doors.
3. Space control joints evenly between all bands and expansion joints as shown, unless otherwise dimensioned. Space interim joints equally whenever possible.
4. Digital AutoCAD files will be provided to the successful bidder as a courtesy to assist with field layout. The Contractor maintains all responsibility for the use, accuracy, and confirmation of such data.
5. All pavement striping shown shall adhere to Specifications. The Contractor shall include in their bid any miscellaneous copy, striping, or curb painting that may be requested by the Fire Marshal.
6. All disturbed areas not proposed to receive pavements shall be dressed with topsoil and seeded per Specifications.



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**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana

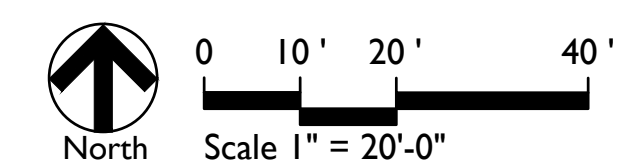
SITE LAYOUT PLAN

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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Sheet No:  
**L201**



MATCHLINE - REFER TO SHEET L201

LAYOUT NOTES

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5. All pavement striping shown shall adhere to Specifications. The Contractor shall include in their bid any miscellaneous copy, striping, or curb painting that may be requested by the Fire Marshal.
6. All disturbed areas not proposed to receive pavements shall be dressed with topsoil and seeded per Specifications.



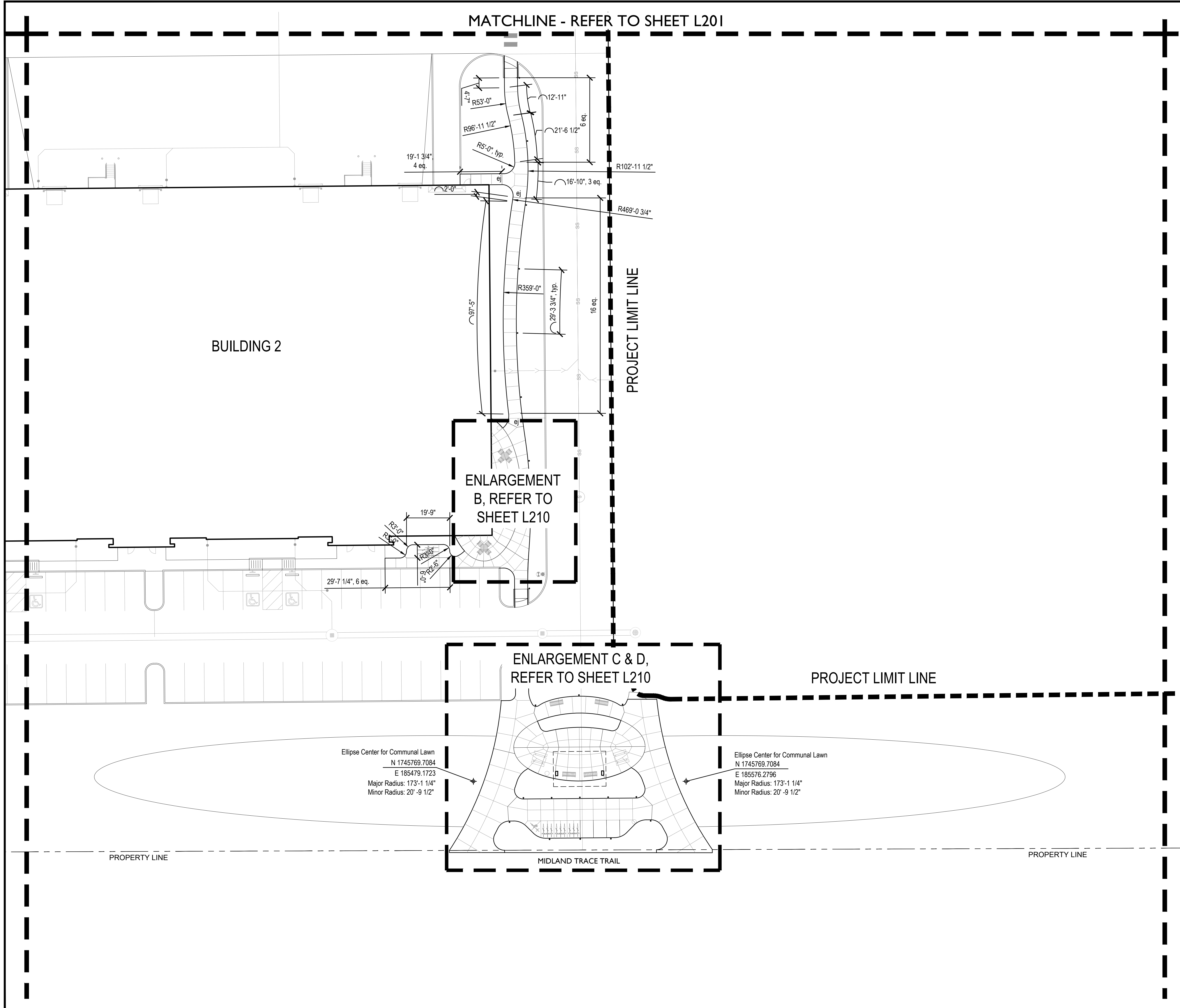
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317-485-6900 | www.context-design.com

Certified by:

NOT FOR CONSTRUCTION

TAC SUBMITTAL  
TRAILSIDE BUSINESS CENTER  
Westfield, Indiana

SITE LAYOUT PLAN

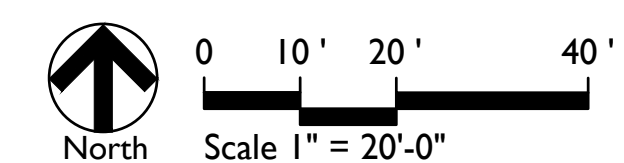


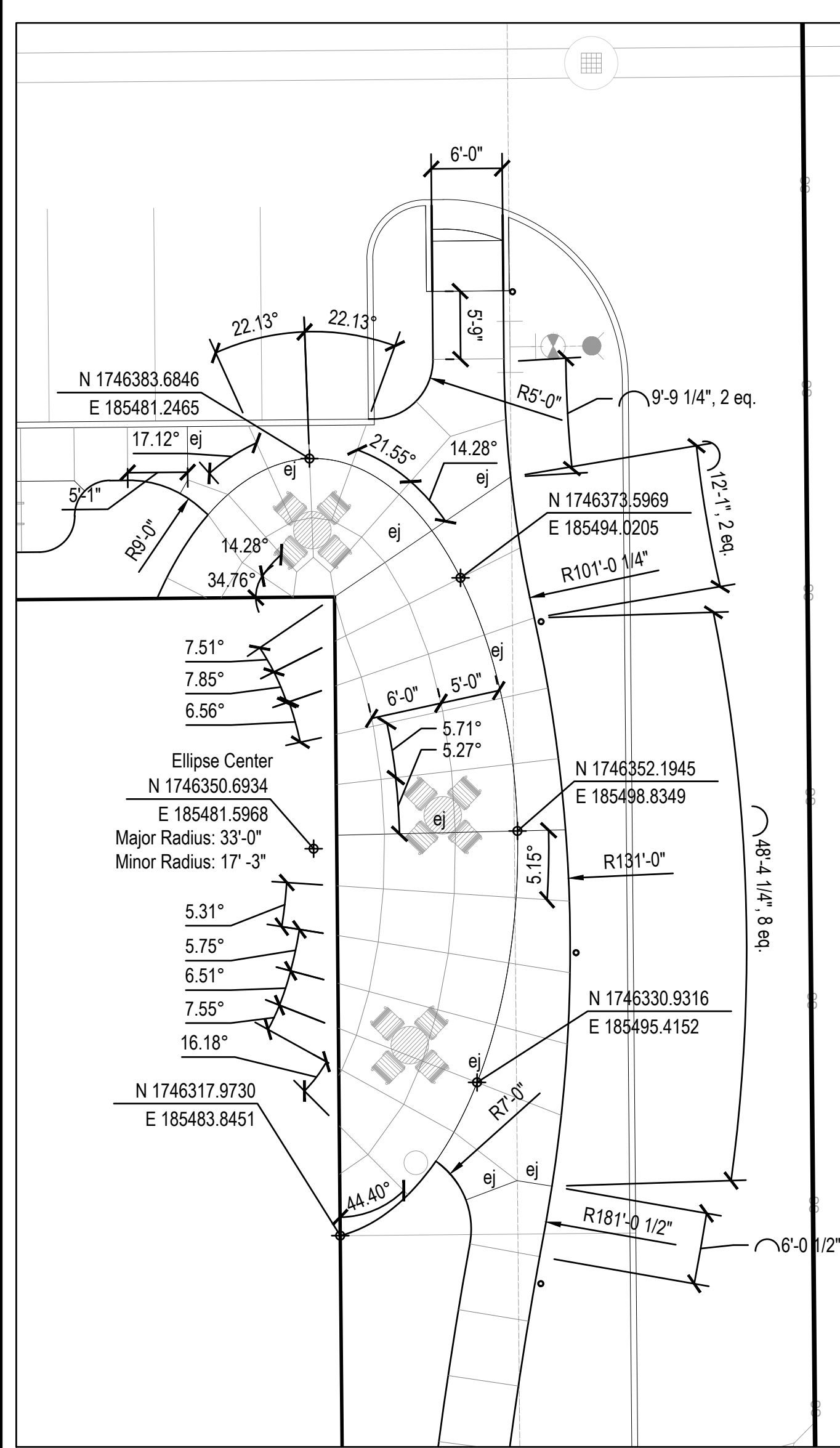
Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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Sheet No:  
**L202**

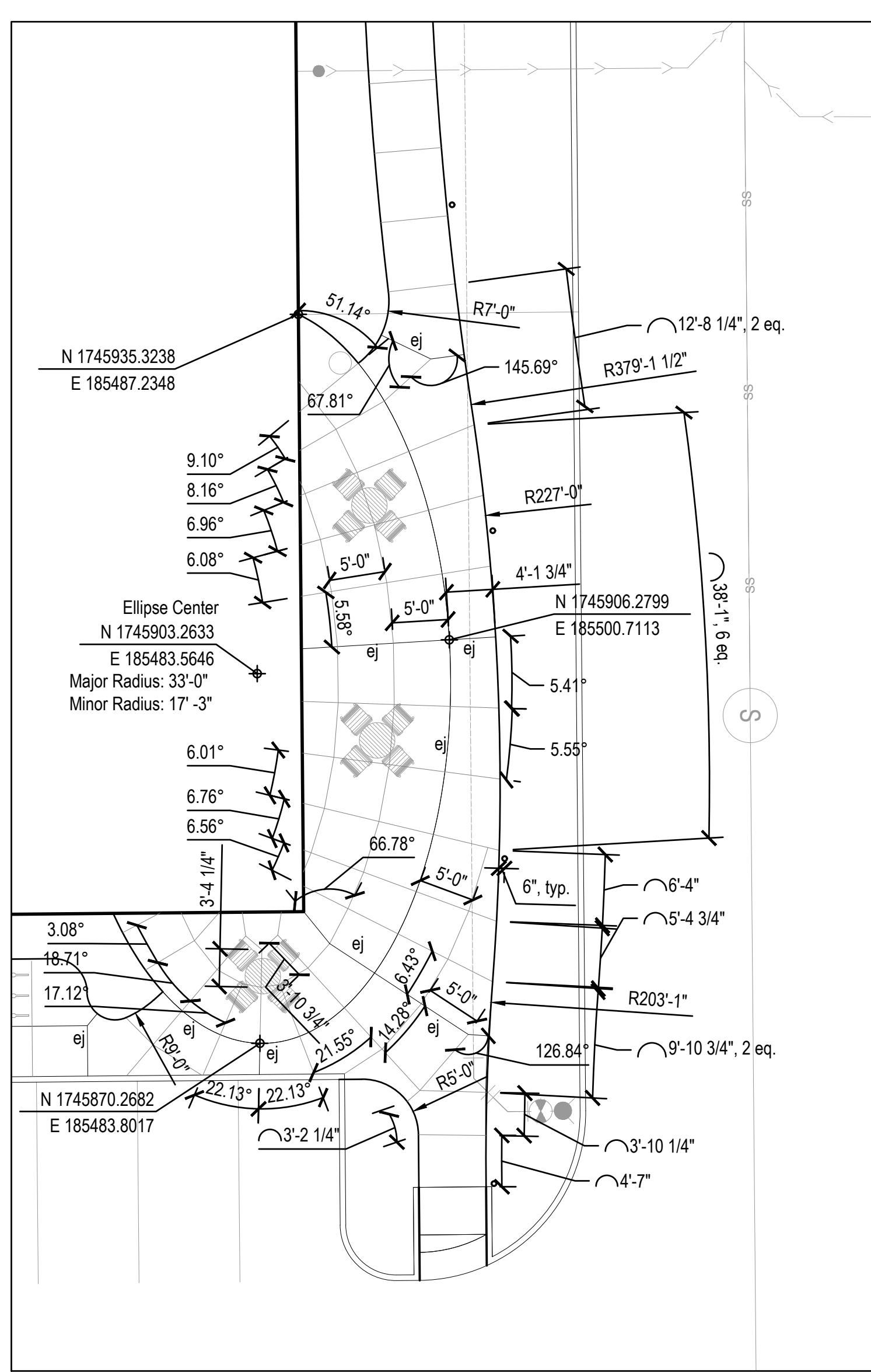




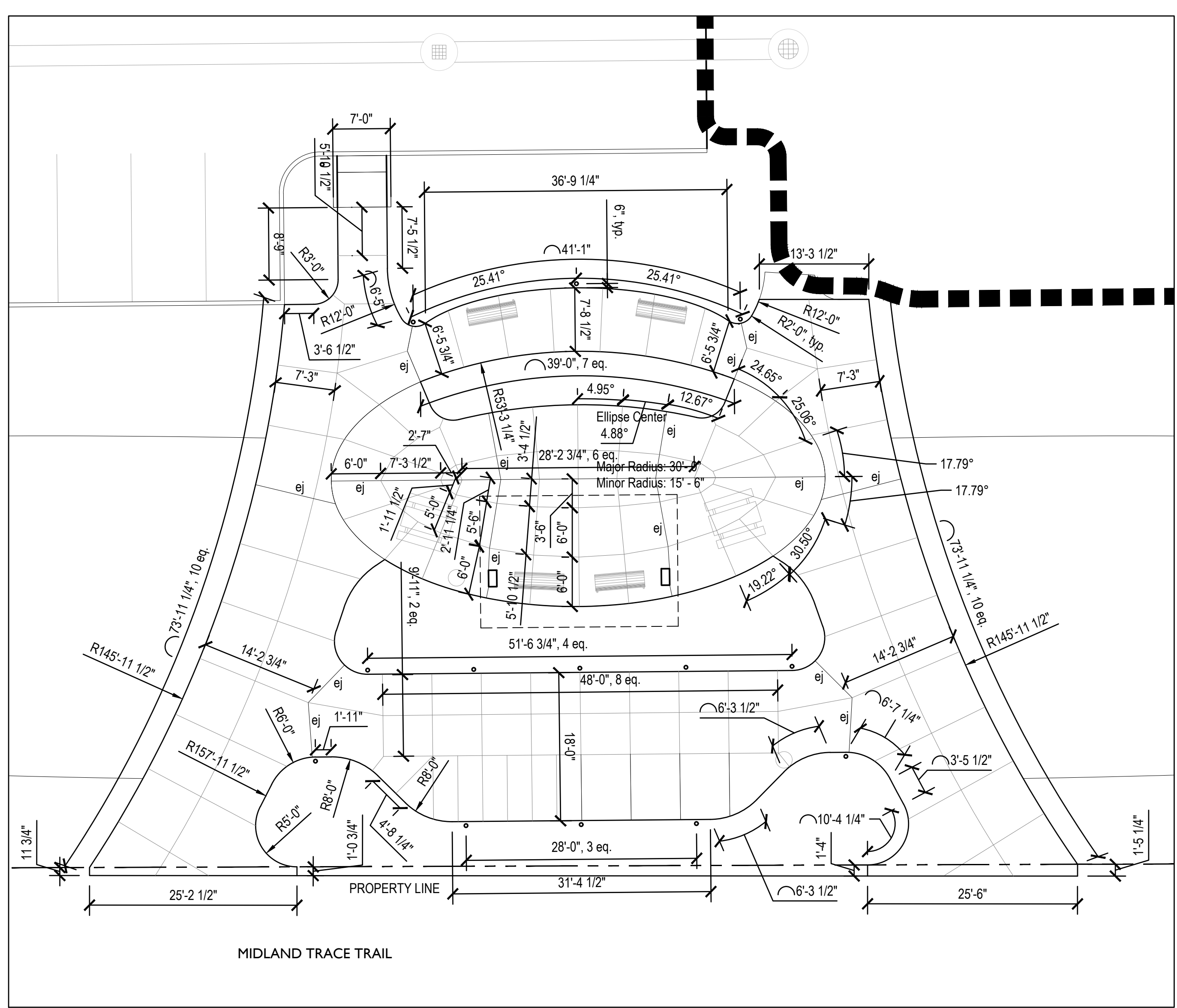
**ENLARGEMENT A** Scale 1" = 10'-0"

**LAYOUT NOTES**

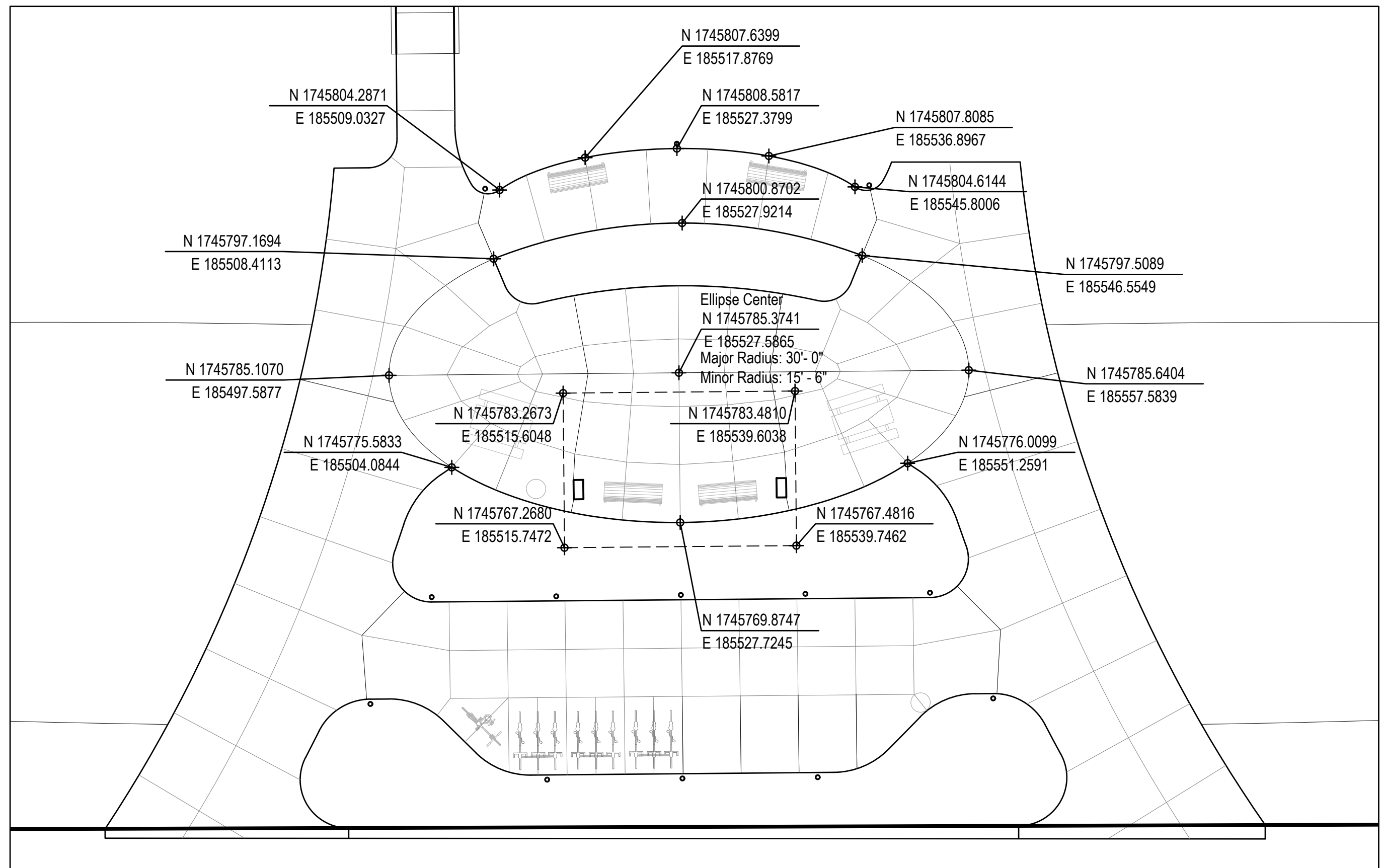
- Dimensions are shown to Face of Curb unless otherwise noted.
- Contractor shall coordinate final joint locations in the field with the Landscape Architect. Align to existing conditions when practical, including at building and wall corners, connections to existing work, and to centerlines of doors.
- Space control joints evenly between all bands and expansion joints as shown, unless otherwise dimensioned. Space interim joints equally whenever possible.
- Digital AutoCAD files will be provided to the successful bidder as a courtesy to assist with field layout. The Contractor maintains all responsibility for the use, accuracy, and confirmation of such data.
- All pavement striping shown shall adhere to Specifications. The Contractor shall include in their bid any miscellaneous copy, striping, or curb painting that may be requested by the Fire Marshal.
- All disturbed areas not proposed to receive pavements shall be dressed with topsoil and seeded per Specifications.



**ENLARGEMENT B** Scale 1" = 10'-0"



**ENLARGEMENT C** Scale 1" = 10'-0"



**ENLARGEMENT D** Scale 1" = 10'-0"

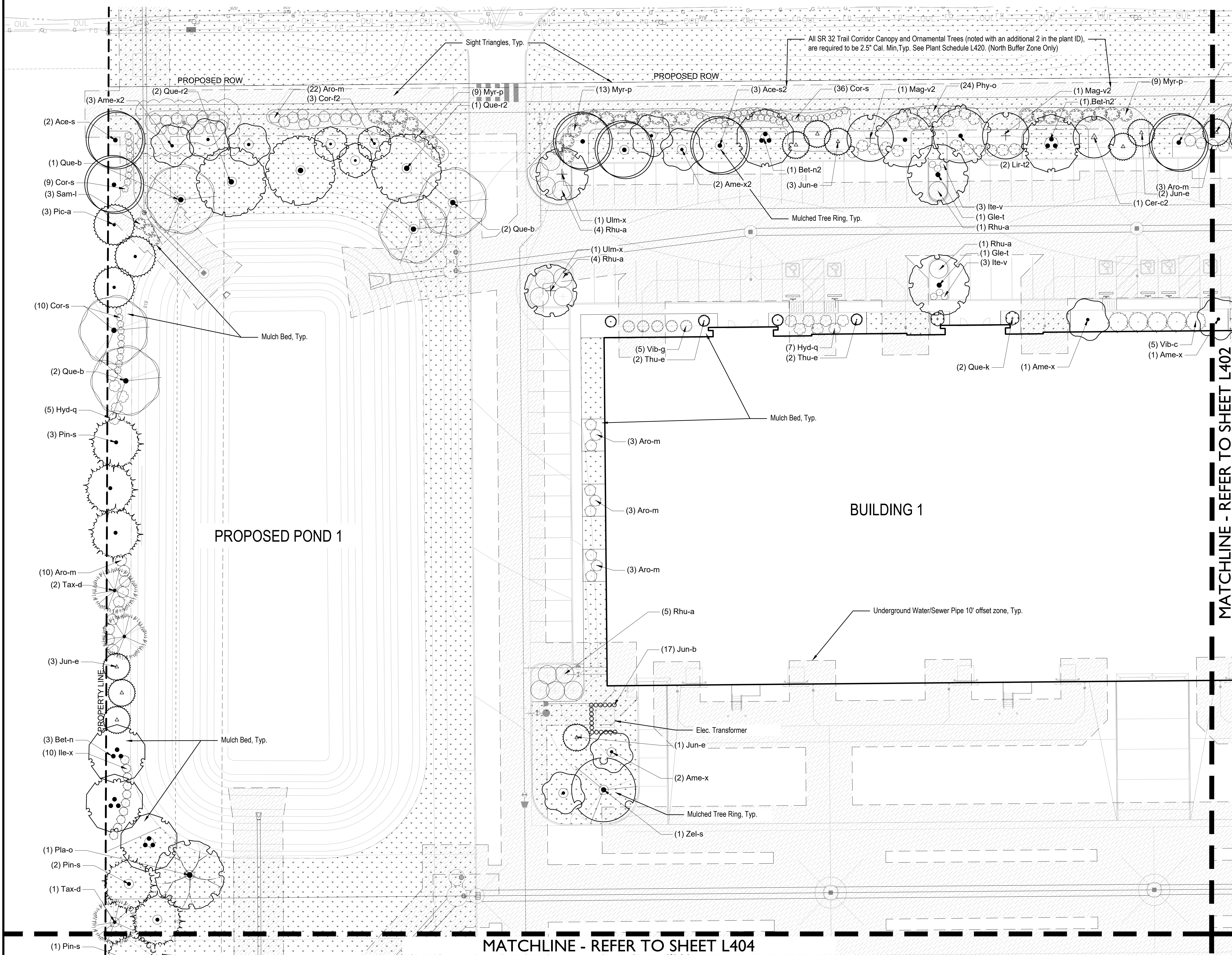
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TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana  
SITE LAYOUT ENLARGEMENTS

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

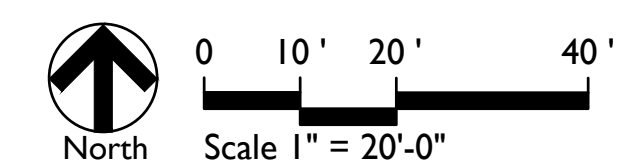
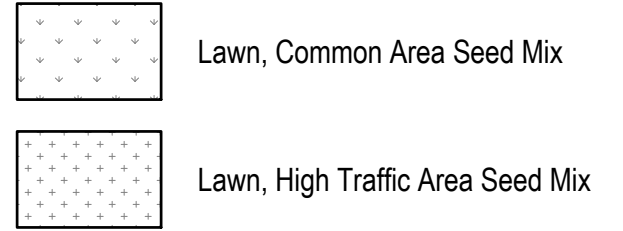
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### GENERAL LANDSCAPE AND PLANTING NOTES

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- Trees shall be matched in groups unless otherwise noted.

NOTE:  
Refer to Sheet L420 for Planting Details & Schedule, and Ordinance Requirements Chart.



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**TRAILSIDE BUSINESS CENTER**

Westfield, Indiana

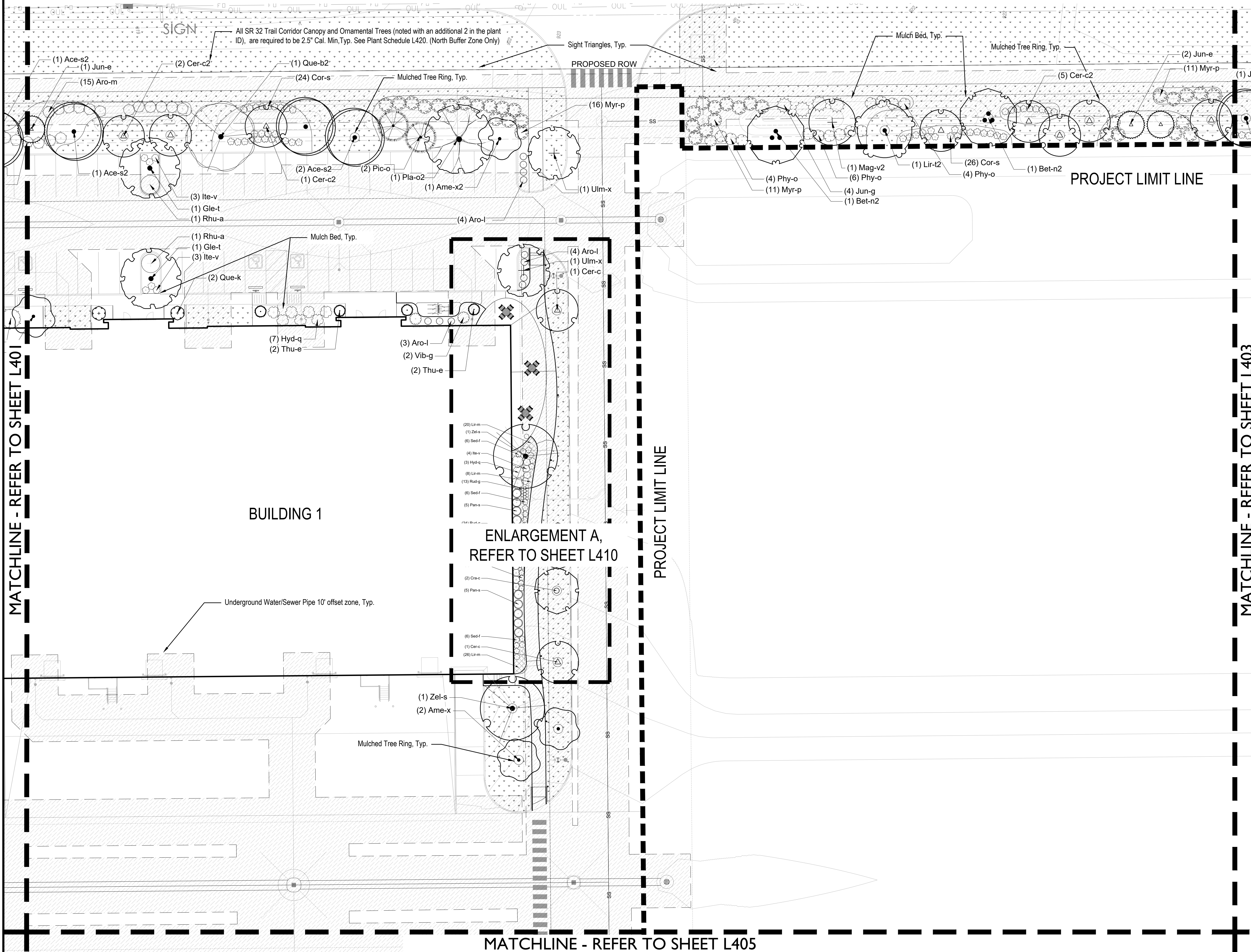
PLANTING PLAN

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
 Project No: 26-1972  
 Drawn by: BH, JL, JT, AY  
 Checked by: GW

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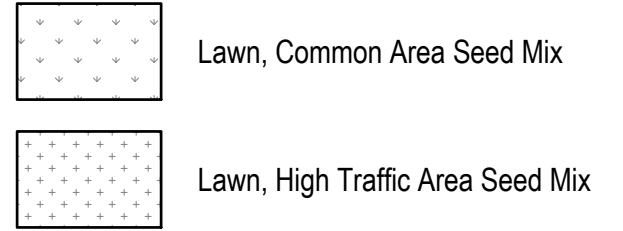
Sheet No:  
**L401**



### GENERAL LANDSCAPE AND PLANTING NOTES

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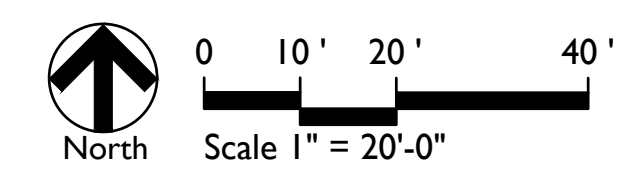
TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana  
PLANTING PLAN

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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Sheet No:  
**L402**



MATCHLINE - REFER TO SHEET L401

MATCHLINE - REFER TO SHEET L403

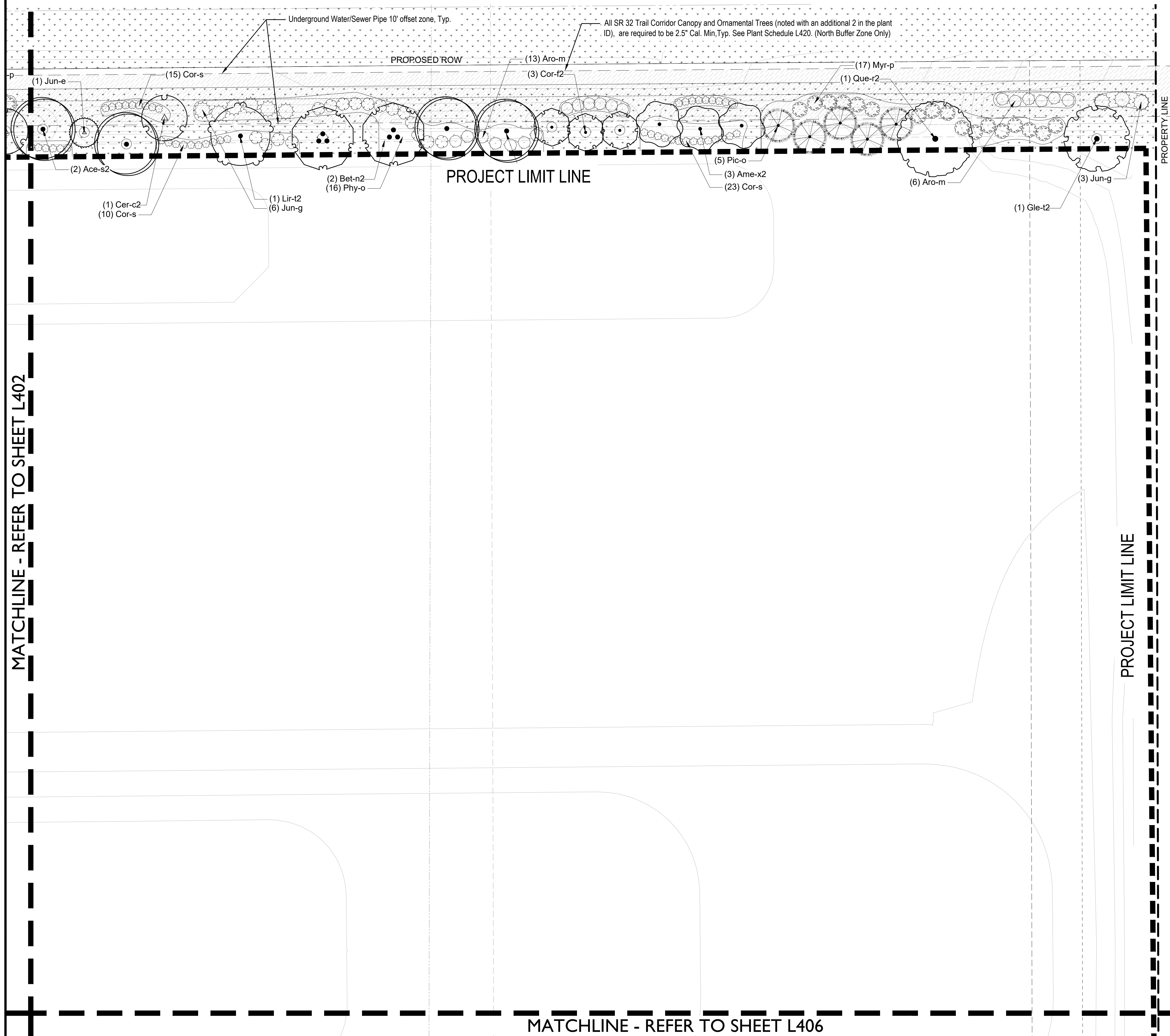
MATCHLINE - REFER TO SHEET L405

BUILDING 1

ENLARGEMENT A,  
REFER TO SHEET L410

PROJECT LIMIT LINE


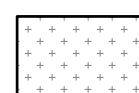
PROJECT LIMIT LINE



### GENERAL LANDSCAPE AND PLANTING NOTES

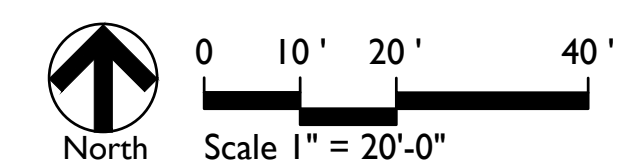
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NOTE:  
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-  Lawn, Common Area Seed Mix
-  Lawn, High Traffic Area Seed Mix

MATCHLINE - REFER TO SHEET L402

MATCHLINE - REFER TO SHEET L406



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TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana  
PLANTING PLAN

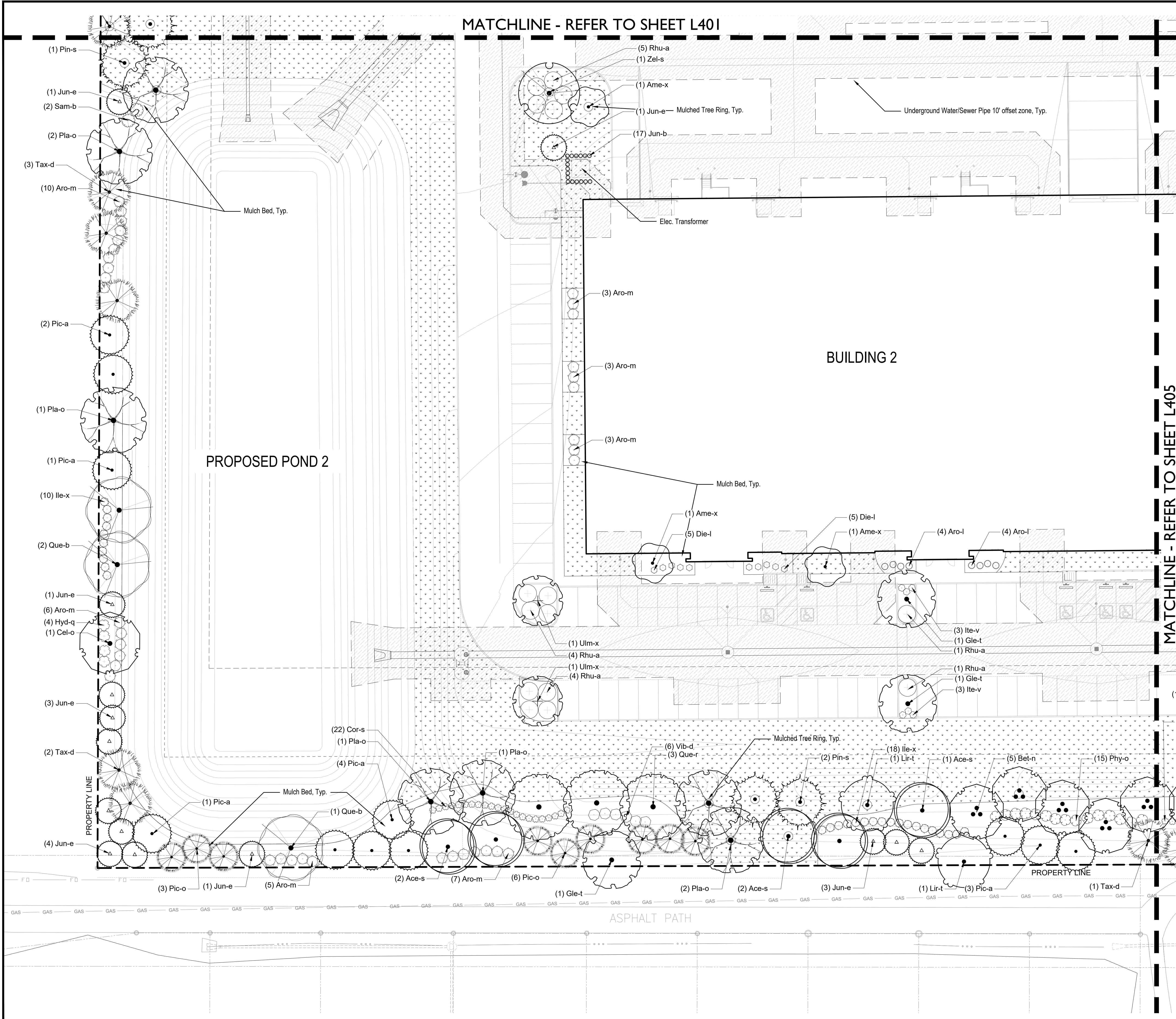
Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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Sheet No:  
**L403**

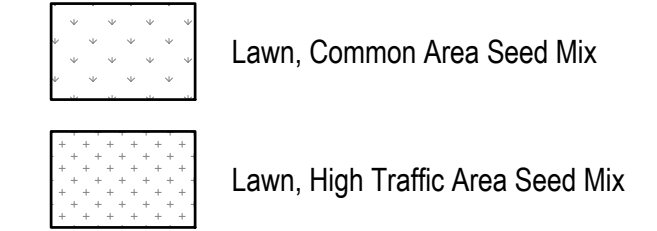
MATCHLINE - REFER TO SHEET L401



**GENERAL LANDSCAPE AND PLANTING NOTES**

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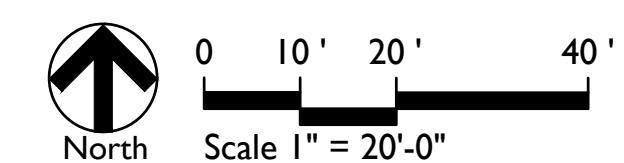
TAC SUBMITTAL  
TRAILSIDE BUSINESS CENTER  
Westfield, Indiana

