



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda

BOARD OR COMMISSION: Advisory Planning Commission Meeting

MEETING DATE: Monday, April 20, 2026 at 7:00 PM

MEETING PLACE: Westfield City Services Center - Bales Main Meeting Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF ADVISORY PLANNING COMMISSION

Michael Neal, President | Township Appointed | 4-year term | 1/1/24-12/31/27
Billy Bunkowfst, Vice President | Mayoral Appointed | 4-year term | 1/1/24-12/31/27
Omar Khan | Mayoral Appointed | 4-year term | 1/1/24-12/31/27
Robert Horkay | Mayoral Appointed | 4-year term | 1/1/24-12/31/27
Stephanie Carlson | Mayoral Appointed | 4-year term | 7/1/24-12/31/27
Mark Keen | Township Appointed | 4-year term | 1/1/24-12/31/27
Ryan Mooney | Council Appointed | 4-year term | 1/1/24-12/31/27
Victor McCarty | Council Appointed | 4-year term | 1/1/24-12/31/27
Kurt Wanninger | Council Appointed | 4-year term | 2/2/26-12/31/27

Public input can be submitted in 1 of 2 ways:

- Submit comments via email to planners@westfield.in.gov (Include petition number in the subject line.)
- Attend the meeting at Westfield City Hall for an opportunity to participate and publicly comment on a public hearing.

A quorum of the Common Council may be present

[Online Viewable](#)

OPENING OF REGULAR MEETING

Note the presence of a quorum

Announce any changes to Agenda

Approval of Minutes - April 6, 2026

Review Rules of Procedure

CONSENT AGENDA

2604-DDP-09

Westfield Fire Station 82 (Addition)

Generally located at 1920 E. 151st Street.

City of Westfield, represented by JPS Consulting Engineers, requests Detailed Development Plan review of a 4,658 sq. ft. building addition to the existing fire station on 2.12 acres +/- within the AG-SF1: Agricultural / Single-family Rural District.

(Planner: Ryan Collingwood - Rcollingwood@westfield.in.gov)

WORKSHOP ITEMS

2603-PUD-03

199th & Monon Planned Unit Development (PUD) Amendment I

South of and adjacent to 199th Street and west of the Monon Trail

Onyx & East, LLC by Nelson & Frankenberger LLC requests a change in zoning for 7.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the 199th & Monon Planned Unit Development (PUD) District.

(Planner: Daine Crabtree - Dcrabtree@westfield.in.gov)

2603-PUD-04

Trace Commons Planned Unit Development (PUD)

South of State Road 32, about 1,000 feet East of Gunther Boulevard, & North of the Midland Trace Trail

Level 2 Development, represented by Church Church Hittle + Antrim, request a change of zoning for 19.4 acres +/- from the GB: General Business and GB-PD: General Business-Planned Development Districts to the Trace Commons Planned Unit Development (PUD) District.

(Planner: Ryan Collingwood - Rcollingwood@westfield.in.gov)

SPECIAL PRESENTATION

Grand Park Zoning District

Introduction of new Grand Park Zoning District and discussion of zoning district development and adoption timeline.

(Presented by: Jenell Fairman / Lauren Gillingham-Teague)

ITEMS CONTINUED TO A FUTURE MEETING

2604-PUD-06 *(anticipated workshop on 5/18/26, subject to change)*

The Lakes at Freemont Planned Unit Development (PUD), Amendment I

Generally ½ mile north of the intersection at West 193rd Street and Freemont Moore Road

Grand Communities, LLC and Fischer Homes by Nelson & Frankenberger, LLC requests a change in zoning for 108 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to The Lakes at Freemont Planned Unit Development (PUD) District.

(Planner: Weston Rogers - Wrogers@westfield.in.gov)

2604-PUD-07 *(anticipated recommendation on 5/4/26, subject to change)*

Westfield Playhouse Planned Unit Development (PUD), Amendment I

302 North Union Street

Christ United Methodist Church by Church Church Hittle + Antrim requests a change in zoning for 1.03 acres +/- from the SF3: Single-family Medium Density District to Westfield Playhouse Planned Unit Development (PUD) District.

(Planner: Weston Rogers - Wrogers@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Plat Committee Liaison

Community Development Department

ADJOURNMENT

Adjourn



Petition Number: 2604-DDP-09
Project Name: Westfield Fire Station No. 82 Building Expansion
Subject Site Address: Generally located at 1920 E. 151st Street
Petitioner: City of Westfield, represented by JPS Consulting Engineers
Request: Detailed Development Plan review of a 4,550 square foot fire station addition on 2.12 acres +/- in the AG-SF1: Agricultural / Single-family Rural District.
Current Zoning: AG-SF1: Agricultural / Single-family Rural District
Current Land Use: Institutional (Fire Station)
Approximate Acreage: 2.12 acres +/-
Staff Reviewer: Ryan Collingwood, Senior Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised primary plat and overall development plan have been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
- 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in***

compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.

- 5) Abbreviations:
- a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office
-

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.

- 15) Location and dimensions of all existing structures and paved areas.
 - 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 17) Location of all Floodplain areas within the boundaries of the property.
 - 18) Names of legal ditches and streams on or adjacent to the site.
 - 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 20) Identify buildings proposed for demolition.
 - 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
 - 23) Misc.
-

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

- 24) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 25) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 26) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:



- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 27) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS (Article 4.2 of the UDO):

The plans comply with the AG-SF1: Agricultural / Single-family Rural District.

28) Minimum Lot Area: Three (3) acres

COMMENT: *Informational; Not compliant with AG-SF1 District, but property can be improved upon via Legal Nonconforming Standards of UDO Article 9.4(C).*

29) Minimum Lot Frontage: 250 feet

30) Minimum Building Setback Lines

- a) Front Yard:
 - i) Expressways/Arterials 100 feet

COMMENT: *Informational; Not compliant with AG-SF1 District, but property can be improved upon via Legal Nonconforming Standards of UDO Article 9.4(C).*

- b) Side and Rear Yard: 30 feet

31) Minimum Lot Width: 100 feet

32) Maximum Building Height: 2 ½ stories

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply, as applicable to a Detailed Development Plan.

33) Accessory Use and Building Standards (Article 6.1):

a) Screening of Receptacles and Loading Areas:

- i) Garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas, loading areas and other similar facilities shall be completely and permanently screened from view of Rights-of-way and where possible, adjoining properties.
- ii) Enclosures shall not be located in an Established Front Yard or in any required Side or Rear Yard.
- iii) Screening methods shall include a solid enclosure on all sides not less than six (6) feet in height above grade or two (2) feet above the receptacle, whichever is greater. The solid enclosure shall be a Masonry Material that matches or complements the Principal Building.
- iv) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES.
- v) Enclosures shall be equipped with opaque gates, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES, that shall not be oriented towards residential properties or the Right-of-way, where possible.
- vi) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal. Pedestrian access openings shall be substantially similar to those illustrated in FIGURE 6.1(3): DUMPSTER MAN-DOORS.
- vii) Enclosures, which include swinging, moveable doors, shall be kept closed at all times when said doors are not in active use.

viii) Landscaping shall be provided around enclosures in accordance with *Article 6.8 Landscaping Standards*.

34) Architectural Standards (Article 6.3(D))

a) Building Orientation:

- i) No loading spaces or loading docks shall be permitted to face a Street.
- ii) Loading spaces or loading docks facing or oriented to a Side or Rear Lot Line of an adjoining Residential District shall be screened from view from such Residential District by the use of: (i) evergreen trees; or, (ii) a combination of overstory, understory or evergreen trees and a solid wall or fence, which creates a dense visual barrier of a minimum height of six (6) feet.

- b) Building Materials: In order to ensure compatibility of nonresidential Uses with surrounding residential Uses in Residential Districts, all nonresidential Uses shall use exterior building materials, roof line treatments and roofing materials that are compatible with and consistent with the residential character and building materials of the surrounding residential area.

35) Fence Standards (Article 6.5)

36) Height Standards (Article 6.6)

37) Landscaping Standards (Article 6.8)

a) General Landscape Design Standards:

- i) Placement: Installed plantings shall comply with the following:
 - (1) Minimum Distance from Sidewalk and Curb: Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.
 - (2) Minimum Distance from Stormwater Structures: Trees shall be planted a minimum distance of ten (10) feet from any storm sewer or subsurface drain, unless otherwise permitted in accordance with the City's Construction Standards or approved in writing by the Public Works Department.

b) General Screening Standards:

- i) Mechanical Screening: Wall and ground-mounted Mechanical Equipment for nonresidential or multi-family structures shall be completely screened from all ground-level viewpoints. Clearance for proper functioning of the equipment and access to the equipment for maintenance shall be incorporated into the design. Screening may be achieved by using either: (i) a wall or fence constructed of Masonry Material, wood, fiber cement, that is visually integrated to the adjacent building façade with a minimum height that fully screens the equipment; (ii) a solid evergreen screen with a combination of trees and shrubs; (iii) a combination of the aforementioned. (See also Article 6.3 Architectural Standards for roof-mounted equipment.)
- ii) Service and Loading Areas: Loading areas, loading docks, service areas, and maintenance areas shall be screened from residential Uses and Rights-of-way. Screening shall be achieved by using either: (i) a six-foot (6') high, completely opaque fence or wall; (ii) a six-foot (6') high berm; (iii) a six-foot (6') high screen of evergreen trees planted nine (9) feet on center in a double staggered row; or (iv) a combination of the aforementioned that accomplishes the same effect. See also Article 6.1 Accessory Use and Building Standards regarding dumpster enclosures.

c) Minimum Lot Landscaping Requirements

d) Foundation Plantings:

- i) Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Façades, fences, and other barriers to create a softening effect.

e) External Street Frontage Landscaping Requirements:

f) Buffer Yard Requirements:

g) Parking Area Landscaping:

- i) Interior Parking Area Landscaping:

- (1) Minimum Area Required: A minimum landscape area of Parking Areas shall be set aside for Parking Area islands.
- (2) Interior Parking Area Islands:
 - (a) Location: Parking Area islands shall be dispersed throughout Parking Areas in a design and configuration that aesthetically corresponds to the size and shape of Parking Areas. Combining or placing Parking Area islands together such that more than one (1) tree may be planted in the island shall be considered when possible. Parking Area islands shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.
 - (b) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred (100) percent of every island shall be covered with permitted Groundcover material to achieve complete coverage.
- ii) Perimeter Parking Area Landscaping:
 - (1) Perimeter landscaping is required for parking lots with ten (10) or more spaces where:
 - (a) The parking lot is located within a required yard; or
 - (b) The parking lot is located within twenty (20) feet of a lot line or right-of-way line.
 - (2) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
 - (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.
 - (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.
 - (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

38) Lighting Standards (Article 6.9)

- a) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]

39) Lot Standards (Article 6.10)

40) Parking and Loading Standards (Article 6.14)

a) Required Spaces:

- i) Other Uses: Parking Space requirements for other Uses shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for an Improvement Location Permit.

b) Bicycle Parking:

- i) Number of Spaces: A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.
- ii) Rack Requirement: A bicycle rack, which may contain multiple bicycle parking spaces, shall be installed on a hard dustless surface that allows the parking structure to be securely fastened to the ground and that secures the bicycles.

41) Setback Standards (Article 6.16)

42) Sign Standards (Article 6.17)

43) Vision Clearance Standards (Article 6.19)

- a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:

- i) Forty (40) feet from intersections of Collectors, Private or Local Street.
 - ii) Seventy-five (75) feet from intersections of Expressways or Arterials.
-

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply, as applicable to a Detailed Development Plan.

- 44) Easement Standards (Article 8.3)
 - 45) Monument and Marker Standards (Article 8.5)
 - 46) Open Space and Amenity Standards (Article 8.6)
 - 47) Pedestrian Network Standards (Article 8.7)
 - 48) Storm Water Standards (Article 8.8)
 - 49) Street and Right-of-Way Standards (Article 8.9)
 - 50) Surety Standards (Article 8.12)
 - 51) Utility Standards (Article 8.13)
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DEPARTMENT COMMENTS:

The plans presented comply with the applicable zoning ordinances.

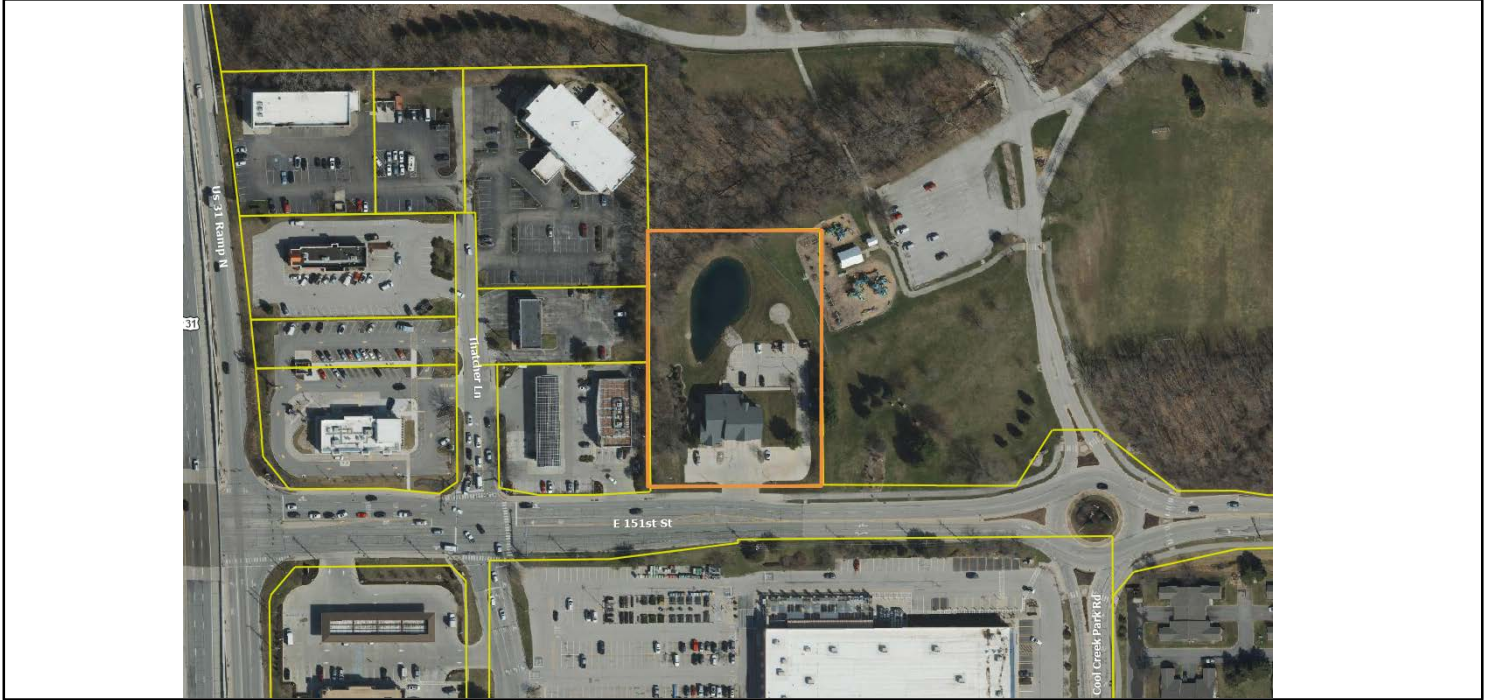
Requested Action: Approve 2604-DDP-09 with the following conditions:

- That all necessary approvals be obtained from the Westfield Public Works Department prior to any work beginning on the Property.

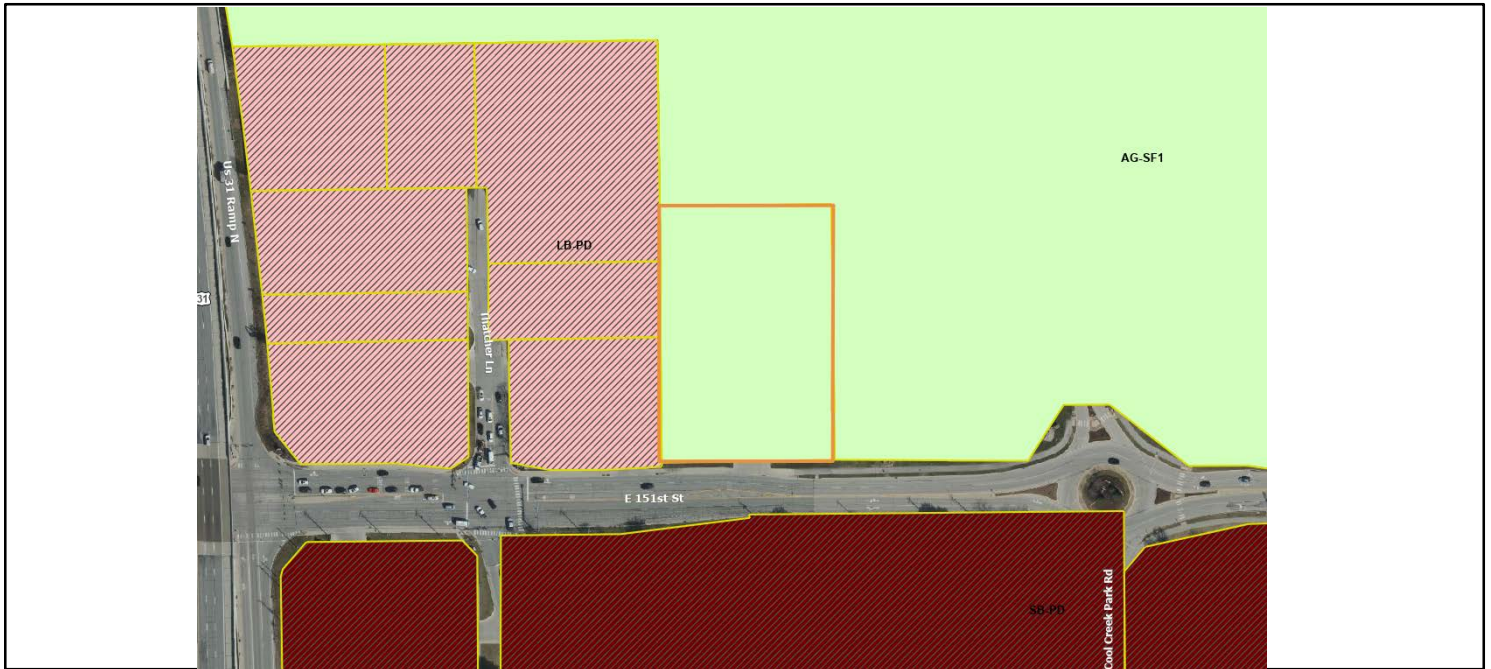
Please contact Ryan Collingwood at rcollingwood@westfield.in.gov or (317) 741-8857 with questions prior to the meeting.