PLANTING PLAN

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

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Sheet No:  
**L404**

MATCHLINE - REFER TO SHEET L402

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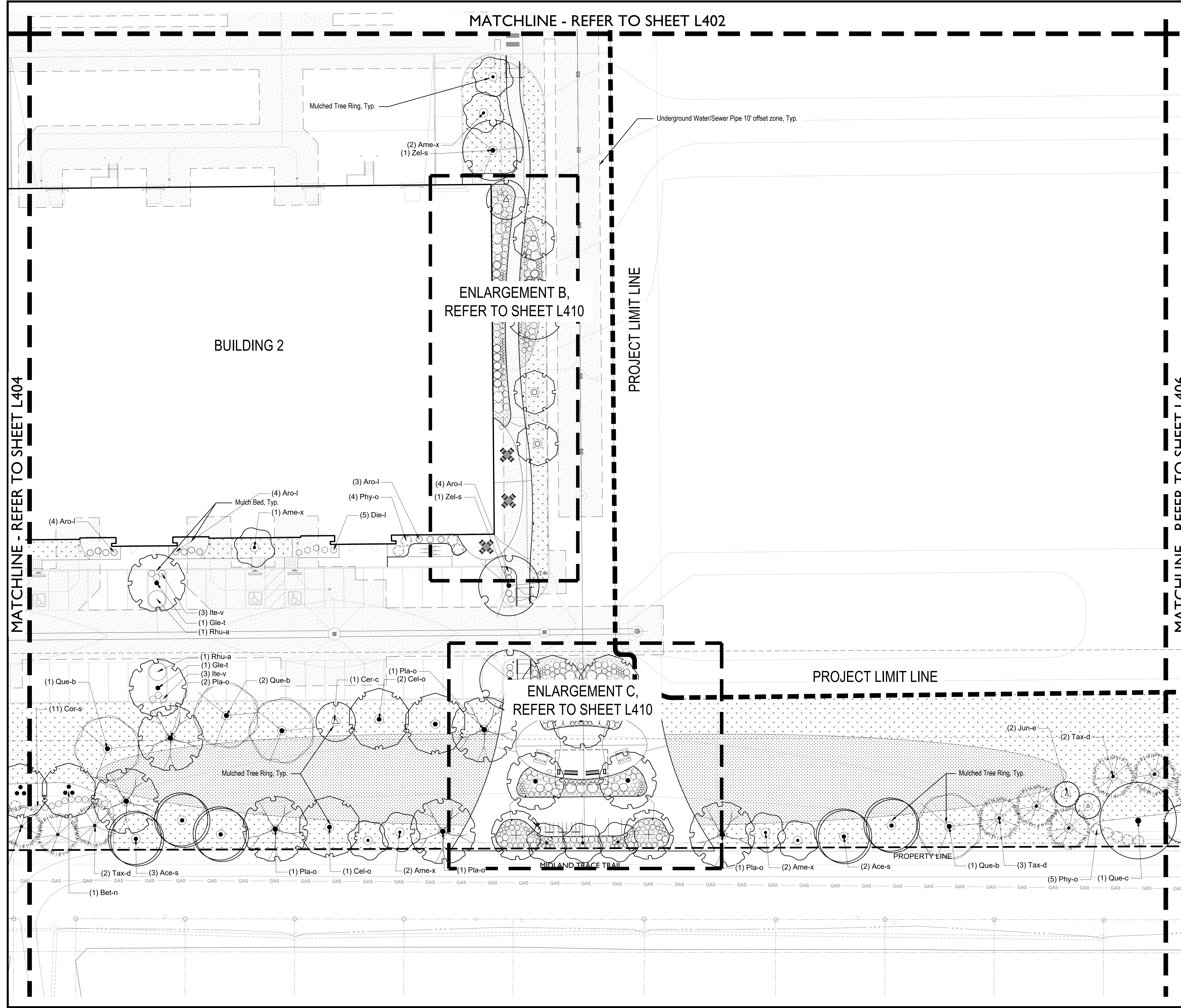
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TAC SUBMITTAL  
TRAILSIDE BUSINESS CENTER  
Westfield, Indiana

PLANTING PLAN

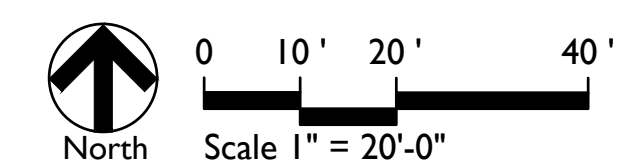
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- Lawn, Common Area Seed Mix
- Lawn, High Traffic Area Seed Mix



MATCHLINE - REFER TO SHEET L404

MATCHLINE - REFER TO SHEET L406



Revision	Date	Description
01	04/10/2026	TAC COMMENTS

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Sheet No:  
**L405**


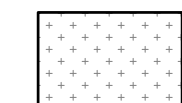
MATCHLINE - REFER TO SHEET L403

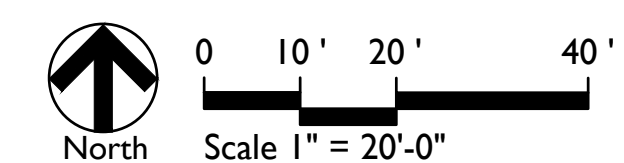
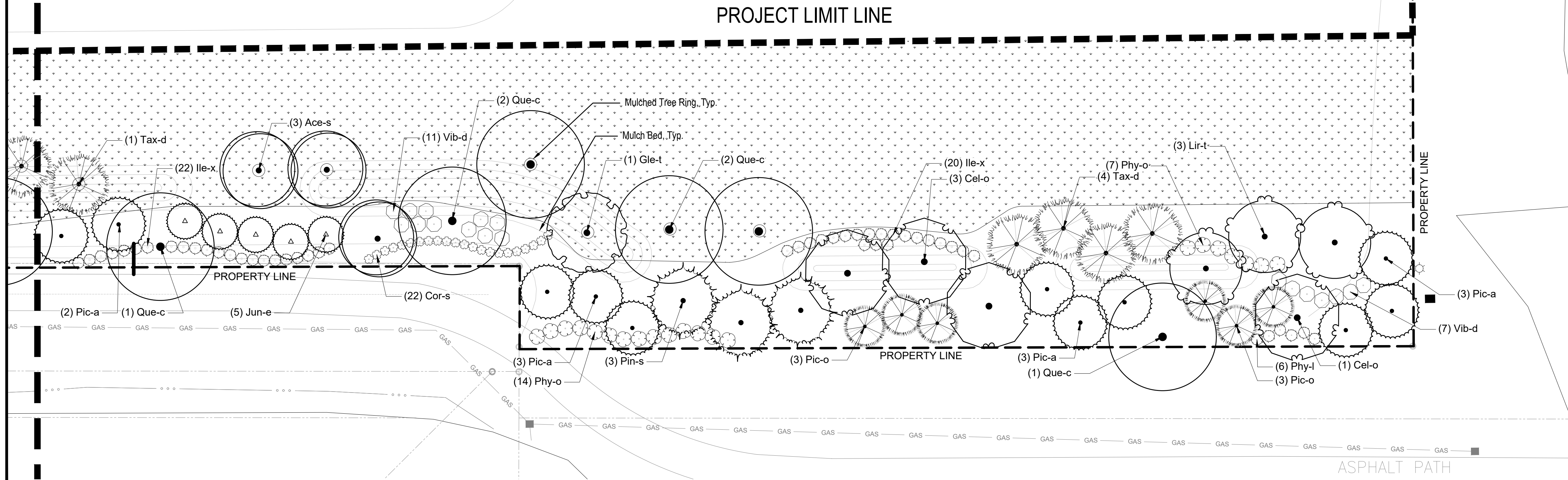
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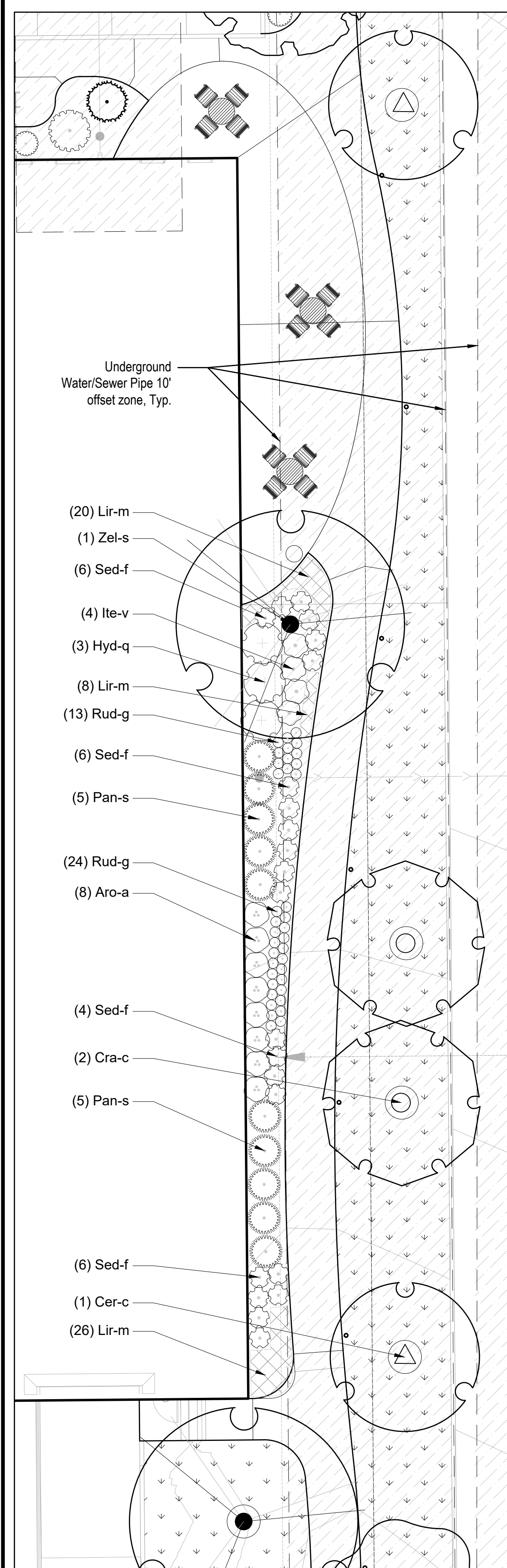
TAC SUBMITTAL  
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Westfield, Indiana  
**PLANTING PLAN**

Revision	Date	Description
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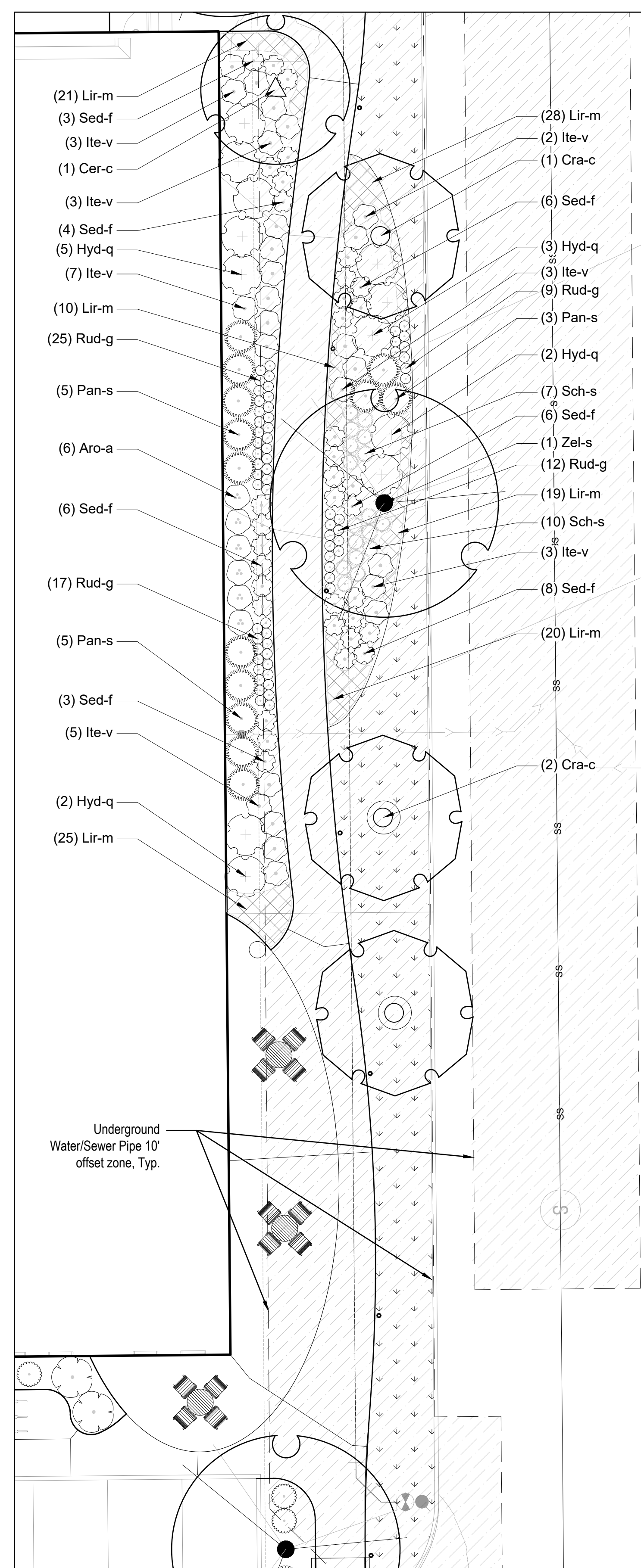
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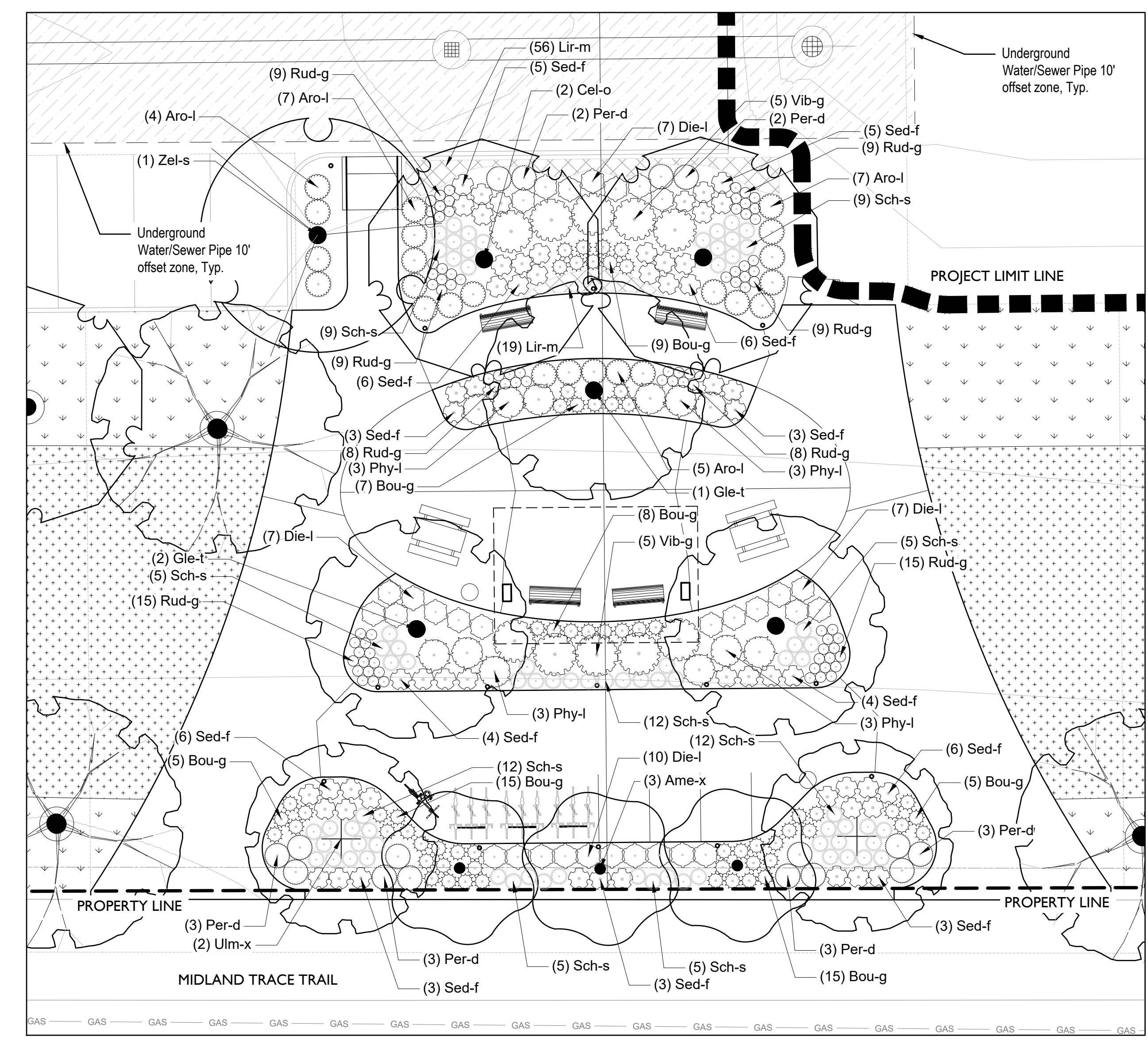
Sheet No:  
**L406**



**ENLARGEMENT A** 0 5' 10' 20' Scale 1" = 10'-0"



**ENLARGEMENT B** 0 5' 10' 20' Scale 1" = 10'-0"

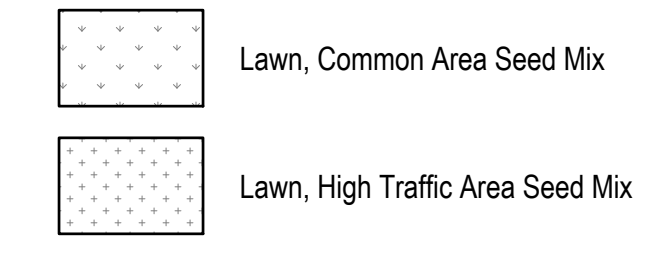


**ENLARGEMENT C** 0 5' 10' 20' Scale 1" = 10'-0"

**GENERAL LANDSCAPE AND PLANTING NOTES**

1. Refer to Project Manual for Planting Specifications and Topsoil requirements. Refer to Plant Schedule and Planting Details for additional information.
2. All materials are subject to the approval of the Landscape Architect and Owner at any time. Landscape Architect to inspect all plant locations and plant bed conditions prior to installation. On-site adjustments may be required.
3. Rootballs shall meet or exceed size standards as set forth in 'American Standards for Nursery Stock'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
4. Remove from the site any plant material that turns brown or defoliates within five (5) days after planting. Replace immediately with approved, specified material.
5. Plant counts indicated on drawings are for Landscape Architect's use only. Contractor shall make own plant quantity takeoffs using drawings, specifications, and plant schedule requirements (i.e., spacing), unless otherwise directed by Landscape Architect. Contractor to verify bed measurements and install appropriate quantities as governed by plant spacing per schedule. Plant material quantities shown on plan are minimum quantities. Additional material may be needed to meet spacing requirements and field conditions.
6. Seed all areas disturbed by construction activities that are not otherwise noted to receive pavement, planting bed, or sod treatment.
7. The Contractor shall install and/or amend topsoil in all proposed bed areas to meet Specifications. Contractor shall coordinate quantity and placement of topsoil. Landscaper shall verify depth of topsoil prior to plant installation. (Refer to specifications for topsoil source and placement requirements)
8. All tree locations shall be marked with 2x2" stakes prior to planting for review and approval by the Landscape Architect. Any plant material installed in an incorrect location, by the judgment of the Landscape Architect, shall be reinstalled at the Contractor's expense.
9. All plant beds shall receive 3" minimum of shredded hardwood bark mulch (unless otherwise noted).
10. Verify all utility locations in the field prior to beginning work. Repair all damaged utilities to Owner's satisfaction at no additional cost.
11. The Contractor shall maintain all plant material and lawns until the project is fully accepted by the Landscape Architect, unless otherwise noted.
12. All workmanship and materials shall be guaranteed by the Contractor for a period of one calendar year after Final Acceptance.
13. Install all plant material in accordance with all local codes and ordinances. Coordinate with the Owner to obtain any required permits necessary to complete work.
14. Contractor shall test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using tree pit drainage.
15. Tree Protection Fencing is the responsibility of the Contractor. Minimum protected area shall include the full drip line of the canopy. NO construction activities, material storage, etc. may occur within that area. The Contractor shall ensure that no soil compaction or tree damage occurs in any Protected areas, at any time during the construction process.
16. Trees shall be matched in groups unless otherwise noted.

NOTE:  
Refer to Sheet L420 for Planting Details & Schedule, and Ordinance Requirements Chart.



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TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana  
PLANTING ENLARGEMENTS

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

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**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS	
<b>CANOPY TREES</b>								
Ace-s	15	Acer saccharum 'Legacy'	Legacy Sugar Maple	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Bet-n	9	Betula nigra	River Birch Multi-Trunk	B & B	min. 2"Cal Total	min. 8' ht.	clump form, 3-5 stems	
Cel-o	10	Celtis occidentalis	Common Hackberry	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Gle-t	13	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Lir-t	5	Liriodendron tulipifera	Tulip Tree	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Pla-o	14	Platanus occidentalis	American Sycamore	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Que-b	12	Quercus bicolor	Swamp White Oak	B & B	2"Cal	min. 8' ht.	spring dug, full, strong central leader, matched	
Que-c	7	Quercus coccinea	Scarlet Oak	B & B	2"Cal	min. 8' ht.	spring dug, full, strong central leader, matched	
Que-r	3	Quercus rubra	Red Oak	B & B	2"Cal	min. 8' ht.	spring dug, full, strong central leader, matched	
Tax-d	21	Taxodium distichum	Bald Cypress	B & B	2"Cal	min. 8' ht.	strong central leader	
Ulm-x	8	Ulmus x 'Frontier'	American Elm	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
Zel-s	8	Zelkova serrata 'Green Vase'	Green Vase Sawleaf Zelkova	B & B	2"Cal	min. 8' ht.	full, strong central leader, matched	
<b>EVERGREEN TREES</b>								
Jun-e	34	Juniperus virginiana	Eastern Red Cedar	B & B	N/A	min. 6' ht.	full, strong central leader, matched, uniform	
Pic-a	25	Picea abies	Norway Spruce	B & B	N/A	min. 6' ht.	full, strong central leader, matched, symmetrical	
Pic-o	22	Picea omorika	Serbian Spruce	B & B	N/A	min. 6' ht.	full, strong central leader, matched, symmetrical	
Pin-s	11	Pinus strobus	White Pine	B & B	N/A	min. 6' ht.	full, strong central leader, matched, uniform	
<b>NORTH BUFFER YARD CANOPY TREES</b>								
Ace-s2	11	Acer saccharum 'Legacy'	Legacy Sugar Maple	B & B	2.5"Cal	min. 8' ht.	full, strong central leader, matched	
Bet-n2	6	Betula nigra	River Birch Multi-Trunk	B & B	2.5"Cal	min. 8' ht.	clump form, 3-5 stems	
Gle-t2	1	Gleditsia triacanthos inermis 'Shademaster'	Shademaster Honey Locust	B & B	2.5"Cal	min. 8' ht.	full, strong central leader, matched	
Lir-t2	4	Liriodendron tulipifera	Tulip Poplar	B & B	2.5"Cal	min. 8' ht.	full, strong central leader, matched	
Pla-o2	1	Platanus occidentalis	American Sycamore	B & B	2.5"Cal	min. 8' ht.	full, strong central leader, matched	
Que-b2	1	Quercus bicolor	Swamp White Oak	B & B	2.5"Cal	min. 8' ht.	spring dug, full, strong central leader, matched	
Que-r2	4	Quercus rubra	Red Oak	B & B	2.5"Cal	8' ht.	spring dug, full, strong central leader, matched	
<b>NORTH BUFFER YARD ORNAMENTAL TREES</b>								
Ame-x2	9	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	B & B	min. 2.5" Cal Total	7-8' Clump	clump, 3-5 stems	
Cer-c2	10	Cercis canadensis	Eastern Redbud	B & B	min. 2.5" Cal Total	7-8' Clump	clump, 3-5 stems	
Cor-f2	6	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	B & B	2.5"Cal		full, strong central leader, matched	
Mag-v2	3	Magnolia virginiana	Sweetbay Magnolia	B & B	2.5"Cal		full, strong central leader, matched	
<b>ORNAMENTAL TREES</b>								
Ame-x	19	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B & B	min. 2"Cal Total	7-8' Clump	clump, 3-5 stems	
Cer-c	4	Cercis canadensis	Eastern Redbud	B & B	min. 2"Cal Total	7-8' Clump	clump, 3-5 stems	
Cra-c	5	Crataegus crus-galli	Cockspur Hawthorn	B & B	2"Cal	N/A	uniform, matched	
Que-k	4	Quercus robur x bicolor 'Nadler'	Kindred Spirit® Oak	B & B	2"Cal	N/A	full, strong central leader, matched, symmetrical, low-branched	
Thu-e	8	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	B & B	2" Cal	N/A	full, strong central leader, matched, symmetrical	
CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	FIELD3	REMARKS	
<b>SHRUBS</b>								
Aro-a	14	Aronia arbutifolia 'Brilliantissima'	Brilliant Red Chokeberry	container	18" ht. min.		space @ 3'-0" o.c.	
Aro-m	115	Aronia melanocarpa 'Autumn Magic'	Autumn Magic Black Chokeberry	container	18" ht. min.		space @ 5'-0" o.c.	
Aro-l	57	Aronia melanocarpa 'UCONNAM165'	Low Slope Mound Black Chokeberry	container	18" ht. min.		space @ 3'-0" o.c.	
Cor-s	208	Cornus stolonifera 'Farrow'	Arctic Fire Dogwood	container	18" ht. min.		space @ 36" o.c.	
Die-l	46	Diervilla lonicera 'Kodiak Red'	Kodiak Red Northern Bush Honeysuckle	container	18" ht. min.		space @ 3'-0" o.c.	
Hyd-q	38	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	container	18" ht. min.		space @ 5'-0" o.c.	
Ile-x	80	Ilex verticillata 'Red Sprite'	Red Sprite Winterberry	container	18" ht. min.		space @ 4'-0" o.c., allow to mass; provide 1 Jim Dandy per 5 Red Sprites	
Ite-v	54	Itea virginica 'Sprich'	Little Henry's Garnet Sweetspire	container	18" ht. min.		space @ 36" o.c.	
Jun-g	13	Juniperus chinensis 'Sea Green'	Sea Green Juniper	container	18" ht. min.		space @ 7'-0" o.c.	
Jun-b	34	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5 gal				
Myr-p	86	Myrica pensylvanica	Northern Bayberry	container	18" ht. min.		space @ 6'-0" o.c., allow to mass	
Phy-l	18	Physocarpus opulifolius 'Donna May'	Little Devil Dwarf Ninebark	container	18" ht. min.		space @ 4'-0" o.c.	
Phy-o	99	Physocarpus opulifolius 'Seward'	Summer Wine® Ninebark	container	18" ht. min.		space @ 5'-0" o.c., allow to mass	
Rhu-a	34	Rhus aromatica 'Gro-Low'	Gro-Low Fragrant Sumac	container	18" ht. min.		spacing @ 4'-0" o.c.	
Samb-b	2	Sambucus nigra 'Black Lace'	Black Lace Elderberry	container	18" ht. min.		space @ 5'-0" o.c.	
Samb-l	3	Sambucus racemosa 'SMNSRD4'	Lemony Lace Elderberry	container	18" ht. min.		space @ 3'-0" o.c.	
Vib-c	5	Viburnum dentatum 'Synnrestvedt'	Chicago Lustre® Arrowwood Viburnum	container	18" ht. min.		space @ 9'-0" o.c.	
Vib-d	17	Viburnum dentatum deamii	Glitters & Glows Arrowwood Viburnum	container	18" ht. min.		space @ 5'-0" o.c.	
Vib-d	24	Viburnum dentatum 'Christom'	Blue Muffin Viburnum	container	18" ht. min.		space @ 5'-0" o.c.	
<b>GRASSES</b>								
Bou-g	64	Bouteloua gracilis 'Blonde Ambition'	Blonde Ambition Blue Grama	pot	#1		space @ 2'-0" o.c.	
Pan-s	23	Panicum virgatum 'Shenendoah'	Shenendoah Switch Grass	pot	#2		space @ 4'-0" o.c.	
Sch-s	91	Schizachyrium scoparium 'The Blues'	The Blues Little Bluestem	pot	#1		space @ 2'-0" o.c.	
<b>PERENNIALS</b>								
Per-d	16	Perovskia atriplicifolia 'Denim 'n Lace'	Denim 'n Lace Russian Sage	container	18" ht. min.		space @ 3'-0" o.c.	
Rud-g	182	Rudbeckia fulgida 'Little Goldstar'	Little Goldstar Coneflower	pot	#1		space @ 16" o.c.	
Sed-f	115	Sedum x 'Autumn Fire'	Autumn Fire Sedum	pot	#1		space @ 2'-6" o.c.	
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	FIELD3	REMARKS
<b>GROUND COVERS</b>								
Lir-m	252	Liriope muscari 'Big Blue'	Big Blue Lilyturf	#1 pot			space @ 15" o.c., triangular spacing	

**LANDSCAPE ORDINANCE REQUIREMENTS FOR: Trailside Business Center - Zone - OI**  
**North: SR32 Overlay**  
**East: AG-SF1**  
**South: PUD - Midland Trace Trail + SF1**  
**West: PUD - Agriculture**

**FROM THE CITY OF WESTFIELD UNIFIED DEVELOPMENT ORDINANCE AND THE TRAILSIDE BUSINESS CENTER PLANNED UNIT DEVELOPMENT**

**MINIMUM LOT LANDSCAPING (UDO: Chapter 6.8(K)):**  
*Requirement: Industrial Uses: Provide 5 shade trees + 5 ornamental/evergreen trees + 25 shrubs/sacres*  
 Required: Site @ 25.89 acres = 130 shade trees + 130 ornamental/evergreen trees + 648 shrubs  
 Provided: 157 shade trees, 196 ornamental/evergreen trees, and 976 shrubs

**FOUNDATION PLANTINGS (UDO: Chapter 6.8(L)):**  
*Requirement:*  
 1. Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of building façades, fences, and other barriers to create a softening effect.  
 2. Plant materials along front building façades, at a ratio of 1 shrub or ornamental tree per 12 l.f.

**PUD Section 7.3 B:**  
 Article 6.8(I) of the UDO shall not apply to the following Building elevations as identified on the Concept Plan: (i) the south elevations of Buildings 1 and 3; and (ii) the north elevations of Buildings 2 and 4.

**BUILDING 1**  
 Required: North facade @ 470 l.f. = 40 shrubs or ornamental trees  
 Provided: 12 ornamental trees + 31 shrubs  
 Required: East and West facades = 6 clusters of plantings (3 per side), each building  
 Provided: 3 ornamental trees + 6 shrubs  
 Required: South facade = not required per PUD Section 6.2 B

**BUILDING 2**  
 Required: South facade @ 470 l.f. = 40 shrubs or ornamental trees  
 Provided: 3 ornamental trees + 30 shrubs  
 Required: East and West facades = 6 clusters of plantings (3 per side), each building  
 Provided: 6 ornamental trees  
 Required: North facade = not required per PUD Section 6.2 B

**STATE HIGHWAY 32 OVERLAY DISTRICT (UDO: Chapter 5.3(L)):**  
*Requirement:*

1. A linear green space (the "Trail Corridor") along each side of State Highway 32 that contains the alternative transportation trail mentioned herein shall be provided. The following improvements shall be prohibited within the Trail Corridor, unless otherwise approved by the City: Detention Areas, Retention Areas, Monument Signs.

*Trail Corridor Plantings:*  
 5. The primary landscaping materials used within the Trail Corridor shall be shade trees, ornamental trees, shrubs, Groundcover and grass.  
 a. A minimum of three (3) shade trees and one (1) ornamental tree shall be provided per every one hundred (100) linear feet of Trail Corridor along State Highway 32. Installation of plantings on both sides of the alternative transportation trail referenced above is encouraged. All trees shall be a minimum of two and one-half (2.5) inches in caliper at the time of planting.  
 b. Shade trees planted with the Trail Corridor shall be spaced a minimum of fifteen (15) feet and no more than forty (40) feet apart.  
 c. Landscaping required within the Trail Corridor shall be counted toward meeting the requirements of Article 6.8 Landscaping Standards, as if the Trail Corridor were a part of the adjacent Lot being developed.

**SR 32**  
 Required: 1440 l.f. - 59 l.f. (drives) = 42 shade/evergreen trees (2.5" Cal.) + 28 ornamental trees (2.5" Cal.)  
 Provided: 26 shade trees (2.5" Cal.) + 16 evergreen trees (2.5" Cal.) + 28 ornamental trees (2.5" Cal.)

**EXTERNAL STREET FRONTAGE LANDSCAPING (UDO Chapter 6.8(M)):**  
*Requirement:* A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any nonresidential development. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental trees and twenty-five (25) shrubs per one hundred (100) linear feet. This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-Way. In addition for Industrial Districts, a minimum three-foot (3) tall undulating mound shall be required along the entire External Street frontage.

**SR 32**  
 Required: 3' tall undulating mound along entire frontage + 346 shrubs (All tree requirements have been satisfied per UDO 5.3(L)-5-C)  
 Provided: 3' tall undulating mound along entire frontage + 346 shrubs

**BUFFER YARDS (UDO Chapter 6.8 (N)):**  
*Requirement:* Buffer Yards shall apply along the entire length of all abutting Lot Lines where conflicting Zoning Districts are adjacent. Plantings should be arranged in a manner that creates a visual barrier between land uses without precluding connectivity between uses. Buffer A: Provide 30' width + 3 shade trees + 3 evergreen trees + 10 shrubs/100 l.f. Buffer C: Provide 50' width + 5 shade trees + 5 evergreen trees + 20 shrubs/100 l.f. + 4' tall berm + 8' tall opaque fence. Buffer Yards shall not be required (iii) adjacent to External Streets, rather, the External Street Frontage Landscaping Requirements set forth herein shall apply adjacent to External Streets.

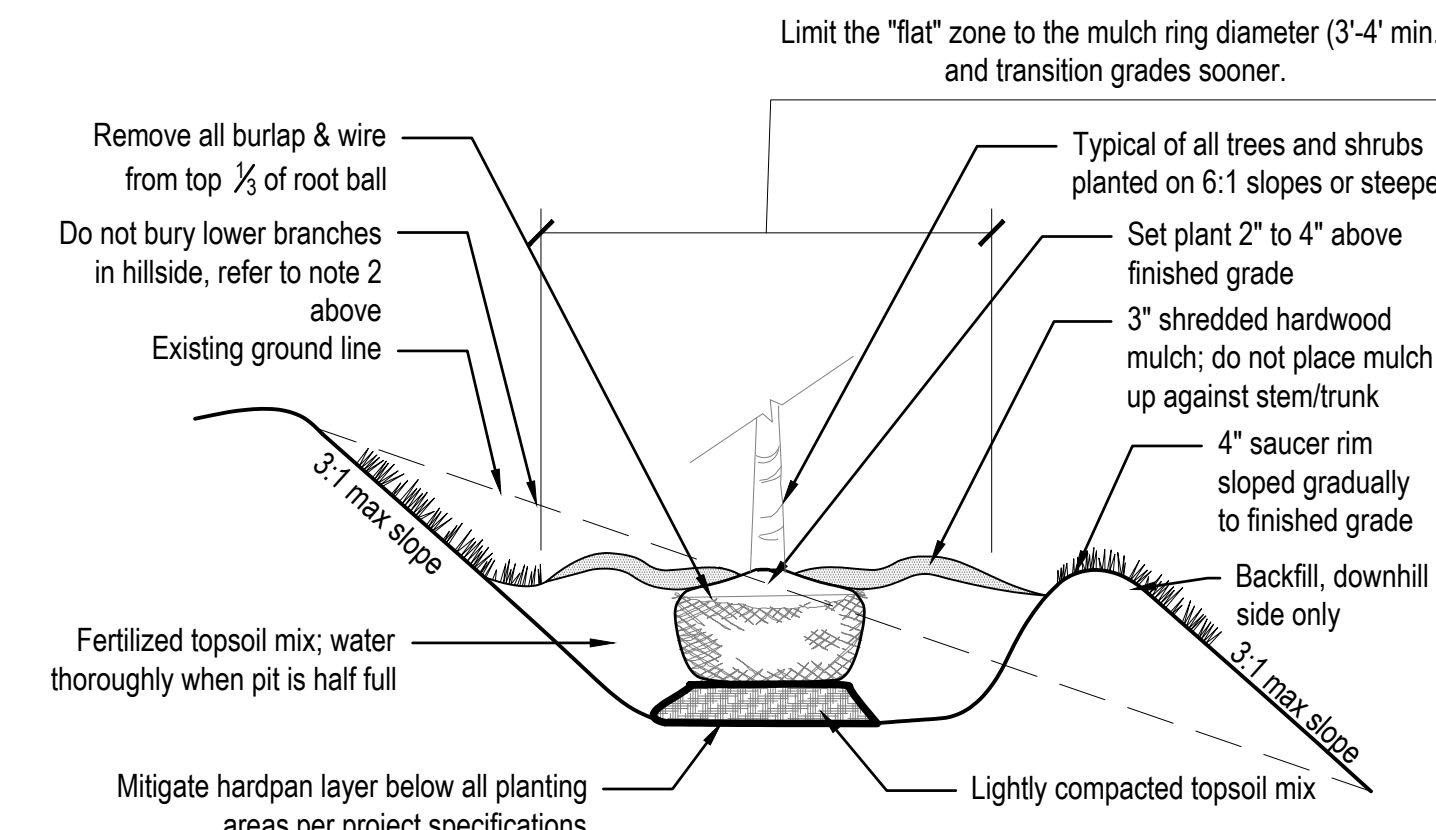
**PUD Section 7.3 C:**  
 b. To the extent Article 6.8(N) conflicts with the installation of the Midland Trace Trail connection amenity area and communal lawn identified on the Concept Plan, Article 6.8(N) shall not be applicable to the Buffer yard along the South property line of the Real Estate.  
 c. Fencing shall not be required along the South property line of the Real Estate.

**North Property Line**  
 Required: See External Street Frontage Landscape Section.  
**South Property Line (OI adjacent to PUD-SF1)**  
 Required: Buffer C @ 990 l.f. = 50 shade trees + 50 evergreen trees + 198 shrubs + 4' tall berm  
 Provided: 50 shade trees + 50 evergreen trees + 198 shrubs + 4' undulating berm  
**West Property Line (OI adjacent to PUD- Agriculture)**  
 Required: Buffer A @ 770 l.f. = 24 shade trees + 24 evergreen trees + 78 shrubs  
 Provided: 24 shade trees + 24 evergreen trees + 78 shrubs  
**East Property Line**  
 Required: As a part of Phase 2 - See PUD section 7.3 C. a.

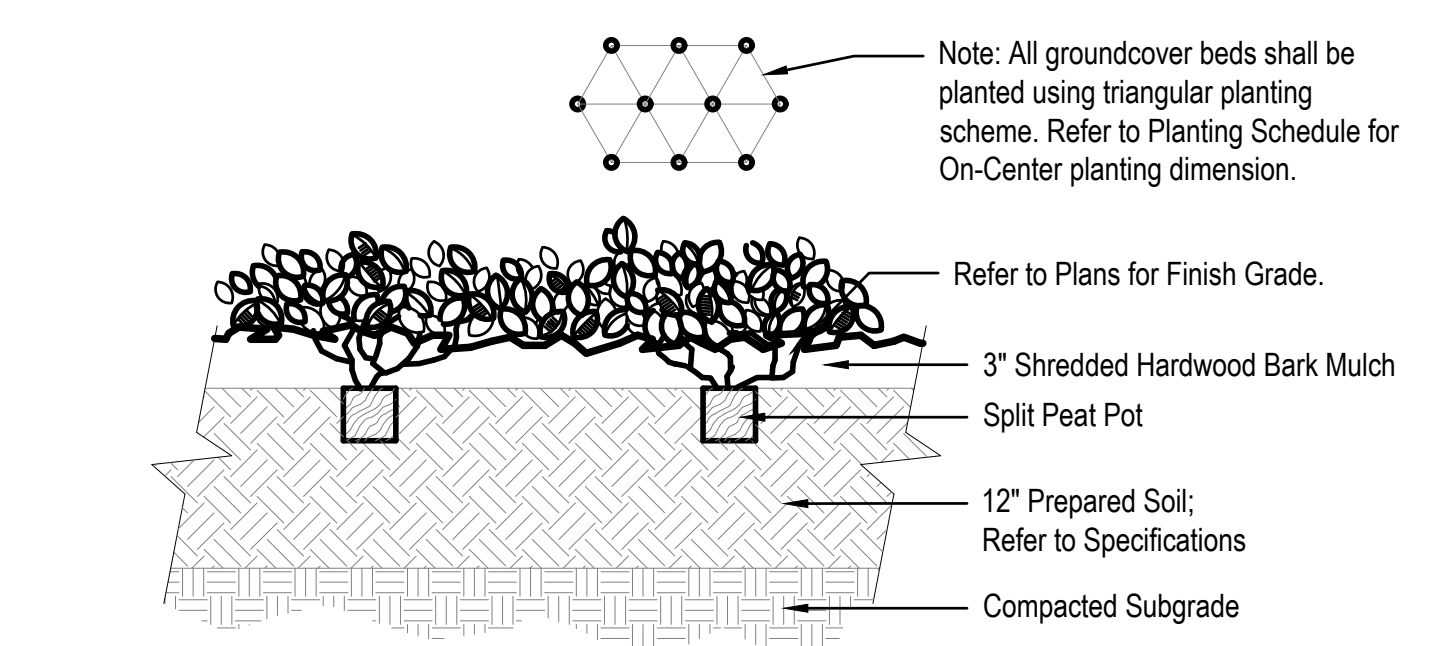
**INTERIOR PARKING AREA LANDSCAPING (UDO Chapter 6.8(O)(1)):**  
*Requirement:* For lots greater than 50 spaces, provide 10% island greenspace. Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred percent (100%) of every island shall be covered with permitted Groundcover material to achieve complete coverage.

**PUD Section 7.3 D**  
 For the purposes of applying article 6.8(O)(1), the vehicular use areas between the Buildings, as depicted on the Concept Plan, shall not be considered Parking Areas.  
 Required: 39,420 s.f. parking @ 12% = 3,942 islands  
 Provided: 3,946 s.f. + 18 shade trees + 74 shrubs

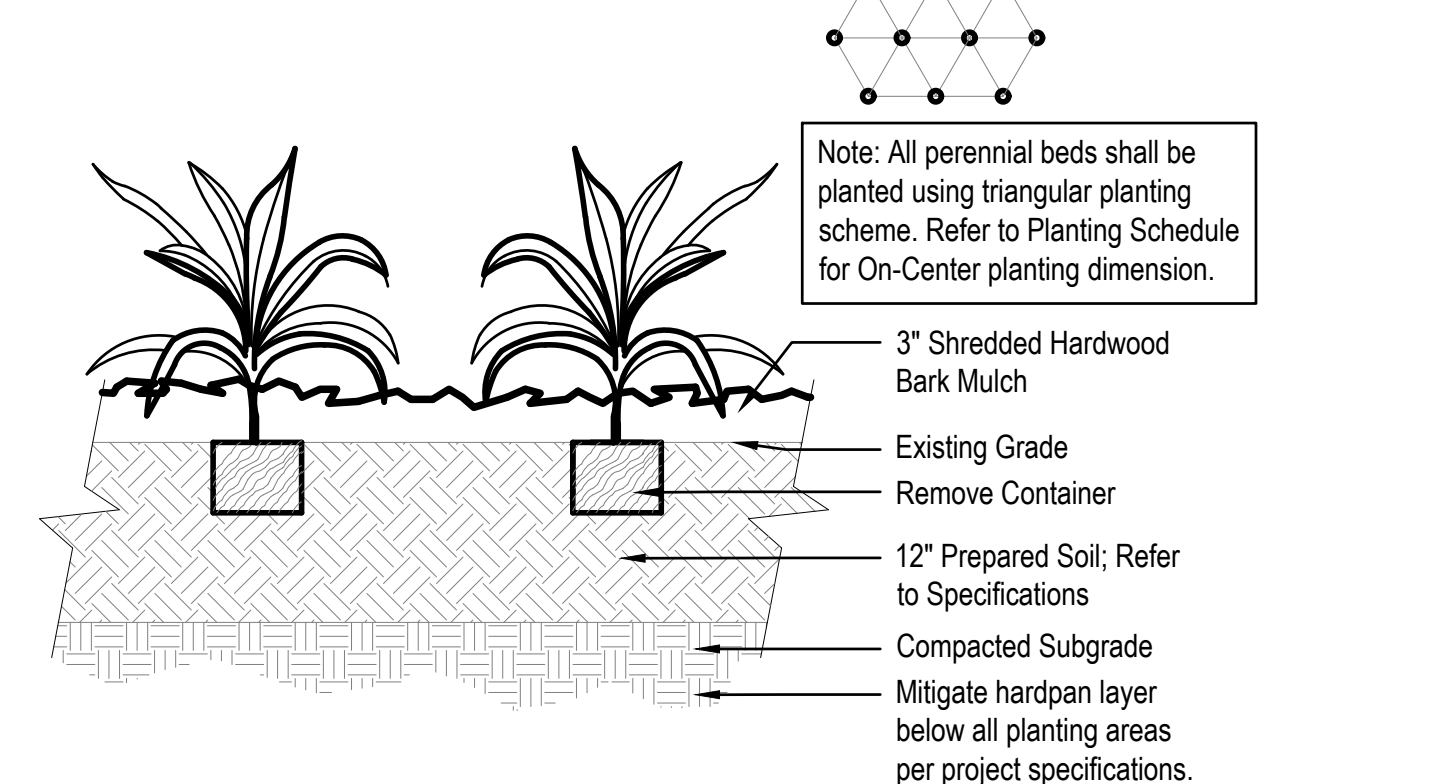
**PARKING PERIMETER LANDSCAPING:**  
 As coordinated with City Staff, supplemented by adjacent buffer plantings and landscape corridor enhancements.



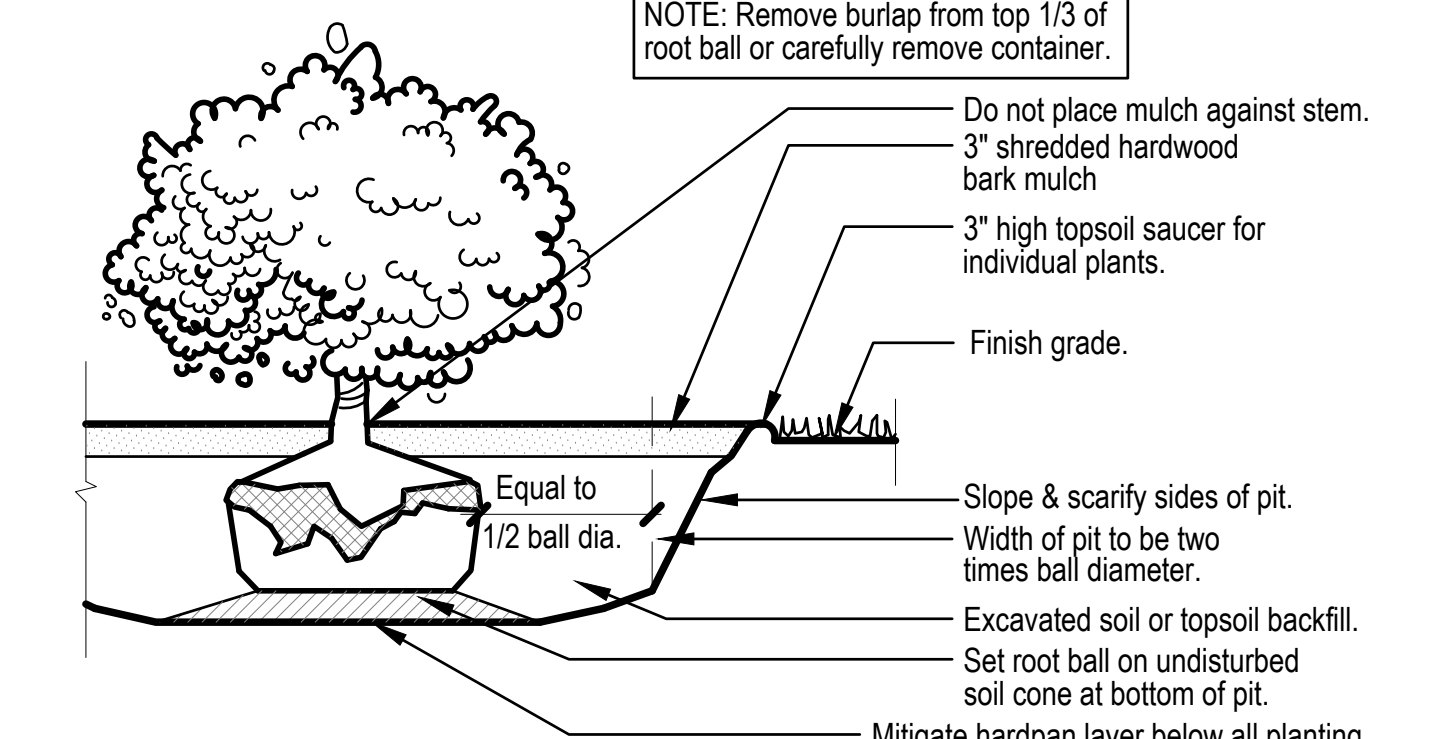
**8 PROTOTYPICAL PLANTING ON BERM SLOPE**  
 Scale: Not to Scale



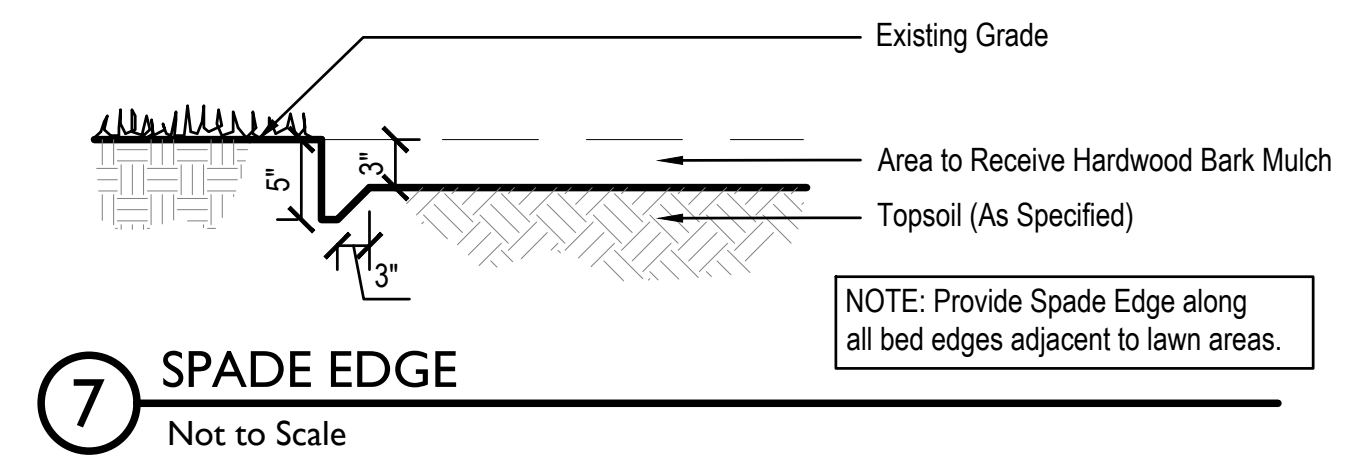
**6 GROUND COVER**  
 Scale: Not to Scale



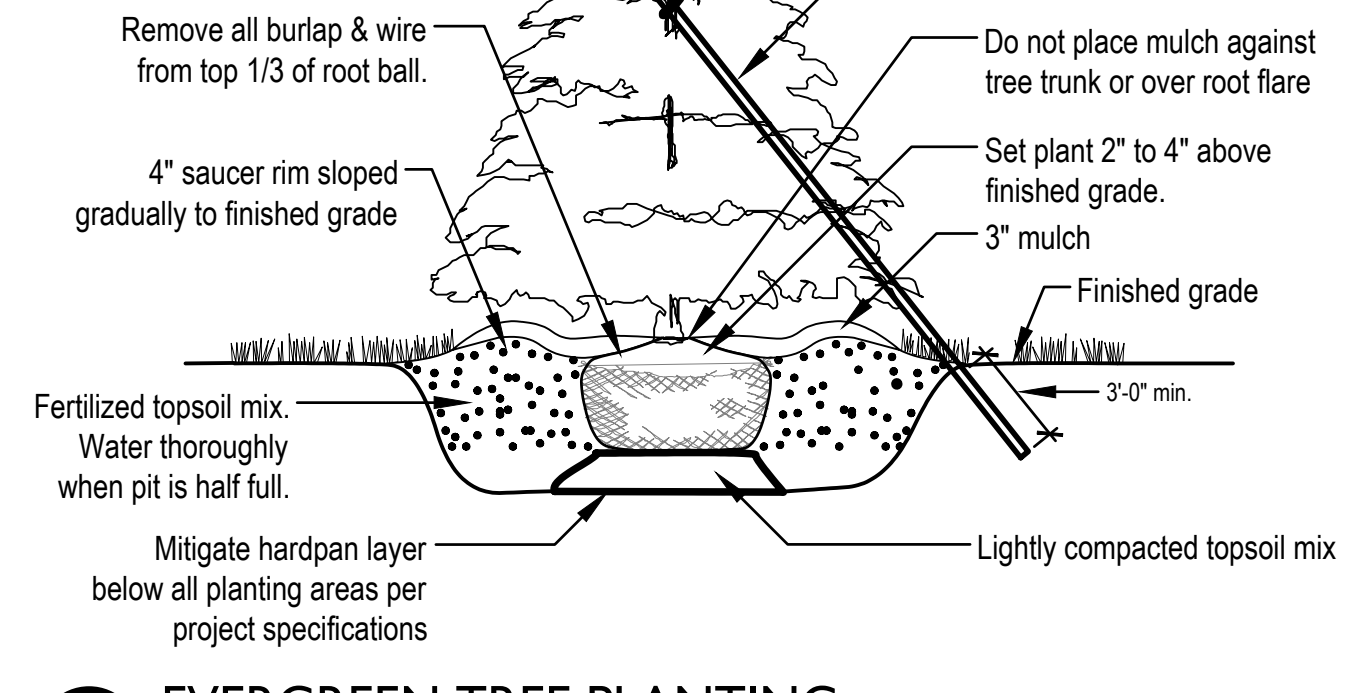
**5 PERENNIAL or ORNAMENTAL GRASS**  
 Scale: Not to Scale



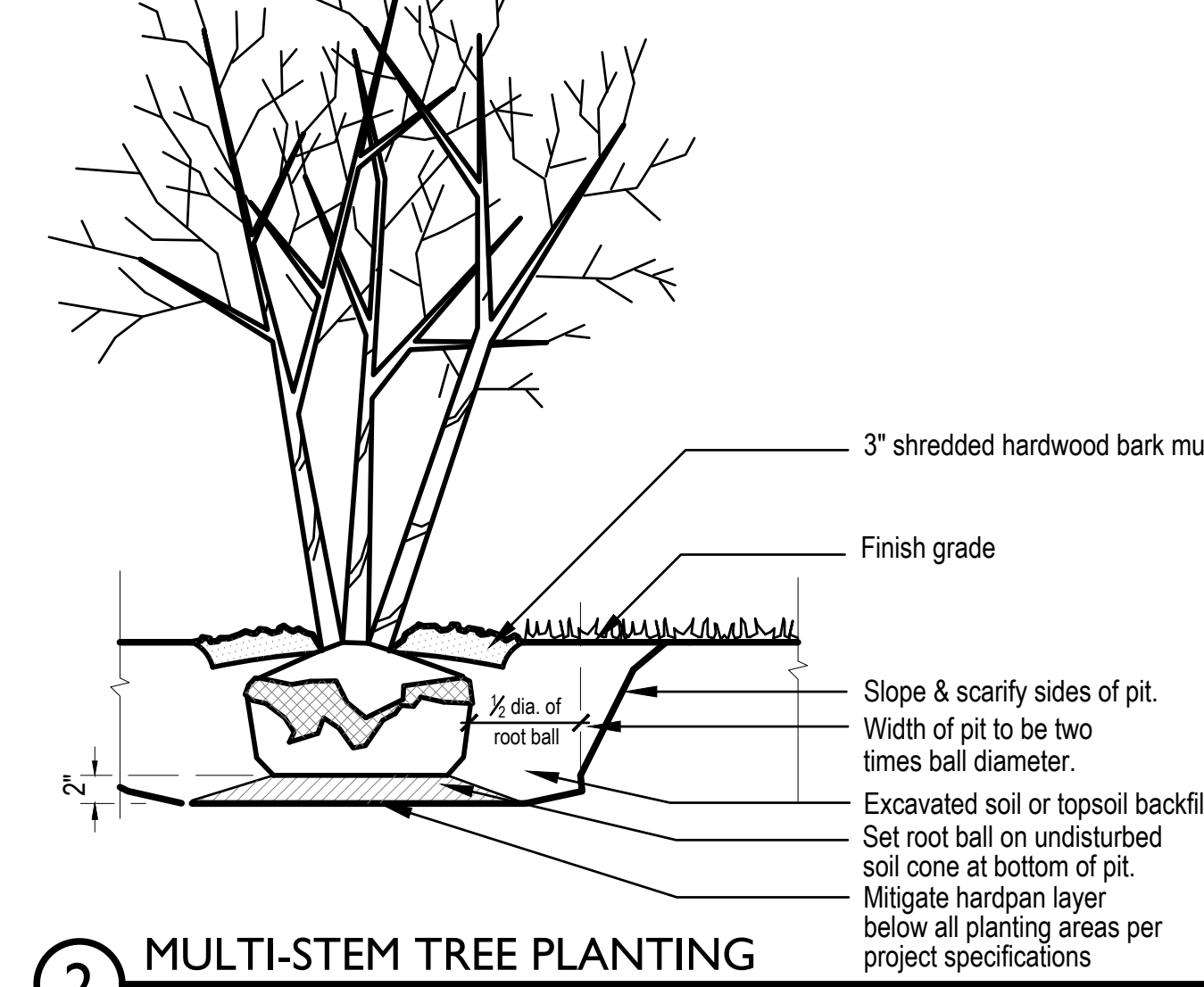
**4 SHRUB PLANTING**  
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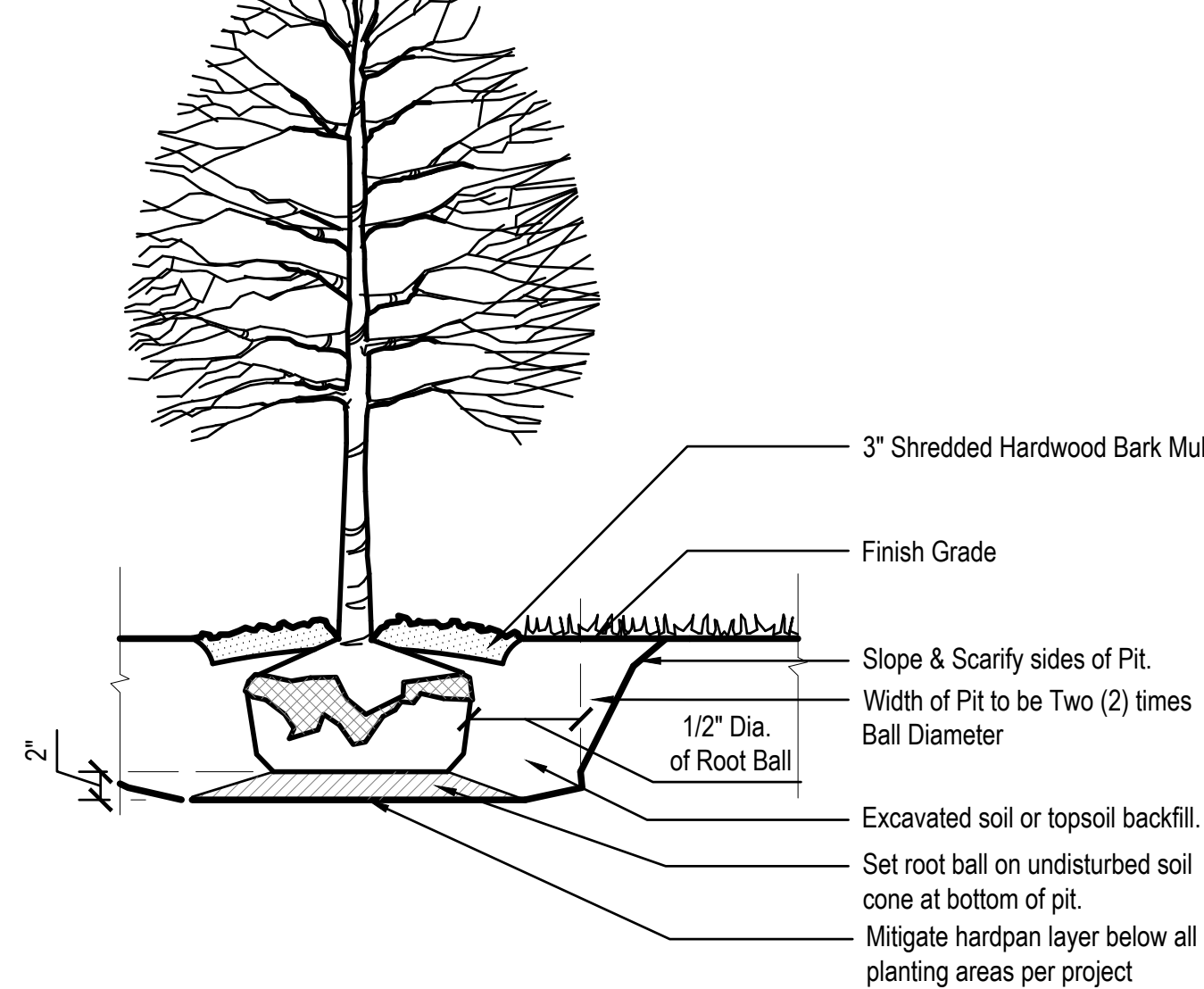
**7 SPADE EDGE**  
 Not to Scale



**3 EVERGREEN TREE PLANTING**  
 Not to Scale



**2 MULTI-STEM TREE PLANTING**  
 Not to Scale



**1 TREE PLANTING**  
 Not to Scale



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**NOT FOR CONSTRUCTION**

TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
 Westfield, Indiana  
 PLANTING DETAILS & SCHEDULE

Revision	Date	Description	TAC COMMENTS
01	04/10/2026		

Date: 2026/02/27  
 Project No: 26-1972  
 Drawn by: BH, JL, JT, AY  
 Checked by: GW

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TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana

SITE DETAILS

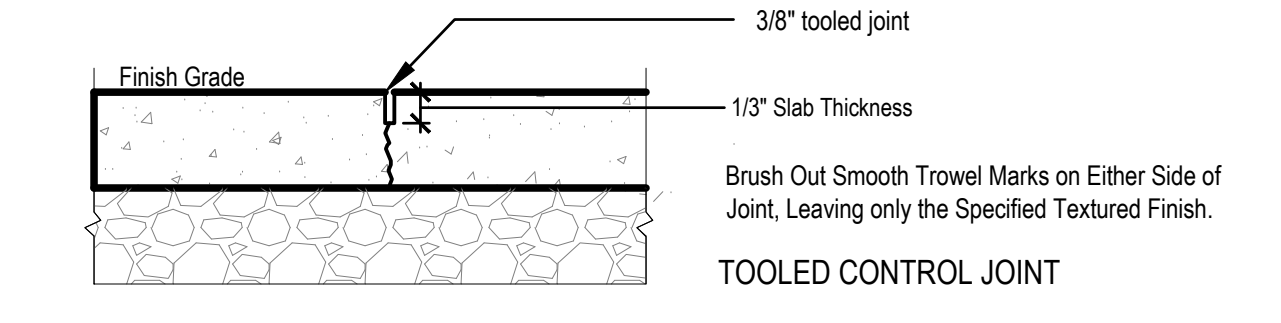
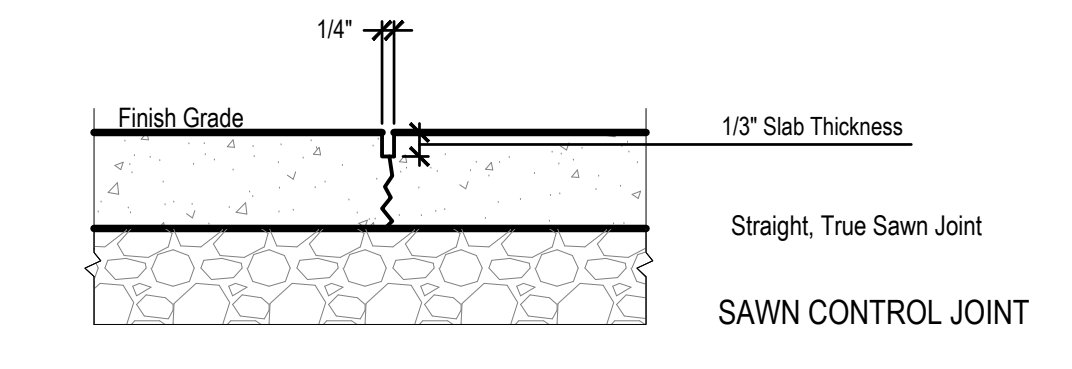
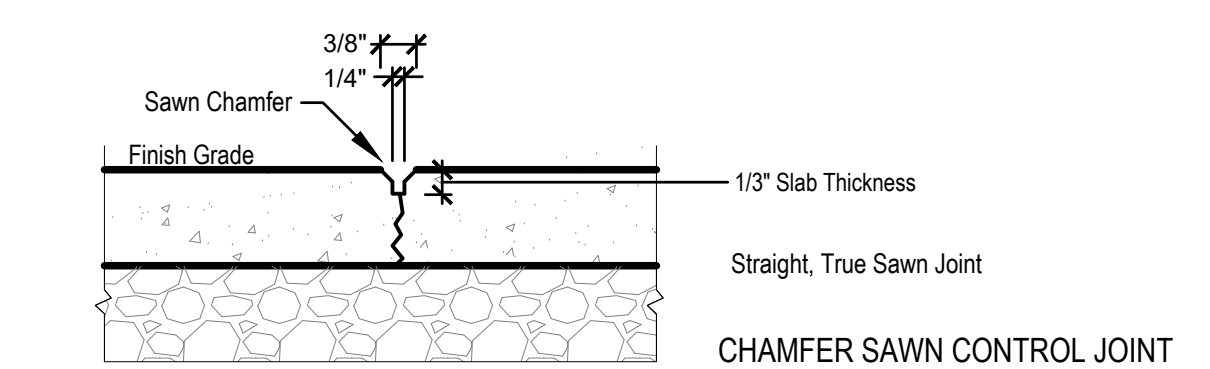
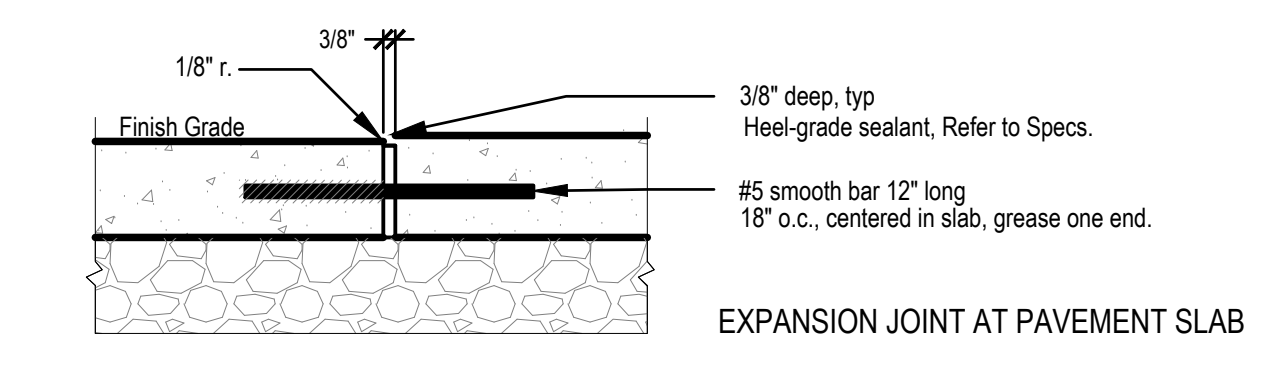
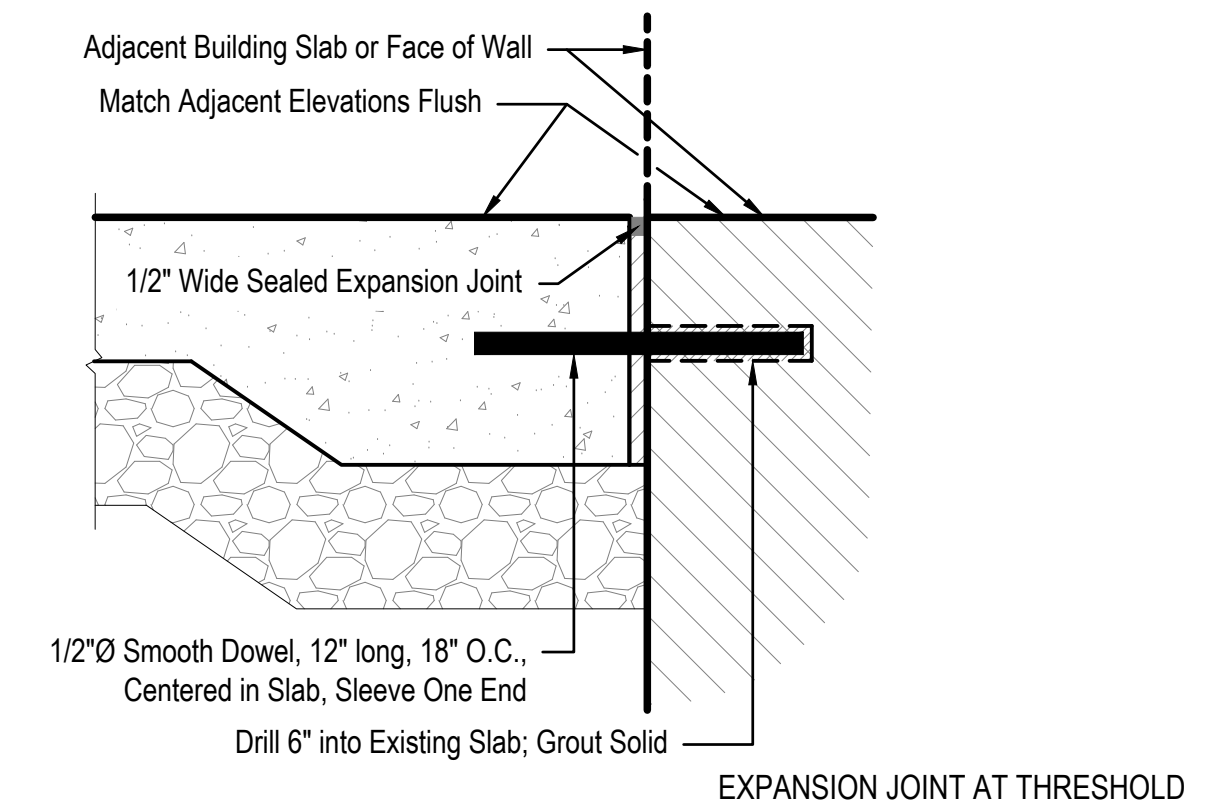
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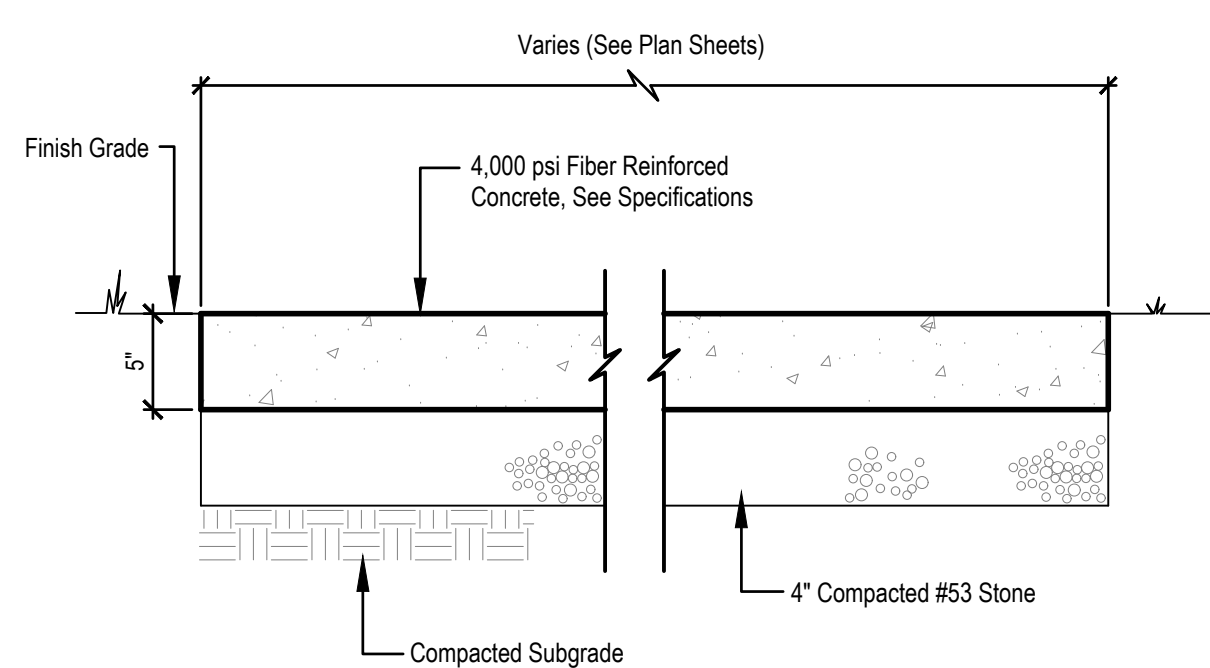
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Sheet No:  
**L600**



- NOTE:**
- 1) Refer to plan drawings For Locations of Control and Expansion Joints.
  - 2) Continue Joints to Wall Face in all Applicable Conditions.
  - 3) Provide Expansion Joints at Intersections with Existing Sidewalks, between Walks and Building Slabs, between Pours, and at other Points Indicated on the Drawings.
  - 4) Expansion Joint Material shall be "Zip-Strip" Expansion Joint Material with Removable Cap by Greenstreak or Approved Equal.
  - 5) Confirm Joint Locations in Field with Landscape Architect.

**2 CONCRETE JOINTING**  
Not to Scale



- NOTES:**
1. Control joints, expansion joints and edges of sidewalks indicated as hand-tooled shall be dressed after each finishing operation.
  2. Provide expansion joints at intersection with another sidewalk, between walks and building slabs, and at other points as indicated on the drawings.
  3. Refer to plan drawings for locations of control and expansion joints.

**1 STANDARD CONCRETE PAVEMENT**  
Not to scale

### Roof Panel Colors & Options

We take great pride in producing a majority of our roof panel options in-house, which gives us complete control over the quality and production schedule. By doing so, we are able to provide our customers with top-notch products while also passing on cost savings.

#### Features:

Flush fit for a cleaner, sleeker appearance.  
Designed to deter bird roosting.  
Gutters are included for water erosion management. Edge trim is standard with tongue and groove wood substructures applications.

#### 18" Galvalume® 24 Gauge Standing Seam Panel



#### Features:

Flush fit for a cleaner, sleeker appearance.  
Designed to deter bird roosting.  
Gutters are included for water erosion management.

#### 8" Aluminum Structural Flat Panel



#### Features:

Flush fit for a cleaner, sleeker appearance.  
Designed to deter bird roosting.  
Gutters are included for water erosion management.

#### 6" Aluminum Extruded Flat Panel



#### Tongue and Groove Wood



### Frame & Fabric Color Options

Our Americana Industrial Coatings division enables us to powdercoat all of our products in-house, setting us apart from our competitors. This grants us complete authority over pricing, quality, and production times, allowing us to transfer these benefits to our customers.

#### Super Durable Frame Color Options



#### Super Durable & Anti Graffiti Frame Color Options



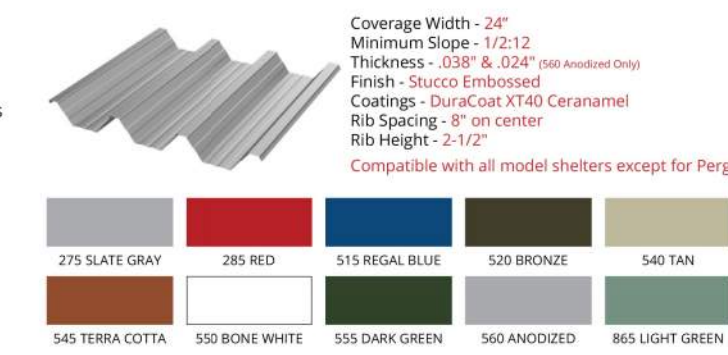
### Roof Panel Colors & Options

We take great pride in producing a majority of our roof panel options in-house, which gives us complete control over the quality and production schedule. By doing so, we are able to provide our customers with top-notch products while also passing on cost savings.

#### Features:

Structural roof panel designed to limit the amount rafters & purlins per structure.  
Best overall value when comparing cost & strength.  
Gutters are included for water erosion management.

#### 24" Aluminum Structural "W" Panel



#### Features:

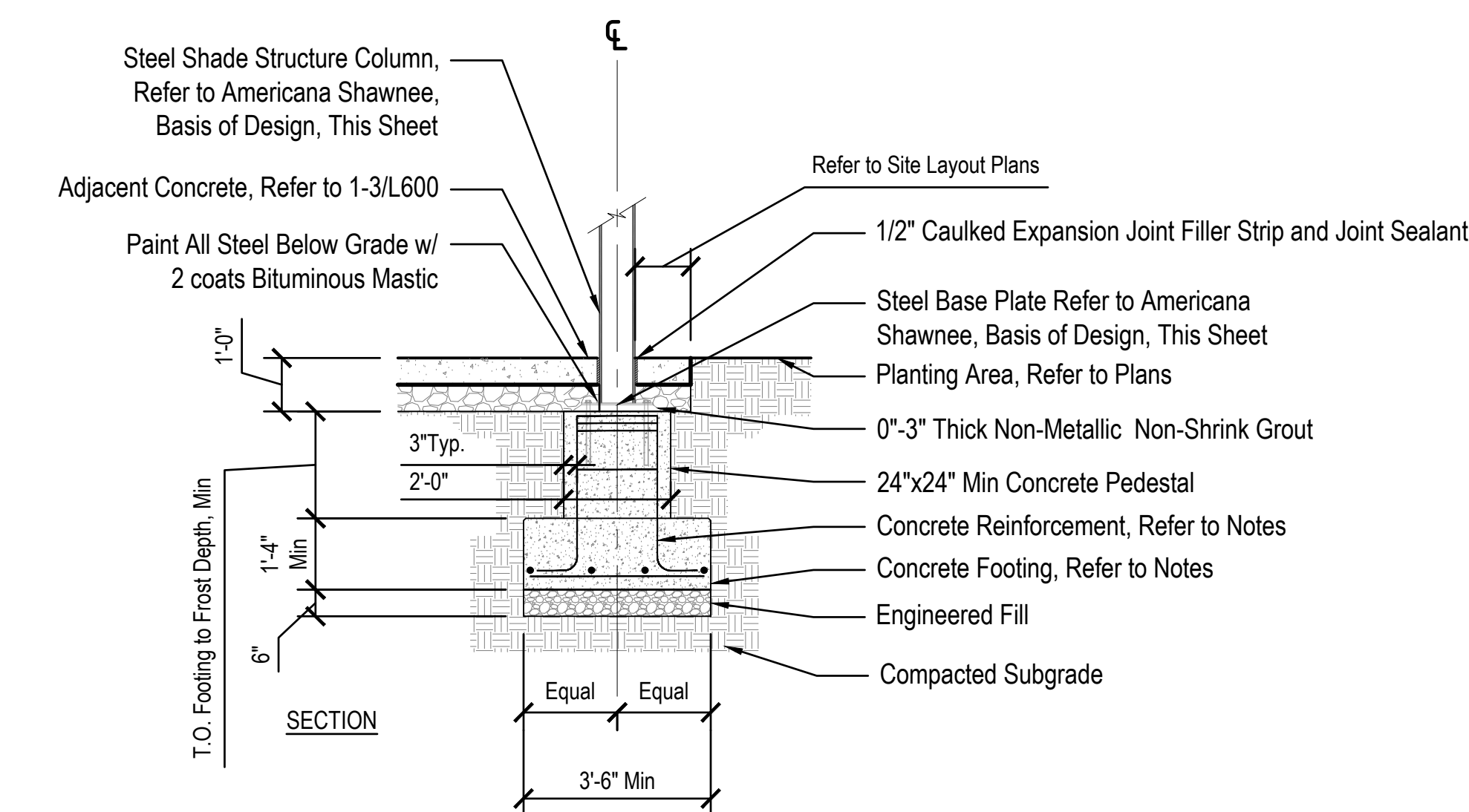
Flush fit for a cleaner, sleeker appearance.  
Designed to deter bird roosting.  
Edge trim is included for a simple & flawless finish.

#### 36" Galvalume® 26 Gauge "R" Panel



## 3 CANTILEVERED SHADE STRUCTURE, OPTIONS

Not to scale



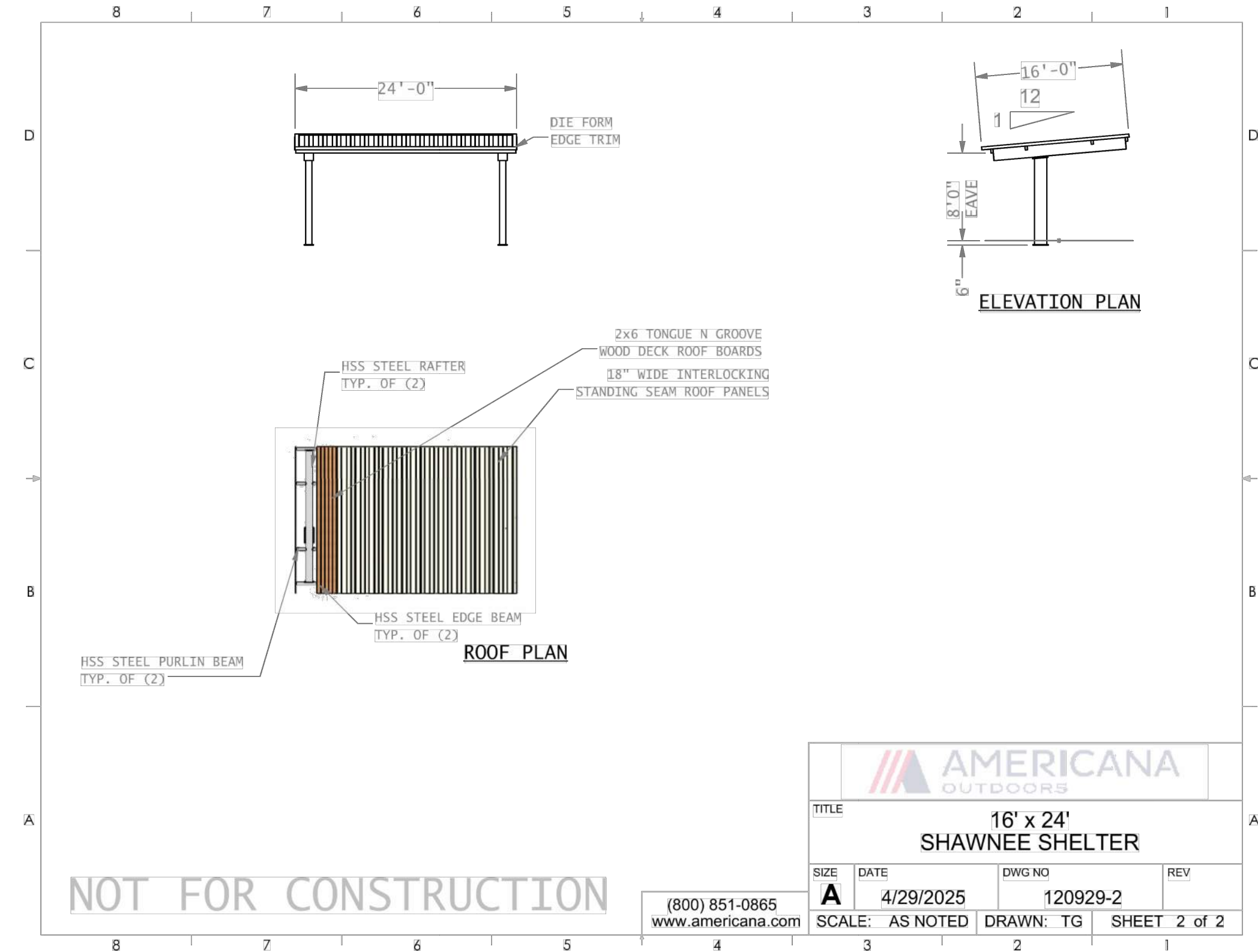
#### NOTES:

- Provide Submittals and Shop Drawings Certified by Indiana Professional Structural Engineer for Review by Owner/Landscape Architect Prior to Construction.
- Refer to Structural Engineer for Concrete Reinforcement

## 2 POST FOUNDATION

Scale: 3/8" = 1'-0"

- Final Design and Engineering Delegated to the Contractor.
- Submit Full Shop Drawings Certified by an Indiana Licensed Professional Structural Engineer for Review.