Aerial Location Map





 SITE

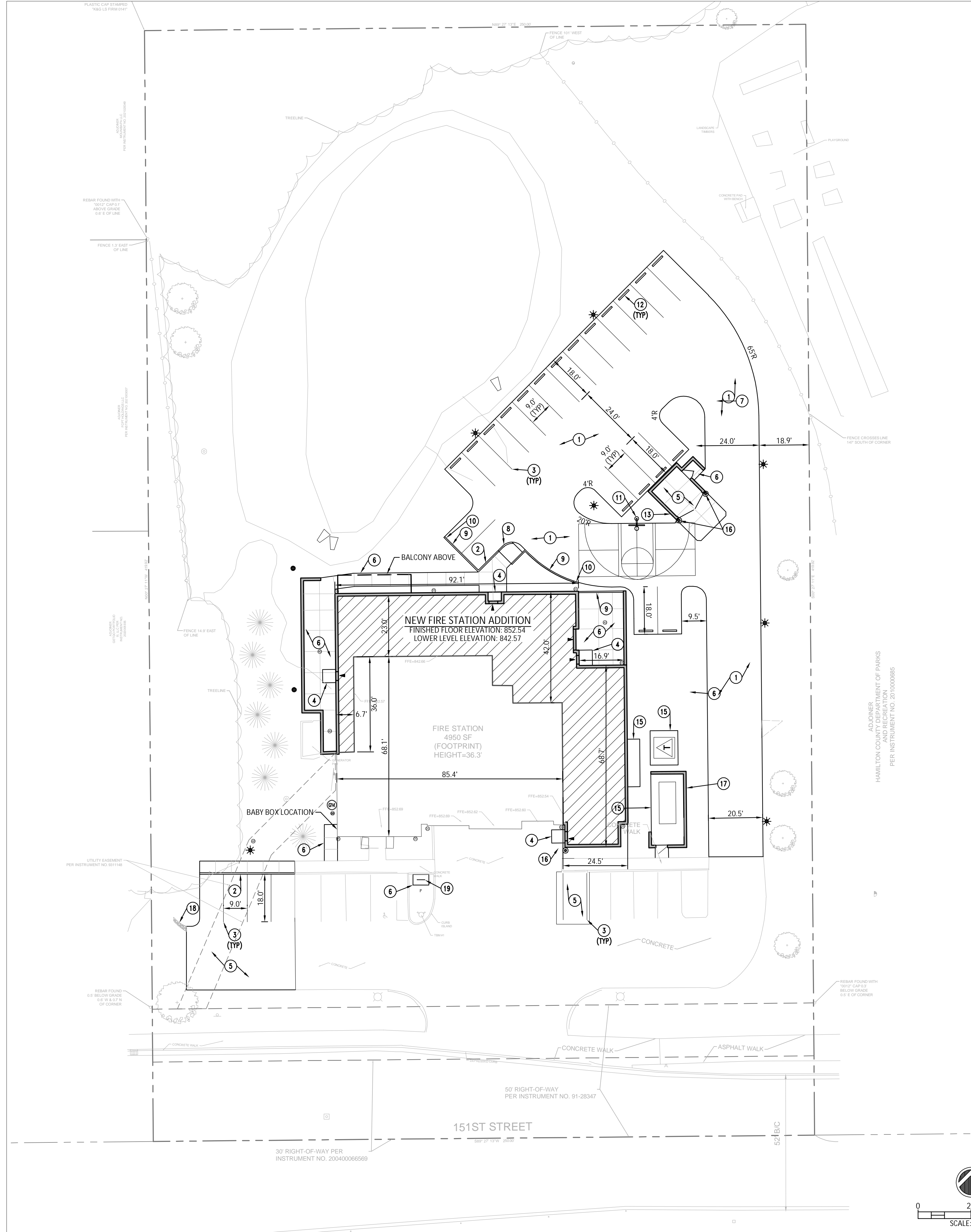


Zoning Map



Zoning

-  PUD (Planned Unit Development)
-  AG-SF1 (Agricultural / Single-family Rural)
-  LB-PD (Local Business Planned Dev.)
-  SB-PD (Special Business Planned Dev.)



- ### GENERAL NOTES
- A. REFER TO IMPROVEMENT DETAILS FOR NOTE REFERENCES.
 - B. ALL RADII ARE 5' UNLESS NOTED OTHERWISE.
- ### PLAN NOTES
1. ASPHALT PAVEMENT.
 2. CONCRETE CURB AND WALK.
 3. 4" WIDE PAINTED PARKING STRIPE.
 4. FLUSH CONCRETE STOOP. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
 5. 6" THICK CONCRETE PAVEMENT.
 6. CONCRETE WALK.
 7. SPORT COURT STRIPING.
- ALL LINES TO BE WHITE 4" WIDE PAINTED STRIPING.
- BASKETBALL COLORED PAINT TO BE NEUTRAL READY MIX AS SOLD BY SPORTS MASTER SPORT SURFACES.
 8. ACCESSIBLE RAMP.
 9. STRAIGHT CONCRETE CURB.
 10. CURB TAPER.
 11. EMBEDDED BASKETBALL GOAL.
 12. CONCRETE WHEEL STOP.
 13. DUMPSTER ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.
 14. CONCRETE RAMP AND HANDRAIL.
 15. CONCRETE EQUIPMENT SUPPORT PAD.
 16. 6" STEEL PIPE BOLLARD.
 17. GENERATOR ENCLOSURE. REFER TO ARCHITECTURAL DRAWINGS FOR MORE INFORMATION.
 18. RIP-RAP STONE.
 19. 2 BIKE 'U' BIKE RACK AS SOLD BY BELSON.COM. MODEL CBBR-2URI-SS. STAINLESS STEEL. IN-GROUND MOUNT.



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CIVIL AND STRUCTURAL ENGINEERS
JPS CONSULTING ENGINEERS
6385 COUNSELORS ROW, SUITE 116
INDIANAPOLIS, IN 46240
P: (317) 617-4270

MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERS
CIRCLE DESIGN GROUP
8229 DELEGATES ROW, SUITE 150
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SHEET REVISIONS

#	DESCRIPTION	DATE



Nicholas Brian Vergara

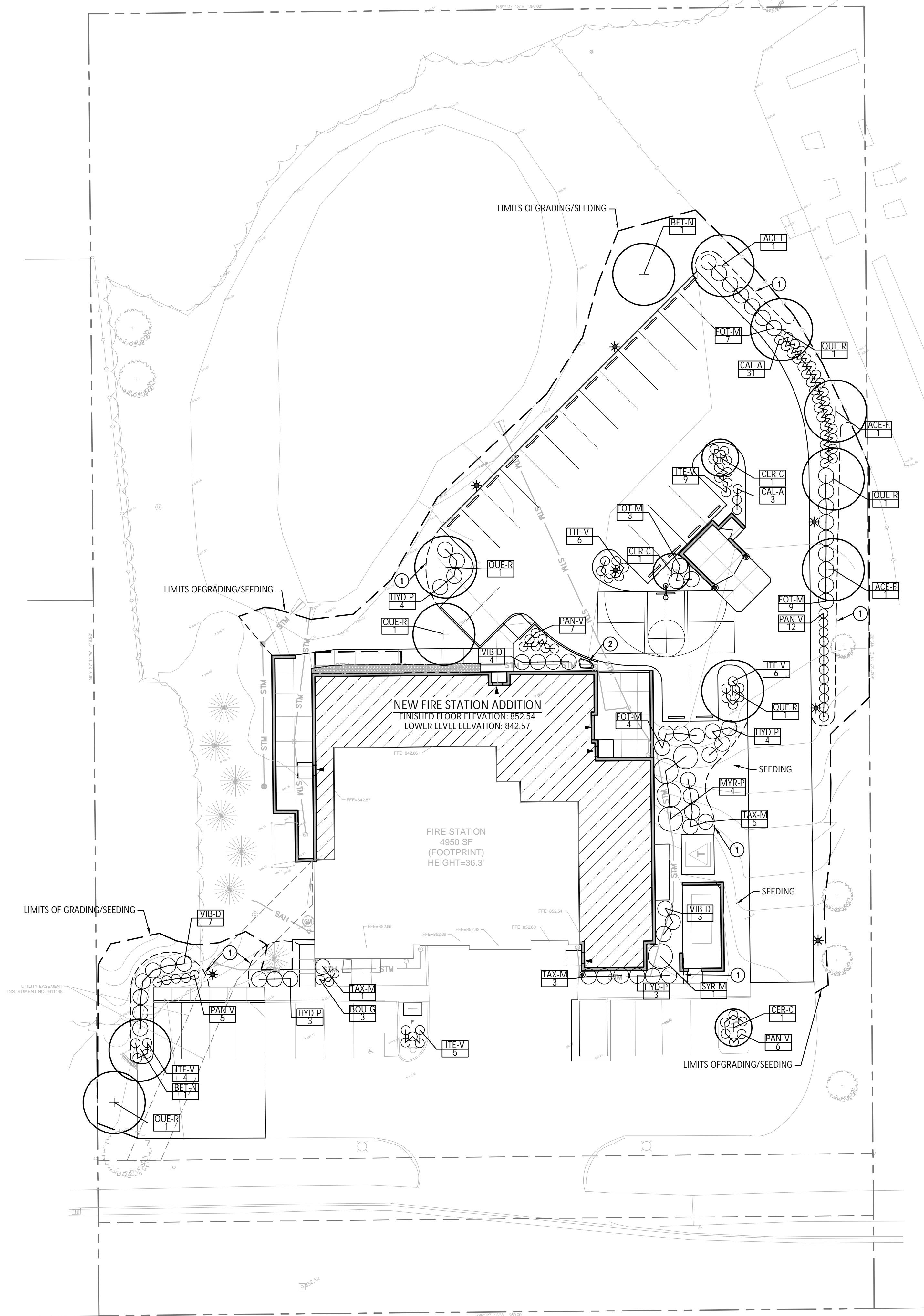


WESTFIELD / WASHINGTON TWP. FIRE STATION 82
1920 E 151ST STREET
WESTFIELD, IN 46074

DATE:
20 MAR 2026
PROJECT #:
2024-028

SITE IMPROVEMENT PLAN

SHEET NO
C500



PLANT LIST					
COUNT	MARK	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
SHADE TREES					
3	ACE-F	ACER x FREEMANII 'JEFFERSRED'	AUTUMN BLAZE MAPLE	2 1/2"-3" CAL.	B&B
2	BET-N	BETULA NIGRA 'CULLY'	HERITAGE BIRCH	12' HEIGHT	MULTI-STEM, B&B
6	QUE-R	QUERCUS RUBRA	RED OAK	2 1/2"-3" CAL.	B&B
ORNAMENTAL TREES					
3	CER-C	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2"-2" CAL.	B&B
EVERGREEN SHRUBS					
4	MYR-P	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	30"-36"	
9	TAX-M	TAXUS x MEDIA 'DENSIFORMIS'	DENSE SPREADING YEW	18"-24"	
SHRUBS					
23	FOT-M	FOTHERGILLA 'MOUNT AIRY'	MOUNT AIRY FOTHERGILLA	30"-36"	
14	HYD-P	HYDRANGEA PANICULATA 'LITTLE QUICKFIRE'	LITTLE QUICKFIRE HYDRANGEA	18"-24"	
30	ITE-V	ITEA VIRGINICA 'SPRICH'	LITTLE HENRY SWEET SPIRE	18"-24"	
1	SYR-M	SYRINGA MEYERI 'PALIBIN'	DWARF KOREAN LILAC	18"-24"	
14	VIB-D	VIBURNUM DENTATUM 'SYNNESTVEDT'	CHICAGO LUSTRE VIBURNUM	24"-30"	
GRASSES					
3	BOU-G	BOUVELOUA GRACILIS 'BLOND AMBITION'	BLOND AMBITION BLUE GRAMA GRASS	#2 CONT.	2' O.C.
34	CAL-A	CALAMAGROSTIS x ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER'S FEATHER REED GRASS	#2 CONT.	3' O.C.
30	PAN-V	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCH GRASS	#2 CONT.	3' O.C.