## 1 CANTILEVERED SHADE STRUCTURE

Not to scale



5825 Lawton Loop E. Dr. | Indianapolis, IN 46216  
317-485-6900 | www.context-design.com

Certified by  
**BASIS OF DESIGN FOR REFERENCE ONLY**

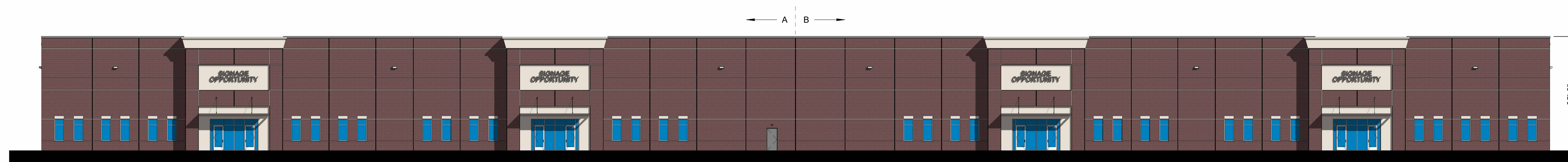
TAC SUBMITTAL  
**TRAILSIDE BUSINESS CENTER**  
Westfield, Indiana  
SITE DETAILS

Revision	Date	Description
01	04/10/2026	TAC COMMENTS

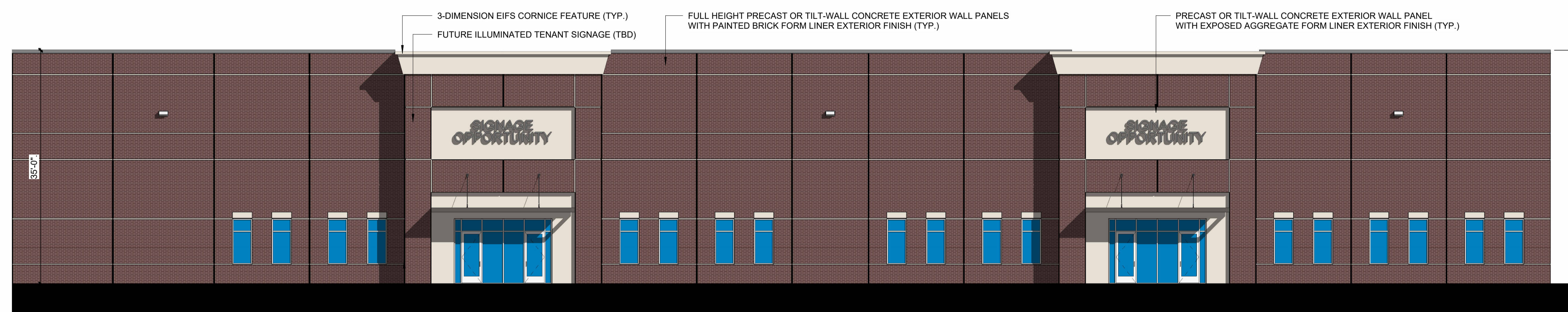
Date: 2026/02/27  
Project No: 26-1972  
Drawn by: BH, JL, JT, AY  
Checked by: GW

These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Landscape Architect. They shall not be used on any other Project or work without prior written permission from the Landscape Architect.

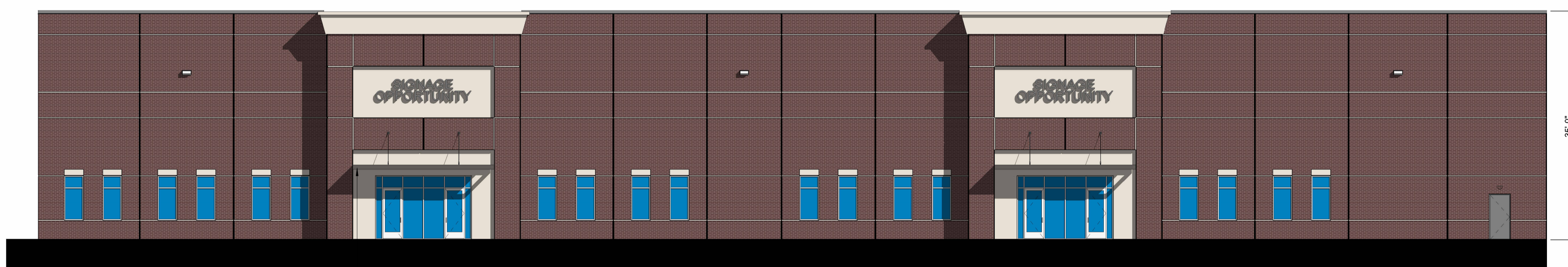
Sheet No:  
**L601**



4 BUILDING 1 - NORTH ELEVATION  
 1-31 SCALE: 1" = 20'-0"



3 BUILDING 1 - NORTH ELEVATIONS - ENLARGED B  
 1-31 SCALE: 1" = 10'-0"



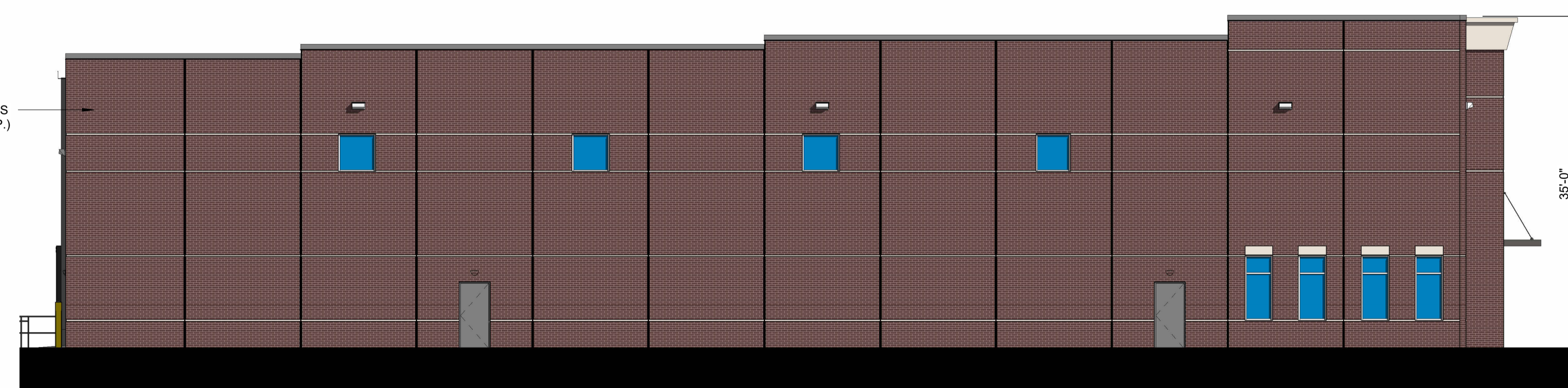
2 BUILDING 1 - NORTH ELEVATIONS - ENLARGED A  
 1-31 SCALE: 1" = 10'-0"

**MATERIAL PERCENTAGE**

NORTH ELEVATION (16,810 SF)	
GLAZING	8.06% (1,356 SF)
BRICK FINISH	80.59% (13,546 SF)
CONCRETE	11.35% (1,908 SF)

EAST ELEVATION (5,254 SF)	
GLAZING	2.08% (148 SF)
BRICK FINISH	97% (5,094SF)
CONCRETE	.92% (12 SF)

FULL HEIGHT PRECAST OR TILT-WALL CONCRETE EXTERIOR WALL PANELS WITH PAINTED BRICK FORM LINER EXTERIOR FINISH (TYP.)



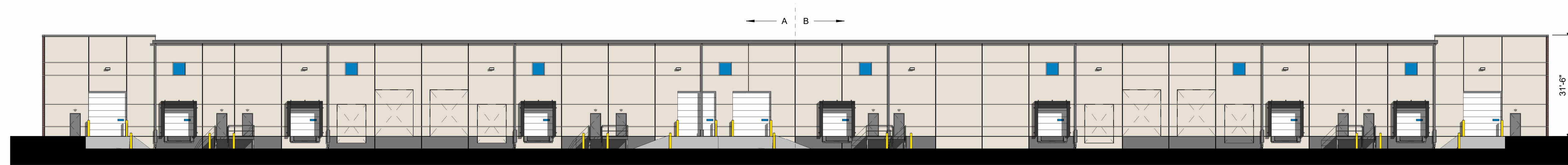
1 BUILDING 1 - EAST ELEVATION  
 1-31 SCALE: 1" = 10'-0"

13 WESTFIELD

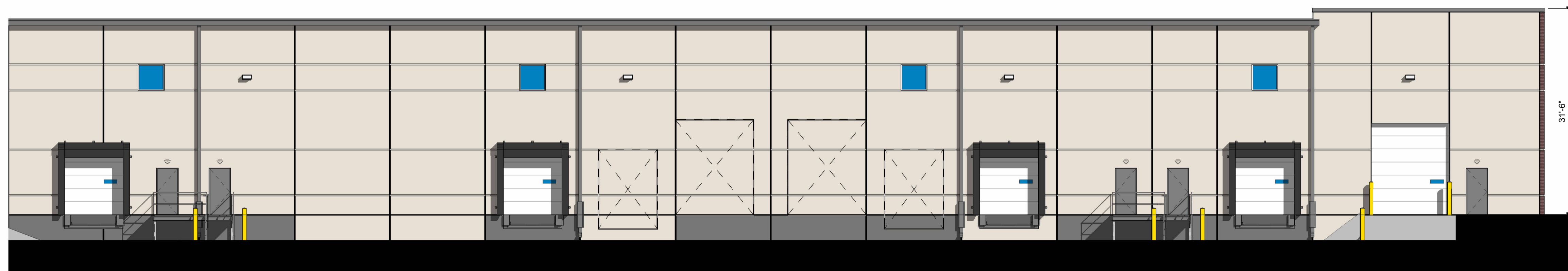
Westfield, IN 46074

SCHEMATIC  
 ELEVATIONS -  
 BUILDING 1

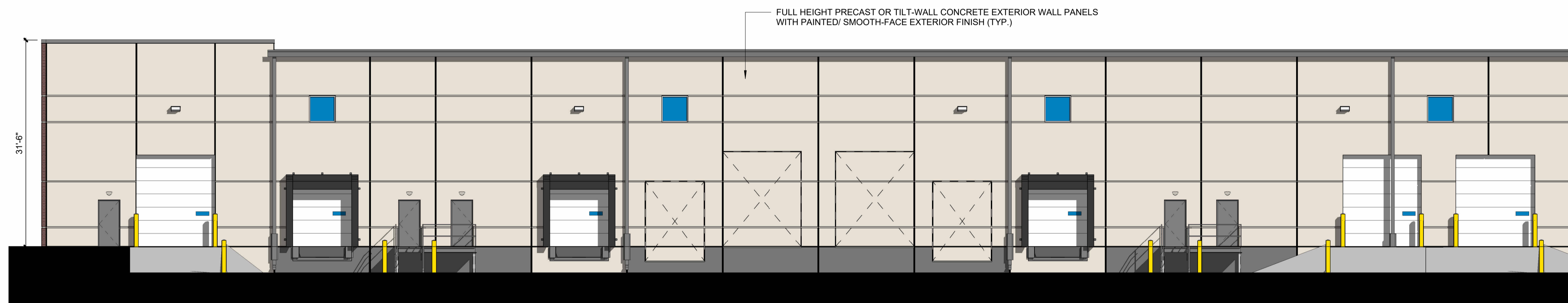
1-31



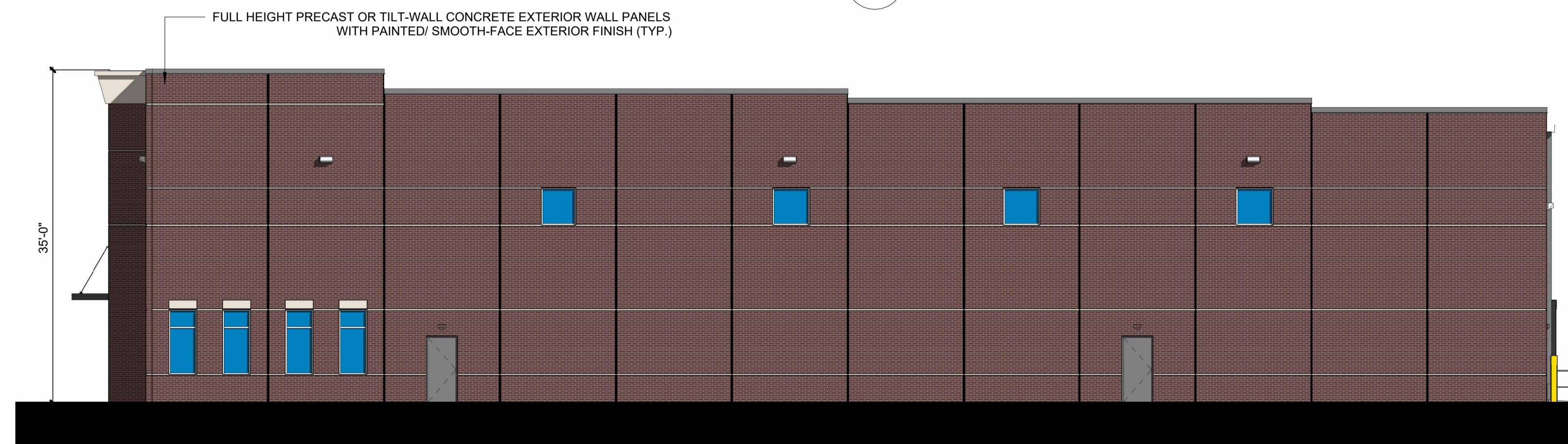
4 BUILDING 1 - SOUTH ELEVATION  
 1-32 SCALE: 1" = 20'-0"



3 BUILDING 1 - SOUTH ELEVATION - ENLARGED B  
 1-32 SCALE: 1" = 10'-0"



2 BUILDING 1 - SOUTH ELEVATION - ENLARGED A  
 1-32 SCALE: 1" = 10'-0"



1 BUILDING 1 - WEST ELEVATION  
 1-32 SCALE: 1" = 10'-0"

**MATERIAL PERCENTAGE**

NORTH ELEVATION (14,200 SF)	
GLAZING	1% (128 SF)
BRICK FINISH	0% (0 SF)
CONCRETE	99% (14,072 SF)

EAST ELEVATION (5,254 SF)	
GLAZING	2.08% (148 SF)
BRICK FINISH	97% (5,094 SF)
CONCRETE	.92% (12 SF)

13 WESTFIELD

Westfield, IN 46074

SCHEMATIC  
 ELEVATIONS -  
 BUILDING 1

1-32



**Docket Number:** 2603-PUD-03 (Ord. 26-09) (the “Ordinance”)

**Petitioner:** Onyx and East, LLC by Nelson & Frankenberger, LLC

**Request:** A change in zoning for 7.5 acres +/- from AG-SF1: Agriculture/Single-Family Rural to the 199th & Monon Planned Unit Development (PUD) District

**Current Zoning:** AG-SF1: Agriculture/Single-Family Rural

**Current Land Use:** Vacant

**Acreeage:** 7.5 acres +/- (the “Property”)

**Exhibits:**

1. Staff Report
2. Location Map
3. Changes Since Public Hearing
4. Proposed Ord. 26-09
5. Ord. 26-09 Redline
6. Concept Plan Tree Preservation and Buffer Exhibit
7. Perspective Rendering

**Staff Reviewer:** Daine Crabtree, Current Planning Manager

**PETITION HISTORY**

This petition was introduced at the February 23, 2026, City Council meeting. Comments from Councilors primarily focused on the future curve correction of the existing S-curve in 199<sup>th</sup> Street just prior to the real estate and some minor tree preservation comments – acknowledging that some tree preservation is already proposed with this petition.

The public hearing for this project was held at the March 2, 2026, Advisory Plan Commission (APC) meeting. Primary concerns from residents included tree removal/buffering and drainage.

The workshop for this project was held at the April 20, 2026, APC meeting. Changes made since the public hearing are noted in **Exhibit 3**; this exhibit was provided to the APC at the meeting and further detailed by the petitioner. There were no outstanding items for the petitioner to address before returning.

**PROJECT OVERVIEW**

**Location:** The petitioner is requesting to rezone approximately 7.5 acres on the south side of 199<sup>th</sup> Street, approximately ¼ mile west of the Monon Trail +/- from AG-SF1: Agriculture/Single-Family Rural to the 199th Street and Monon PUD, which was originally approved at the September 9, 2025, City Council meeting.



The Property is located within the Traditional Residential area of the current Comprehensive Plan's Land Concept Map. The Property is currently surrounded on all sides by existing or proposed residential development of the Chatham Hills PUD or 199<sup>th</sup> & Monon PUD save for one (1) AG-SF1 zoned parcel to the west.

---

## **ZONING REQUEST**

### **Uses/ Underlying Zoning District**

As the Ordinance proposes that the lots on the Property follow the standards set forth for Area A in Ord. 25-39, the underlying zoning will be SF-4: Single-Family Medium Density

Ord. 25-39 set forth a maximum of one hundred and twenty (120) dwelling units. The Primary Plat for the Property governed by Ord. 25-39 on the north side of 199<sup>th</sup> Street was approved with only 105 lots. As such, the fifteen (15) lots proposed via this Ordinance would still be permitted; no additional lots are being requested.

### **Concept Plan**

A concept plan for the Property is included within the Ordinance. As the Concept Plan does not present an engineered plan, the final site design may differ from what is shown; lots may shift, the size of common areas may shrink or swell and so forth provided all other design and development standards continue to be met. General conformance with the Concept Plan as determined by the Director of Community Development is still required, despite not being stated outright in the Ordinance, as the new Concept Plan provided in this ordinance merely supplements the already existing Concept Plan in Ord. 25-39

### **Development Standards / Design Standards**

With the exception of the specific External Street Frontage Landscaping, Buffer Yard, and Tree Preservation standards included in the Ordinance, all other development and design standards set forth in Ord. 25-39 will continue to apply to the Property.

### **District Area Assignment**

The Ordinance proposes that the lots on the Property be assigned to Area A set forth in Ord. 25-39, which was approved with the following standards applicable:



Standard	Area A
Minimum Lot Area	6,250 SF
Minimum Lot Frontage	40 feet
Minimum Building Setback Lines	
Front Yard	15 feet
Side Yard	5 feet
Rear Yard	15 feet
Minimum Lot Width	50 feet
Maximum Building Height	2.5 stories
Minimum Living Area (Total)	
One Story Dwellings	2,400 SF
Two Story Dwellings	2,400 SF

---

**COMPREHENSIVE PLAN**

The Property is located within the Traditional Residential area of the Comprehensive Plan’s Land Use Concept Map.

The Traditional Residential placetype suggests Single-Family Detached Homes and Private and Public Open Spaces as primary with Single-Family Attached and Multiplex dwellings as Secondary uses.

The Traditional Residential placetype identifies existing neighborhoods and new neighborhoods that are at a low to moderate residential intensity. This placetype is intended to facilitate the development of large scale “conventional” single dwelling unit neighborhoods. These areas may include smaller infill sites which are often difficult to develop, require flexibility in design, change incrementally and should generally maintain the existing development fabric.

Indiana Code states that reasonable regard be paid to the Comprehensive Plan when considering zone map changes; however, the Comprehensive Plan is not law. The Comprehensive Plan is intended to serve as a guide in making land use decisions.

---



### **PROCEDURAL**

**Public Hearing:** Planned Unit Development (PUD) Districts are required to be considered at a public hearing by the Plan Commission. The public hearing for this petition was held at the March 2, 2026, Plan Commission meeting. Notice of the public hearing was provided in accordance with Indiana law and the Plan Commission's Rules of Procedure.

### **Statutory Considerations:**

Indiana Code 36-7-4-603 states that in the consideration of zoning ordinance amendments and zone map changes that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.

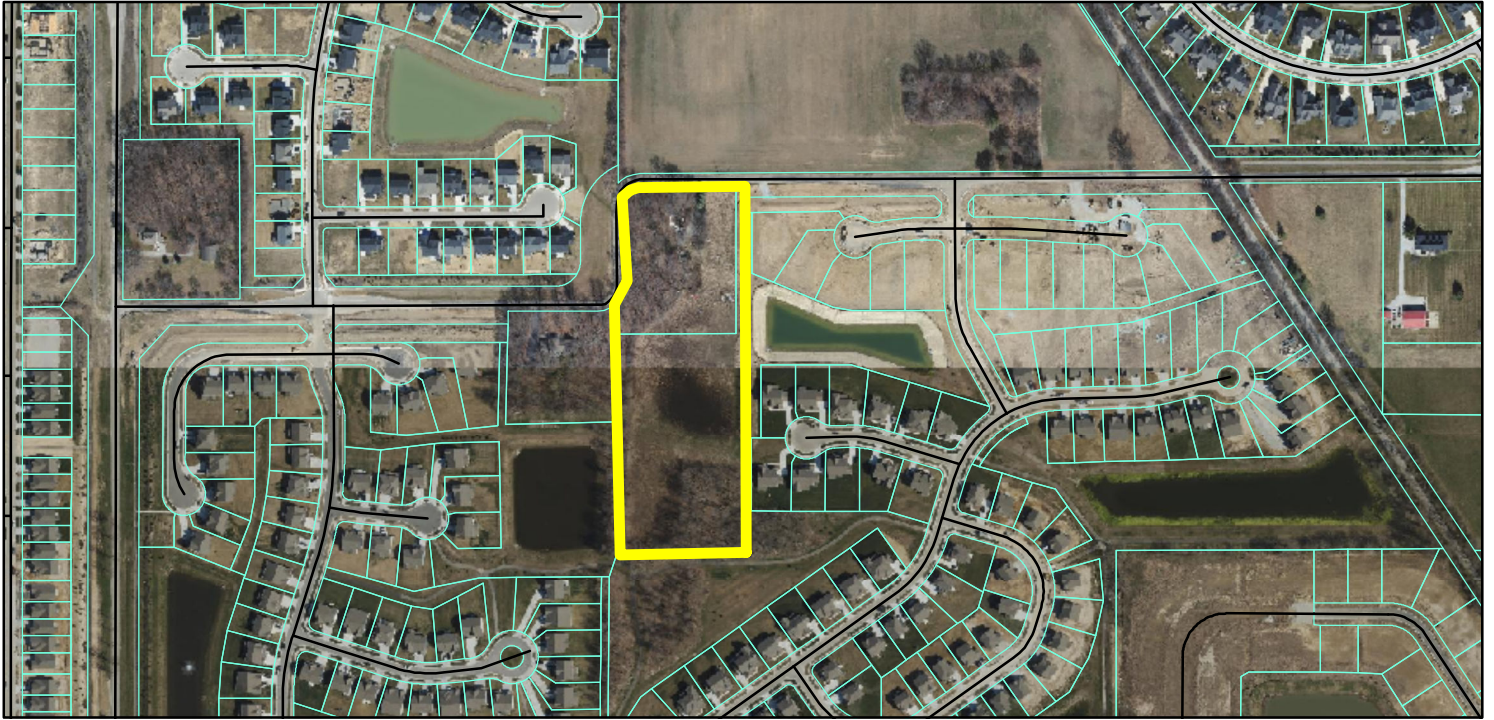
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### **DEPARTMENT COMMENTS**

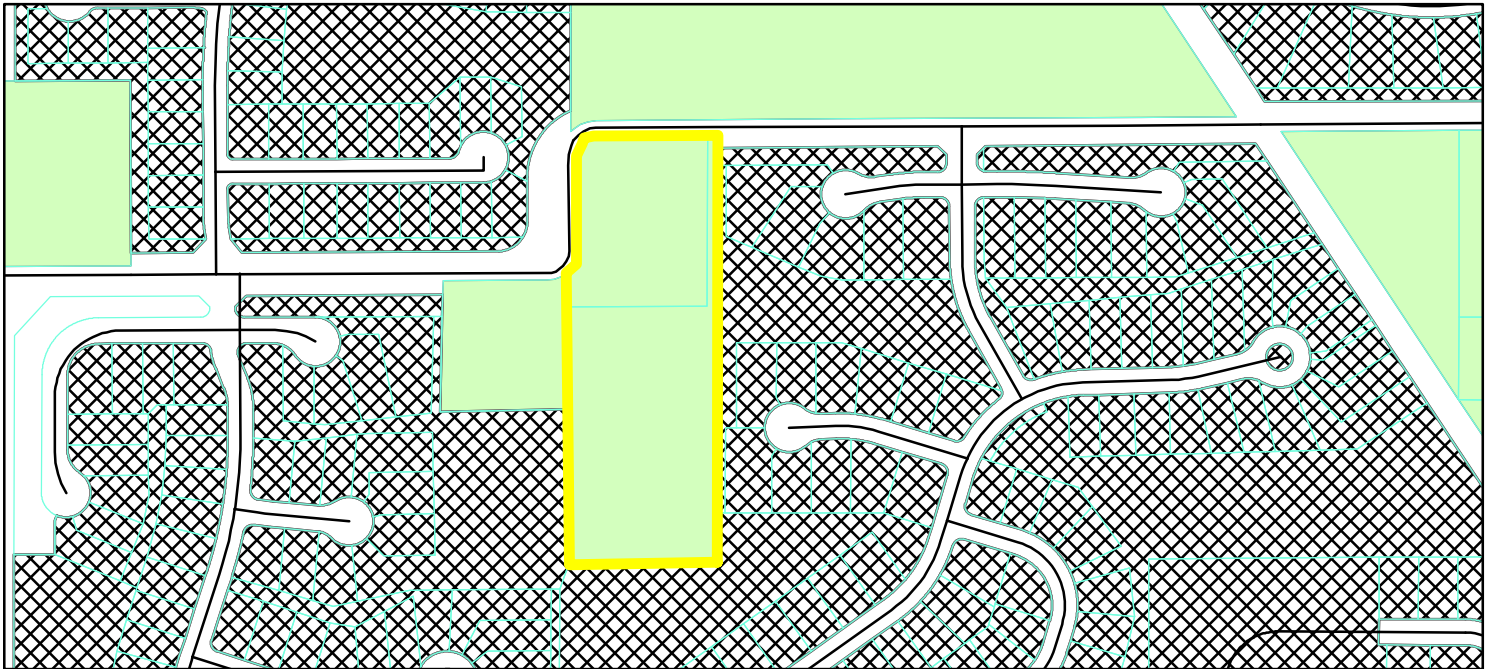
1. **Action: Forward a recommendation to the City Council at the May 6, 2026, Plan Commission meeting.**
2. If any Plan Commission member has questions prior to the public hearing, then please contact Daine Crabtree at 317.416.2586 or [dcrabtree@westfield.in.gov](mailto:dcrabtree@westfield.in.gov).





Aerial Location Map

 Site



Zoning Map



 GIS.DBO.PW\_Streets  
 Parcel  
**Zoning - All**  
 AG-SF1 (Agriculture - Single Family - 1)  
 PUD (Planned Unit Development)

0 0.05 0.1  
Miles



- Conceptual resident amenity area (see area south of pond)
  - Lot south of, and adjacent to, the retention pond has been removed. All lots now must be developed on the south of west side of the property in order to be in compliance with the Concept Plan
- Required wooden guardrail along pond street frontage
- Sidewalk with street trees added along east side of street
- Rolled curbs added
- Mail kiosk location proposed (see location along sidewalk)
- Landscaped berm along Jennings property added
- Additional landscaping along east property line
- Proposed/conceptual east berm extension south to existing tree line - berm to be planted

**ORDINANCE NUMBER 26-09**

**199<sup>th</sup> and Monon PUD District - Amendment I**

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON  
TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO  
THE UNIFIED DEVELOPMENT ORDINANCE**

This is an Ordinance to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Unified Development Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

**WHEREAS**, the City of Westfield, Indiana (the "City") and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

**WHEREAS**, The Common Council of the City of Westfield, Hamilton County, Indiana (the "Common Council") enacted Ordinance 25-39 on September 8, 2025 (the "199<sup>th</sup> and Monon PUD");

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition (**Petition No. 2603-PUD-03**), requesting an amendment to the Unified Development Ordinance and the Zoning Map with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (the "Real Estate") and graphically depicted in **Exhibit B** attached hereto (the "Concept Plan");

**WHEREAS**, the Commission forwarded **Petition No. 2603-PUD-03** to the Common Council with a \_\_\_\_\_ recommendation (-) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

**WHEREAS**, the Secretary of the Commission certified the action of the Commission to the Common Council on \_\_\_\_\_, 2026;

**WHEREAS**, the Common Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Zoning Map are hereby amended as follows:

**Section 1. Applicability of Ordinance.**

- 1.1 The Unified Development Ordinance and Zoning Map are hereby changed to incorporate the Real Estate into the 199<sup>th</sup> and Monon Planned Unit

Development District (the “District”).

- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, (ii) the 199<sup>th</sup> and Monon PUD, and (iii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance or the 199<sup>th</sup> and Monon PUD.
- 1.3 Chapter (“*Chapter*”) and Article (“*Article*”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Unified Development Ordinance.
- 1.4 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

**Section 2.** **District Area Assignment.** The Real Estate is hereby assigned to Area A of the 199<sup>th</sup> and Monon PUD (the “Assigned Area”). The standards of the 199<sup>th</sup> and Monon PUD applicable to the Assigned Area shall apply to the development of the Real Estate.

**Section 3.** **Concept Plan.** The Concept Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.10(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 3.1 The Concept Plan amends / supplements the existing Concept Plan 199<sup>th</sup> and Monon PUD Concept Plan.
- 3.2 The number of Lots permitted in the 199<sup>th</sup> and Monon PUD shall remain unchanged at one-hundred and twenty (120).
- 3.3 No more than fourteen (14) Lots shall be permitted on the Real Estate.

**Section 4.** **General Regulations and Development Standards.** The General Regulations of Section 6 and Development Standards of Section 7 of the 199<sup>th</sup> and Monon PUD shall apply to the Development of the Real Estate, except as otherwise modified below:

- 4.1 **Street Trees: Article 6.8(J) Street Trees shall apply, except as modified below.**
  - A. Street trees shall be planted at a minimum of one (1) tree per fifty (50) linear feet, on center, along the east edge of the internal street.

4.2 External Street Frontage Landscaping: Article 6.8(M) Perimeter Street Frontage Landscaping Requirements shall apply, except as modified below:

- A. The width of the External Street Frontage area shall be forty (40) feet and shall include a twenty (20) foot area located on the lots adjacent to 199<sup>th</sup> Street as depicted on **Exhibit B**, where trees shall remain that shall meet the landscape plant material standards of the UDO. No mound shall be required but shall be permitted
- B. The preservation of existing trees within this area shall be in a area where other easements exist and therefore may be removed in the future if the subject area is needed to meet the function of the easement or for the purpose of site engineering.
- C. Areas of removed trees will be replaced with Street Frontage Landscape materials per the UDO where allowable by easements.

4.3 Buffer Yards: Article 6.8(N) Buffer Yard Requirements shall apply except as modified below.

- A. West Perimeter – A Buffer Yard of forty (40) feet shall be required along the west perimeter of the Real Estate and shall include a twenty (20) foot Tree Preservation Area located on the lots adjacent to the west perimeter of the Real Estate as depicted on **Exhibit C**, Tree Preservation Exhibit. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required. Additionally, a berm with a minimum height of three (3) feet shall be installed as generally depicted on **Exhibit D**. Said berm shall be planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet.
- B. South Perimeter – A (20) foot Tree Preservation Area shall also be located generally along the south side and east side of the lots adjacent to the south perimeter and east perimeter of the Real Estate respectively as depicted on **Exhibit C**.
- C. East Perimeter - A (20) foot Tree Preservation Area shall also be located generally along the east perimeter of the Real Estate as depicted on **Exhibit C**. The existing berm along the east perimeter of the Real Estate shall be extended south approximately eighty (80) feet, to the existing tree line, as depicted on **Exhibit D**, Buffer Yard Exhibit only if granted approval to extend a part of the berm within the adjacent Aberdeen Common Area by the controlling entity. Said berm extension shall be a minimum of four (4) feet in height and planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet. The existing berm on the easter perimeter of the Real Estate shall be planted with

supplemental landscaping materials including a minimum of two (2) shade trees and two (2) ornamental trees per one-hundred (100) linear feet.

**Section 5.**     **Design Standards.**     The standards of Chapter 8: Design Standards shall apply to the development of the District except as otherwise modified below:

A.     Open Space and Amenity Standards: Article 8.6 shall apply except as modified below:

1.     A community gathering space, which shall be a passive hardscape area for use by residents, shall be provided at the intersection of the entry street as depicted on **Exhibit B.**
2.     The community gathering space shall be a minimum of four-hundred (400) square feet and include permanent seating elements

**Section 6.**     **Annexation.**     The Real Estate, or parts thereof that may be the subject of a Secondary Plat approval, shall be annexed into the corporate limits of the City of Westfield prior to the approval and recording of a Secondary Plat for that part of the Real Estate.

**Section 7.**     **Severability.**     If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

*[Remainder of page intentionally left blank, signature page follows]*

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,  
HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

ATTEST:

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE 26-\_\_** was delivered to the Mayor of Westfield  
on the \_\_\_\_\_ day of \_\_\_\_\_, 2026, at \_\_\_\_\_ m.

\_\_\_\_\_  
Marla Ailor, Clerk-Treasurer

I hereby APPROVE Ordinance 26-09  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott A. Willis, Mayor

I hereby VETO Ordinance 26-09  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott A. Willis, Mayor

This document prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 11350 N. Meridian St., Suite 320, Carmel, IN 46032 (317) 844-0106.

**SCHEDULE OF EXHIBITS**

- Exhibit A Real Estate (Legal Description)
- Exhibit B Concept Plan
- Exhibit C Tree Preservation Exhibit
- Exhibit D Buffer Yard Exhibit

**EXHIBIT A**  
**REAL ESTATE**  
(Page 1 of 2)

**Overall Legal Description**

PARCEL 1: (PID: 29-05-23-000-018.002-014)

A PART OF THE SOUTHEAST QUARTER, SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: COMMENCING AT A REBAR FOUND AT THE WEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 08' 47" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 330.70 FEET TO THE NORTH LINE OF 10 ACRES OF THE SOUTHSIDE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE NORTH LINE THEREOF 320.00 FEET TO THE NORTHEAST CORNER OF "MANDERS", POINT OF BEGINNING AND A REBAR WITH CAP SCRIBED "SEA GROUP FIRM 00091", HEREINAFTER REFERRED TO AS A "REBAR SET"; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST 15.00 FEET TO A REBAR SET; THENCE SOUTH 00 DEGREES 08 MINUTES 47 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 992.76 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 38 MINUTES 26 SECONDS WEST ALONG THE SOUTH LINE THEREOF 336.59 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 17 MINUTES 04 SECONDS EAST ALONG THE WEST LINE THEREOF 583.87 FEET TO THE SOUTHWEST CORNER OF "MANDERS"; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF "MANDERS" 320.19 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 47 SECONDS EAST ALONG THE EASTERLY LINE OF "MANDERS" 408.38 FEET AND THE POINT OF BEGINNING, CONTAINING 4.529 ACRES, MORE OR LESS. SURVEY BY BRIAN CRAIG RISMILLER, LS #20200083.

PARCEL 2: (PID: 29-05-23-000-018.001-014)

A PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST LOCATED IN WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, SAID POINT OF BEGINNING BEING THE NORTHWEST CORNER OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE EASTERLY 320.00 FEET ON AND ALONG THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTHERLY 408.38 FEET PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE WESTERLY 320.00 FEET PARALLEL WITH THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY 408.38 FEET ON AND ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING.

**EXHIBIT A**  
**REAL ESTATE**  
(Page 2 of 2)



**EXHIBIT B**  
**CONCEPT PLAN**  
(Page 1 of 1)



**EXHIBIT C**  
**TREE PRESERVATION EXHIBIT**  
(Page 1 of 1)



**EXHIBIT D**  
**BUFFER YARD EXHIBIT**  
(Page 1 of 1)



**ORDINANCE NUMBER ~~26-09~~**

**199<sup>th</sup> and Monon PUD District - Amendment I**

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON  
TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO  
THE UNIFIED DEVELOPMENT ORDINANCE**

This is an Ordinance to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Unified Development Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

**WHEREAS**, the City of Westfield, Indiana (the "City") and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

**WHEREAS**, The Common Council of the City of Westfield, Hamilton County, Indiana (the "Common Council") enacted Ordinance 25-39 on September 8, 2025 (the "199<sup>th</sup> and Monon PUD");

**WHEREAS**, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition (**Petition No. ~~26-2603-PUD-~~03**), requesting an amendment to the Unified Development Ordinance and the Zoning Map with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (the "Real Estate") and graphically depicted in **Exhibit B** attached hereto (the "Concept Plan");

**WHEREAS**, the Commission forwarded **Petition No. ~~26-2603-PUD-~~03** to the Common Council with a \_\_\_\_\_ recommendation (-) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

**WHEREAS**, the Secretary of the Commission certified the action of the Commission to the Common Council on \_\_\_\_\_, 2026;

**WHEREAS**, the Common Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

**NOW, THEREFORE, BE IT ORDAINED** by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Zoning Map are hereby amended as follows:

**Section 1. Applicability of Ordinance.**

- 1.1 The Unified Development Ordinance and Zoning Map are hereby changed to incorporate the Real Estate into the 199<sup>th</sup> and Monon Planned Unit

Development District (the “District”).

- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, (ii) the 199<sup>th</sup> and Monon PUD, and (iii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance or the 199<sup>th</sup> and Monon PUD.
- 1.3 Chapter (“*Chapter*”) and Article (“*Article*”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Unified Development Ordinance.
- 1.4 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

**Section 2.** **District Area Assignment.** The Real Estate is hereby assigned to Area A of the 199<sup>th</sup> and Monon PUD (the “Assigned Area”). The standards of the 199<sup>th</sup> and Monon PUD applicable to the Assigned Area shall apply to the development of the Real Estate.

**Section 3.** **Concept Plan.** The Concept Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.10(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 3.1 The Concept Plan amends / supplements the existing Concept Plan 199<sup>th</sup> and Monon PUD Concept Plan.
- 3.2 The number of Lots permitted in the 199<sup>th</sup> and Monon PUD shall remain unchanged at one-hundred and twenty (120).

3.3 No more than fourteen (14) Lots shall be permitted on the Real Estate.

**Section 4.** **General Regulations and Development Standards.** The General Regulations of Section 6 and Development Standards of Section 7 of the 199<sup>th</sup> and Monon PUD shall apply to the Development of the Real Estate, except as otherwise modified below:

4.1 Street Trees: Article 6.8(J) Street Trees shall apply, except as modified below.

A. Street trees shall be planted at a minimum of one (1) tree per fifty (50) linear feet, on center, along the east edge of the internal street.

4.14.2 External Street Frontage Landscaping: Article 6.8(M) Perimeter Street Frontage Landscaping Requirements shall apply, except as modified below:

- A. The width of the External Street Frontage area shall be forty (40) feet and shall include a twenty (20) foot ~~Tree Preservation Area~~ area located on the lots adjacent to 199<sup>th</sup> Street. as depicted on Exhibit B, where trees shall remain that shall meet the landscape plant material standards of the UDO. No mound shall be required but shall be permitted
- B. The preservation of existing trees within this area shall be in a area where other easements exist and therefore may be removed in the ~~Free Preservation Area, shall~~future if the subject area is needed to meet the ~~landscape plat material standards~~function of the easement or for the purpose of site engineering.
- ~~B.C.~~ Areas of removed trees will be replaced with Street Frontage Landscape materials per the UDO, and therefore no mound shall be required. where allowable by easements.

4.24.3 Buffer Yards: Article 6.8(N) Buffer Yard Requirements shall apply except as modified below.

- A. West Perimeter – A Buffer Yard of forty (40) feet shall be required along the west perimeter of the Real Estate and shall include a twenty (20) foot Tree Preservation Area located on the lots adjacent to the west perimeter of the Real Estate as depicted on Exhibit C, Tree Preservation Exhibit. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required. Additionally, a berm with a minimum height of three (3) feet shall be installed as generally depicted on Exhibit D. Said berm shall be planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet.
- B. South Perimeter – A (20) foot Tree Preservation Area shall also be located generally along the south side and east side of the lots adjacent to the south perimeter and east perimeter of the Real Estate respectively as depicted on Exhibit C.
- C. East Perimeter - A (20) foot Tree Preservation Area shall also be located generally along the east perimeter of the Real Estate as depicted on Exhibit C. The existing berm along the east perimeter of the Real Estate shall be extended south approximately eighty (80) feet, to the existing tree line, as depicted on Exhibit D, Buffer Yard Exhibit only if granted approval to extend a part of the berm within the adjacent Aberdeen Common Area by the controlling entity. Said berm extension shall be a minimum of four (4) feet in height and planted with four (4) shade trees and four (4) evergreen

trees and ten (10) shrubs per one hundred (100) linear feet. The existing berm on the easter perimeter of the Real Estate shall be planted with supplemental landscaping materials including a minimum of two (2) shade trees and two (2) ornamental trees per one-hundred (100) linear feet.

~~C. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required.~~

**Section 5.** ~~**Section 9. Design Standards.**~~ The standards of Chapter 8: Design Standards shall apply to the development of the District, except as otherwise modified below:

A. Open Space and Amenity Standards: Article 8.6 shall apply except as modified below:

1. A community gathering space, which shall be a passive hardscape area for use by residents, shall be provided at the intersection of the entry street as depicted on **Exhibit B.**
2. The community gathering space shall be a minimum of four-hundred (400) square feet and include permanent seating elements

**Section 6.** **Annexation.** The Real Estate, or parts thereof that may be the subject of a Secondary Plat approval, shall be annexed into the corporate limits of the City of Westfield prior to the approval and recording of a Secondary Plat for that part of the Real Estate.

**Section 7.** **Severability.** If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

*[Remainder of page intentionally left blank, signature page follows]*

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,  
HAMILTON COUNTY, INDIANA THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.

WESTFIELD CITY COUNCIL  
HAMILTON COUNTY, INDIANA

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Patrick Tamm

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

ATTEST:

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE 26-**\_\_ was delivered to the Mayor of Westfield  
on the \_\_\_\_ day of \_\_\_\_\_, 2026, at \_\_\_\_\_ m.

\_\_\_\_\_  
Marla Ailor, Clerk-Treasurer

I hereby APPROVE Ordinance 26-~~06~~-09  
this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott A. Willis, Mayor

I hereby VETO Ordinance 26-~~06~~-09  
this \_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott A. Willis, Mayor

This document prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 11350 N. Meridian St., Suite 320, Carmel, IN 46032 (317) 844-0106.

**SCHEDULE OF EXHIBITS**

Exhibit A Real Estate (Legal Description)

Exhibit B Concept Plan

[Exhibit C Tree Preservation Exhibit](#)

[Exhibit D Buffer Yard Exhibit](#)

**EXHIBIT A**  
**REAL ESTATE**  
(Page 1 of 2)

**Overall Legal Description**

PARCEL 1: (PID: 29-05-23-000-018.002-014)

A PART OF THE SOUTHEAST QUARTER, SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: COMMENCING AT A REBAR FOUND AT THE WEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 08' 47" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 330.70 FEET TO THE NORTH LINE OF 10 ACRES OF THE SOUTHSIDE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE NORTH LINE THEREOF 320.00 FEET TO THE NORTHEAST CORNER OF "MANDERS", POINT OF BEGINNING AND A REBAR WITH CAP SCRIBED "SEA GROUP FIRM 00091", HEREINAFTER REFERRED TO AS A "REBAR SET"; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST 15.00 FEET TO A REBAR SET; THENCE SOUTH 00 DEGREES 08 MINUTES 47 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 992.76 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 38 MINUTES 26 SECONDS WEST ALONG THE SOUTH LINE THEREOF 336.59 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 17 MINUTES 04 SECONDS EAST ALONG THE WEST LINE THEREOF 583.87 FEET TO THE SOUTHWEST CORNER OF "MANDERS"; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF "MANDERS" 320.19 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 47 SECONDS EAST ALONG THE EASTERLY LINE OF "MANDERS" 408.38 FEET AND THE POINT OF BEGINNING, CONTAINING 4.529 ACRES, MORE OR LESS. SURVEY BY BRIAN CRAIG RISMILLER, LS #20200083.

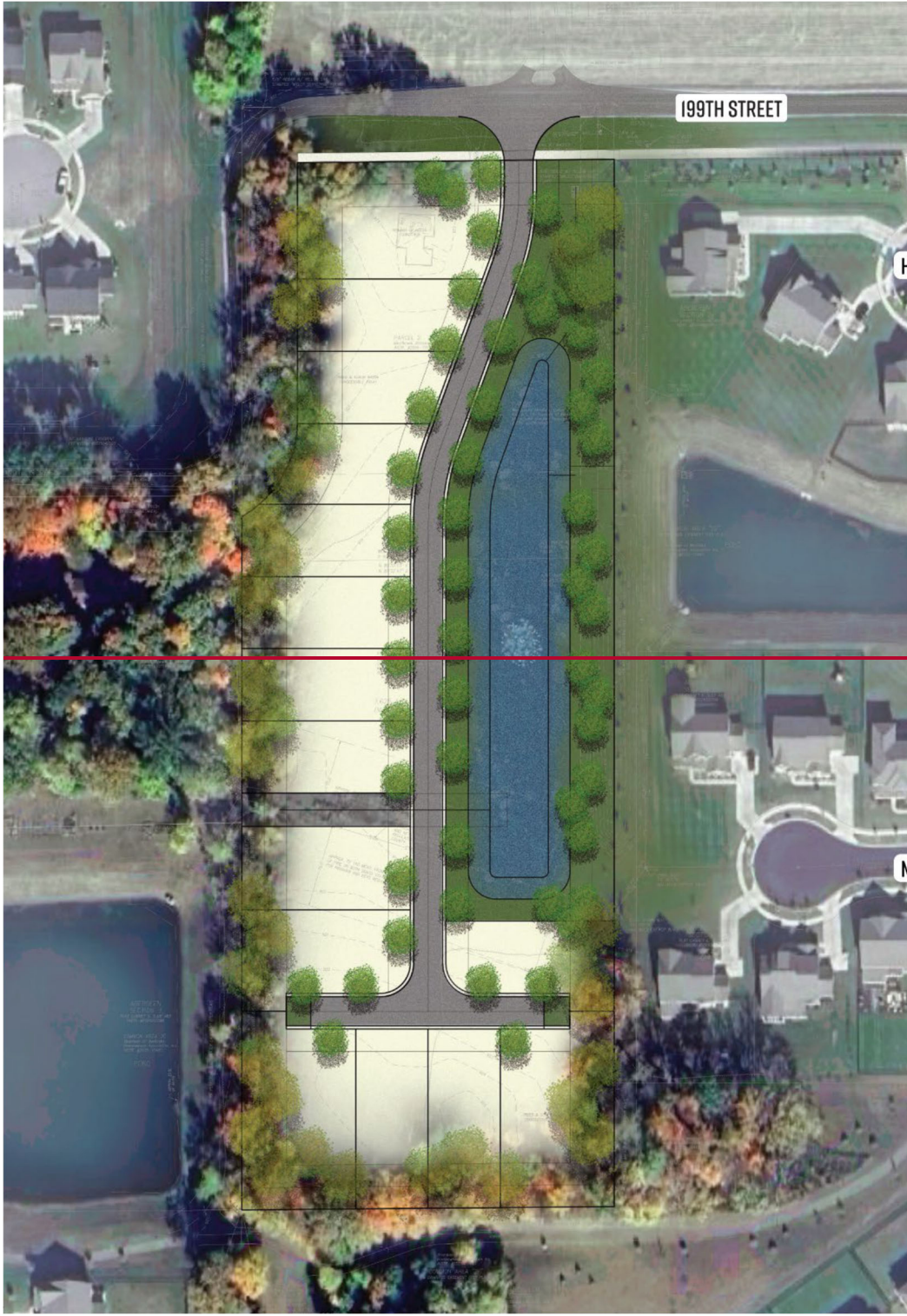
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**EXHIBIT A**  
**REAL ESTATE**  
(Page 2 of 2)



**EXHIBIT B**  
**CONCEPT PLAN**  
(Page 1 of 1)





**EXHIBIT C**  
**TREE PRESERVATION EXHIBIT**  
**(Page 1 of 1)**



**EXHIBIT D**  
**BUFFER YARD EXHIBIT**  
(Page 1 of 1)





LOTS: 14

199TH AND MONON ANNEX CONCEPT PLAN  
APRIL 13, 2026





TREE PRESERVATION EASEMENT

199TH AND MONON ANNEX CONCEPT PLAN  
APRIL 13, 2026





**BUFFERYARD EXHIBIT**

**199TH AND MONON ANNEX CONCEPT PLAN**  
APRIL 13, 2026





## 199<sup>th</sup> & Monon Summary of Modifications

- Removal of lot at south end of pond
  - maximum of 14 lots
- Community Gathering Area of minimum 400 s.f. including seating elements (see area south of pond)
- Wooden guardrail along pond frontage added
- Sidewalk with street trees added along east side of internal street
- Rolled curbs added to internal street
- Mail kiosk provided (see location along sidewalk)
- Landscaped berm along Jennings property added -
  - 16+ additional trees and 20+ additional shrubs
- Additional landscaping along east property line adjacent to Aberdeen Subdivision
  - 4 trees (2 shade, 2 ornamental) added per 100'
- Proposed east berm extension south to existing tree line with HOA approval
  - berm to be planted with 4 shade trees, 4 evergreen trees and 10 shrubs per 100'
- Shortened length of turn around at end of street allowing added room for screening.

**Original Plan**



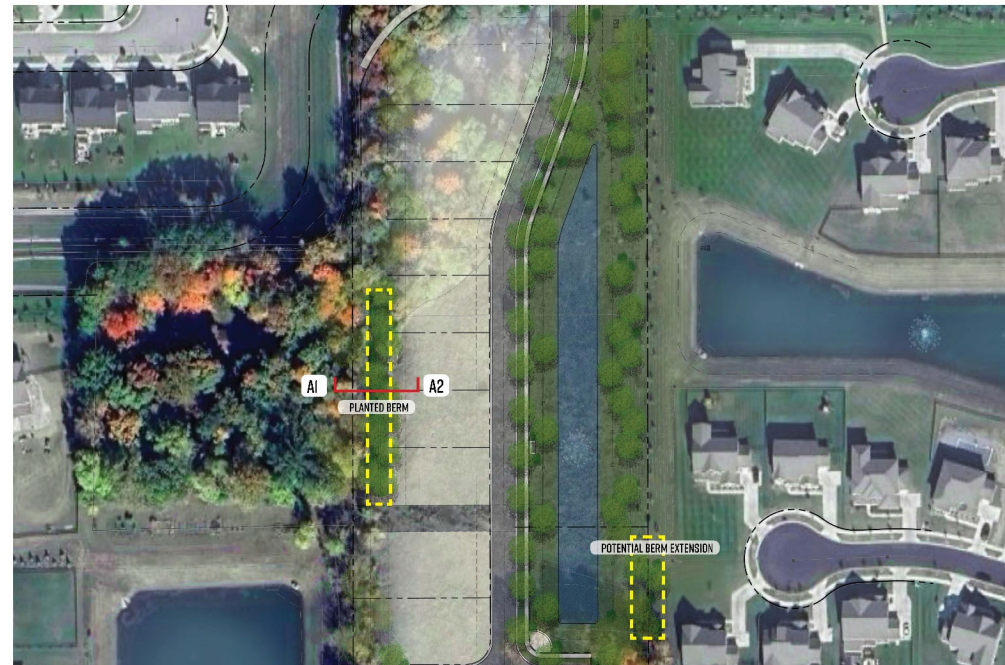
**Revised Plan**





- Additional landscaping on berm adjacent to Aberdeen Subdivision
  - 4 trees (2 shade, 2 ornamental) added per 100'

- Landscaped berm along Jennings property added
  - 16+ additional trees and 20+ additional shrubs



- Proposed east berm extension south to existing tree line
  - berm to be planted with 4 shade trees, 4 evergreen trees and 10 shrubs per 100'





**Petition Number:** 2603-PUD-04

**Project Name:** Trace Commons PUD (Ord. 26-08)

**Subject Site Address:** Generally located southwest of the intersection at SR 32 & Shady Nook Road (the "Property")

**Petitioner:** Level 2 Development, represented by Church Church Hittle + Antrim (the "Petitioner")

**Request:** Level 2 Development represented by Church Church Hittle + Antrim requests a change of zoning request for 19.44 acres +/- from the GB-PD: General Business-Planned Development and the GB: General Business District to the Trace Commons Planned Unit Development (PUD) District.

**Current Zoning:** GB-PD: General Business-Planned Development & GB: General Business

**Current Land Use:** Vacant / Undeveloped

**Approximate Acreage:** 19.44 acres +/-

**Exhibits:**

1. Staff Report
2. Vicinity Map
3. Narrative Statement
4. Ord. 26-08
5. Concept Plan
6. Landscape Plan
7. Midland Trace Trail Perspective Exhibit
8. Economic Development Design Review Letter



- Additional Linked Exhibits:** [District Areas Map](#)  
[Area A Character Exhibits](#)  
[Area B Character Exhibits](#)  
[Area C Character Exhibits](#)  
[Site Amenities & Renderings](#)  
[Neighborhood Meeting Summary](#)

**Staff Reviewer:** Ryan Collingwood, Senior Associate Planner

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### **PETITION HISTORY**

The petition had its first reading at the [February 23, 2026](#), City Council meeting. Video footage of the item's First Reading can be viewed [here](#).

A neighbor meeting was held on February 24, 2026. A summary of the neighborhood meeting can be viewed within the Neighborhood Meeting Summary.

The petition received a public hearing at the [March 2, 2026](#), Advisory Plan Commission (the "Plan Commission" or "APC") meeting. Video footage of the item's Public Hearing can be viewed [here](#).

This item received a Workshop discussion at the APC's [April 20, 2026](#) meeting. Video footage of the item's Workshop discussion can be viewed [here](#).

The item is slated for a Recommendation to the Council at the APC's May 6<sup>th</sup> meeting.

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### **PROJECT OVERVIEW**

**Location:** The Property is generally located south of SR 32, generally southwest of the intersection with SR 32 & Shady Nook Road (see [Exhibit 2](#)).

To the immediate west is a self-storage development. To the east exists the Bonterra development with a few older uses/buildings (IMCU & medical office building).

**Project Description:** The Petitioner is requesting a change of zoning request from general business uses to the Trace Commons PUD, a mixed-use development consisting of residential, commercial, and recreational uses engaged by the Midland Trace Trail that runs east & west on the Property's southern edge. Both townhome and multi-family uses encompass the residential portion of the development, while the commercial areas intend to develop with more of a local business focus along SR 32.

This project has Economic Development incentives tied to it; a design review letter is currently being compiled from the Economic Development Department.

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### **PROJECT OVERVIEW**

The Trace Commons PUD (Ord. 26-08) is a proposed mixed-use district just south of SR 32 & in between Jeff's Jam-It-In Storage to the west & the Bonterra development to the east. This will be a trail-oriented development on about 20 acres activated by the Midland Trace Trail to the Property's south.

A newly proposed roundabout is also contemplated at the intersection of SR 32 & Shady Nook Road this will help assist in alleviating traffic & movement concerns in and around this existing intersection.

### **Concept Plan:**

- The development will be built in general conformance with the Concept Plan (see **Exhibit 6**).
- The Property will be developed via three (3) distinct Areas: Areas A, B, & C.

### **Underlying Zoning Classification:**

- All three Areas will have underlying zoning designation as the LB: Local Business District.

### **Permitted Uses:**

- All LB: Local Business uses listed in the UDO shall be permitted on the Property.
- **Additional Permitted Uses**
  - Area B: Multi-family Dwelling
  - Area C: Townhouse Dwelling
- **Prohibited Uses**
  - **Areas A & B**
    - Amphitheater/outdoor theatre, Civic center, Museum/exhibition hall, Utilities – not regulated by Indiana Utility Regulatory Commission.
  - **Area C**
    - The only use permitted within Area C is Townhouse Dwellings; all other uses shall be prohibited.
  - Special Exception uses within the LB District are not permitted.

- Drive-thru facilities are not permitted anywhere on the Property.
- One (1) bank is permitted to be located on the Property.

### **General Regulations:**

- The SR 32 Overlay shall not apply to the Property.
- Article 4.16(E) [GB Setbacks] shall not apply.
  - Instead, a 20-foot setback from the perimeter of the Property will apply. There shall be no other applicable setbacks to the development.
- **Area B Maximum Units** (multi-family units): 310 units
- **Area C Maximum Units** (townhome dwellings): 30 units

### **Development Standards:**

- **Architectural Standards**
  - Area A
    - Article 6.3(F) will still apply. While Character Exhibits have been compiled for this Area, UDO regulations still apply.
  - Area B
    - Article 6.3 will not apply. Instead, the Character Exhibits compiled for Area B will be applied instead.
  - Area C
    - Article 6.3(E) will still apply. While Character Exhibits have been compiled for this Area, UDO regulations still apply.
- **Landscaping Standards**
  - Article 6.8(I) [Detention & Retention Areas] through Article 6.8(O) [Parking Area Landscaping] will not apply to the Property. Instead, the provided Landscape Plan (**Exhibit 7**) will be the controlling landscape plan.
    - Director is given ability to approved planting substitutions and relocations.
      - *UDO language has been input to help solidify the tree preservation procedure.*

- **Parking and Loading Standards**
  - Article 6.14(G)(11) [Off-Street Parking, Required Number of Spaces] will not apply to the development.
    - Instead, parking counts will be determined based off parking data provided by the Petitioner at the Detailed Development Plan phase.
- **Open Space and Amenity Standards**
  - Article 8.6 will not apply.
    - Instead, site amenities will be implemented via the Site Amenities exhibit.

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### **PROJECT MODIFICATIONS SINCE THE APRIL 20<sup>TH</sup> WORKSHOP DISCUSSION**

Since the item's April 20<sup>th</sup> Workshop meeting discussion, the following changes have been made to the project petition:

- Ordinance Language Updates
  - Inclusion of a limitation for only one (1) bank to be located on the Property.
- Inclusion of the Midland Trace Trail exhibit (**Exhibit 7**), portraying a perspective from the trail itself to the north/northeast to the Property line.

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### **COMPREHENSIVE PLAN**

Indiana Code states that reasonable regard be paid to the Comprehensive Plan when considering zoning map changes, however, the Comprehensive Plan is not law. It is simply intended to serve as a guide in making land use decisions.

The Westfield-Washington Township Comprehensive Plan (the "Comprehensive Plan") identifies the majority of this Property as being within the "Highway Corridors" land use classification (labeled "Employment Corridor" on the Land Use Concept Plan).

Development Policies for "Local Commercial" include: (i) locate local commercial development only in planned centers and only on streets classified as arterials or on frontage roads as depicted on the Land Use Concept Map; (ii) require the size, materials, color, and design of buildings to be unique to Westfield; (iii) Parking areas should be broken up by landscaping or by being located on more than one side of the buildings; (iv) encourage signs that are easy to locate and read, sized and designed in relation to the buildings and the traffic conditions in which they are viewed; and (v) encourage pedestrian connections between local commercial areas and adjacent residential areas.

**Thoroughfare Plan:** The following corridors are impacted by the development of the Property: (i) Primary Arterial 1: State Road 32, (ii) Collectors: Shady Nook Road; and (iv) Alternative Transportation Plan: Midland Trace Trail.

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## **PROCEDURAL**

**Public Hearing:** A change of zoning request is required to be considered at a public hearing by the Plan Commission. The public hearing for this petition will be held at the March 2, 2026, Plan Commission meeting. Notice of the public hearing was provided in accordance with Indiana law and the Plan Commission's Rules of Procedure.

**Statutory Considerations:** Indiana Code 36-7-4-603 states that in the consideration of zoning ordinance amendments and zone map changes that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.

**Council First Reading:** The petition had its first reading at the February 23, 2026, Council meeting.

**APC Public Hearing:** The petition had its public hearing at the March 2, 2026, APC meeting.

**APC Workshop:** The petition held a Workshop discussion at the April 20, 2026, APC meeting.

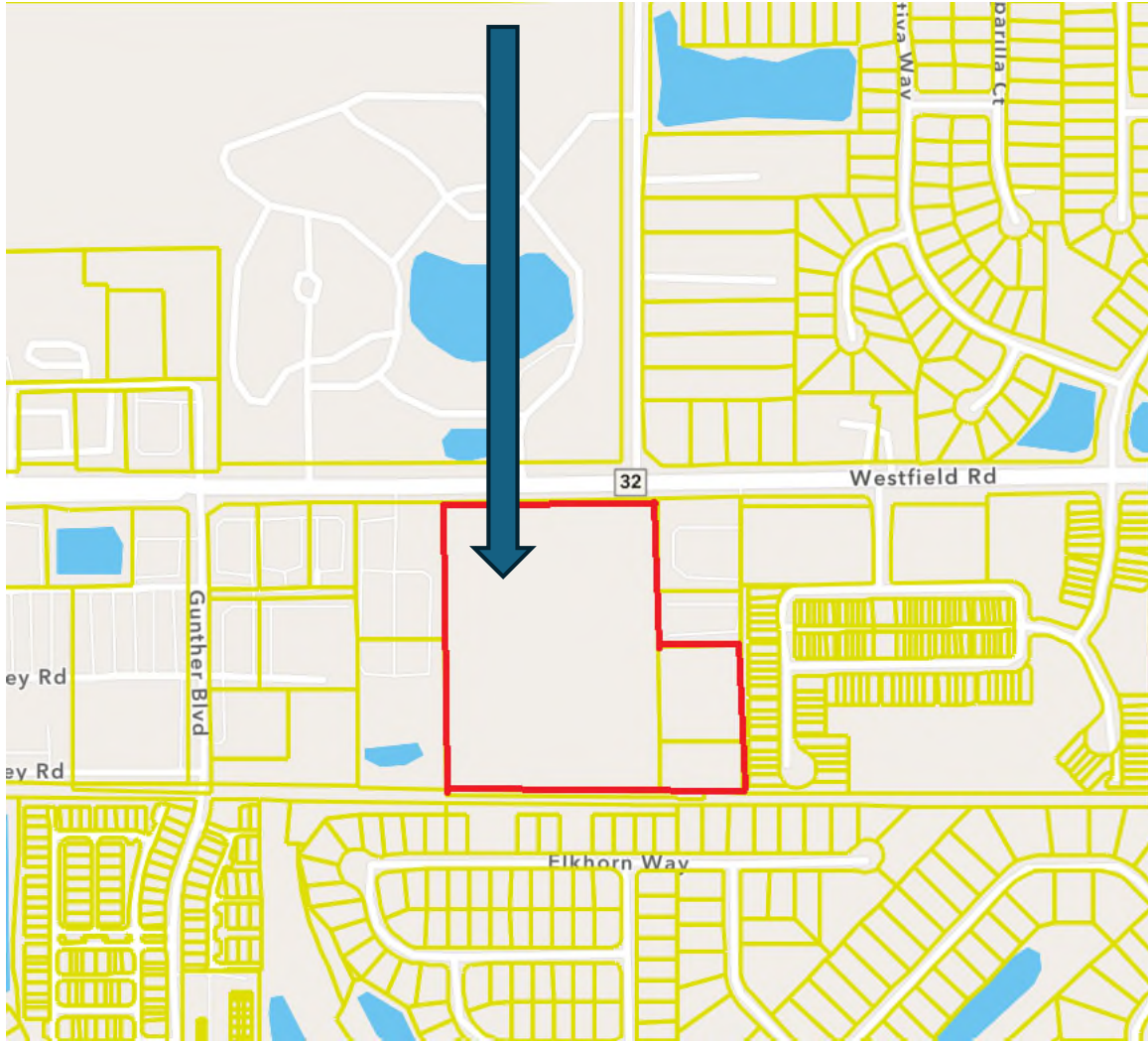
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## **DEPARTMENT COMMENTS**

1. **Action:** Provide a Favorable, Unfavorable, or No Recommendation to the City Council at the May 6, 2026, APC meeting.
2. If any Plan Commission member has questions prior to the public hearing, then please contact Ryan Collingwood at (317) 741-8857 or [rcollingwood@westfield.in.gov](mailto:rcollingwood@westfield.in.gov).

# VICINITY MAP

SUBJECT SITE



## **Narrative Statement**

### **Level 2 Development – Trace Commons Planned Unit Development, 3901 Westfield Road**

Level 2 Development is proposing a premier trail-oriented, mixed-use development on approximately 16.53 acres at 3901 Westfield Road, to be known as Trace Commons. The proposal includes approximately 27,000 square feet of commercial space, which serves as the primary gateway and entrance experience to the community. Additionally, the project features two 4-story, mixed-use buildings containing ground-floor retail and 302 residential units, and 25 townhomes strategically located along the Midland Trace Trail.

Trace Commons will provide a much-needed roundabout at the intersection of Shady Nook Road and State Highway 32. Complementing this infrastructure on the trail side, the project is centered on a "Trail-to-Table Experience," where the commercial space is envisioned for locally curated tenants. Targeted concepts for this space include examples such as a signature destination brunch house, a craft coffee roastery, a neighborhood-focused specialty market and cafe, a specialized trail and adventure gear outfitter, and a fitness/wellness studio.

The development is designed to be pedestrian, bike, and stroller-centric, featuring two significant connections to the Midland Trace Trail and a trailhead plaza with a bicycle station and pavilion. At the heart of the community is an activated Plaza Promenade featuring a pop-up gathering space designed for food trucks, farmers' markets, and seasonal events. This social hub is complemented by a well-appointed pond amenity featuring a water feature, elevated waterfront overlooks, and a 1/2-mile walking loop trail.

## ORDINANCE NUMBER 26-08

### AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE UNIFIED DEVELOPMENT ORDINANCE

#### “Trace Commons PUD”

This is a Planned Unit Development District Ordinance, to be known as the TRACE COMMONS PLANNED UNIT DEVELOPMENT (the “**Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. 2603-PUD-04), requesting an amendment to the Unified Development Ordinance and to the Zoning Map with regard to the subject real estate more particularly described in Exhibit 1 attached hereto (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. 2603-PUD-04 to the Common Council of the City of Westfield, Hamilton County, Indiana (the “**Council**”) with a favorable recommendation (X-X) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on \_\_\_\_\_, 2026;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1.     Applicability of Ordinance.

- 1.1     The UDO and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the “Trace Commons Planned Unit Development District” (the “**District**”).
- 1.2     Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the UDO, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3     Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4     All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2.     Concept Plan. The concept plan, attached hereto as Exhibit 2 (the “**Concept Plan**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 2.1     The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “Area A”, “Area B” and “Area C” (individually or collectively, the “**Area**” or “**Areas**”).
- 2.2     The Real Estate shall be developed in substantial conformance with the Concept Plan.

Section 3.     Underlying Zoning District(s). The Underlying Zoning District of Areas A, B and C shall be the LB: Local and Neighborhood Business District (the “**Underlying Zoning District**”).

Section 4.     Permitted Uses. All uses permitted in the Underlying Zoning District shall be permitted, except as otherwise modified below:

- 4.1     Additional Uses: The following additional uses shall be permitted:
  - A.     Area A – None
  - B.     Area B – Multi-family Dwelling
  - C.     Area C – Townhouse Dwelling
- 4.2     Prohibited Uses: The following uses shall be prohibited:
  - A.     All Special Exception Uses, except as otherwise permitted in this Ordinance.

- B. Drive-thru facilities shall not be permitted on the Real Estate.
- C. No more than one (1) bank shall be permitted on the Real Estate.
- D. Area A
  - 1. Amphitheater/outdoor theatre
  - 2. Civic center
  - 3. Museum/exhibition hall
  - 4. Utilities – not regulated by Indiana Utility Regulatory Commission
- E. Area B
  - 1. Amphitheater/outdoor theatre
  - 2. Civic center
  - 3. Museum/exhibition hall
  - 4. Utilities – not regulated by Indiana Utility Regulatory Commission
- F. Area C – All uses except Townhouse Dwellings shall be prohibited in Area C.

Section 5. General Regulations. The standards of Chapter 4 Zoning Districts, as applicable to the Underlying Zoning District, shall apply to the development of the Real Estate, except as otherwise modified below.

5.1 Development Standards:

- A. Article 4.14(E) shall not apply. Instead, a Minimum 20’ Building Setback along the perimeter of the District shall be provided. There shall be no other Building Setback requirements within the District.
- B. The maximum number of Dwelling Units permitted in Area B shall be 310.
- C. The maximum number of Dwelling Units in Area C shall be 30.

Section 6. Overlay District. The State Highway 32 Overlay District shall not apply to the District.

Section 7. Development Standards. The standards of Chapter 6 Development Standards shall apply to the development of the Real Estate, except as otherwise modified below.

7.1 Article 6.3 Architectural Standards:

- A. Article 6.3(F) of the UDO shall apply to Area A of the District. Architectural character examples are attached hereto as Exhibit 3 (the “**Area A Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of Area A. The architectural character examples are general and

preliminary in nature and are not intended to delineate exactly what will be built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

- B. Article 6.3 shall not apply to Area B of the District. Instead, the Buildings in Area B shall be constructed in substantial conformance with the depictions included in Exhibit 4 (the “**Area B Character Exhibit**”).
- C. Article 6.3(E) of the UDO shall apply to Area C of the District. Architectural character examples are attached hereto as Exhibit 5 (the “**Area C Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of the Area C. The architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

7.2 Landscaping Standards. Articles 6.8(I) through (O) shall not apply to the District. Instead landscaping shall be installed in substantial compliance with the detailed landscaping plans attached hereto as Exhibit 6 (the “**Landscaping Plans**”). Tree preservation areas shall be provided in accordance with the provisions of Article 6.8(E) of the UDO, and in substantial conformance with the tree preservation areas identified on the Concept Plan. The Director shall have the authority to approve planting substitutions and relocations in the event needed, so long as the overall design and effect of such landscaping installations are maintained as determined by the Director.

7.3 Parking and Loading Standards. Article 6.14 shall apply to the development of the District, except as otherwise modified below

- A. Off-Street Parking, Required Spaces. Article 6.14(G)(11) shall not apply to the District. Parking Space requirements shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for a Detailed Development Plan.

7.4 The standards of Article 8.6 of the UDO shall not apply to the District. Instead, site amenities in substantial conformance with the depictions and description included in Exhibit 7 (“**Site Amenities**”) shall be provided.

Section 8. Infrastructure Standards. The District's infrastructure shall comply with the UDO and the City’s Construction Standards (see Chapter 7 Subdivision Regulations) unless otherwise approved by the Department of Public Works.

ALL OF WHICH IS ORDAINED/RESOLVED THIS \_\_\_ DAY OF \_\_\_\_\_, 2026.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

\_\_\_\_\_  
Kurt Wanninger

ATTEST:

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE** \_\_\_\_\_ was delivered to the Mayor of Westfield on the \_\_\_\_\_ day of \_\_\_\_\_, 2026, at \_\_\_\_\_ m.

\_\_\_\_\_  
Marla Ailor, Clerk-Treasurer

I hereby **APPROVE ORDINANCE** \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

I hereby **VETO ORDINANCE** \_\_\_\_\_  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott A. Willis, Mayor

\_\_\_\_\_  
Scott A. Willis, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

**EXHIBIT 1**

**The "Real Estate"**

Part of the Northwest Quarter of Section 5, Township 18 North, Range 4 East in Hamilton County, Indiana, described as follows:

Begin at a point 2720.5 feet West of the Northeast corner of the Northeast Quarter of Section 5, Township 18 North, Range 4 East; thence South on and along a fence line parallel to the half Section line 963.7 feet to the intersection with the North right-of-way fence line of the Central Indiana Railroad, said point being 50.53 feet West of the East line of the Northwest Quarter; thence Westerly on and along said right-of-way fence, 667.00 feet to an iron stake; thence North parallel to the East line of this tract, 947.7 feet to the intersection with the center of State Highway No. 32; thence East on and along said center line 667.00 feet to the Place Of Beginning.

AND ASLO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows:

Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 seconds West parallel with the West line of the said Northeast quarter 808.59 feet to a rebar and cap set inscribed "Wright 9700013" to the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West 158.46 feet to a rebar and cap set inscribed "Wright 9700013" on the North right of way line of the former Central Indiana Railway Company; thence North 88 degrees 55 minutes 40 seconds West on and along the said right of way line 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East 158.46 feet; thence South 88 degrees 55 minutes 40 seconds East 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 0.93 acres more or less.

AND ALSO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows: Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 feet from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 minutes West parallel with the West line of the said Northeast Quarter 510.00 feet to a rebar and cap set inscribed "Wright 9700013" also being the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West parallel with the

West line of the said Northeast quarter 298.59 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 88 degrees 55 minutes 40 seconds West and parallel with the North right of way line of the former Central Indiana Railway Company 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East parallel with the East line of the said Northwest Quarter 294.73 feet to a rebar and cap inscribed "Wright 9700013"; thence South 89 degrees 47 minutes 03 seconds East parallel with the North line of said Northeast Quarter 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 1.76 acres more or less.

Subject to all pertinent easements, restrictions and right of ways.

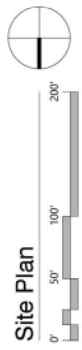
**EXHIBIT 2**

**The “Concept Plan”**

The “Concept Plan” appears on the following two (2) pages of this Exhibit 2.

**PROJECT DATA:**

Apartment Units: 308  
Apartment Building GSF: A: 226,590 GSF  
B: 123,224 GSF  
Townhomes: 25 Total  
Retail Area: 27,850 SF  
Surface Parking: 519 P.S.

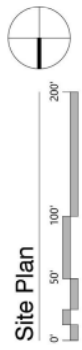
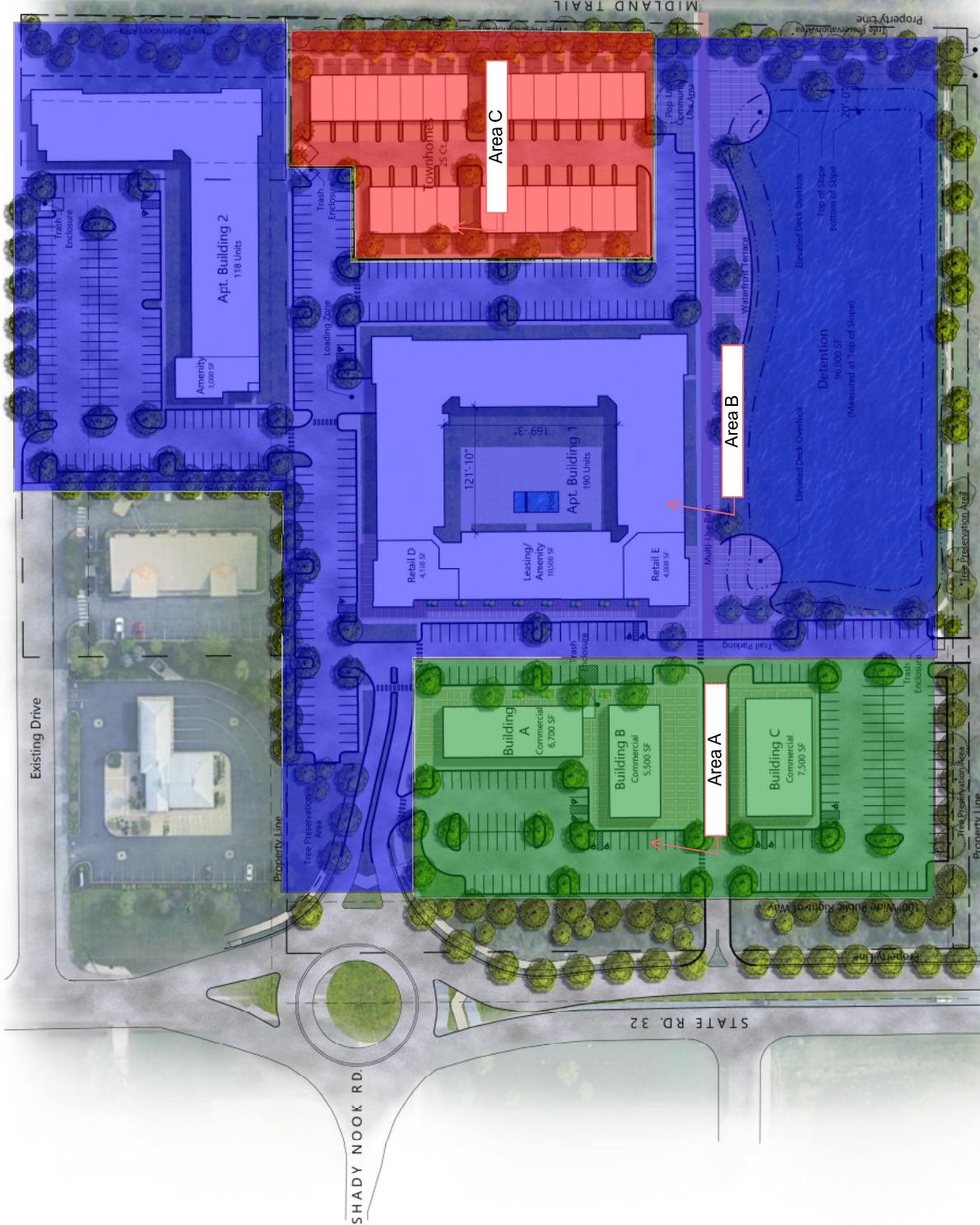


2025073

**L2 Westfield Apartments/Mixed-Use**  
Westfield, IN | 08 April 2026

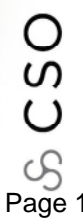
**PROJECT DATA:**

Apartment Units: 308  
 Apartment Building GSF: A: 226,590 GSF  
 B: 123,224 GSF  
 Townhomes: 25 Total  
 Retail Area: 27,850 SF  
 Surface Parking: 519 P.S.



2025073

**L2 Westfield Apartments/Mixed-Use**  
 Westfield, IN | 08 April 2026



**EXHIBIT 3**

**“Area A Character Exhibit”**

The “Area A Character Exhibit” appears on the following nine (9) pages of this Exhibit 3.







CSO



### View of Retail

Rendering for conceptual design intent only. Final design may vary.



### View of Retail

Rendering for conceptual design intent only. Final design may vary.

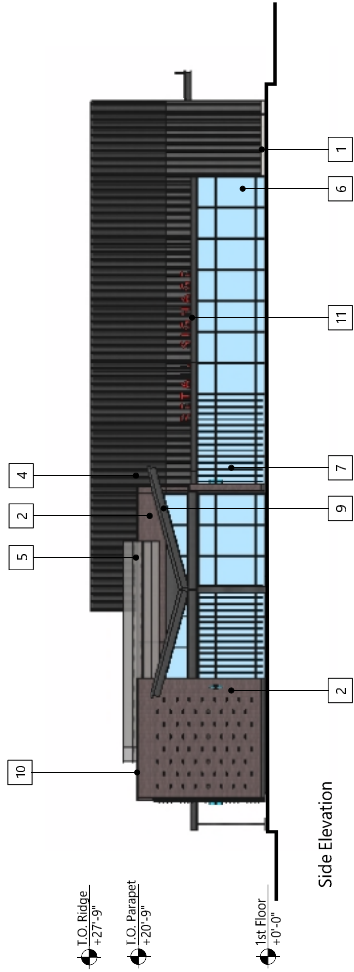


### View of Retail

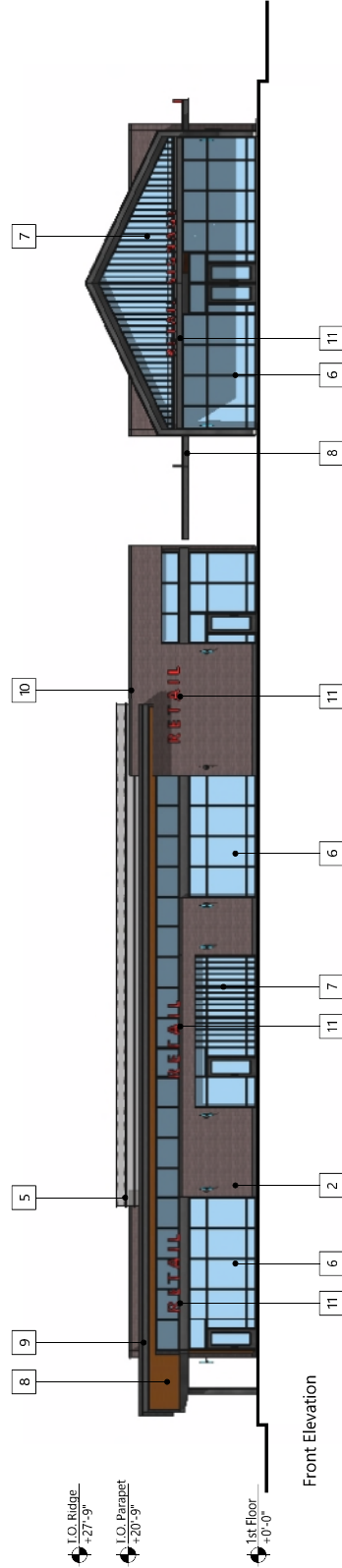
Rendering for conceptual design intent only. Final design may vary.

**MATERIALS KEY: RETAIL**

- 1 Unit Masonry Veneer
- 2 Color: Light Gray
- 3 Brick Veneer
- 4 Dark Plum
- 5 Ribbed Metal Panel
- 6 Color: Black
- 7 Standing Seam Metal Siding/Roof
- 8 Color: Dark Gray
- 9 Aluminum Perforated Screen Wall
- 10 Color: Gray
- 11 Storefront Glazing System
- 12 Color: Clear Glazing with Black Mullions
- 13 Fixed Vertical Wood Slit Screen Integrated with Storefront System
- 14 Color: Wood Tone
- 15 Tongue and Groove Soffit Planks
- 16 Color: Wood Tone
- 17 Steel or Aluminum Canopy
- 18 Color: Black
- 19 Metal Parapet Coping
- 20 Color: Black
- 21 Building Signage Location



Side Elevation



Front Elevation

Note: All rooftop mechanical units to be fully screened.

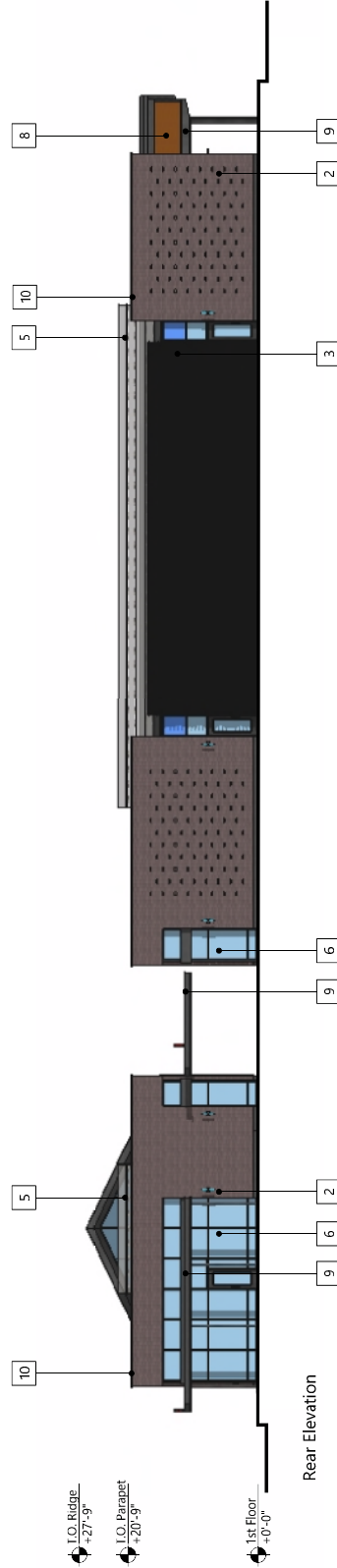
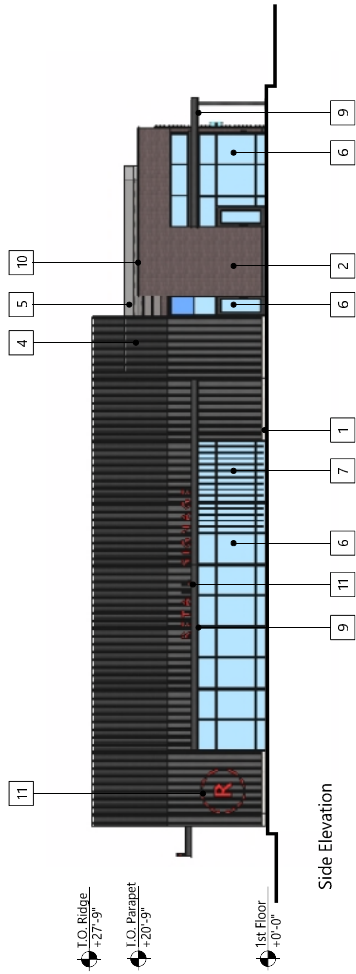
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail A & B



**MATERIALS KEY: RETAIL**

- 1 Unit Masonry Veneer
- Color: Light Gray
- 2 Brick Veneer
- 3 Ribbed Metal Panel
- Color: Black
- 4 Standing Seam Metal Siding/Roof
- Color: Dark Gray
- 5 Aluminum Perforated Screen Wall
- Color: Gray
- 6 Aluminum Soffitfront Glazing System
- Color: Clear Glazing with Black Mullions
- 7 Fixed Vertical Wood Slat Screen Integrated with Soffitfront System
- Color: Wood Tone
- 8 Tongue and Groove Soffit Planks
- Color: Wood Tone
- 9 Steel or Aluminum Canopy
- Color: Black
- 10 Metal Parapet Coping
- Color: Black
- 11 Building Signage Location



Note: All rooftop mechanical units to be fully screened.