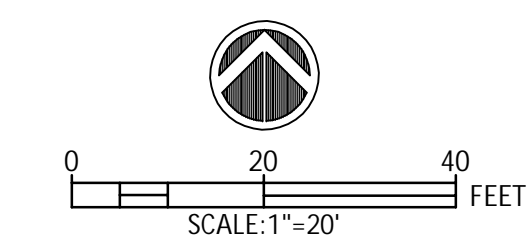
LANDSCAPE ORDINANCE CHART				
ORDINANCE SECTION	DESCRIPTION	MEASUREMENT	PLANTINGS REQUIRED	PLANTINGS PROVIDED
6.1.2.-3.-4	FOUNDATION PLANTINGS / FRONT BUILDING FACADE 1 SHRUB OR ORNAMENTAL TREE / 12' OF LINEAL FEET. PLANTINGS SHALL BE WITHIN 15 FEET OF THE BUILDING FACADE. BEDS AT LEAST 8 FEET IN WIDTH.	155 LF	13 TREES OR SHRUBS	26 TREES OR SHRUBS
6.0.1.A.B.	INTERIOR PARKING AREA LANDSCAPING 5% OF TOTAL PARKING SPACE NUMBER TO BE ISLANDS. 1 TREE AND 4 SHRUBS PER ISLAND. ONE HUNDRED PERCENT OF EVERY ISLAND SHALL BE COVERED WITH PERMITTED GROUNDCOVER MATERIAL TO ACHIEVE COMPLETE COVERAGE.	5% OF 10677 SF	533 SF	821 SF
6.0.2.A.B	PERIMETER PARKING AREA LANDSCAPE PARKING AREAS WITH 10 OR MORE SPACES WHERE PARKING AREA IS LOCATED IN A REQUIRED YARD OR TWENTY FEET OF A LOT LINE OR RIGHT-OF-WAY LINE. 1 TREE PER 30' LINEAR FEET OF PARKING AREA LENGTH. 1 SHRUB PER 3' FEET OF PARKING AREA LENGTH.	177 LF	6 TREES AND 59 SHRUBS	6 TREES AND 59 SHRUBS

GENERAL NOTES

- A. ALL DISTURBED LAWN AREAS TO BE SEEDED UNLESS OTHERWISE NOTED.
- B. THE LANDSCAPE IRRIGATION SYSTEM DESIGN ON THIS PROJECT IS TO BE DELEGATED AS THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL SUBMIT IRRIGATION SHOP DRAWINGS AND A CERTIFIED (SEALED WITH CID CERTIFICATION) IRRIGATION PLAN FOR REVIEW PRIOR TO CONSTRUCTION. THE IRRIGATION DESIGNER IS RESPONSIBLE FOR THE FOLLOWING:
 - CONFIRM WITH THE OWNER IF THERE IS A SPRAY HEAD MANUFACTURER THAT IS PREFERRED
 - WORK WITH THE WATER UTILITY COMPANY TO OBTAIN PRESSURE AND FLOW TEST DATA FOR THE WATER MAIN THAT WILL BE SUPPLYING THE IRRIGATION SYSTEM. IF THE IRRIGATION SYSTEM IS TO BE FED FROM A BUILDING WATER SUPPLY ON SITE, THEN COORDINATE WITH THE PLUMBING ENGINEER.
 - COORDINATE THE LOCATION OF THE IRRIGATION CONTROLS WITH THE OWNER/ARCHITECT PRIOR TO SUBMITTING THE DESIGN.
 - THE IRRIGATION SYSTEM SHALL COVER 100% OF THE LAWN AND PLANT BED AREAS (UNLESS LIMITS OF IRRIGATION ARE INDICATED) WITH NO OVER-SPRAY ONTO WALKS AND DRIVES
 - ALL IRRIGATION PRODUCTS SHALL BE INSTALLED ACCORDING TO LOCAL BUILDING, ELECTRICAL, AND PLUMBING CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PERMITS THAT MAY BE NEEDED FOR THE WATER SOURCE MAIN TAP OR IRRIGATION INSTALLATION.

PLAN NOTES

1. SPADE EDGE.
2. LANDSCAPE BOULDER.



SHEET REVISIONS

#	DESCRIPTION	DATE



Nicholas Brian Vergator



WESTFIELD / WASHINGTON TWP. FIRE STATION 82

1920 E 151ST STREET
WESTFIELD, IN 46074

DATE:
20 MAR 2026
PROJECT #:
2024-028

SITE LANDSCAPE PLAN

SHEET NO



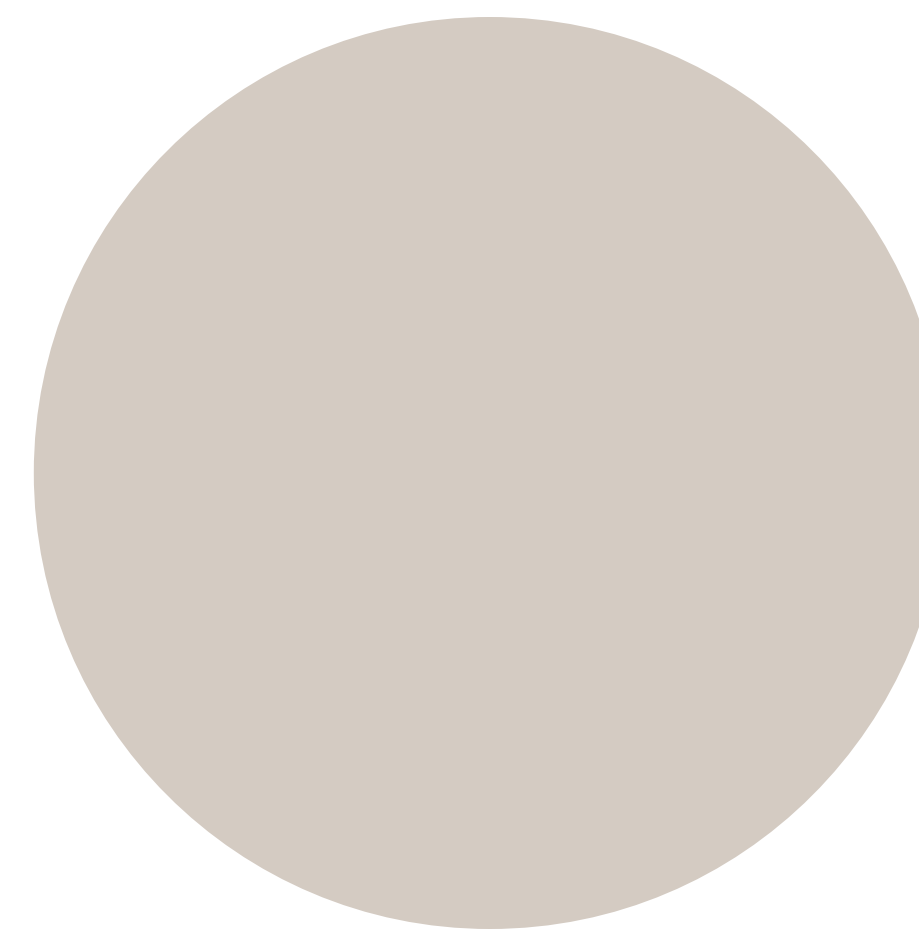
ASPHALT SHINGLES



FB-1



FB-2



FCP-1
SHERWIN WILLIAMS
POPULAR GRAY SW 6071

EXTERIOR FINISH SCHEDULE		
MARK	MANUFACTURER	PRODUCT INFORMATION
FASCIA BRICK		
FB-1	GLEN-GERY	SHREWSBURY MODULAR
FB-2	GLEN-GERY	DOLOMITE GREY WIRECUT
FCP-1	FIBER CEMENT PANEL	JAMES HARDIE, SMOOTH PFP

GENERAL ELEVATION NOTES

- A. REFER TO EXTERIOR MATERIAL SCHEDULE FOR ADDITIONAL FINISH INFORMATION
- B. REFER TO A600 AND A601 FOR STOREFRONT, DOOR AND WINDOW ELEVATIONS
- C. PAINT ALL EXPOSED MISCELLANEOUS STEEL, INCLUDING STEEL LINTELS, PLATES, ETC.

ELEVATION SYMBOLS

- XX — EXTERIOR FINISH MATERIAL
- XX — STOREFRONT/WINDOW TYPE
- XX — EXTERIOR ELEVATION KEYNOTE

EXTERIOR ELEVATION KEYNOTES

- | # | DESCRIPTION |
|----|--|
| 1 | FIBER CEMENT TRIM AND/OR FASCIA BOARD, SMOOTH, PAINTED FINISH (SEE MATERIAL SCHEDULES AND SPECIFICATIONS FOR SPECIFIC FINISH PAINT COLOR). |
| 2 | 6" ALUMINUM GUTTER. REF PROJECT MANUAL. |
| 3 | ROOF HATCH WITH GUARD RAILING |
| 4 | ALUMINUM STOREFRONT WINDOWS |
| 5 | BRICK SOLDIER COURSE |
| 6 | STEEL AND CONCRETE BALCONY WITH PIPE AND TUBE GUARDRAIL. REF. STRUCTURAL AND PROJECT MANUAL. FOR FURTHER DETAIL. |
| 7 | EIFS GABLE. REFER TO WALL SECTIONS FOR EPS INSULATION BOARD THICKNESSES |
| 8 | OVERHEAD SECTIONAL DOOR, SHADED AREAS REPRESENTS SOLID INFILL PANELS, GLASS OTHERWISE; REFER TO DOOR SCHEDULE AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. |
| 9 | INSULATED HOLLOW METAL DOOR IN HOLLOW METAL FRAME. REFERENCE DOOR SCHEDULE |
| 10 | INTERNALLY ILLUMINATED SIGNAGE, PROVIDE POWER. |
| 11 | NON-ILLUMINATED SIGNAGE |
| 12 | LOUVER, DARK BRONZE FINISH, ALIGN WITH BOTTOM OF SOLDIER COURSE WHERE APPLICABLE. REFER TO MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION. LOUVER L1. |
| 13 | SHINGLE ROOFING SYSTEM WITH INSULATED VENTED NAIL BASE. REFERENCE PROJECT MANUAL. |
| 15 | STEEL BOLLARD |
| 16 | PRE-FINISHED METAL RIDGE VENT. REF PROJECT MANUAL. |
| 17 | PRE-FINISHED ALUMINUM 6" GUTTER TIED TO PERIMETER DRAINAGE. REF PROJECT MANUAL AND CIVIL DRAWINGS FOR FURTHER DETAIL. |
| 18 | PRE-FINISHED ALUMINUM 6" GUTTER TIED TO GUTTER BELOW. |
| 19 | OFO SAFEHAVEN BABYBOX. PROVIDE REQUIRED MASONRY OPENING TO ACCOMMODATE UNIT. |
| 20 | MASONRY EQUIPMENT SCREENING ENCLOSURES. REF ARCHITECTURAL AND CIVIL DRAWING FOR MORE DETAILS |



10 W MARKET ST
SUITE 800
INDIANAPOLIS, IN 46204
P: 317.634.0083
F: 317.632.5662
DKGR.AR.COM

OWNER
WESTFIELD WASHINGTON
TOWNSHIP TRUSTEES

17400 WESTFIELD BLVD.
WESTFIELD, IN 46074
P: 317.774.9490

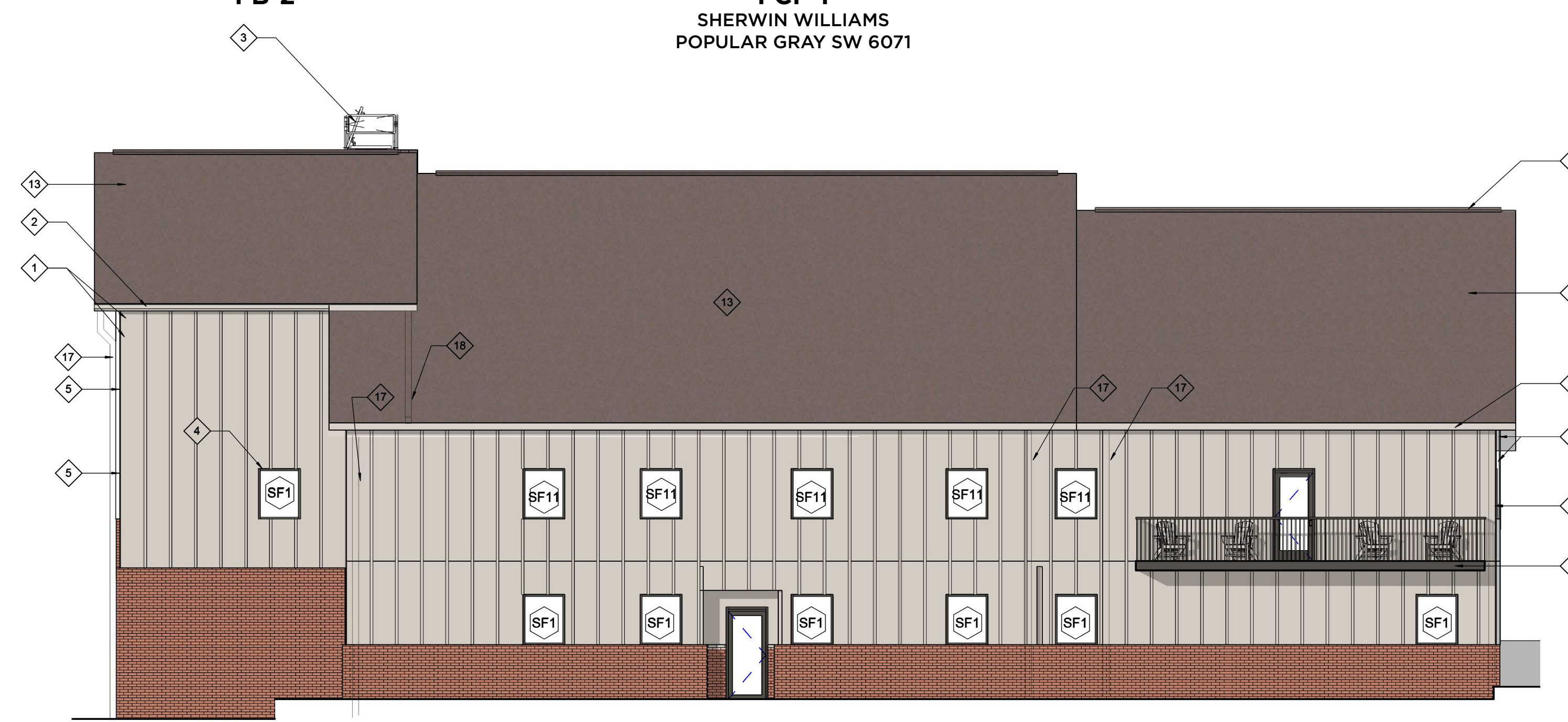
CIVIL AND STRUCTURAL ENGINEERS
JPS CONSULTING ENGINEERS
5385 COUNSELLORS ROW, SUITE 116
INDIANAPOLIS, IN 46240
P: 317.767.4270

MECHANICAL, ELECTRICAL AND PLUMBING ENGINEERS
CIRCLE DESIGN GROUP

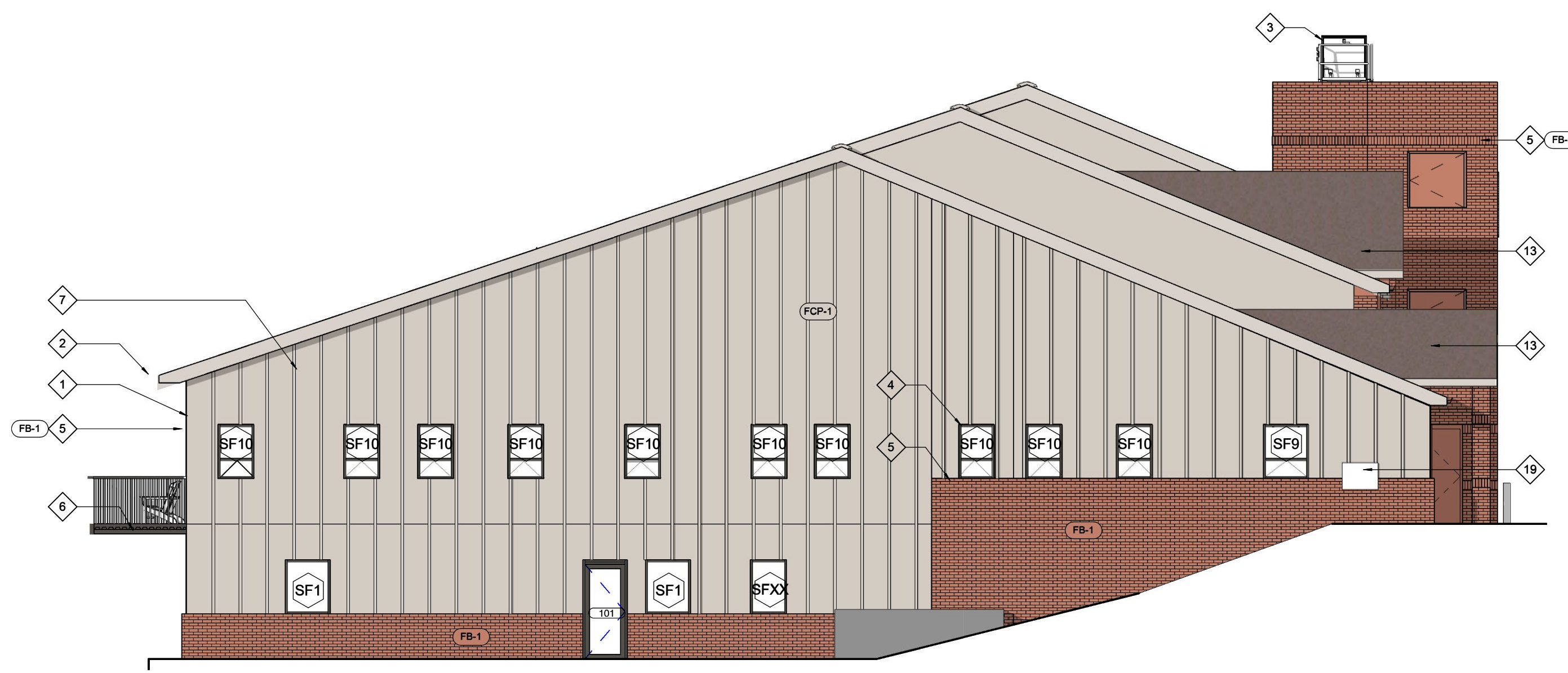
8229 DELEGATES ROW, SUITE 150
INDIANAPOLIS, IN 46240
P: 317.781.6200