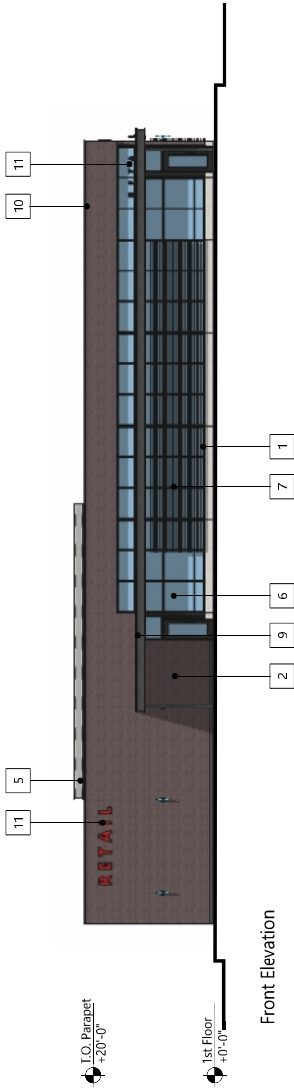
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail A & B

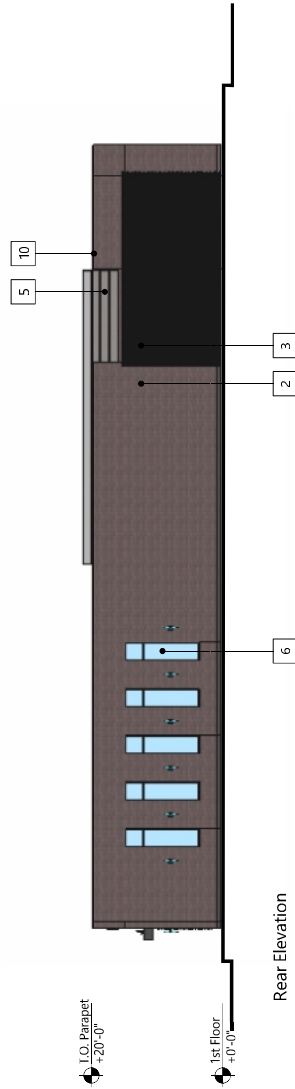


**MATERIALS KEY: RETAIL**

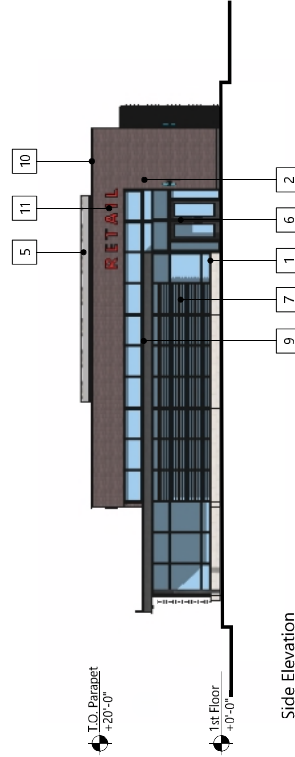
- 1 Unit Masonry Veneer
- 2 Brick Veneer
- 3 Ribbed Metal Panel
- 4 Standing Seam Metal Siding/Roof
- 5 Aluminum Perforated Screen Wall
- 6 Aluminum Slotted Glazing System
- 7 Fixed Vertical Wood Slit Screen Integrated with Storefront System
- 8 Tongue and Groove Soffit Planks
- 9 Steel or Aluminum Canopy
- 10 Metal Parapet Coping
- 11 Building Signage Location



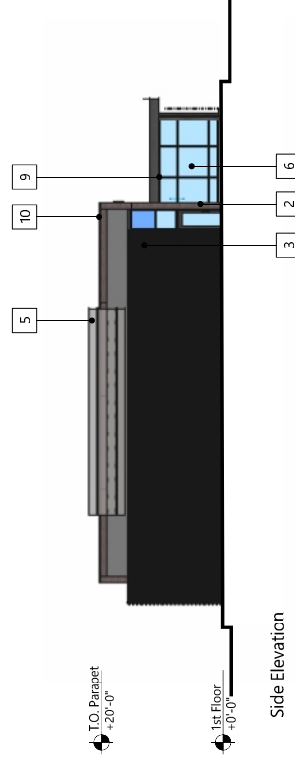
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

Note: All rooftop mechanical units to be fully screened.

Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail C



**EXHIBIT 4**

**“Area B Character Exhibit”**

The “Area B Character Exhibit” appears on the following eight (8) pages of this Exhibit 4.









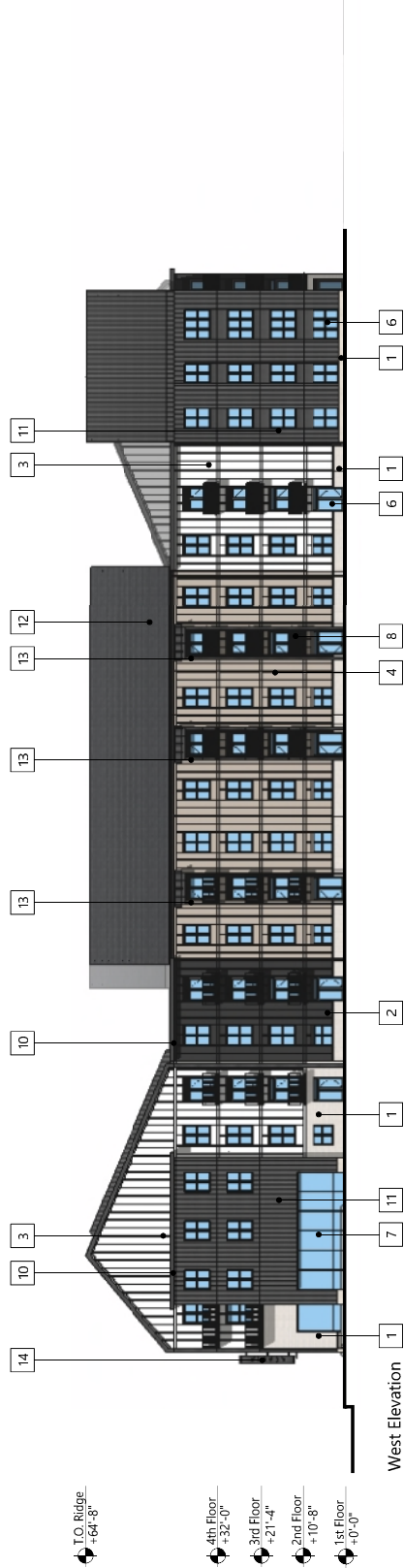


CSO

The Roastery  
craft beer

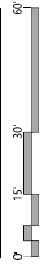
**MATERIALS KEY:**

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel
- 3 Color: Dark Gray
- 4 Vertical Board & Batten Fiber Cement Panel
- 5 Color: Warm White
- 6 Vertical Board & Batten Fiber Cement Panel
- 7 Color: Black
- 8 Vertical Board & Batten Fiber Cement Panel
- 9 Color: Black
- 10 Unit Fiberglass Windows/Patio Doors
- 11 Color: Black
- 12 Aluminum Sash Windows/Patio Doors
- 13 Color: Black
- 14 Metal Parapet Coping; C-Channel Profile
- 15 Color: Dark Gray
- 16 Asphalt Shingle Roof
- 17 Color: Dark Gray
- 18 Post Supported Balconies with Sheet Roof
- 19 Color: Dark Gray
- 20 Building Signage Location



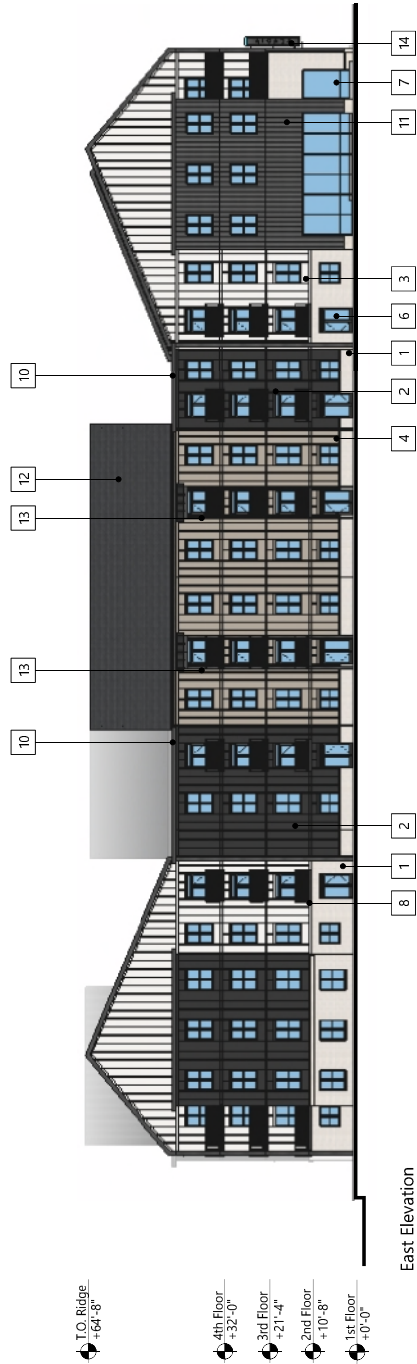
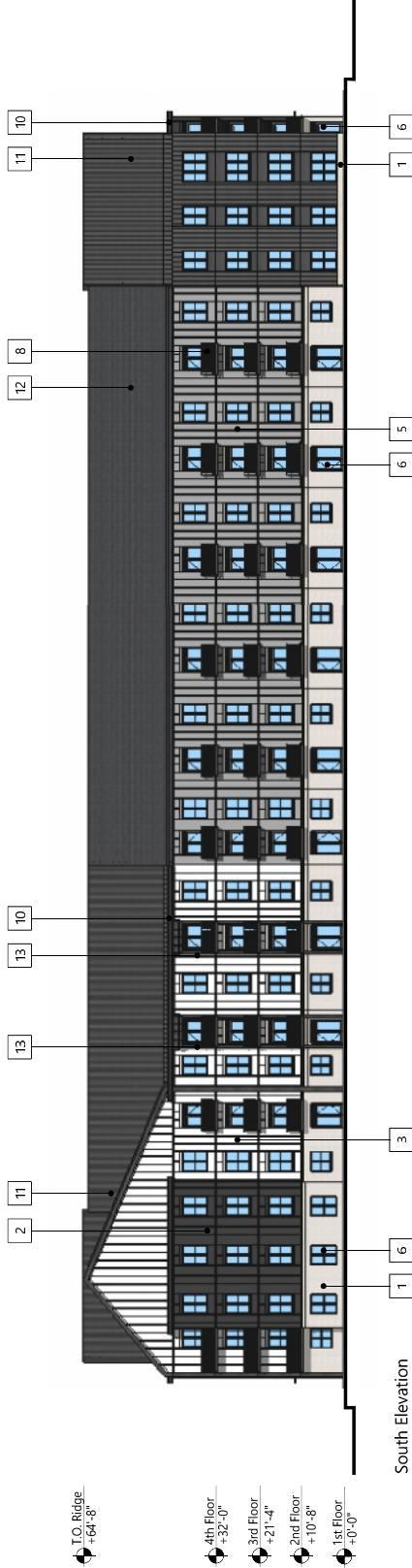
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Apt. A



**MATERIALS KEY:**

- 1 Unit Masonry Veneer
- 2 Color: Buff
- 3 Vertical Board & Batten Fiber Cement Panel
- 4 Color: Dark Gray
- 5 Vertical Board & Batten Fiber Cement Panel
- 6 Color: Warm White
- 7 Vertical Board & Batten Fiber Cement Panel
- 8 Color: Buff
- 9 Vertical Board & Batten Fiber Cement Panel
- 10 Color: Black
- 11 Aluminum Windows/Patio Doors
- 12 Color: Black
- 13 Aluminum Storefront Glazing System
- 14 Color: Clear Glazing with Black Mullions
- 1 Metal Parapet Coping: C-Channel Profile
- 2 Color: Black
- 3 Standing Seam Metal Siding/Roof
- 4 Color: Dark Gray
- 5 Asphalt Shingle Roof
- 6 Color: Dark Gray
- 7 Post Supported Balconies with Sheat Roof
- 8 Color: Dark Gray
- 9 Building Signage Location



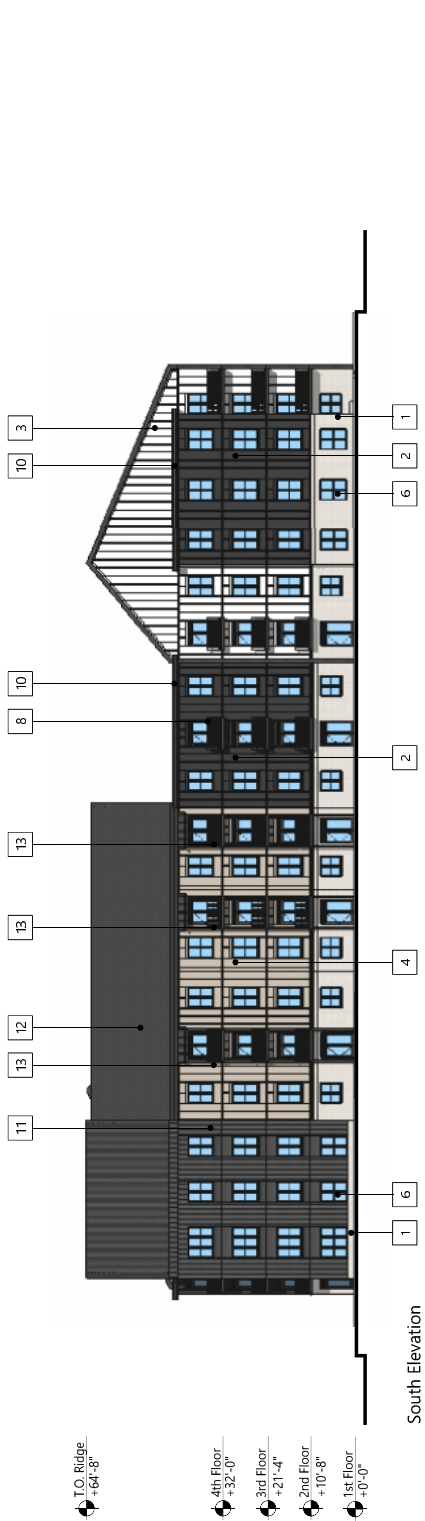
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Apt. A

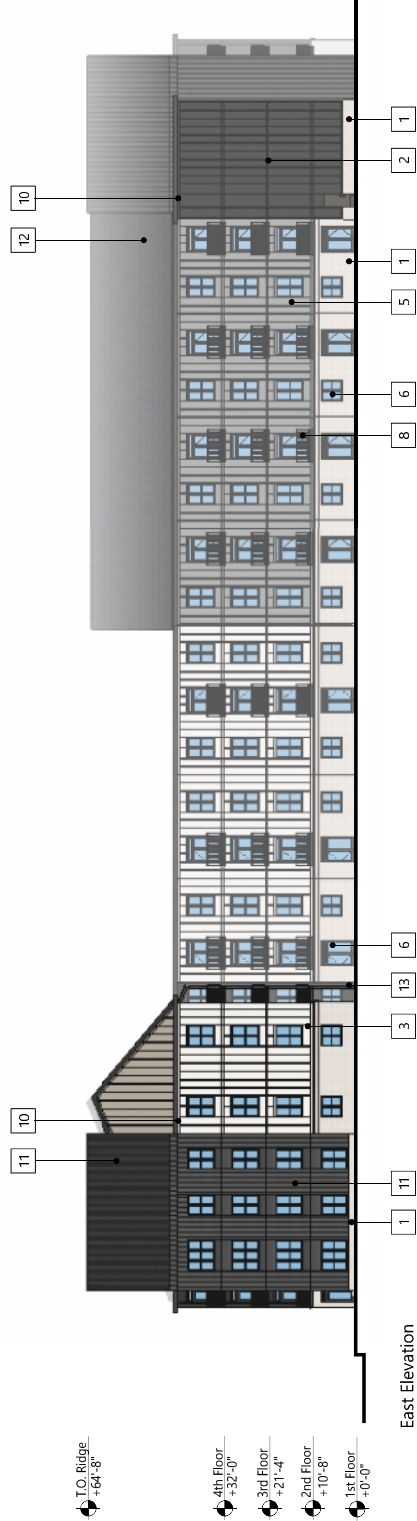


**MATERIALS KEY:**

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel  
Color: Dark Gray
- 3 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 4 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 5 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 6 Unit Fiberglass Windows/Patio Doors  
Color: Black
- 7 Aluminum Storefront Glazing System  
Color: Clear Glazing with Black Mullions  
Color: Black
- 8 Metal Balconies and Railing  
Color: Black
- 9 Steel or Aluminum Canopy  
Color: Black
- 10 Metal Parapet Coping: C-Channel Profile  
Color: Black
- 11 Standing Seam Metal Siding/Roof  
Color: Dark Gray
- 12 Asphalt Shingle Roof  
Color: Dark Gray
- 13 Post-Supported Balconies with Sheet Roof  
Color: Dark Gray
- 14 Building Signage Location



South Elevation



East Elevation

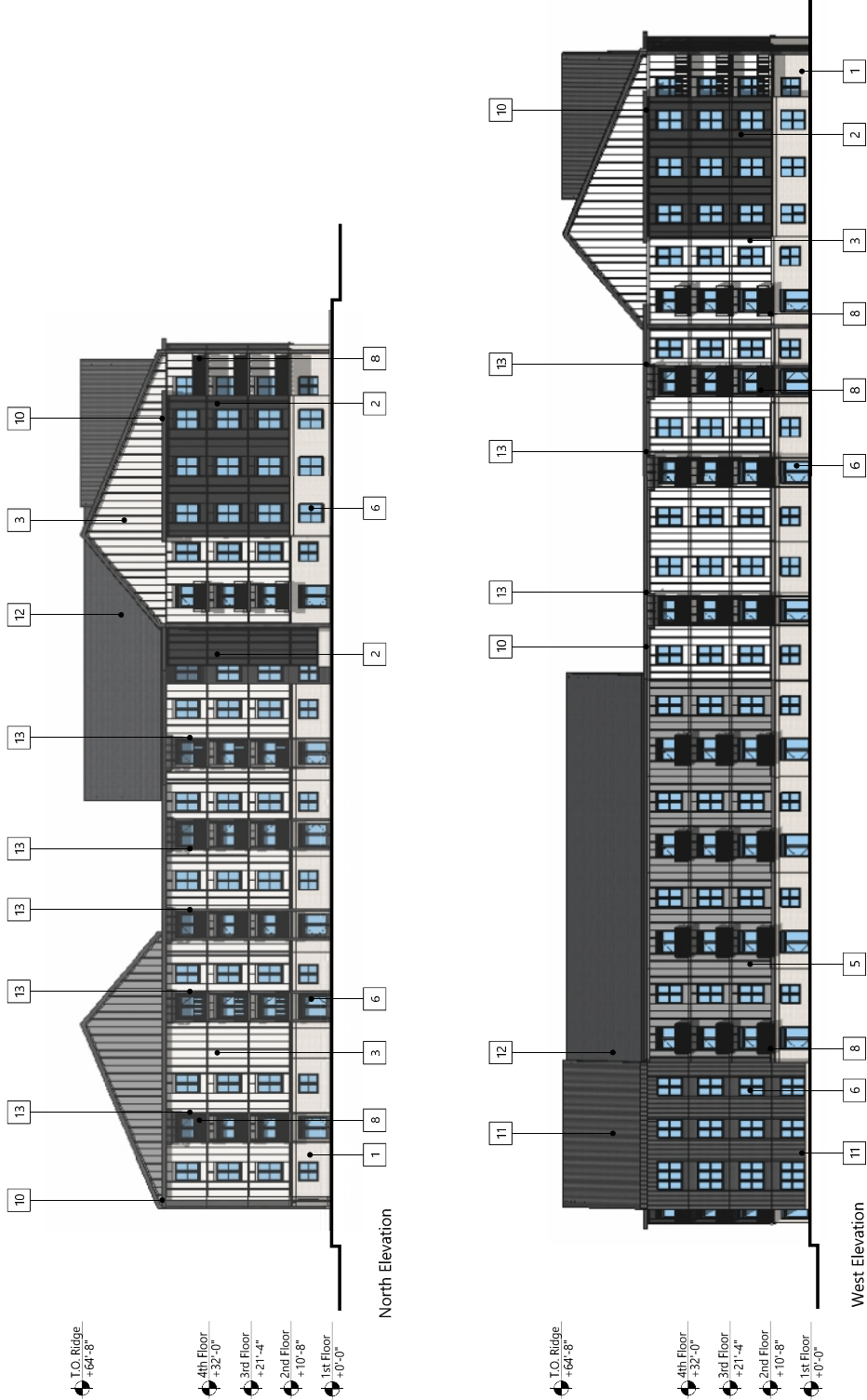
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Apt. B

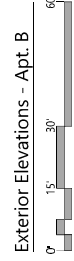


**MATERIALS KEY:**

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel  
Color: Dark Gray
- 3 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 4 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 5 Vertical Board & Batten Fiber Cement Panel  
Color: Warm White
- 6 Unit Fiberglass Windows/Patio Doors  
Color: Black
- 7 Aluminum Storefront Glazing System  
Color: Clear Glazing with Black Mullions  
Color: Black
- 8 Metal Balconies and Railing  
Color: Black
- 9 Steel or Aluminum Canopy  
Color: Black
- 10 Metal Parapet Coping: C-Channel Profile  
Color: Black
- 11 Standing Seam Metal Siding/Roof  
Color: Dark Gray
- 12 Asphalt Shingle Roof  
Color: Dark Gray
- 13 Post-Supported Balconies with Sheet Roof  
Color: Dark Gray
- 14 Building Signage Location



Rendering for conceptual design  
intent only. Final design may vary.



**L2 Westfield Apartments/Mixed-Use**

Westfield, IN | 23 December 2025



**EXHIBIT 5**

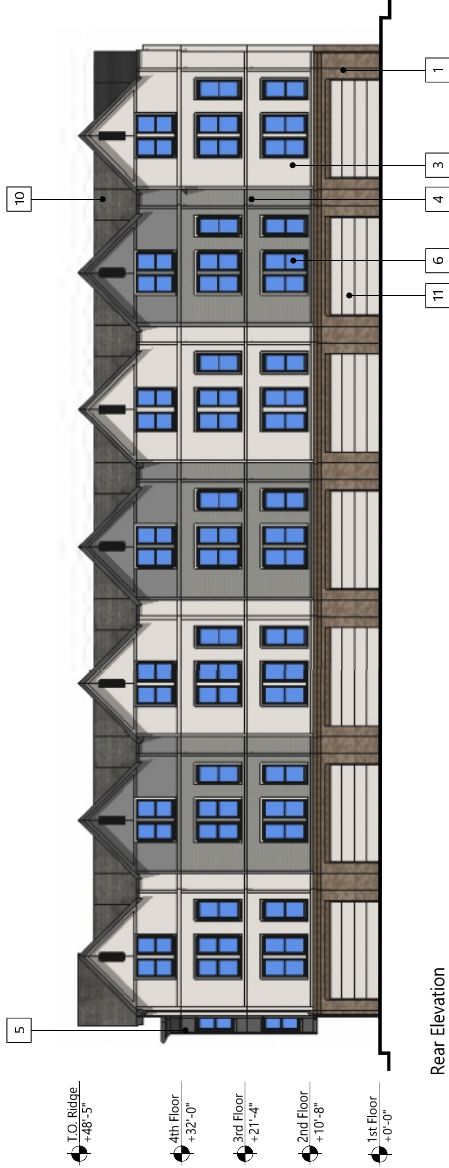
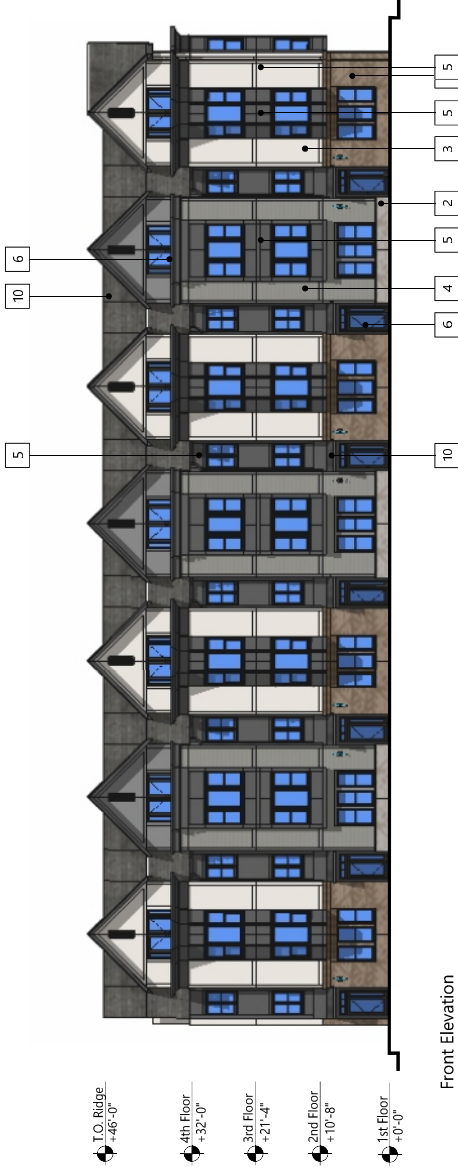
**“Area C Character Exhibit”**

The “Area C Character Exhibit” appears on the following two (2) pages of this Exhibit 5.



**MATERIALS KEY: TOWNHOME**

- 1 Brick Masonry Veneer  
Color: I. Brown
- 2 Brick Masonry Veneer  
Color: I. Gray
- 3 Fiber Cement Panel  
Color: Warm White
- 4 Fiber Cement Horizontal Lap Siding  
Color: Gray
- 5 Fiber Cement Panel  
Color: Dark Gray
- 6 Light Fiberglass Balustrade  
Color: Black
- 7 Aluminum Scaffolding System  
Color: Clear Glazing with Black Mullions  
Color: Black
- 8 Metal Balconies and Railing  
Color: Black
- 9 Steel or Aluminum Canopy  
Color: Black
- 10 Asphalt Shingle Roof  
Color: Dark Gray
- 11 Garage Door  
Color: Warm White



Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Townhome



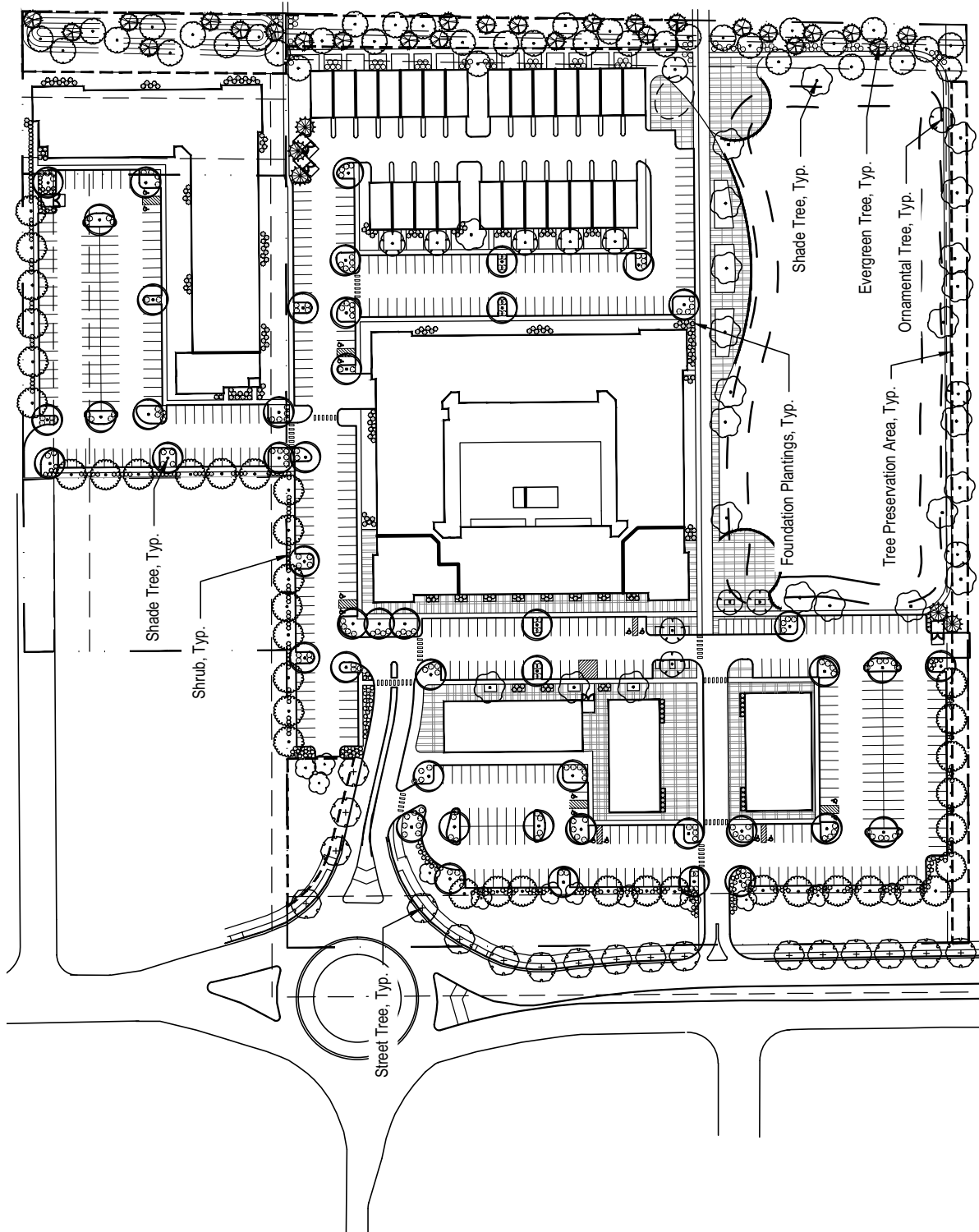
**L2 Westfield Apartments/Mixed-Use**

Westfield, IN | 23 December 2025

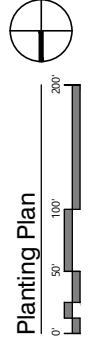
**EXHIBIT 6**

**“Landscaping Plans”**

The “Landscaping Plans” appear on the following page of this Exhibit 6.



**NOTE:**  
 Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees.



2025073

## **EXHIBIT 7**

### **“Site Amenities”**

The “Site Amenities” are described below and depicted on the following three (3) pages of this Exhibit 7.

The “Site Amenities” shall include, but shall not be limited to, the following:

1. Multi-use trail connecting the Midland Trace Trail to the State Highway 32 corridor.
2. Landscaped, pond amenity with water feature.
3. Elevated pond amenity overlook(s) and waterfront terrace along pond amenity area.
4. Pop-up community use trailhead with seating, cycling service station, water fountain, shade structures, and/or food truck opportunities.
5. Hardscaped outdoor plaza space along the multi-use trail amenity area.
6. Tree preservation areas along the Midland Trace Trail and site perimeter areas.
7. Trailhead on Midland Trace Trail and ½ mile walking loop trail.

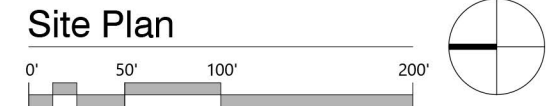


CSO

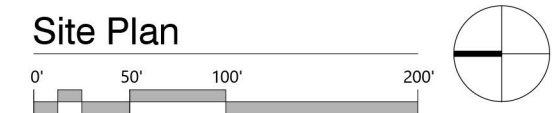
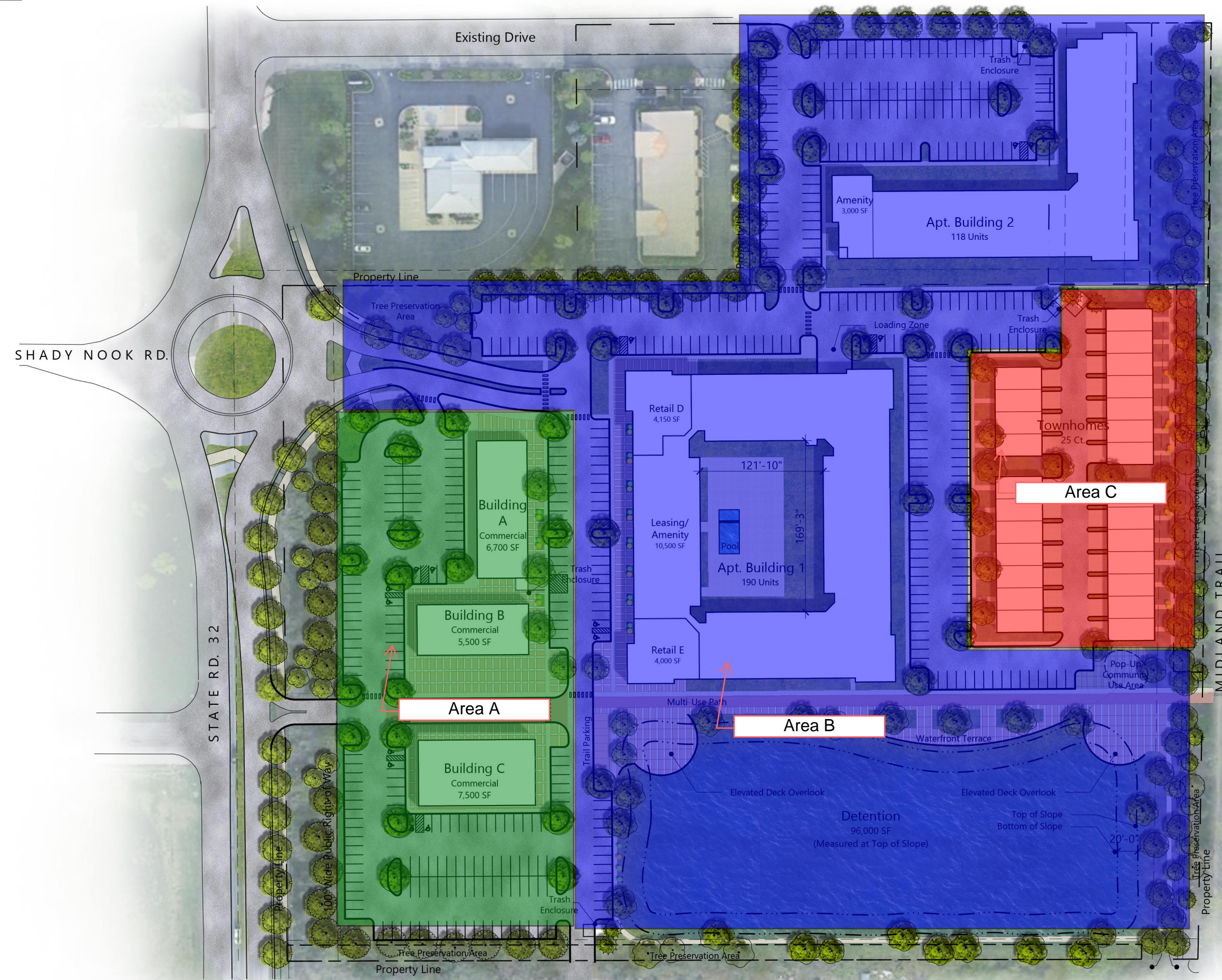


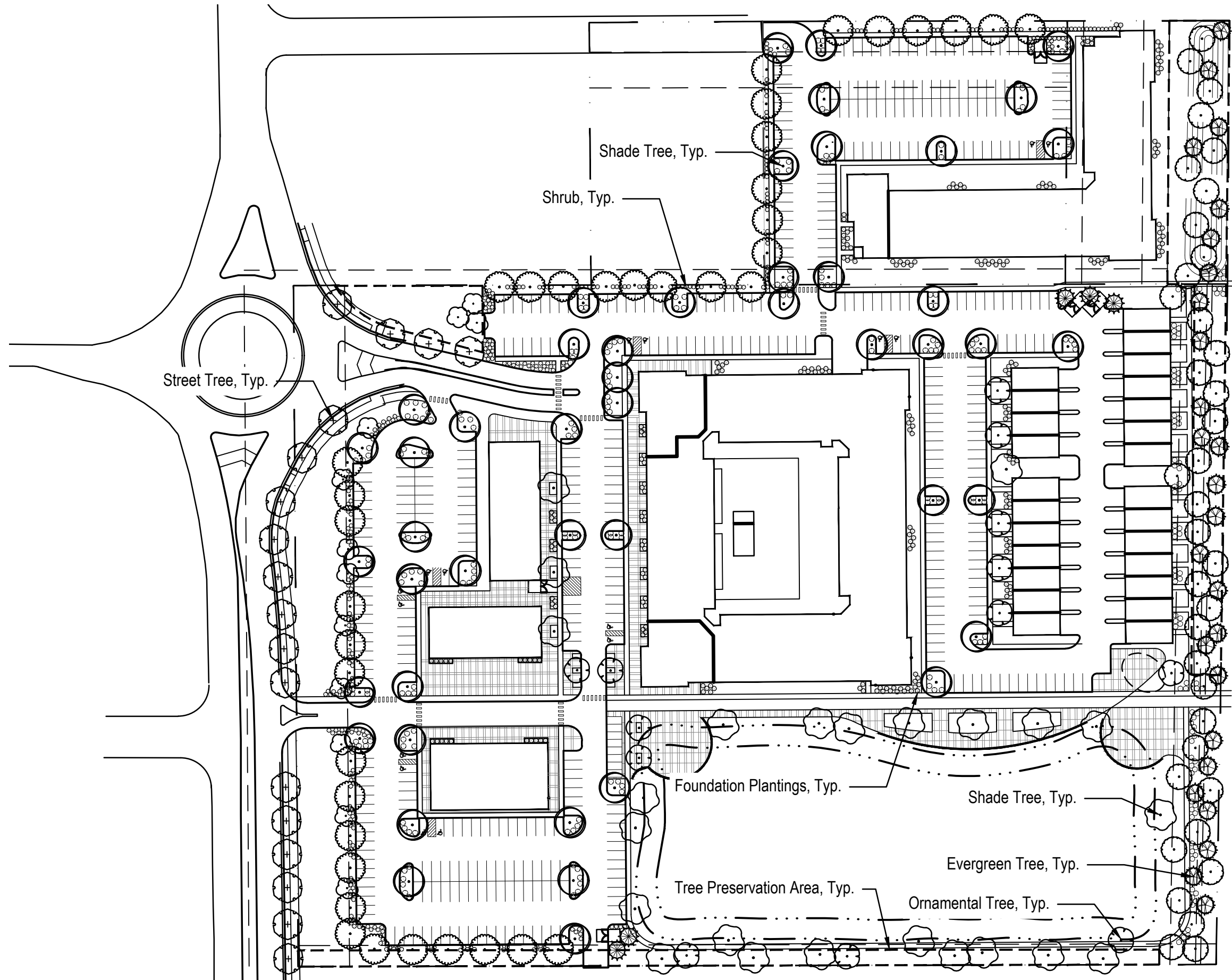


**PROJECT DATA:**  
 Apartment Units: 308  
 Apartment Building GSF: A: 226,590 GSF  
 B: 123,224 GSF  
 Townhomes: 25 Total  
 Retail Area: 27,850 SF  
 Surface Parking: 519 P.S.

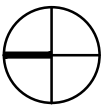
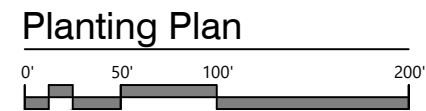


**PROJECT DATA:**  
 Apartment Units: 308  
 Apartment Building GSF: A: 226,590 GSF  
 B: 123,224 GSF  
 Townhomes: 25 Total  
 Retail Area: 27,850 SF  
 Surface Parking: 519 P.S.





NOTE:  
 Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees.







**Petition Number:** 2604-PUD-07

**Project Name:** Westfield Playhouse PUD Amendment I

**Subject Site Address:** Generally, 302 N. Union Street (the "Property")

**Petitioner:** SCG Property Group, LLC

**Representative:** Church, Church, Hittle + Antrim

**Request:** Petitioner requests an amendment to the Westfield Playhouse PUD to add adjacent real estate and incorporate development standards for the construction of two (2) future office buildings on the Property.