SHEET REVISIONS

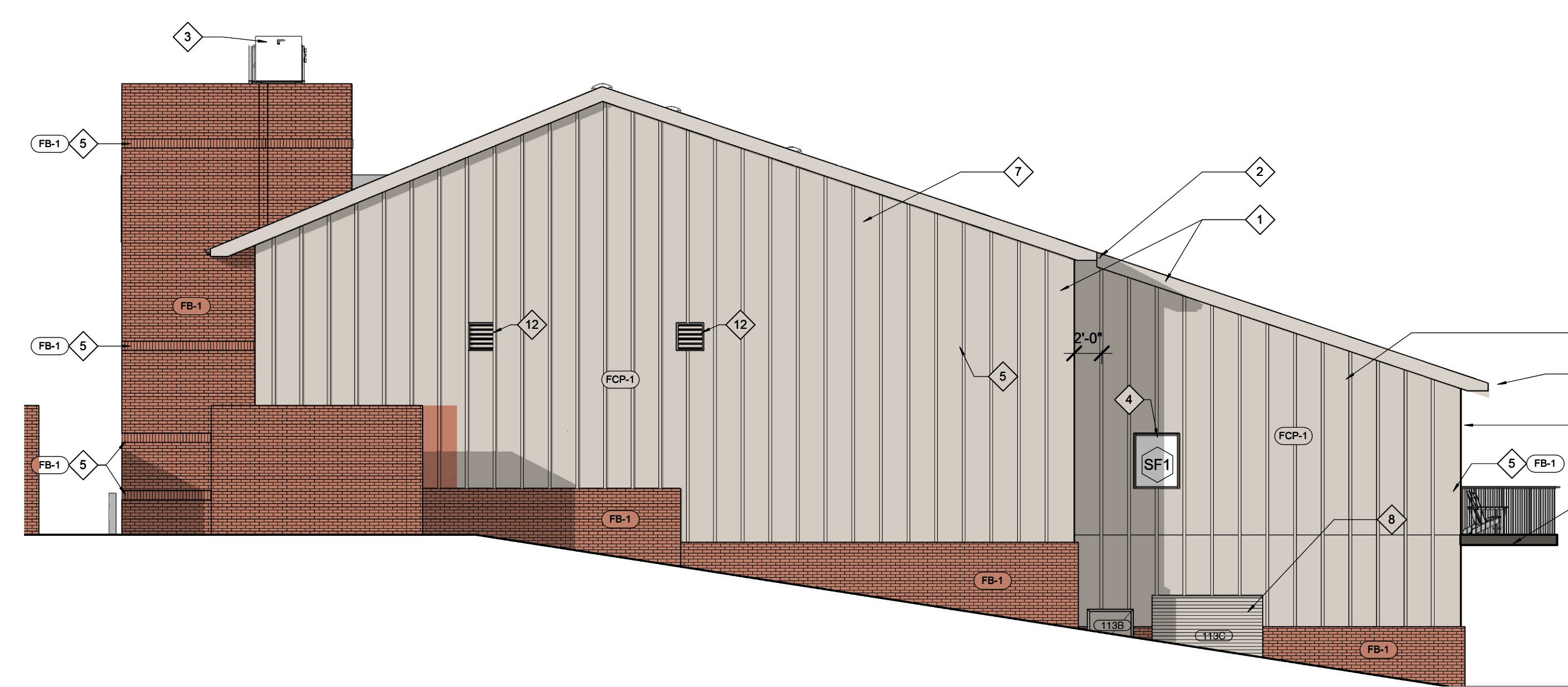
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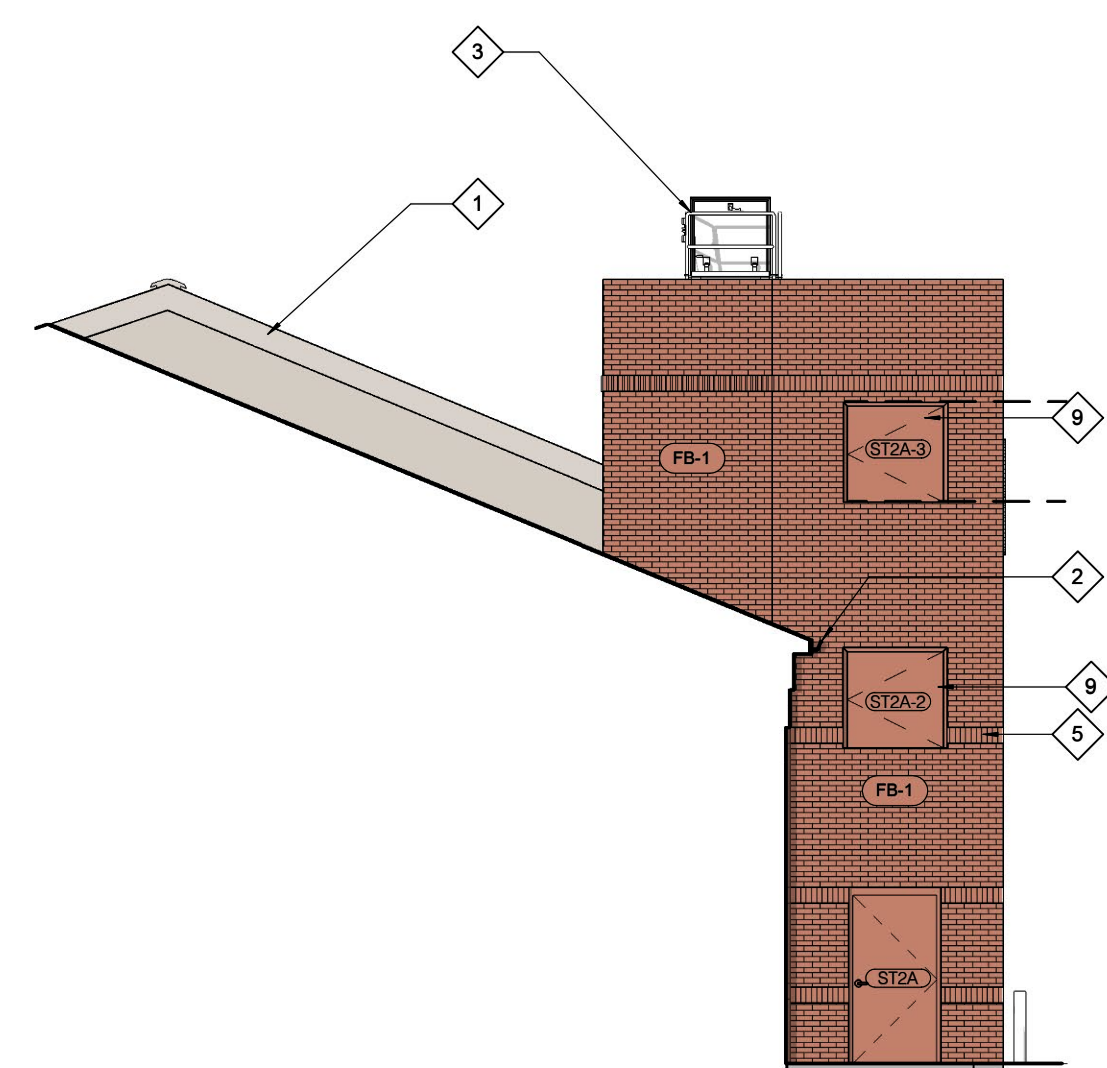
5 NORTH ELEVATION
1/8" = 1'-0"



4 WEST ELEVATION
1/8" = 1'-0"



3 EAST ELEVATION
1/8" = 1'-0"



2 TOWER WEST ELEVATION
1/8" = 1'-0"



1 SOUTH ELEVATION
1/8" = 1'-0"



WESTFIELD / WASHINGTON TWP. FIRE STATION 82

1920 E 151ST STREET
WESTFIELD, IN 46074

DATE:
27 FEBRUARY 2026
PROJECT #:
2024-028

EXTERIOR ELEVATIONS

SHEET NO

A200



Docket Number: 2603-PUD-03 (the “Ordinance”)

Petitioner: Onyx and East, LLC by Nelson & Frankenberger, LLC

Request: A change in zoning for 7.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the 199th & Monon Planned Unit Development (PUD) District

Current Zoning: AG-SF1: Agriculture/Single-Family Rural

Current Land Use: Vacant

Acreeage: 7.5 acres +/- (the “Property”)

Staff Reviewer: Daine Crabtree, Current Planning Manager

PETITION HISTORY

This petition was introduced at the [February 23, 2026](#), City Council meeting. Comments from Councilors primarily focused on the future curve correction of the existing S-curve in 199th Street just prior to the real estate and some minor tree preservation comments – acknowledging that some tree preservation is already proposed with this petition.

The public hearing for this project was held at the [March 2, 2026](#), Advisory Plan Commission meeting. Primary concerns from residents included tree removal and drainage.

The workshop meeting for this petition is currently scheduled for the April 20, 2026, APC meeting.

PROJECT OVERVIEW

Location: The petitioner is requesting to rezone approximately 7.5 acres on the south side of 199th Street, approximately ¼ mile west of the Monon Trail +/- from AG-SF1: Agriculture/Single-Family Rural to the 199th Street and Monon PUD, which was originally approved at the September 9, 2025, City Council meeting.

The Property is located within the New Suburban area of the current Comprehensive Plan’s Land Concept Map and is currently surrounded on all sides by existing or proposed residential development of the Chatham Hills PUD or 199th & Monon PUD save for one (1) AG-SF1 zoned parcel to the west.