**Current Zoning:** SF3: Single-family Medium Density District

**Current Land Use:** Vacant

**Approximate Acreage:** 1.66 acres +/-

**Exhibits:**

1. Staff Report
2. Location Map
3. Proposed Ordinance 26-15
4. Red-line Ordinance 26-15
5. Concept Plan
6. Architectural Character Exhibits
7. Landscape Plan
8. Signage and Lighting Exhibits
9. Narrative Statement
10. Neighborhood Meeting Summary
11. Revision Summary

**Staff Reviewer:** Weston Rogers, Senior Planner

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### **PETITION HISTORY**

The petition (Ord. 16-15) received its first reading at the March 23, 2026, City Council meeting. Discussion regarding this petition can be viewed [here](#).

The petitioner held a neighborhood meeting on April 1<sup>st</sup>. A summary from this meeting can be found within **Exhibit 10**, Neighborhood Meeting Summary.

The receive a public hearing at the April 6<sup>th</sup>, 2026, Advisory Plan Commission (the "Plan Commission") meeting at Westfield City Hall. Discussion regarding this petitioner can be viewed [here](#). The workshop meeting requirement was waived at this meeting.

This item is eligible to receive a recommendation at this evening's Plan Commission meeting.



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## **PROJECT OVERVIEW**

### **Location:**

The 1.66 acre +/- Property is generally located at 302 N Union Street, see **Exhibit 2, Location Map**. This proposal is located directly north of the existing Westfield Playhouse building located on N Union Street in downtown Westfield.

### **Property Description:**

The Property is currently zoned SF3: Single-family Medium Density District. The Property is currently vacant, though it appears to have been utilized for residential purposes in the past.

### **Project Description:**

The petitioner is requesting to re-zone and incorporate the 1.66 +/--acre Property into the adjacent Westfield Playhouse Planned Unit Development (PUD) District.

The proposed ordinance would permit two (2) commercial office buildings to be developed through the establishment of specific development standards related to site planning, architectural design, and landscaping within the Property. Specific ordinance details are outlined within this staff report.

---

## **ORDINANCE DETAILS**

### **Concept Plan:**

- The proposed Ordinance would require the Area B of the Property (the primary development parcel) to be developed in substantial conformance with **Exhibit 5, Concept Plan**.
- Areas A and C would retain the existing SF3: Single-family Medium Density zoning district classification. Areas A and C are established to increase the conformity of adjacent lots within the limits of this re-zone proposal.

### **Underlying Zoning Districts:**

- The proposed Ordinance would assign the following underlying zoning district to the Property:
  - o Areas A and C – SF3: Single-Family Medium-Density District
  - o Area B – LB-H: Local Business / Historical District

### **Permitted Uses:**

- Areas A and C
  - o The proposed Ordinance would allow for all permitted uses within the Underlying Zoning District of Areas A and C (SF:3), as set forth in Chapter 4 and Chapter 13 of the UDO.
- Area B
  - o The proposed Ordinance would only permit Office and Medical Office land uses.



**Development Standards:**

As proposed, the PUD Ordinance defaults to the standards of the Underlying Zoning District with the modifications to the Development Standards as noted below:

***Article 6.1 – Accessory Use and Building Standards***

- The proposed ordinance would permit an enclosure in substantial conformance as shown in **Exhibit 5**, *Concept Plan*.

***Article 6.3 – Architectural Standards***

- The proposed ordinance would amend the Westfield Playhouse PUD to require new building(s) within Area B to be constructed substantially similar to **Exhibit 6**, *Architectural Character Exhibits*.

***Article 6.8 – Landscaping Standards***

- Section 7.2 of the existing Westfield Playhouse PUD would apply; however, the proposed ordinance would amend the Westfield Playhouse PUD to require landscaping improvements to be constructed in substantial conformance with **Exhibit 7**, *Landscape Plan*.

***Article 6.9 – Lighting Standards***

- The proposed ordinance would permit the use of accent / decorative architectural up lighting and down lighting of building exteriors in substantial conformance with **Exhibit 8**.

***Article 6.14 – Parking and Loading Standards***

- Section 7.3 of the existing Westfield Playhouse PUD would apply; however, the proposed ordinance would amend the Westfield Playhouse PUD to require parking and loading improvements to be provided in substantial conformance with **Exhibit 5**, *Concept Plan*.

***Article 6.17 – Sign Standards***

- The proposed ordinance would permit a non-illuminated architectural accent sign to be provided in substantial compliance with **Exhibit 8**.

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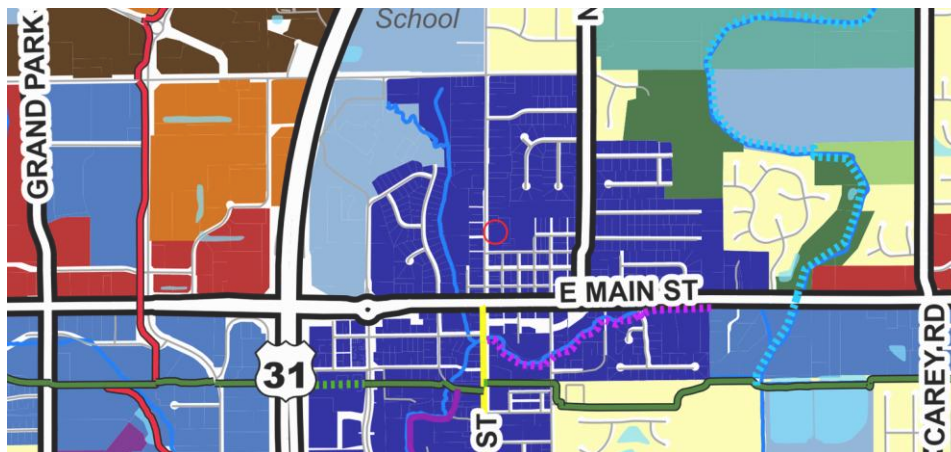
### **REVISIONS SINCE LAST MEETING**

- Landscape Plan
  - o Landscape Plan Exhibit was updated to include additional landscaping (street trees, evergreen shrubs, etc.) along the Union Street frontage.
- Accent Lighting
  - o Ordinance language was updated to include specifications addressing the proposed accent architectural façade lighting.
- Signage
  - o Ordinance language was updated to include specification addressing the proposed exterior accent signage on the north elevation.
- Stormwater
  - o Additional coordination with the City Director of Engineering was completed to ensure the proposed stormwater infrastructure design is adequate – reviewed separately / concurrently with a recently submitted Detailed Development Plan.

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### **COMPREHENSIVE PLAN**

The Property currently falls within the “Downtown” Placetype as identified in the current Comprehensive Plan:



Indiana Code states that reasonable regard be paid to the Comprehensive Plan when considering zone map changes; however, the Comprehensive Plan is intended to serve as a guide in making land use decisions.

Land use decisions on individual properties should consider not only the future placetype map, but also other factors such as other city policies, the context of the surrounding area, and other individual site considerations that weren't evaluated as part of this high-level policy document.



The comprehensive plan is not a regulatory document; therefore, it does not constitute zoning nor change zoning. Neither this plan nor the maps contained in this plan establish zoning district boundaries or regulations. A comprehensive plan does not guarantee that a development will be permitted based solely on the map or design characteristics identified in the placetypes.

Placetypes identified within the Comprehensive Plan are a high-level guide that demonstrates the desired mix of uses, defining the character, scale, form, and function of these places as well as addressing infrastructure needs.

Below is a brief description of the identified placetype noted within the boundaries of this development proposal:

1) Downtown

Downtown features an intense mix of uses characterized by a fusion of historic charm, modern appeal, convenience, and interconnected public green spaces and plazas. The downtown features mixed-use buildings that contain retail shops, offices, and restaurants without drive-throughs. Urban living spaces include ground floor retail with residential apartments above and shared structured parking. multi-family buildings and single-family homes, both attached and detached, offer supplementary housing options and make a transition to the adjacent neighborhoods. Anchor office buildings with distinctive architecture serve as community centerpieces, grounded in memorable public plazas and community gathering spaces. Tree-lined sidewalks and multi-use trails, accommodating walking, biking, and golf carts, providing interconnectivity between existing trails and parks throughout the city. Urban woodland creek enhancements, including walking trails, overlooks, and urban plazas, complement the downtown area, creating a dynamic balance between nature and urban life.

---

**PROCEDURAL**

**Public Hearing:** A change of zoning request is required to be considered at a public hearing by the Plan Commission. The public hearing for this petition was held at the April 6, 2026, Plan Commission meeting. Notice of the public hearing was provided in accordance with Indiana law and the Plan Commission's Rules of Procedure.

**Statutory Considerations:** Indiana Code 36-7-4-603 states that in the consideration of zoning ordinance amendments and zone map changes that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.



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**DEPARTMENT COMMENTS**

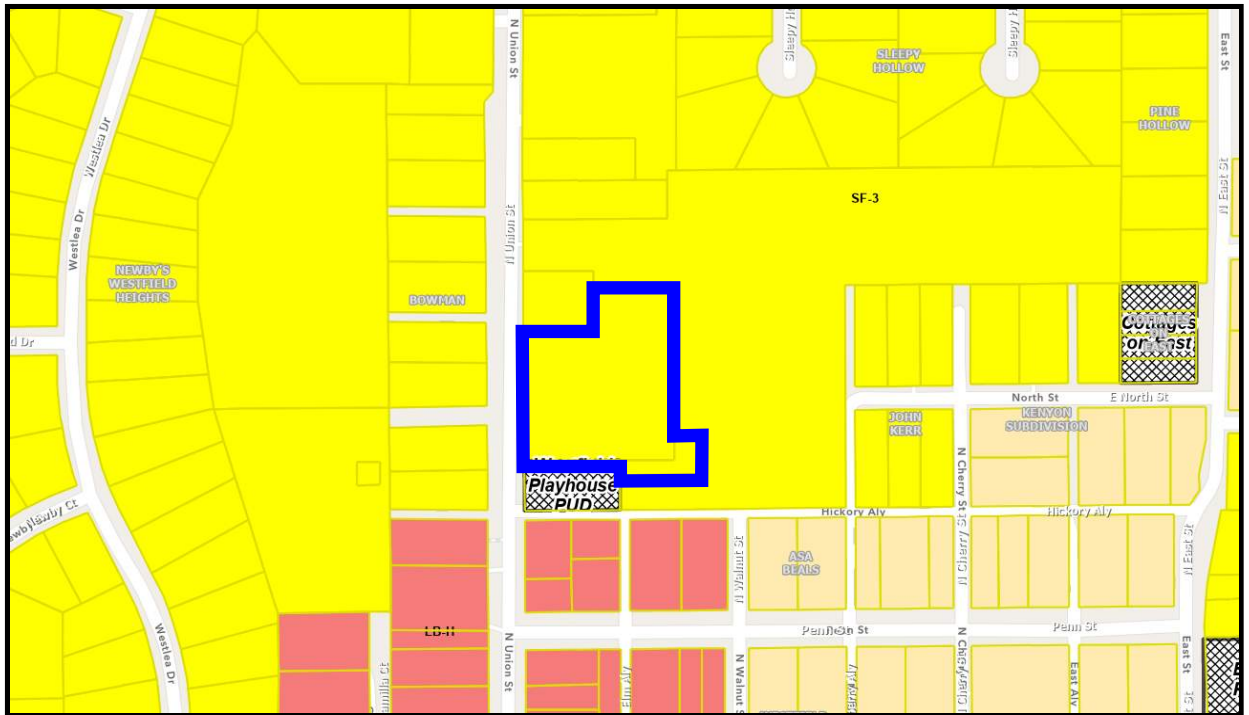
1. **Action: Forward a recommendation to City Council.**
2. If any Plan Commission member has questions prior to the public hearing, then please contact Weston Rogers at (317) 408-9895 or [wrogers@westfield.in.gov](mailto:wrogers@westfield.in.gov).

**Aerial Location Map**



 Site

**Zoning Map**



**ORDINANCE NUMBER 26-16**

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE TEXT OF THE WESTFIELD PLAYHOUSE PLANNED UNIT DEVELOPMENT DISTRICT BEING THAT OF ORDINANCE 18-18 AND TITEL 16 – LAND USE CONTROLS**

**“Westfield Playhouse PUD Amendment 1”**

This amendment to a Planned Unit Development District Ordinance (the “**Amendment**”), known as the WESTFIELD PLAYHOUSE PLANNED UNIT DEVELOPMENT DISTRICT (Ordinance 18-18, the “**Westfield Playhouse Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code§ 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. 2604-PUD-07), filed with the Commission requesting an amendment to Ordinance 18-18, enacted by the Common Council of the City of Westfield (the “**Council**”) on June 26, 2018;

WHEREAS, the Amendment pertains to the subject real estate located on the east side of North Union Street, immediately north of and abutting the Westfield Playhouse real estate, and more particularly identified by legal description in Exhibit A, attached hereto and incorporated herein by reference (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. 2604-PUD-07 to the Council with a favorable recommendation (Vote: \_\_ in favor, \_\_ opposed) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code§ 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on \_\_\_\_\_, 2026;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1.     Applicability of Ordinance.

- 1.1     The Westfield Playhouse Ordinance is hereby amended for the Real Estate. In all other respects, the Westfield Playhouse Ordinance shall remain in effect and unchanged. To the extent that the provisions of the UDO or the Westfield Playhouse Ordinance conflict with the provisions of this Amendment, the provisions of this Amendment shall prevail.
- 1.2     Development of the Real Estate shall be governed by (i) the provisions of this Amendment and any exhibits attached hereto, (ii) the Westfield Playhouse Ordinance, and (iii) the provisions of the UDO, as amended and applicable to the Real Estate, except as modified, revised, supplemented or expressly made inapplicable by this Amendment.
- 1.3     Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4     All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Amendment.

Section 2.     Concept Plan. Development of the Real Estate shall be regulated as set forth in this Amendment.

- 2.1     The concept plan, attached hereto as Exhibit B (the “**Concept Plan**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.
- 2.2     The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “Area A”, “Area B” and “Area C”.
- 2.3     Area A and Area C are hereby acknowledged and permitted as legally established non-conforming lots and shall not be further developed until such time as they are re-platted or otherwise approved in accordance with the applicable lot requirements of the UDO.
- 2.3     Area B shall be developed in substantial conformance with the Concept Plan.

Section 3.     Underlying Zoning District(s). The Underlying Zoning District of Area A and Area C shall be the SF3: Single-family Medium Density District. Section 4 of the Westfield Playhouse ordinance shall apply to Area B.

Section 4.     Permitted Uses. The following uses (“Permitted Uses”) shall be permitted in the Areas:

- 4.1     Area A and Area C – Permitted uses shall be in accordance with the Underlying Zoning District.

- 4.2 Area B – Permitted uses shall be limited to Office and Medical Office as defined in the UDO.

Section 5. Development Standards. Section 7 of the Westfield Playhouse Ordinance is hereby amended as applicable to the Real Estate identified in this Amendment.

- 5.1 Character Exhibits. Section 7.1 of the Westfield Playhouse Ordinance shall not apply to the Real Estate. Instead, new building(s) in Area B shall be substantially similar in quality and character with the Character Exhibits, attached hereto as Exhibit C (the “**Character Exhibits**”). If the provisions of Article 6.3 Architectural Standards are in conflict with the Character Exhibits, then the Character Exhibits shall control.
- 5.2 Landscaping Standards. In addition to the provisions set forth in Section 7.2 of the Westfield Playhouse Ordinance, the following landscaping standards shall apply to Area B. Landscaping on the Real Estate shall be installed in substantial conformance with the landscaping plan attached hereto as Exhibit D (the “**Landscaping Plan**”). If a provisions of Article 6.8 Landscaping Standards are in conflict with the Landscaping Plan, then the Landscaping Plan shall control.
- 5.3 Parking and Loading Standards. In addition to the provisions of Section 7.2 of the Westfield Playhouse Ordinance, the following parking and loading standards shall apply to Area B. Parking and loading on the Real Estate shall be provided in substantial conformance with the parking and loading improvements depicted in the Concept Plan (the “**Parking Plan**”). If the provisions of Article 6.14 Parking and Loading Standards are in conflict with the Parking Plan, then the Parking Plan shall control.
- 5.4 Accessory Buildings: Article 6.1(H) Screening of Receptacles and Loading Areas shall be modified to permit an enclosure in substantial conformance with the depictions in the Concept Plan. If the provisions of Article 6.1(H) are in conflict with the enclosure depictions in the Concept Plan, then the Concept Plan shall control.
- 5.5 Lighting: Article 6.9 Lighting Standards for Area B shall be modified to permit the use of exterior low-level architectural lighting in substantial conformance with the fixture depicted in Exhibit E (“**Architectural Accent Lighting**”), attached hereto, for the purposes of architectural uplighting and downlighting of building exteriors.
- 5.6 Signage: Article 6.17 Sign Standards for Area B shall be modified to permit a painted, non-illuminated architectural accent sign on buildings in substantial conformance with the depictions in Exhibit F (“**Architectural Accent Sign**”), attached hereto. An Architectural Accent Sign shall not count toward the overall signage allowance for the building.

Section 6. Processes & Permits. The standards of Chapter 10: Processes & Permits shall apply to the development of the District, except as otherwise modified below.

6.1 Article 10.13 Subdivision: The subdividing of the Real Estate in substantial conformance with the Concept Plan shall be a Minor Subdivision.

Section 7. Severability. If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

ALL OF WHICH IS ORDAINED/RESOLVED THIS \_\_\_ DAY OF \_\_\_\_\_, 2026.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

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Chad Huff

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

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Victor McCarty

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Kurt J. Wanninger

\_\_\_\_\_  
Kurt J. Wanninger

\_\_\_\_\_  
Kurt J. Wanninger

ATTEST:

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE 26-16** was delivered to the Mayor of Westfield on the \_\_\_\_ day of \_\_\_\_\_, 2026, at \_\_\_\_\_ m.

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby APPROVE **ORDINANCE 26-16**  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

I hereby VETO **ORDINANCE 26-26**  
this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott Willis, Mayor

\_\_\_\_\_  
Scott Willis, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

## Exhibit A

### **“Real Estate”**

Part of the Southwest quarter of Section 31, Township 19 North, Range 4 East, of the Second Principal Meridian and being all of the land of Christ United Methodist Church of Westfield, Inc. per Quitclaim Deed recorded as Instrument number 2008027558, and part of the land of Christ United Methodist Church per Quitclaim Deed recorded as Instrument number 200400060802 in the Office of the Recorder, and part of Lots 74, 75, and 76 of the Original Plat to the Town of Westfield (also known as Asa Bales 2<sup>nd</sup> Addition) recorded in Book F, page 44, all in Hamilton County Indiana and described by Timothy D. Higbie, an Indiana Professional Surveyor #20100067, and based on a survey completed by Survey First, LLC as project number 250069 dated March 23<sup>rd</sup> 2026 and described as follows:

Commencing at the Southwest corner of said Southwest a broken nail found in pavement; thence along the West line of said quarter, (bearings are based on the State Plane Coordinates, Indiana East Zone, NAD83, using GPS derived North from NTRIP CORS network) North 00 degrees 25 minutes 57 seconds East 686.62 feet; thence North 89 degrees 47 seconds 01 seconds East 33.00 feet to the East right of way of Union Street (the Main Cross Street in said town per record plat and description) to the POINT OF BEGINNING, said beginning point being North 00 degrees 26 minutes 29 seconds East 82.5 feet from the Southwest corner of said Lot 76, a rebar found 0.3 feet North and 0.1 East of said beginning point, thence along said right of way, North 00 degrees 26 minutes 32 seconds East 234.00 feet to a 5/8-inch rebar with yellow cap stamped “HIGBIE 20100067” set flush (hereafter “rebar cap set”) at the Southwest corner of Tract II in a deed to Christ United Methodist Church recorded as instrument number 20070003447; thence along the South line of said deed, North 89 degrees 46 minutes 17 seconds East 119.00 feet to a rebar with cap set at the Southeast corner of said Tract II; thence along the East line of said Tract II, North 00 degrees 26 minutes 29 seconds East 63.50 feet to the Northeast corner of said Tract II and a rebar with cap set on the North line of said Asa Bales 2<sup>nd</sup> Addition; thence along said North line, North 89 degrees 46 minutes 17 seconds East 121.60 feet to a rebar with cap set; thence South 00 degrees 24 minutes 29 seconds West 113.68 feet to a rebar with cap set; thence North 89 degrees 46 minutes 02 seconds East 18.95 feet to a mag nail with washer stamped “HIGBIE 20100067” set (hereafter “mag nail with washer set”); thence South 01 degree 39 minutes 52 seconds East 132.23 feet to a mag nail with washer set; thence North 89 degrees 48 minutes 02 seconds East 23.07 feet to a mag nail with washer set; thence South 00 degrees 16 minutes 48 seconds East 74.96 feet to a mag nail with washer set; thence North 89 degrees 53 minutes 49 seconds West 130.92 feet to a rebar with cap set; thence North 00 degrees 00 minutes 00 seconds East 22.56 feet to a rebar with cap set; thence South 89 degrees 47 minutes 01 second West 157.39 feet to the POINT OF BEGINNING, containing 1.66 acres (72306 square feet) more or less and subject to any easements and rights of way of record.

**Exhibit B**

**“Concept Plan”**

The Concept Plan appears on the following page of this exhibit.



**Exhibit C**

**“Character Exhibits”**

The Character Exhibits appear on the following four (4) pages of this exhibit.



## EXTERIOR PERSPECTIVE FROM UNION ST



EXISTING CHURCH STORAGE BLDG

BASILE WESTFIELD PLAYHOUSE

NEW PARKING LOT

NEW 2-STORY OFFICE BUILDING 9,000 SF TOTAL

POTENTIAL FUTURE DEVELOPMENT

EXISTING CHURCH DRIVE

NORTH UNION STREET

# AERIAL VIEW





**Exhibit D**

**“Landscaping Plan”**

The Landscaping Plan appears on the following page of this exhibit.



**Exhibit E**

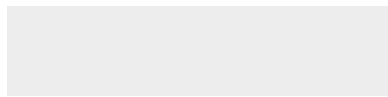
**“Architectural Accent Lighting”**

The Architectural Accent Lighting fixture appears on the following page of this exhibit.

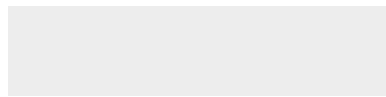


# CYLINDER EX™

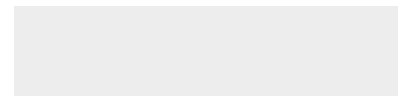
## FULL SPECIFICATION SHEET



FIXTURE TYPE



FIXTURE CODE

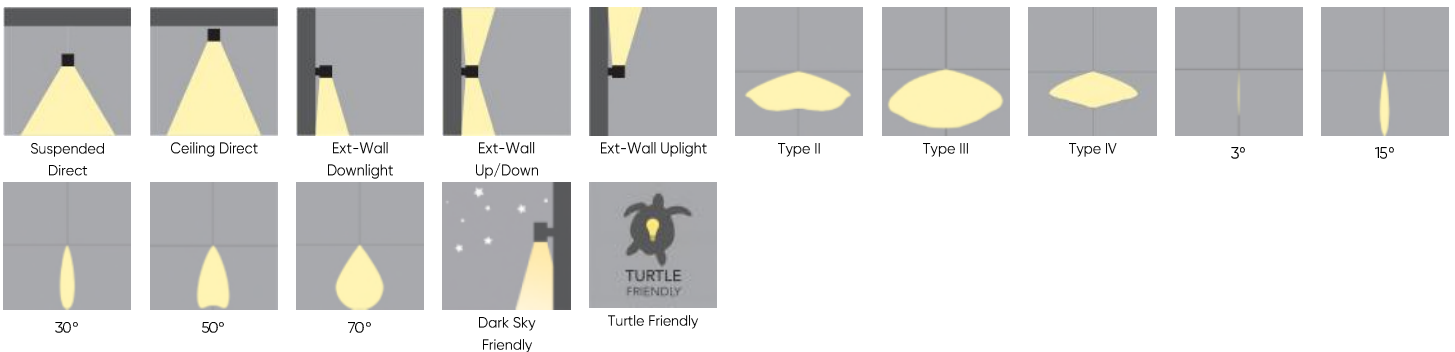


QUANTITIES

### 1 DESCRIPTION

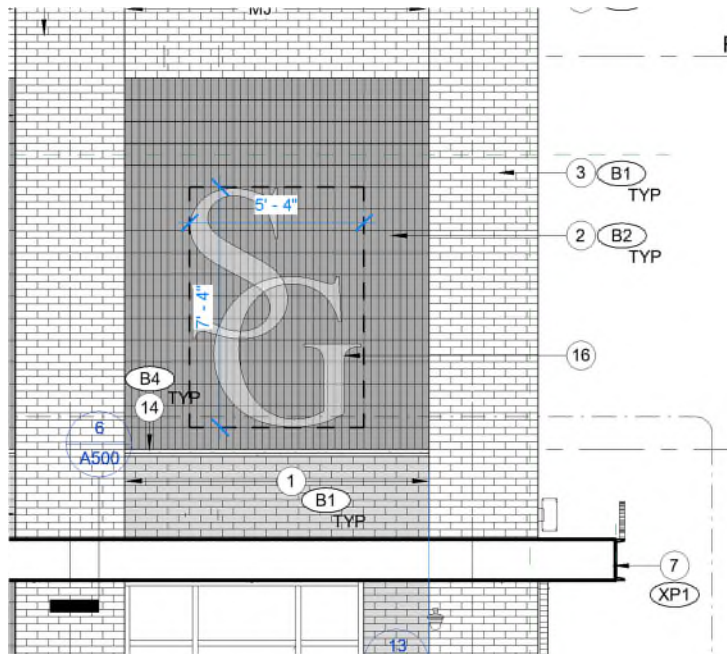
The **CYLINDER EX** series advances exterior lighting utility with its precision-engineered adjustable optics, meticulously designed to focus light on critical areas like pathways and challenging installation spots. This functionality not only bolsters safety by illuminating essential zones but also enriches the scenic impact. Featuring a tiltable gimbal with +/- 30 ° pivot and 10° incremental locks on the 6" version, allowing for precise angling, **CYLINDER EX** incorporates ten advanced optics utilizing three LED technologies – Multi-lens Array, Chip on Board (COB), and Area Optics – to tackle diverse lighting challenges. The 6" diameter cylinder is offered in a suite of mounting options, including ceiling, stem, and wall mount with three bracket styles. The Classic bracket fits standard 4" electrical boxes, while the Narrow Full and Narrow Half brackets are designed for switch boxes, maintaining the cylinder's minimalist design. For installations where conduit wire routing is employed, a sleekly designed conduit accessory box is available, facilitating easy integration before or after conduit placement. Committed to ecological responsibility, **CYLINDER EX** is Dark Sky Friendly when the direct light option is paired with a CCT of 3000K or less. This ensures minimal light spill and skyglow, safeguarding the nocturnal habitat and contributing to a greener planet.

### 2 OPTICS & FEATURES



**Exhibit F**

**“Architectural Accent Sign”**



The Architectural Accent Sign will not be illuminated, and will have a distressed and subtle appearance, similar to historic brick painted signs. The sign area will not exceed 7'-4" x 5'-4".

ORDINANCE NUMBER ~~\_\_\_\_\_~~26-16

AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE TEXT OF THE WESTFIELD PLAYHOUSE PLANNED UNIT DEVELOPMENT DISTRICT BEING THAT OF ORDINANCE 18-18 AND TITEL 16 – LAND USE CONTROLS

“Westfield Playhouse PUD Amendment 1”

This amendment to a Planned Unit Development District Ordinance (the “**Amendment**”), known as the WESTFIELD PLAYHOUSE PLANNED UNIT DEVELOPMENT DISTRICT (Ordinance 18-18, the “**Westfield Playhouse Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code§ 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. ~~\_\_\_\_\_~~2604-PUD-~~\_\_\_\_\_~~07), filed with the Commission requesting an amendment to Ordinance 18-18, enacted by the Common Council of the City of Westfield (the “**Council**”) on June 26, 2018;

WHEREAS, the Amendment pertains to the subject real estate located on the east side of North Union Street, immediately north of and abutting the Westfield Playhouse real estate, and more particularly identified by legal description in Exhibit A, attached hereto and incorporated herein by reference (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. ~~\_\_\_\_\_~~2604-PUD-~~\_\_\_\_\_~~07 to the Council with a favorable recommendation (Vote: \_\_ in favor, \_\_ opposed) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code§ 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on \_\_\_\_\_, 2026;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Westfield Playhouse Ordinance is hereby amended for the Real Estate. In all other respects, the Westfield Playhouse Ordinance shall remain in effect and unchanged. To the extent that the provisions of the UDO or the Westfield Playhouse Ordinance conflict with the provisions of this Amendment, the provisions of this Amendment shall prevail.
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Amendment and any exhibits attached hereto, (ii) the Westfield Playhouse Ordinance, and (iii) the provisions of the UDO, as amended and applicable to the Real Estate, except as modified, revised, supplemented or expressly made inapplicable by this Amendment.
- 1.3 Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Amendment.

Section 2. Concept Plan. Development of the Real Estate shall be regulated as set forth in this Amendment.

- 2.1 The concept plan, attached hereto as Exhibit B (the “**Concept Plans**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.
- 2.2 The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “Area A”, “Area B” and “Area C”.
- 2.3 Area A and Area C are hereby acknowledged and permitted as legally established non-conforming lots and shall not be further developed until such time as they are re-platted or otherwise approved in accordance with the applicable lot requirements of the UDO.
- 2.3 The Real Estate Area B shall be developed in substantial conformance with the Concept Plans.

Section 3. Underlying Zoning District(s). The Underlying Zoning District of Area A and Area C shall be the SF3: Single-family Medium Density District. Section 4 of the Westfield Playhouse ordinance shall apply to Area B.

Section 4. Permitted Uses. The following uses (“Permitted Uses”) shall be permitted in the Areas:

4.1 Area A and Area C – Permitted uses shall be in accordance with the Underlying Zoning District.

4.2 Area B – Permitted uses shall be limited to Office and Medical Office as defined in the UDO.

Section 35. Development Standards. Section 7 of the Westfield Playhouse Ordinance is hereby amended as applicable to the Real Estate identified in this Amendment.

35.1 Character Exhibits. Section 7.1 of the Westfield Playhouse Ordinance shall not apply to the Real Estate. Instead, new building(s) in Area B shall be substantially similar in quality and character with the Character Exhibits, attached hereto as Exhibit C (the “**Character Exhibits**”). If the provisions of Article 6.3 Architectural Standards are in conflict with the Character Exhibits, then the Character Exhibits shall control.

35.2 Landscaping Standards. In addition to the provisions set forth in Section 7.2 of the Westfield Playhouse Ordinance, the following landscaping standards shall apply to ~~the Real Estate~~Area B. Landscaping on the Real Estate shall be installed in substantial conformance with the landscaping plan attached hereto as Exhibit D (the “**Landscaping Plan**”). If a provisions of Article 6.8 Landscaping Standards are in conflict with the Landscaping Plan, then the Landscaping Plan shall control.

35.3 Parking and Loading Standards. In addition to the provisions of Section 7.2 of the Westfield Playhouse Ordinance, the following parking and loading standards shall apply to ~~the Real Estate~~Area B. Parking and loading on the Real Estate shall be provided in substantial conformance with the parking and loading improvements depicted in the Concept Plans (the “**Parking Plan**”). If the provisions of Article 6.14 Parking and Loading Standards are in conflict with the Parking Plan, then the Parking Plan shall control.

35.4 Accessory Buildings: Article 6.1(H) Screening of Receptacles and Loading Areas shall be modified to permit an enclosure in substantial conformance with the depictions in the Concept Plans. If the provisions of Article 6.1(H) are in conflict with the enclosure depictions in the Concept Plans, then the Concept Plans shall control

5.5 Lighting: Article 6.9 Lighting Standards for Area B shall be modified to permit the use of exterior low-level architectural lighting in substantial conformance with the fixture depicted in Exhibit E (“**Architectural Accent Lighting**”), attached hereto, for the purposes of architectural uplighting and downlighting of building exteriors.

5.6 Signage: Article 6.17 Sign Standards for Area B shall be modified to permit a painted, non-illuminated architectural accent sign on buildings in substantial conformance with the depictions in Exhibit F (“**Architectural Accent Sign**”), attached hereto. An Architectural Accent Sign shall not count toward the overall signage allowance for the building.

Section 6. Processes & Permits. The standards of Chapter 10: Processes & Permits shall apply to the development of the District, except as otherwise modified below.

6.1 Article 10.13 Subdivision: The subdividing of the Real Estate in substantial conformance with the Concept Plan shall be a Minor Subdivision.

Section 47. Severability. If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

*~~The remainder of this page is intentionally left blank.~~*

ALL OF WHICH IS ORDAINED/RESOLVED THIS \_\_\_ DAY OF \_\_\_\_\_, 2026.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Jon Dartt

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Joe Duepner

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Noah Herron

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Chad Huff

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Victor McCarty

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Patrick T. Tamm

\_\_\_\_\_  
Kurt J. Wanninger

\_\_\_\_\_  
Kurt J. Wanninger

\_\_\_\_\_  
Kurt J. Wanninger

ATTEST:

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE** ~~\_\_\_\_\_~~**26-16** was delivered to the Mayor of Westfield on the \_\_\_\_ day of \_\_\_\_\_, 2026, at \_\_\_\_\_ m.

\_\_\_\_\_  
Marla Ailor, Clerk Treasurer

I hereby APPROVE **ORDINANCE** ~~\_\_\_\_\_~~  
~~\_\_\_\_\_~~**26-16**

this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott Willis, Mayor

I hereby VETO **ORDINANCE** ~~\_\_\_\_\_~~**26-16**

this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Scott Willis, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.



## Exhibit A

### **“Real Estate”**

Part of the Southwest quarter of Section 31, Township 19 North, Range 4 East, of the Second Principal Meridian and being all of the land of Christ United Methodist Church of Westfield, Inc. per Quitclaim Deed recorded as Instrument number 2008027558, and part of the land of Christ United Methodist Church per Quitclaim Deed recorded as Instrument number 200400060802 in the Office of the Recorder, and part of Lots 74, 75, and 76 of the Original Plat to the Town of Westfield (also known as Asa Bales 2<sup>nd</sup> Addition) recorded in Book F, page 44, all in Hamilton County Indiana and described by Timothy D. Higbie, an Indiana Professional Surveyor #20100067, and based on a survey completed by Survey First, LLC as project number 250069 dated March 23<sup>rd</sup> 2026 and described as follows:

Commencing at the Southwest corner of said Southwest a broken nail found in pavement; thence along the West line of said quarter, (bearings are based on the State Plane Coordinates, Indiana East Zone, NAD83, using GPS derived North from NTRIP CORS network) North 00 degrees 25 minutes 57 seconds East 686.62 feet; thence North 89 degrees 47 seconds 01 seconds East 33.00 feet to the East right of way of Union Street (the Main Cross Street in said town per record plat and description) to the POINT OF BEGINNING, said beginning point being North 00 degrees 26 minutes 29 seconds East 82.5 feet from the Southwest corner of said Lot 76, a rebar found 0.3 feet North and 0.1 East of said beginning point, thence along said right of way, North 00 degrees 26 minutes 32 seconds East 234.00 feet to a 5/8-inch rebar with yellow cap stamped “HIGBIE 20100067” set flush (hereafter “rebar cap set”) at the Southwest corner of Tract II in a deed to Christ United Methodist Church recorded as instrument number 20070003447; thence along the South line of said deed, North 89 degrees 46 minutes 17 seconds East 119.00 feet to a rebar with cap set at the Southeast corner of said Tract II; thence along the East line of said Tract II, North 00 degrees 26 minutes 29 seconds East 63.50 feet to the Northeast corner of said Tract II and a rebar with cap set on the North line of said Asa Bales 2nd Addition; thence along said North line, North 89 degrees 46 minutes 17 seconds East 121.60 feet to a rebar with cap set; thence South 00 degrees 24 minutes 29 seconds West 113.68 feet to a rebar with cap set; thence North 89 degrees 46 minutes 02 seconds East 18.95 feet to a mag nail with washer stamped “HIGBIE 20100067” set (hereafter “mag nail with washer set”); thence South 01 degree 39 minutes 52 seconds East 132.23 feet to a mag nail with washer set; thence North 89 degrees 48 minutes 02 seconds East 23.07 feet to a mag nail with washer set; thence South 00 degrees 16 minutes 48 seconds East 74.96 feet to a mag nail with washer set; thence North 89 degrees 53 minutes 49 seconds West 130.92 feet to a rebar with cap set; thence North 00 degrees 00 minutes 00 seconds East 22.56 feet to a rebar with cap set; thence South 89 degrees 47 minutes 01 second West 157.39 feet to the POINT OF BEGINNING, containing 1.66 acres (72306 square feet) more or less and subject to any easements and rights of way of record.

**Exhibit B**

**“Concept Plans”**

The Concept Plans appears on the following ~~two (2)~~ pages of this exhibit.

**Exhibit C**

**“Character Exhibits”**

The Character Exhibits appear on the following four (4) pages of this exhibit.

**Exhibit D**

**“Landscaping Plan”**

The Landscaping Plan appears on the following page of this exhibit.

|

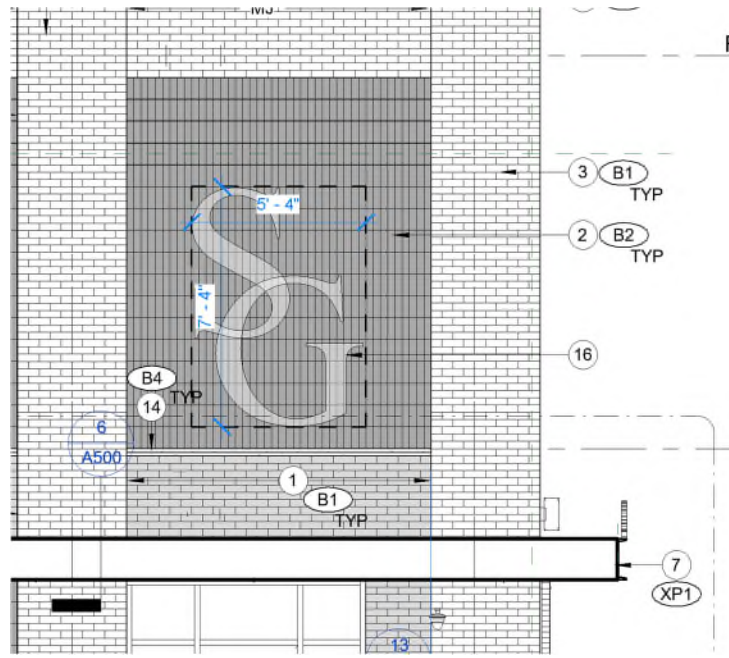
**Exhibit E**

**“Architectural Accent Lighting”**

The Architectural Accent Lighting fixture appears on the following page of this exhibit.

**Exhibit F**

**“Architectural Accent Sign”**



The Architectural Accent Sign will not be illuminated, and will have a distressed and subtle appearance, similar to historic brick painted signs. The sign area will not exceed 7'-4" x 5'-4".







## EXTERIOR PERSPECTIVE FROM UNION ST



AERIAL VIEW

#### ARCHITECT

DELV Design  
212 W 10th St, STE F125  
Indianapolis, IN 46202  
(317) 296-7400

#### MEP

Primary Engineering  
9785 Crosspoint Blvd, Suite 103  
Indianapolis, IN 46256  
(317) 324-1221

#### STRUCTURAL

JPS Consulting Engineers  
11 Municipal Drive Suite 300  
Fishers, Indiana 46038  
(317) 617-4270

#### CIVIL

JPS Consulting Engineers  
11 Municipal Drive Suite 300  
Fishers, Indiana 46038  
(317) 617-4270

100% DESIGN DEVELOPMENT DRAWINGS

NOT FOR CONSTRUCTION

No.	Description	Date

CLIENT PROJ. #: N/A  
PROJECT #: 25-046  
ISSUE DATE: 2.27.2025  
DRW: SM / JB | CHK: KM / CL

EXTERIOR ELEVATIONS

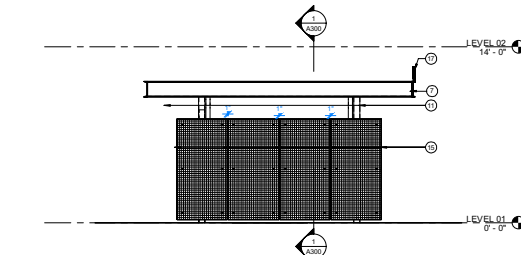
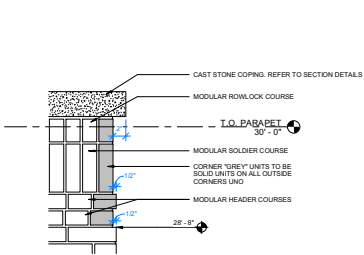
# A200

#### GENERAL ELEVATION NOTES

- BUILDING ELEVATIONS SHOWN ON THIS DRAWING ARE INTENDED FOR GENERAL REFERENCE PURPOSES ONLY. REFER TO REFERENCE SECTIONS AND DETAILS FOR MORE FULLY DESCRIBED CONDITIONS AND REQUIREMENTS.
- MATERIAL INDICATIONS AND KEYNOTES SHOWN ON ONE BUILDING ELEVATION APPLY TO SIMILAR CONDITIONS ON OTHER BUILDING ELEVATIONS UNLESS SHOWN I.W.D.
- ALL EXPOSED EXTERIOR METAL SUCH AS FLASHINGS, CORNICES, FACIALS, GUTTERS, DOWNSPUTS, LADDERS, ETC. SHALL RECEIVE SHOP APPLIED FINISH COATING UNLESS A FIELD APPLIED FINISH COATING IS NOTED.
- LINE REPRESENTING PAINTING AND FINISH GRADES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO SITE PLANS FOR SPECIFIC GRADE AND SPOT ELEVATIONS AT EACH RESPECTIVELY.
- ALL LITTLE PLATES, ETC. IN EXTERIOR SHALL BE HOT DIPPED GALVANIZED W/ EXPOSED PORTIONS PAINTED.

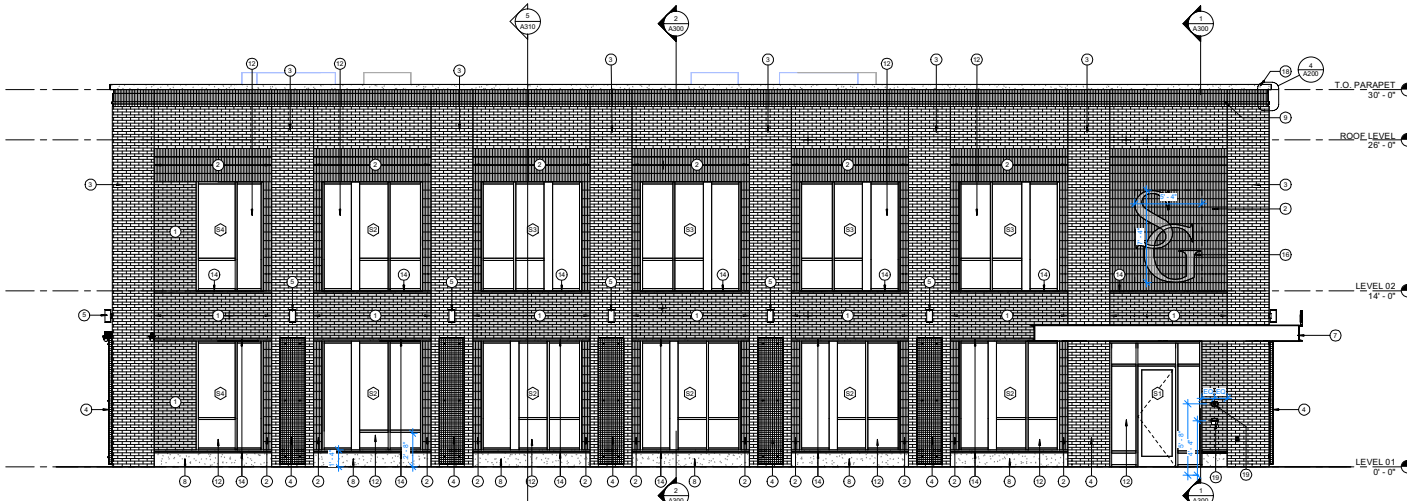
#### ELEVATION KEYNOTES

- MASONRY VENEER. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- MASONRY SOLDIER COURSE. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- MASONRY VENEER WITH 5 INCH AIR GAP. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- WALL MOUNTED VINE SCREEN. BOB: CITYCAPES NATURESCREEN DMT. 2' X 10' WALL MOUNT. BLACK FINISH
- PAINTED EXTERIOR STEEL FRAMED CANOPY WITH METAL SOFFIT AND TPO ROOF MEMBRANE
- CAST STONE VENEER. REFER TO ASSEMBLIES FOR COLOR AND BOB
- BRICK HEADER, SOLDIER AND ROWLOCK CORNICE. REFER TO DETAILS
- STEEL COLUMN, GALVANIZED AND PAINTED. REFER TO STRUCTURAL
- PRE-FINISHED ALUMINUM STOREFRONT SYSTEM. BOB: KAWNEER 601 UT SERIES
- PRE-ENGINEERED METAL CANOPY. BOB: MAPES SUPER LAMDECK FLAT SOFFIT W/ 12" CHANNEL FRACA.
- CAST STONE SILL / HEAD. COLOR TO MATCH CAST STONE VENEER
- WALL MOUNTED VINE SCREEN. BOB: CITYCAPES NATURESCREEN DMT. 4' X 8' WALL MOUNT. BLACK FINISH
- MURAL SIGN. DISTRESSED PAINTED
- CANOPY BRONZE. CUSTOM CUT ALUMINUM LETTERS BOTTOM ANGLE SUPPORT BRACKET TO STEEL CANOPY. 12" TALL
- CAST STONE COPING. COLOR TO MATCH CAST STONE VENEER
- DROP OFF BOB. BOB: COVENANT SECURITY EQUIPMENT CASE -ASE-EDU IN WALL ENVELOPE DEPOSITORY UNIT
- RESSED AND/BOB. BOB: 1300. BLACK FINISH
- ELECTRICAL METER. REFER TO ELECTRICAL

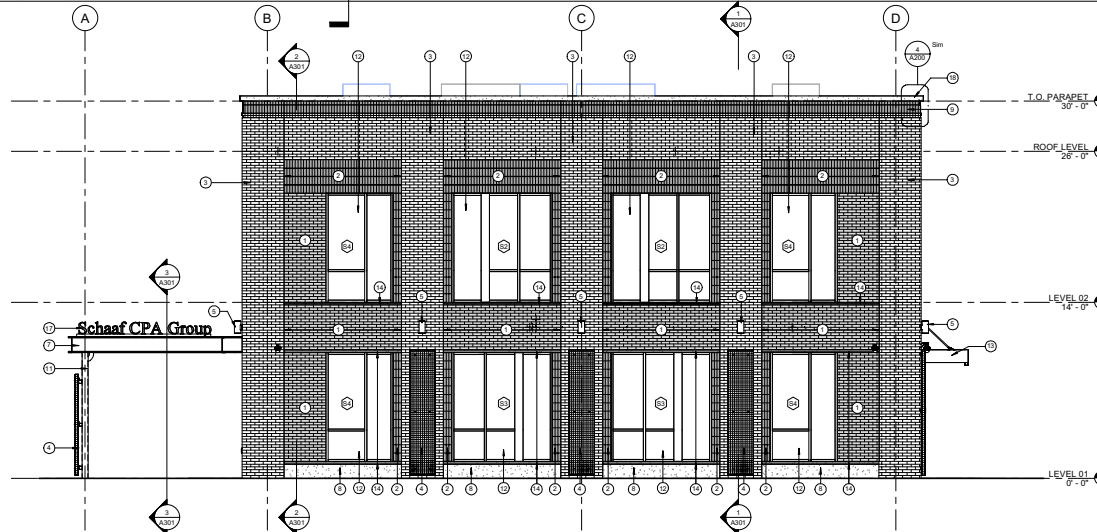


4 NORTH EXTERIOR BUILDING ELEVATION - Callout 1  
1/12" = 1'-0"

3 NORTH EXTERIOR BUILDING ELEVATION - SCREEN WALL  
1/8" = 1'-0"



2 NORTH EXTERIOR BUILDING ELEVATION  
1/4" = 1'-0"



1 WEST EXTERIOR BUILDING ELEVATION  
1/4" = 1'-0"



2 SOUTH EXTERIOR BUILDING ELEVATION  
1/4" = 1'-0"



1 EAST EXTERIOR BUILDING ELEVATION  
1/4" = 1'-0"

**GENERAL ELEVATION NOTES**

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- D. LINES REPRESENTING PAINTING AND FINISH GRADES ARE APPROXIMATE AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. REFER TO SITE PLANS FOR SPECIFIC GRADE AND SPOT ELEVATIONS AT EACH RESPECTIVELY.
- E. ALL LITTLE PLATES, ETC. IN EXTERIOR SHALL BE HOT DIPPED GALVANIZED W/ EXPOSED PORTIONS PAINTED.

**ELEVATION KEYNOTES**

- 1 MASONRY VENEER. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- 2 MASONRY SOLDER COURSE. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- 3 MASONRY VENEER WITH 5 INCH AIR GAP. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- 4 WALL MOUNTED VINE SCREEN. REFER TO ASSEMBLY SHEET A210 FOR COLOR AND BOB
- 5 WALL MOUNTED VINE SCREEN. BOB: CITYSCAPES NATURESCREEN DMT. 2" X 10" WALL MOUNT. BLACK FINISH
- 6 PAINTED EXTERIOR STEEL FRAMED CANOPY WITH METAL SOFFIT AND TPO ROOF MEMBRANE
- 7 CAST STONE VENEER. REFER TO ASSEMBLIES FOR COLOR AND BOB
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- 10 PREFINISHED ALUMINUM STOREFRONT SYSTEM. BOB: KAWNEER 601 UT SERIES
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- 17 DROP OFF BOX. BOB: COVENANT SECURITY EQUIPMENT CASE -ASE-EDU IN WALL ENVELOPE DEPOSITORY UNIT
- 18 RECESSED ANDROBOK. BOB: 1000. BLACK FINISH
- 19 ELECTRICAL METER. REFER TO ELECTRICAL



SCHAAF CPA GROUP

SCHAAF CPA GROUP HEADQUARTERS BUILDING

**ARCHITECT**

DELV Design  
212 W 10th St, STE F125  
Indianapolis, IN 46202  
(317) 296-7400

**MEP**

Primary Engineering  
9785 Crosspoint Blvd, Suite 103  
Indianapolis, IN 46256  
(317) 324-1221

**STRUCTURAL**

JPS Consulting Engineers  
11 Municipal Drive Suite 300  
Fishers, Indiana 46038  
(317) 617-4270

**CIVIL**

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11 Municipal Drive Suite 300  
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100% DESIGN DEVELOPMENT DRAWINGS

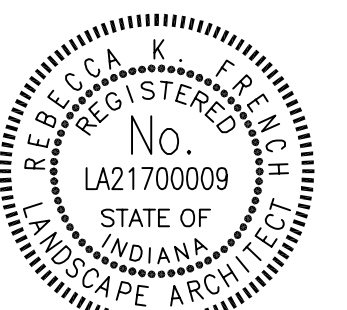
NOT FOR CONSTRUCTION

No.	Description	Date

CLIENT PROJ. #: N/A  
PROJECT #: 25-046  
ISSUE DATE: 2/27/2025  
DRW: SM / JB | CHK: KM / CL

EXTERIOR ELEVATIONS

A201



*Rebecca K. Smith*

No.	Description	Date

CLIENT PROJ. #: N/A  
PROJECT #: 25-046  
ISSUE DATE: 04.24.2026  
DRW: CM / RKF | CHK: RKF / NBV

PLANT LIST					
COUNT	MARK	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
<b>SHADE TREES</b>					
4	ACE-R	ACER RUBRUM 'FRANKSRED'	RED SUNSET MAPLE	2 1/2"-3" CAL.	B&B
3	CEL-O	CELTIS OCCIDENTALIS 'PRAIRIE PRIDE'	PRAIRIE PRIDE COMMON HACKBERRY	2 1/2"-3" CAL.	B&B
5	GLE-T	GLEDTISIA TRIACANTHOS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2"-3" CAL.	B&B
<b>ORNAMENTAL TREES</b>					
1	AME-G	AMELANCHIER x GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' HEIGHT	MULTI-STEM, B&B
2	CRA-C	CRATAEGUS CRUS-GALLI 'CRUZAM'	CRUSADER HAWTHORN	1 1/2"-2" CAL.	B&B
<b>EVERGREEN SHRUBS</b>					
23	BUX-M	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD	18"-24"	
10	JUN-S	JUNIPERUS SABINA 'BROADMOOR'	BROADMOOR JUNIPER	18"-24"	
13	TAX-M	TAXUS x MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18"-24"	
<b>SHRUBS</b>					
10	COR-A	CORNUS ALBA 'IVORY HALO'	VARIEGATED RED TWIG DOGWOOD	24"-30"	
15	FOT-G	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	18"-24"	
16	ITE-V	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY SWEET SPIRE	18"-24"	
12	RHU-A	RHUS AROMATICA 'GRO-LOW'	GRO-LOW SUMAC	18"-24"	
4	VIB-D	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	24"-30"	
<b>GRASSES</b>					
3	CHA-L	CHASMANTHIUM LATIFOLIUM	NORTHERN SEA OATS	#2 CONT.	3' O.C.
16	PAN-V	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	#2 CONT.	3' O.C.
<b>PERENNIALS</b>					
<b>VINES</b>					
5	CLE-S	CLEMATIS 'SILVER MOON'	SILVER MOON CELMATIS	#1 CONT.	MULCH WELL WITH 18" DIA HARDWOOD MULCH RING UNDER STONE MULCH
5	LOW-G	LONICERA RETICULATA 'KINTZLEY'S GHOST'	KINTZLEY'S GHOST HONEY SUCKLE	#1 CONT.	MULCH WELL WITH 18" DIA HARDWOOD MULCH RING UNDER STONE MULCH
7	LOW-G	LONICERA RETICULATA 'KINTZLEY'S GHOST'	KINTZLEY'S GHOST HONEY SUCKLE	#1 CONT.	ADD ALTERNATE PLANTINGS
3	VIT-A	VITIS COIGNETIAE 'CRIMSON GLORY'	CRIMSON GLORY ORNAMENTAL GRAPE	#1 CONT.	MULCH WELL WITH 18" DIA HARDWOOD MULCH RING UNDER STONE MULCH

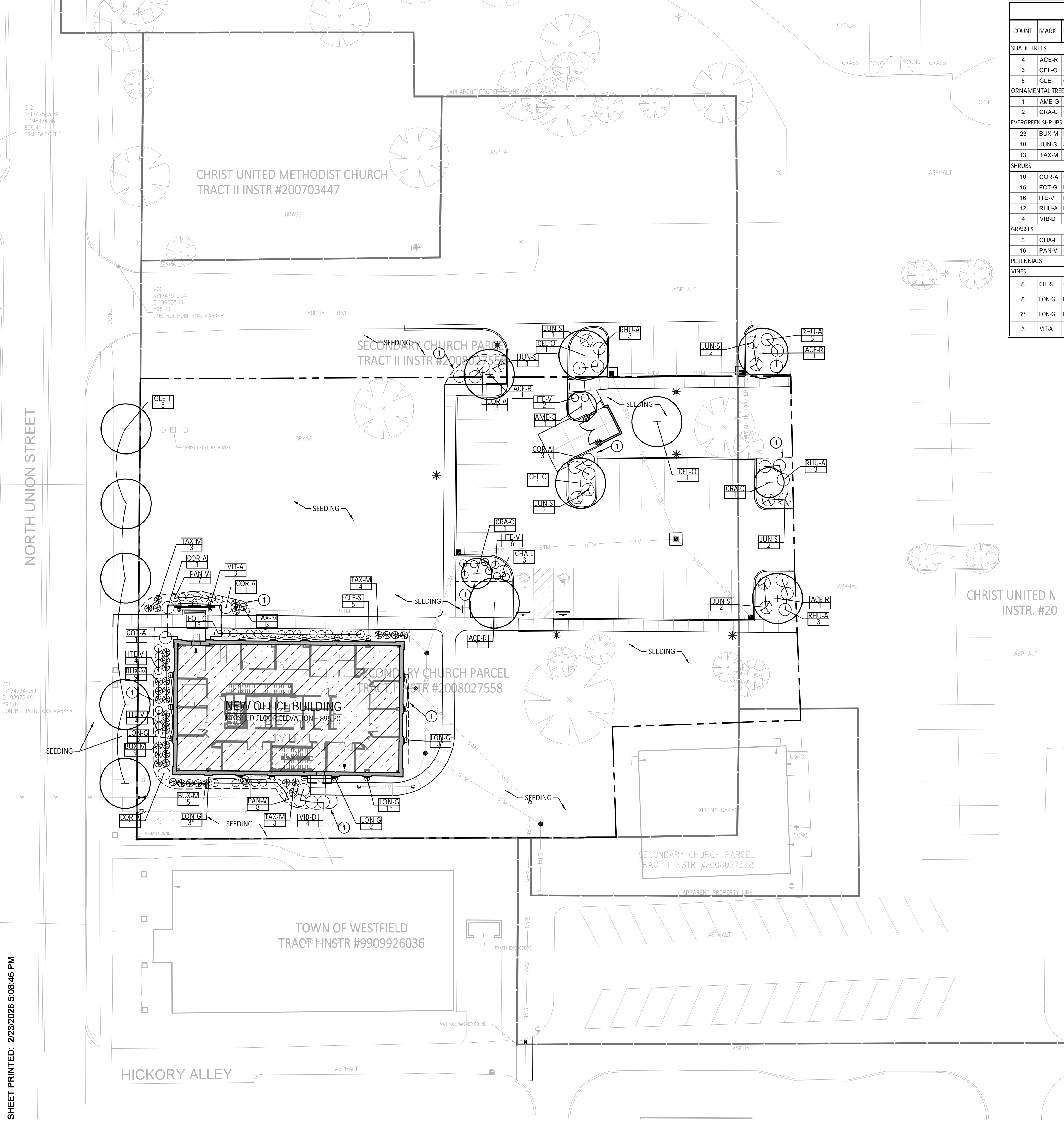
LANDSCAPE ORDINANCE CHART				
ORDINANCE SECTION	DESCRIPTION	MEASUREMENT	PLANTINGS REQUIRED	PLANTINGS PROVIDED
6-H	SCREENING STANDARDS: MECHANICAL SCREENING WALL AND GROUND MOUNTED EQUIPMENT TO BE COMPLETELY SCREENED. EITHER WITH A WALL OR FENCE THAT IS VISUALLY INTEGRATED WITH THE BUILDING FACADE OR A SOLID EVERGREEN SCREEN OF A COMBINATION OF TREES AND SHRUBS			
6-J	STREET TREES TO BE LOCATED IN THE RIGHT OF WAY IN A MIN. 8' WIDE PLANTINGS STRIP BETWEEN CURB AND SIDEWALK OR WITHIN 10' OF THE RIGHT OF WAY WHERE THESE CONDITIONS ARE IMPRACTICAL. SPACE AT 50' O.C. WITH 60" MAXIMUM SPACING AND 25" MINIMUM SPACING. AND 10' AWAY FROM DRIVEWAYS, ALLEYS, FIRE HYDRANTS, MAILBOXES AND OTHER SMALL IMPROVEMENTS. PERMITTED SPECIES ARE PER THE CITY CONSTRUCTION STANDARDS.	185 LF	4 TREES	4 TREES
6-K	MINIMUM LOT LANDSCAPING REQUIREMENTS: YARDS AND OPEN SPACE AREAS OF ALL LOTS SHALL BE LANDSCAPED IN ACCORDANCE WITH THIS SECTION (THE "MINIMUM LOT LANDSCAPING REQUIREMENTS"): BUSINESS USES: 10 TREES, 10 ORNAMENTAL OR EVERGREEN TREES AND 25 SHRUBS PER ACRE. ALL OTHER LANDSCAPING PLANTINGS REQUIRED BY THIS ARTICLE TO BE LOCATED ON THE SUBJECT LOT (E.G., FOUNDATION PLANTINGS, PARKING AREA LANDSCAPING) OR WITHIN AN OPEN SPACE/COMMON AREA (E.G., BUFFER YARD LANDSCAPING, EXTERNAL STREET FRONTAGE LANDSCAPING) MAY BE CREDITED TOWARD THE INDIVIDUAL LOTS OR OPEN SPACE/COMMON AREA'S LOT LANDSCAPING REQUIREMENT AT A 1:1 RATIO, WITH THE EXCEPTION OF STREET TREES, AS OTHERWISE SET FORTH HEREIN, WHICH MAY NOT BE CREDITED.	1.03 ACRE PARCEL	10 SHADE TREES, 10 ORN OR EVERGREEN TREES, 25 SHRUBS PER ACRE, EXCLUDING STREET TREES	7 NEW SHADE TREES AND 3 EXISTING, 3 NEW ORNAMENTAL TREES AND 7 EXISTING, 95 SHRUBS
6-L	FOUNDATION PLANTINGS: PLANT MATERIALS SHALL BE REQUIRED INTERMITTENTLY (APPROXIMATELY EVERY FORTY (40) FEET) AGAINST LONG EXPANSES (OVER EIGHTY (80) FEET) OF BUILDING FACADES, FENCES, AND OTHER BARRIERS TO CREATE A SOFTENING EFFECT. PLANT MATERIALS SHALL ALSO BE REQUIRED ALONG THE FRONT BUILDING FACADE OF ALL BUILDINGS AT A MINIMUM RATIO OF ONE (1) SHRUB OR ORNAMENTAL TREE PER TWELVE (12) LINEAL FEET. PLANTINGS MAY BE CLUSTERED AND MUST BE WITHIN 15 FEET OF THE BUILDING FACADE AND SHALL BE IN PLANT BEDS AT LEAST 8' WIDE.	BUILDING IS 92' DEEP SIDE X 54' WIDE FRONT OR 292 LF PF PERIMETER TOTAL	1 SHRUB /12 LF = 5 SHRUBS AT FRONT OR 25 SHRUBS FOR TOTAL BLDG PERIMETER	64 SHRUBS PROVIDED TOTAL-FRONT PLANT BED 8' WIDE
6-O	PARKING AREA LANDSCAPING: INTERIOR: A MINIMUM LANDSCAPE AREA OF PARKING AREAS SHALL BE SET ASIDE FOR PARKING AREA ISLANDS FOR LOTS WITH 25 TO 49 SPACES IS 7.5% DISPERSED EVENLY THROUGHOUT THE LOT AND TO DEFINE AISLES. NO UNBROKEN ROWS OF PARKING GREATER THAN 200' LONG.	7.5% OF 10,160 SF PARKING LOT AREA AND 100LF OF FRONT YARD PARKING LOT PERIMETER.	INTERIOR: 762 SF OF INTERIOR ISLANDS WITH 1 TREE AND 4 SHRUBS PER ISLAND	INTERIOR: 2090 SF OF ISLAND SPACE WITH 1 TREE AND 4 SHRUBS PER ISLAND.

**GENERAL NOTES**

- ALL DISTURBED LAWN AREAS TO BE SEEDED UNLESS OTHERWISE NOTED.
- THIS LANDSCAPE IS NOT SERVED BY A PERMANENT IRRIGATION SYSTEM. CONTRACTOR IS RESPONSIBLE FOR WATERING AS OUTLINED IN THE PLANTING SPECIFICATION. REFER TO SPECIFICATION FOR FULL LIST OF CONTRACTORS RESPONSIBILITIES AND MAINTENANCE PERIOD DURATION. NOTIFY OWNER TWO WEEKS PRIOR TO WHEN TRANSFER OF MAINTENANCE RESPONSIBILITIES IS TO TAKE PLACE. ALL PLANTINGS ARE COVERED BY A ONE YEAR WARRANTY AS OUTLINED IN THE SPECIFICATION.

**PLAN NOTES**

- STONE MULCH AND METAL EDGING. PLANT BEDS TO BE DRESSED IN EBONY BLEND STONE MULCH PER DETAIL.



## **Narrative Statement**

### **Schaaf CPA Group**

#### **Westfield Playhouse PUD Amendment 1**

Schaaf CPS Group is proposing a new office on approximately 1.03 +/- acres located at 302 North Union Street in Downtown Westfield. Schaaf CPA Group has been an important corporate citizen in downtown Westfield for many years. The business is currently located at 110 N. Union Street.

Along with Westfield's growth, Schaaf CPA Group has grown significantly over the years. Some employees are now utilizing an adjacent building for office purposes because the business has outgrown the original building.

Schaaf needs to expand and would like to keep its business and its employees in Downtown Westfield. In order to accomplish this objective Schaaf will acquire a parcel from Christ United Methodist Church, immediately north of the Westfield Playhouse, to build the proposed office.

# church church hittle + antrim

ATTORNEYS AT LAW

To: Westfield Planning

From: Church Church Hittle + Antrim, Matthew Skelton, Eric Douthit and Jack Witsitt

Attn: Weston Rogers, Senior Planner

Re: Westfield Playhouse PUD Amendment 1 – Neighbor Meeting Summary

Date: April 2, 2026

Church Church Hittle & Antrim (“CCHA”) and Schaaf CPA Group (“Schaaf”), hosted a neighbor meeting on April 1, 2026, at 6:00 PM at the Christ United Methodist Church, 318 North Union Street, Westfield, Indiana. Matthew Skelton of CCHA provided an overview of the proposed development and addressed questions from attendees.

There were four attendees, consisting of one resident on Union Street, a member of the Westfield Playhouse Board of Directors, and the owners of the apartment community immediately north of Christ United Methodist Church.

One attendee inquired about whether the new off-street parking area will have lighting. It is likely that lighting will be provided. This will be fully addressed during the detailed development plan process. Any fixtures will be required to comply with the City’s lighting restrictions. The City will review photometric plans to confirm compliance as part of its plan approval process.

There was a question about how stormwater runoff will be handled. This subject will also be fully addressed during the detailed development plan process. Based on preliminary discussions with the City Engineer, the plan is to discharge any runoff into an existing 15” storm inlet on the Church property, which ultimately makes its way into the City’s existing stormwater system. The City will review drainage plans to confirm compliance as part of its plan approval process.

One attendee suggested the Schaaf proposal may change the character of the neighborhood. Schaaf engaged the services of an accomplished design firm to study building materials, styles, character and scale of contributing historic buildings in Downtown Westfield as they designed the Schaaf building. This proposal has been very intentionally designed to be consistent with the community’s vision as set forth in the City’s recently adopted comprehensive plan and the recommendations of the City’s Downtown Redevelopment Plan. The proposed office use is contemplated in the Legacy and Historic Core. The architectural character and quality of the proposed office has been designed to retain the historic character of the neighborhood, using architectural elements and materials that are consistent with other contributing buildings in Downtown Westfield.

The meeting adjourned just before 7:00 PM.

ISSUES AND QUESTIONS RAISED REGARDING THE  
WESTFIELD PLAYHOUSE PUD AMENDMENT 1 PROPOSAL  
SCHAAF CPA GROUP (“Schaaf”)

*The following list summarizes updates since the April 6<sup>th</sup> APC public hearing.*

**Drainage**

- The APC requested verification from the City’s engineering team regarding Schaaf’s stormwater drainage plan.

The Detailed Development Plans (“DDP”) for the site have been completed and submitted to the City for review and approval. The drainage plan has been designed in accordance with communications with the City engineering team and is part of the DDP submission.

**Lighting Plan**

- The APC requested confirmation that Schaaf’s lighting plan would comply with the lighting requirements of the UDO. Additionally, the planning staff has requested that language be added to the PUD Ordinance to accommodate certain architectural lighting fixtures planned for the new building.

A photometric plan has been completed and submitted to the City as part of Schaaf’s DDP submission in compliance with the City’s lighting standards. Text has been added to the PUD Ordinance to accommodate the proposed low-level architectural accent lighting that is similar to the Westfield Playhouse building.

**Landscaping**

- The APC asked Schaaf to consider adding an additional street tree along Union Street and some evergreen plantings along the northwest corner of the proposed office and the west side of the building.

These requests have been fulfilled. An additional street tree has been added along Union Street. This is reflected in the updated Landscaping Plan attached to the PUD Ordinance. Additionally, 6 evergreen shrubs have been added to the northwest canopy planting bed. The symbols on the Landscaping Plan have been updated to clearly distinguish the evergreen shrubs from the deciduous shrubs. These changes are also reflected on the Landscaping Plan attached to the PUD Ordinance.

## Signage

- The planning staff suggested Schaaf incorporate a provision in the PUD Ordinance to accommodate the “SG” painted architectural accent on the northwest corner of the proposed building.

This item has been completed. Text has been incorporated into the PUD Ordinance that accommodates the “SG” painted architectural accent on the building.

**RESOLUTION NO. 26-01**

**RESOLUTION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION APPROVING AMENDMENTS TO THE DECLARATORY RESOLUTION AND ECONOMIC DEVELOPMENT PLAN FOR THE LANTERN COMMONS ECONOMIC DEVELOPMENT AREA**

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “Plan Commission”) is the body charged with the duty of developing a general plan of development for the City of Westfield, Indiana (the “City”); and

WHEREAS, the Westfield Redevelopment Commission (the “Redevelopment Commission”), pursuant to IC 36-7-14 (the “Act”), has previously adopted and confirmed resolutions which (i) established an economic development area known as the “Lantern Commons Economic Development Area” (the “Area”), (ii) designated a portion of the Area as an allocation area, known as the “Front Street Allocation Area” pursuant to Section 39 of the Act (the “Existing Allocation Area”), and (iii) approved and amended a development plan for the Area (collectively, the “Plan”) pursuant to the Act; and

WHEREAS, the Redevelopment Commission, on April 20, 2026, adopted its Resolution No. 10-2026 (the “Declaratory Resolution”) which (i) removed the parcels described in Exhibit A of the Declaratory Resolution from the Existing Allocation Area, and designated the parcels so removed as a separate allocation area within the Area, to be known as the “Gateway Allocation Area,” pursuant to Section 39 of the Act and (ii) adopted a supplement to the Plan which was attached as Exhibit B thereto (the “2026 Plan Supplement”); and

WHEREAS, the Redevelopment Commission has submitted the Declaratory Resolution and the 2026 Plan Supplement to this Plan Commission; and

WHEREAS, in determining the location and extent of the Area, the Plan Commission has determined that no residents of the City will be displaced by the proposed development thereof; and

WHEREAS, the Plan Commission has reviewed the Declaratory Resolution and the 2026 Plan Supplement, and determined that it conforms to the plan of development for the City, and now desires to approve the Declaratory Resolution and the 2026 Plan Supplement.

NOW, THEREFORE, BE IT RESOLVED BY THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION, as follows:

1. The Plan Commission hereby finds and determines that the Declaratory Resolution and the 2026 Plan Supplement conform to the plan of development for the City.
2. The Declaratory Resolution and the 2026 Plan Supplement are hereby approved.

3. This Resolution hereby constitutes the written order of the Plan Commission approving the Declaratory Resolution and the 2026 Plan Supplement pursuant to Section 16 of the Act.

4. The Secretary of the Plan Commission is hereby directed to file a copy of the Declaratory Resolution and the 2026 Plan Supplement with the minutes of this meeting.

[Signature Page Follows]

SO RESOLVED BY THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION this 6<sup>th</sup> day of May, 2026.

**WESTFIELD ADVISORY PLAN COMMISSION**

**Voting For**

**Voting Against**

**Abstain**

\_\_\_\_\_  
Mike Neal

\_\_\_\_\_  
Mike Neal

\_\_\_\_\_  
Mike Neal

\_\_\_\_\_  
Billy Bunkowfst

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Billy Bunkowfst

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Omar Khan

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Robert Horkay

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Stephanie Carlson

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Stephanie Carlson

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Mark Keen

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Ryan Mooney

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Victor McCarty

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Victor McCarty

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Kurt Wanninger

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Kurt Wanninger

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Kurt Wanninger

ATTEST:

\_\_\_\_\_  
Kevin M. Todd, Director of Community Development

This document prepared by Bradley J. Bingham, Esq., Barnes & Thornburg LLP  
11 South Meridian Street, Indianapolis, IN 46204

I affirm under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document unless required by law. /s/ Bradley J. Bingham

**WESTFIELD REDEVELOPMENT COMMISSION  
RESOLUTION NO. 10-2026**

**RESOLUTION OF THE WESTFIELD REDEVELOPMENT COMMISSION  
AMENDING THE DECLARATORY RESOLUTION AND THE ECONOMIC  
DEVELOPMENT PLAN FOR THE LANTERN COMMONS  
ECONOMIC DEVELOPMENT AREA**

WHEREAS, the Westfield Redevelopment Commission (the “Commission”) pursuant to IC 36-7-14 (the “Act”) serves as the governing body of the City of Westfield Redevelopment District (the “District”); and

WHEREAS, the Commission has previously adopted and confirmed resolutions, as amended from time to time (collectively, the “Declaratory Resolution”), which established an economic development area known as the “Lantern Commons Economic Development Area” (the “Area”), designated a portion of the Area, known as the “Front Street Allocation Area,” as an allocation area pursuant to Section 39 of the Act (the “Existing Allocation Area”), and approved and amended a development plan for the Area (collectively, the “Plan”) pursuant to the Act; and

WHEREAS, the Commission now desires to amend the Declaratory Resolution and Plan in order to (i) remove the parcels identified on Exhibit A hereto from the Existing Allocation Area, and designate the parcels so removed as a separate allocation area within the Area, pursuant to Section 39 of the Act, to be known as the “Gateway Allocation Area” (the “Gateway Allocation Area”), and (ii) adopt a supplement to the Plan attached hereto as Exhibit B (the “2026 Plan Supplement”) (collectively, the “2026 Amendments”); and

WHEREAS, the 2026 Amendments and supporting data were reviewed and considered at this meeting; and

WHEREAS, Section 39 of the Act permits the creation of “allocation areas” to provide for the allocation and distribution of property taxes for the purposes and in the manner provided in said section; and

WHEREAS, Sections 41 and 43 of the Act permit the creation of “economic development areas” and provide that all of the rights, powers, privileges and immunities that may be exercised by this Commission in a redevelopment area or urban renewal area may be exercised in an economic development area, subject to the conditions set forth in the Act; and

WHEREAS, this Commission deems it advisable to apply the provisions of said Sections 15-17, 39, 41 and 43 of the Act to the 2026 Amendments; and

WHEREAS, the Commission now desires to approve the 2026 Amendments.

NOW, THEREFORE, BE IT RESOLVED by the City of Westfield Redevelopment Commission, governing body of the City of Westfield Redevelopment District, as follows:

1. The Commission hereby finds that the 2026 Amendments promote significant opportunities for the gainful employment of the citizens of the City of Westfield, Indiana (the

“City”), the attraction of major new business enterprises to the City, the retention and expansion of significant business enterprises existing in the boundaries of the City, and meet other purposes of Sections 2.5, 41 and 43 of the Act, including without limitation benefiting public health, safety and welfare, increasing the economic well-being of the City and the State of Indiana (the “State”), and serving to protect and increase property values in the City and the State.

2. The Commission hereby finds that the Plan, as amended by the 2026 Plan Supplement, cannot be achieved by regulatory processes or by the ordinary operation of private enterprise without resort to the powers allowed under Sections 2.5, 41 and 43 of the Act because of the lack of local public improvements, the existence of improvements or conditions that lower the value of the land below that of nearby land, multiple ownership of land and other similar conditions.

3. The public health and welfare will be benefited by accomplishment of the 2026 Amendments.

4. It will be of public utility and benefit to amend the Declaratory Resolution and the Plan for the Area as provided in the 2026 Amendments and to continue to develop the Area, as amended the 2026 Amendments, under the Act.

5. The accomplishment of the Plan for the Area, as supplemented by the 2026 Plan Supplement, will be a public utility and benefit as measured by the attraction or retention of permanent jobs, an increase in the property tax base, improved diversity of the economic base and other similar public benefits.

6. The Declaratory Resolution and the Plan, as amended by this Resolution and the 2026 Plan Supplement, conform to the comprehensive plan of development for the City.

7. The 2026 Amendments are reasonable and appropriate when considered in relation to the Declaratory Resolution and Plan and the purposes of the Act.

8. The findings and determinations set forth in the Declaratory Resolution and the Plan are hereby reaffirmed.

9. In support of the findings and determinations set forth in Sections 1 through 8 above, the Commission hereby adopts the specific findings set forth in the 2026 Plan Supplement.

10. The Commission does not at this time propose to acquire any specific parcel of land or interests in land within the boundaries of the Area, as amended by the 2026 Amendments. If at any time the Commission proposes to acquire specific parcels of land, the required procedures for amending the Plan, as amended by the 2026 Plan Supplement, under the Act will be followed, including notice by publication to affected property owners and a public hearing.

11. The Commission finds that no residents of the Area will be displaced by any project resulting from the Plan, as amended by the 2026 Plan Supplement, and therefore finds that it does not need to give consideration to transitional and permanent provision for adequate housing for the residents.

12. The 2026 Amendments are hereby in all respects approved.

13. The area described in Exhibit A is hereby designated as a separate “allocation area” pursuant to Section 39 of the Act to be known as the “Gateway Allocation Area” for purposes of the allocation and distribution of property taxes for the purposes and in the manner provided by said Section. Any taxes imposed under I.C. 6-1.1 on real property subsequently levied by or for the benefit of any public body entitled to a distribution of property taxes on taxable property in said allocation area shall be allocated and distributed as follows:

Except as otherwise provided in said Section 39, the proceeds of taxes attributable to the lesser of the assessed value of the property for the assessment date with respect to which the allocation and distribution is made, or the base assessed value, shall be allocated to and when collected paid into the funds of the respective taxing units. Except as otherwise provided in said Section 39, property tax proceeds in excess of those described in the previous sentence shall be allocated to the redevelopment district and when collected paid into an allocation fund for the Gateway Allocation Area hereby designated as the “Gateway Allocation Fund” and may be used by the redevelopment district to do one or more of the things specified in Section 39(b)(4) of the Act, as the same may be amended from time to time. Said allocation fund may not be used for operating expenses of the Commission, except as otherwise permitted by the Act, as the same may be amended from time to time. Except as otherwise provided in the Act, before June 15 of each year, the Commission shall take the actions set forth in Section 39(b)(5) of the Act, as the same may be amended from time to time.

14. The foregoing allocation provision shall apply to the Gateway Allocation Area. The Commission hereby finds that the adoption of this allocation provision will result in new property taxes in the Gateway Allocation Area that would not have been generated but for the adoption of the allocation provision, as specifically evidenced by the findings set forth in Exhibit B. The base assessment date for the Gateway Allocation Area is January 1, 2026.

15. The provisions of this Resolution shall be subject in all respects to the Act and any amendments thereto, and the allocation provision herein relating to the Gateway Allocation Area shall expire on the date that is twenty-five (25) years after the date on which the first obligation is incurred to pay principal and interest on bonds or lease rentals on leases payable from tax increment revenues derived from the Gateway Allocation Area.

16. This Resolution, together with any supporting data, shall be submitted to the Westfield-Washington Advisory Plan Commission (the “Plan Commission”) and the Common Council of the City (the “Council”) as provided in the Act, and if approved by the Plan Commission and the Council, shall be submitted to a public hearing and remonstrance as provided by the Act, after public notice as required by the Act.


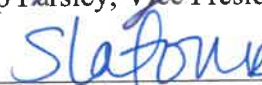
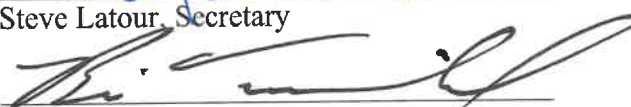

17. This Resolution shall take effect upon its adoption by the Commission. However, pursuant to I.C. 36-7-14-57 and the terms of that certain Development Agreement, dated as of September 26, 2023 by and among the Commission, the City, and Lantern Commons Master LLC (the “Original Development Agreement”), the creation of the Gateway Allocation Area and the

allocation of property taxes for the parcel or parcels included in Exhibit A shall not become effective unless and until each of the Commission, the City, and Lantern Commons Master, LLC shall have duly authorized, executed and delivered the First Amendment to the Original Development Agreement.

18. The officers of the Commission are hereby authorized to make all filings necessary or desirable to carry out the purposes and intent of this Resolution.

19. The provisions of this Resolution shall be subject in all respects to the Act and any amendments thereto.

DULY ADOPTED AND PASSED by the WESTFIELD REDEVELOPMENT COMMISSION this 20<sup>th</sup> day of April, 2026, by a vote of 4 in favor and 0 opposed.

Absent  
\_\_\_\_\_  
Joseph Plankis, President  
  
\_\_\_\_\_  
Chip Parsley, Vice President  
  
\_\_\_\_\_  
Steve Latour, Secretary  
  
\_\_\_\_\_  
Brian Tomamichel, Member  
  
\_\_\_\_\_  
Patrick Downey, Member

**EXHIBIT A**

**Description of parcel removed from the existing Front Street Allocation Area and designated as the Gateway Allocation Area**

The following parcel is hereby removed from the existing Front Street Allocation Area and designated as a separate allocation area within the Lantern Commons Economic Development Area, to be known as the “Gateway Allocation Area.” The Gateway Allocation Area consists of the orange-shaded parcels depicted in the map set forth on the following page of this Exhibit A.

**PARCEL ID NUMBERS:**

09-09-12-00-00-013.002

Lantern Commons EDA  
Gateway Allocation Area (New)



## **EXHIBIT B**

### **2026 Plan Supplement**

The existing Plan for Area is hereby further supplemented by adding the following projects to the Plan:

#### *Lantern Commons Gateway Project*

MB Lantern LLC or an affiliate thereof (the “Gateway Developer”) is developing an area within the City of Westfield generally described as being located at the northwest quadrant of the intersection of 161<sup>st</sup> Street and Westfield Boulevard in the City. The mixed-use development is expected to include (a) approximately 122,000 square feet of luxury apartments, clubhouse, fitness, and leasing space, including approximately 102 apartment units; (b) approximately 29,000 square feet of retail space; and (c) approximately 280 surface parking spaces (collectively, the “Gateway Development”). The Gateway Development has a current estimated total development cost of \$30 million.

However, due to the lack of adequate local public improvements serving or benefitting the development site, the Commission will undertake all or any portion of the engineering, design, acquisition and/or construction of infrastructure improvements located in or directly benefiting or serving the Gateway Allocation Area, including, but not limited to, land acquisition, storm water improvements, utilities relocation, streetscape and plaza improvements, general site improvements, parking and/or road, trail and sidewalk or other local public improvements] (collectively the “Gateway Projects”). The Gateway Projects are estimated to cost the Commission approximately \$5 million to \$10 million; however, such estimated costs will be refined as specific details and timing of the Gateway Projects are determined. The Gateway Projects will support the Gateway Development. The Commission anticipates capturing tax increment revenues from the Gateway Allocation Area, and applying such tax increment revenues, either directly or through bonding, to pay or reimburse all or a portion of the costs of the Gateway Projects. The Commission envisions the possibility of assisting the City in issuing one or more series of bonds payable from tax increment revenues derived from the Gateway Allocation Area and purchased by the Gateway Developer (or an affiliate thereof) or a third-party purchaser, including bonds issued by the City upon recommendation by the Westfield Economic Development Commission (pursuant to Indiana Code 36-7-11.9 and Indiana Code 36-7-12) to assist in financing the Gateway Projects.

#### *Findings of Fact*

Based on representations of the Gateway Developer, the Commission has determined that the full development of the Gateway Allocation Area will not proceed along the timeframe or scope as planned without the contribution of tax increment revenues to be derived from the Gateway Allocation Area to the Gateway Projects due to the lack of adequate infrastructure and other local public improvements in or serving the Gateway Allocation Area. The establishment of the Gateway Allocation Area is planned as part of the Commission’s strategy to contribute tax increment revenues derived from Gateway Allocation Area to the proposed Gateway Projects, and is a necessary component to allow the Commission to be reimbursed for a portion of the costs of

the Gateway Projects, respectively. The private development projects will not proceed without this mechanism in place. The Commission does not have any other method of financing the costs of the Gateway Projects, absent issuing bonds payable from a special benefits tax upon all taxable property within the District, without the prospect of replacing the source with tax increment revenues from developments within the Gateway Allocation Area. The Commission hereby finds that designating the Gateway Allocation Area as an allocation area will allow for the capture of additional tax increment revenues that will be available to the Commission to finance infrastructure and other improvements (including the Gateway Projects) located in or serving or benefitting the Gateway Allocation Area, thereby facilitating new investment in the Area that would otherwise not occur.

DMS 51708448.1