ZONING REQUEST

Uses/ Underlying Zoning District

As the Ordinance proposes that the lots on the Property follow the standards set forth for Area A in Ord. 25-39, the underlying zoning will be SF-4: Single-Family Medium Density

Ord. 25-39 set forth a maximum of one hundred and twenty (120) dwelling units. The Primary Plat for the Property governed by Ord. 25-39 on the north side of 199th Street was approved with only 105 lots. As such, the fifteen (15) lots proposed via this Ordinance would still be permitted; no additional lots are being requested.

Concept Plan

A concept plan for the Property is included within the Ordinance. As the Concept Plan does not present an engineered plan, the final site design may differ from what is shown; lots may shift, the size of common areas may shrink or swell and so forth provided all other design and development standards continue to be met. General conformance with the Concept Plan as determined by the Director of Community Development is still required, despite not being stated outright in the Ordinance, as the new Concept Plan provided in this ordinance merely supplements the already existing Concept Plan in Ord. 25-39

Development Standards / Design Standards

With the exception of the specific External Street Frontage Landscaping, Buffer Yard, and Tree Preservation standards included in the Ordinance, all other development and design standards set forth in Ord. 25-39 will continue to apply to the Property.

District Area Assignment

The Ordinance proposes that the lots on the Property be assigned to Area A set forth in Ord. 25-39, which was approved with the following standards applicable:



Standard	Area A
Minimum Lot Area	6,250 SF
Minimum Lot Frontage	40 feet
Minimum Building Setback Lines	
Front Yard	15 feet
Side Yard	5 feet
Rear Yard	15 feet
Minimum Lot Width	50 feet
Maximum Building Height	2.5 stories
Minimum Living Area (Total)	
One Story Dwellings	2,400 SF
Two Story Dwellings	2,400 SF

COMPREHENSIVE PLAN

The Property is located within the Traditional Residential placetype of the Westfield-Washington Comprehensive Plan.

The placetype/land use matrix within the Comprehensive Plan lists Single-Family Detached homes and Private and Public Open Spaces as primary uses while Single-Family Attached, Multiplex, Civil/Public Institution and standalone utilities are listed as secondary uses.

Specifically, the Comprehensive Plan states that, “Traditional Residential placetypes identify existing and new neighborhoods that are low to moderate residential intensity. While not urban in nature, these neighborhoods are walkable and provide a high degree of connectivity between individual neighborhoods. These areas may include smaller infill sites which are often difficult to develop, require flexibility in design, change incrementally, and should generally maintain the existing development fabric.”

Indiana Code states that reasonable regard be paid to the Comprehensive Plan when considering zone map changes; however, the Comprehensive Plan is not law. The Comprehensive Plan is intended to serve as a guide in making land use decisions.



PROCEDURAL

Public Hearing: Planned Unit Development (PUD) Districts are required to be considered at a public hearing by the Plan Commission. The public hearing for this petition was held at the March 2, 2026, Plan Commission meeting. Notice of the public hearing was provided in accordance with Indiana law and the Plan Commission's Rules of Procedure.

Workshop: A workshop discussion meeting for this item is scheduled to be held at the April 20, 2026, APC meeting.

Statutory Considerations:

Indiana Code 36-7-4-603 states that in the consideration of zoning ordinance amendments and zone map changes that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.

DEPARTMENT COMMENTS

1. **Action:** Hold a workshop discussion at the April 20, 2026, Plan Commission meeting.
2. The Petitioner will make any necessary revisions to the proposal based on the Plan Commission comments and any additional Department comments, prior to the Plan Commission's further consideration of this petition.
3. If any Plan Commission member has questions prior to the public hearing, then please contact Daine Crabtree at 317.416.2586 or dcrabtree@westfield.in.gov.

- Removal of lot at south end of pond
- Conceptual resident amenity area (see area south of pond)
 - Lot south of, and adjacent to, the retention pond has been removed. All lots now must be developed on the south of west side of the property in order to be in compliance with the Concept Plan

- Required wooden guardrail along pond street frontage
- Sidewalk with street trees added along east side of street
- Rolled curbs added
- Mail kiosk location proposed (see location along sidewalk)
- Landscaped berm along Jennings property added
- Additional landscaping along east property line
- Proposed/conceptual east berm extension south to existing tree line - berm to be planted

ORDINANCE NUMBER 26-09

199th and Monon PUD District - Amendment I

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON
TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO
THE UNIFIED DEVELOPMENT ORDINANCE**

This is an Ordinance to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Unified Development Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the "City") and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, The Common Council of the City of Westfield, Hamilton County, Indiana (the "Common Council") enacted Ordinance 25-39 on September 8, 2025 (the "199th and Monon PUD");

WHEREAS, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition (**Petition No. 2603-PUD-03**), requesting an amendment to the Unified Development Ordinance and the Zoning Map with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (the "Real Estate") and graphically depicted in **Exhibit B** attached hereto (the "Concept Plan");

WHEREAS, the Commission forwarded **Petition No. 2603-PUD-03** to the Common Council with a _____ recommendation (-) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Common Council on _____, 2026;

WHEREAS, the Common Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Unified Development Ordinance and Zoning Map are hereby changed to incorporate the Real Estate into the 199th and Monon Planned Unit

Development District (the “District”).

- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, (ii) the 199th and Monon PUD, and (iii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance or the 199th and Monon PUD.
- 1.3 Chapter (“*Chapter*”) and Article (“*Article*”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Unified Development Ordinance.
- 1.4 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. **District Area Assignment.** The Real Estate is hereby assigned to Area A of the 199th and Monon PUD (the “Assigned Area”). The standards of the 199th and Monon PUD applicable to the Assigned Area shall apply to the development of the Real Estate.

Section 3. **Concept Plan.** The Concept Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.10(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 3.1 The Concept Plan amends / supplements the existing Concept Plan 199th and Monon PUD Concept Plan.
- 3.2 The number of Lots permitted in the 199th and Monon PUD shall remain unchanged at one-hundred and twenty (120).
- 3.3 No more than fourteen (14) Lots shall be permitted on the Real Estate.

Section 4. **General Regulations and Development Standards.** The General Regulations of Section 6 and Development Standards of Section 7 of the 199th and Monon PUD shall apply to the Development of the Real Estate, except as otherwise modified below:

- 4.1 **Street Trees: Article 6.8(J) Street Trees shall apply, except as modified below.**
 - A. Street trees shall be planted at a minimum of one (1) tree per fifty (50) linear feet, on center, along the east edge of the internal street.

4.2 External Street Frontage Landscaping: Article 6.8(M) Perimeter Street Frontage Landscaping Requirements shall apply, except as modified below:

- A. The width of the External Street Frontage area shall be forty (40) feet and shall include a twenty (20) foot area located on the lots adjacent to 199th Street as depicted on **Exhibit B**, where trees shall remain that shall meet the landscape plant material standards of the UDO. No mound shall be required but shall be permitted
- B. The preservation of existing trees within this area shall be in a area where other easements exist and therefore may be removed in the future if the subject area is needed to meet the function of the easement or for the purpose of site engineering.
- C. Areas of removed trees will be replaced with Street Frontage Landscape materials per the UDO where allowable by easements.

4.3 Buffer Yards: Article 6.8(N) Buffer Yard Requirements shall apply except as modified below.

- A. West Perimeter – A Buffer Yard of forty (40) feet shall be required along the west perimeter of the Real Estate and shall include a twenty (20) foot Tree Preservation Area located on the lots adjacent to the west perimeter of the Real Estate as depicted on **Exhibit C**, Tree Preservation Exhibit. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required. Additionally, a berm with a minimum height of three (3) feet shall be installed as generally depicted on **Exhibit D**. Said berm shall be planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet.
- B. South Perimeter – A (20) foot Tree Preservation Area shall also be located generally along the south side and east side of the lots adjacent to the south perimeter and east perimeter of the Real Estate respectively as depicted on **Exhibit C**.
- C. East Perimeter - A (20) foot Tree Preservation Area shall also be located generally along the east perimeter of the Real Estate as depicted on **Exhibit C**. The existing berm along the east perimeter of the Real Estate shall be extended south approximately eighty (80) feet, to the existing tree line, as depicted on **Exhibit D**, Buffer Yard Exhibit only if granted approval to extend a part of the berm within the adjacent Aberdeen Common Area by the controlling entity. Said berm extension shall be a minimum of four (4) feet in height and planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet. The existing berm on the easter perimeter of the Real Estate shall be planted with

supplemental landscaping materials including a minimum of two (2) shade trees and two (2) ornamental trees per one-hundred (100) linear feet.

Section 5. **Design Standards.** The standards of Chapter 8: Design Standards shall apply to the development of the District except as otherwise modified below:

A. **Open Space and Amenity Standards:** Article 8.6 shall apply except as modified below:

1. A community gathering space, which shall be a passive hardscape area for use by residents, shall be provided at the intersection of the entry street as depicted on **Exhibit B.**
2. The community gathering space shall be a minimum of four-hundred (400) square feet and include permanent seating elements

Section 6. **Annexation.** The Real Estate, or parts thereof that may be the subject of a Secondary Plat approval, shall be annexed into the corporate limits of the City of Westfield prior to the approval and recording of a Secondary Plat for that part of the Real Estate.

Section 7. **Severability.** If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

[Remainder of page intentionally left blank, signature page follows]

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,
HAMILTON COUNTY, INDIANA THIS _____ DAY OF _____, 2025.

WESTFIELD CITY COUNCIL
HAMILTON COUNTY, INDIANA

Voting For

Voting Against

Abstain

Jon Dartt

Jon Dartt

Jon Dartt

Victor McCarty

Victor McCarty

Victor McCarty

Joe Duepner

Joe Duepner

Joe Duepner

Patrick Tamm

Patrick Tamm

Patrick Tamm

Noah Herron

Noah Herron

Noah Herron

Kurt Wanninger

Kurt Wanninger

Kurt Wanninger

Chad Huff

Chad Huff

Chad Huff

ATTEST:

Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE 26-__** was delivered to the Mayor of Westfield
on the _____ day of _____, 2026, at _____ m.

Marla Ailor, Clerk-Treasurer

I hereby APPROVE Ordinance 26-09
this _____ day of _____, 2026.

Scott A. Willis, Mayor

I hereby VETO Ordinance 26-09
this _____ day of _____, 2026.

Scott A. Willis, Mayor

This document prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 11350 N. Meridian St., Suite 320, Carmel, IN 46032 (317) 844-0106.

SCHEDULE OF EXHIBITS

- Exhibit A Real Estate (Legal Description)
- Exhibit B Concept Plan
- Exhibit C Tree Preservation Exhibit
- Exhibit D Buffer Yard Exhibit

EXHIBIT A
REAL ESTATE
(Page 1 of 2)

Overall Legal Description

PARCEL 1: (PID: 29-05-23-000-018.002-014)

A PART OF THE SOUTHEAST QUARTER, SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: COMMENCING AT A REBAR FOUND AT THE WEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 08' 47" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 330.70 FEET TO THE NORTH LINE OF 10 ACRES OF THE SOUTHSIDE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE NORTH LINE THEREOF 320.00 FEET TO THE NORTHEAST CORNER OF "MANDERS", POINT OF BEGINNING AND A REBAR WITH CAP SCRIBED "SEA GROUP FIRM 00091", HEREINAFTER REFERRED TO AS A "REBAR SET"; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST 15.00 FEET TO A REBAR SET; THENCE SOUTH 00 DEGREES 08 MINUTES 47 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 992.76 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 38 MINUTES 26 SECONDS WEST ALONG THE SOUTH LINE THEREOF 336.59 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 17 MINUTES 04 SECONDS EAST ALONG THE WEST LINE THEREOF 583.87 FEET TO THE SOUTHWEST CORNER OF "MANDERS"; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF "MANDERS" 320.19 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 47 SECONDS EAST ALONG THE EASTERLY LINE OF "MANDERS" 408.38 FEET AND THE POINT OF BEGINNING, CONTAINING 4.529 ACRES, MORE OR LESS. SURVEY BY BRIAN CRAIG RISMILLER, LS #20200083.

PARCEL 2: (PID: 29-05-23-000-018.001-014)

A PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST LOCATED IN WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, SAID POINT OF BEGINNING BEING THE NORTHWEST CORNER OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE EASTERLY 320.00 FEET ON AND ALONG THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTHERLY 408.38 FEET PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE WESTERLY 320.00 FEET PARALLEL WITH THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY 408.38 FEET ON AND ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING.

EXHIBIT A
REAL ESTATE
(Page 2 of 2)



EXHIBIT B
CONCEPT PLAN
(Page 1 of 1)



EXHIBIT C
TREE PRESERVATION EXHIBIT
(Page 1 of 1)



EXHIBIT D
BUFFER YARD EXHIBIT
(Page 1 of 1)



ORDINANCE NUMBER ~~26-09~~

199th and Monon PUD District - Amendment I

**AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON
TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO
THE UNIFIED DEVELOPMENT ORDINANCE**

This is an Ordinance to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the "Unified Development Ordinance"), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the "City") and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, The Common Council of the City of Westfield, Hamilton County, Indiana (the "Common Council") enacted Ordinance 25-39 on September 8, 2025 (the "199th and Monon PUD");

WHEREAS, the Westfield-Washington Advisory Plan Commission (the "Commission") considered a petition (**Petition No. ~~26-2603-PUD-~~03**), requesting an amendment to the Unified Development Ordinance and the Zoning Map with regard to the subject real estate more particularly described in **Exhibit A** attached hereto (the "Real Estate") and graphically depicted in **Exhibit B** attached hereto (the "Concept Plan");

WHEREAS, the Commission forwarded **Petition No. ~~26-2603-PUD-~~03** to the Common Council with a _____ recommendation (-) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Common Council on _____, 2026;

WHEREAS, the Common Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Common Council of the City of Westfield, Hamilton County, Indiana, meeting in regular session, that the Unified Development Ordinance and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The Unified Development Ordinance and Zoning Map are hereby changed to incorporate the Real Estate into the 199th and Monon Planned Unit

Development District (the “District”).

- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, (ii) the 199th and Monon PUD, and (iii) the provisions of the Unified Development Ordinance, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance or the 199th and Monon PUD.
- 1.3 Chapter (“*Chapter*”) and Article (“*Article*”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the Unified Development Ordinance.
- 1.4 All provisions and representations of the Unified Development Ordinance that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. **District Area Assignment.** The Real Estate is hereby assigned to Area A of the 199th and Monon PUD (the “Assigned Area”). The standards of the 199th and Monon PUD applicable to the Assigned Area shall apply to the development of the Real Estate.

Section 3. **Concept Plan.** The Concept Plan, attached hereto as **Exhibit B**, is hereby incorporated in accordance with Article 10.10(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 3.1 The Concept Plan amends / supplements the existing Concept Plan 199th and Monon PUD Concept Plan.
- 3.2 The number of Lots permitted in the 199th and Monon PUD shall remain unchanged at one-hundred and twenty (120).

3.3 No more than fourteen (14) Lots shall be permitted on the Real Estate.

Section 4. **General Regulations and Development Standards.** The General Regulations of Section 6 and Development Standards of Section 7 of the 199th and Monon PUD shall apply to the Development of the Real Estate, except as otherwise modified below:

4.1 Street Trees: Article 6.8(J) Street Trees shall apply, except as modified below.

A. Street trees shall be planted at a minimum of one (1) tree per fifty (50) linear feet, on center, along the east edge of the internal street.

4.14.2 External Street Frontage Landscaping: Article 6.8(M) Perimeter Street Frontage Landscaping Requirements shall apply, except as modified below:

- A. The width of the External Street Frontage area shall be forty (40) feet and shall include a twenty (20) foot ~~Free Preservation Area~~ area located on the lots adjacent to 199th Street. as depicted on Exhibit B, where trees shall remain that shall meet the landscape plant material standards of the UDO. No mound shall be required but shall be permitted
- B. The preservation of existing trees within this area shall be in a area where other easements exist and therefore may be removed in the ~~Free Preservation Area, shall~~future if the subject area is needed to meet the ~~landscape plat material standards~~function of the easement or for the purpose of site engineering.
- ~~B.C.~~ Areas of removed trees will be replaced with Street Frontage Landscape materials per the UDO, and therefore no mound shall be required. where allowable by easements.

4.24.3 Buffer Yards: Article 6.8(N) Buffer Yard Requirements shall apply except as modified below.

- A. West Perimeter – A Buffer Yard of forty (40) feet shall be required along the west perimeter of the Real Estate and shall include a twenty (20) foot Tree Preservation Area located on the lots adjacent to the west perimeter of the Real Estate as depicted on Exhibit C, Tree Preservation Exhibit. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required. Additionally, a berm with a minimum height of three (3) feet shall be installed as generally depicted on Exhibit D. Said berm shall be planted with four (4) shade trees and four (4) evergreen trees and ten (10) shrubs per one hundred (100) linear feet.
- B. South Perimeter – A (20) foot Tree Preservation Area shall also be located generally along the south side and east side of the lots adjacent to the south perimeter and east perimeter of the Real Estate respectively as depicted on Exhibit C.
- C. East Perimeter - A (20) foot Tree Preservation Area shall also be located generally along the east perimeter of the Real Estate as depicted on Exhibit C. The existing berm along the east perimeter of the Real Estate shall be extended south approximately eighty (80) feet, to the existing tree line, as depicted on Exhibit D, Buffer Yard Exhibit only if granted approval to extend a part of the berm within the adjacent Aberdeen Common Area by the controlling entity. Said berm extension shall be a minimum of four (4) feet in height and planted with four (4) shade trees and four (4) evergreen

trees and ten (10) shrubs per one hundred (100) linear feet. The existing berm on the easter perimeter of the Real Estate shall be planted with supplemental landscaping materials including a minimum of two (2) shade trees and two (2) ornamental trees per one-hundred (100) linear feet.

~~C. The preservation of existing trees within the Tree Preservation Areas, shall meet the landscape plant material standards of the UDO, and therefore no mound shall be required.~~

Section 5. ~~**Section 9.**~~ **Design Standards.** The standards of Chapter 8: Design Standards shall apply to the development of the District, except as otherwise modified below:

A. Open Space and Amenity Standards: Article 8.6 shall apply except as modified below:

1. A community gathering space, which shall be a passive hardscape area for use by residents, shall be provided at the intersection of the entry street as depicted on **Exhibit B.**
2. The community gathering space shall be a minimum of four-hundred (400) square feet and include permanent seating elements

Section 6. **Annexation.** The Real Estate, or parts thereof that may be the subject of a Secondary Plat approval, shall be annexed into the corporate limits of the City of Westfield prior to the approval and recording of a Secondary Plat for that part of the Real Estate.

Section 7. **Severability.** If any term or provision of this ordinance is held to be illegal or unenforceable, the validity or enforceability of the remainder of this ordinance will not be affected.

[Remainder of page intentionally left blank, signature page follows]

ALL OF WHICH IS HEREBY ADOPTED BY THE CITY COUNCIL OF WESTFIELD,
HAMILTON COUNTY, INDIANA THIS _____ DAY OF _____, 2025.

WESTFIELD CITY COUNCIL
HAMILTON COUNTY, INDIANA

Voting For

Voting Against

Abstain

Jon Dartt

Jon Dartt

Jon Dartt

Victor McCarty

Victor McCarty

Victor McCarty

Joe Duepner

Joe Duepner

Joe Duepner

Patrick Tamm

Patrick Tamm

Patrick Tamm

Noah Herron

Noah Herron

Noah Herron

Kurt Wanninger

Kurt Wanninger

Kurt Wanninger

Chad Huff

Chad Huff

Chad Huff

ATTEST:

Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE 26-**__ was delivered to the Mayor of Westfield
on the ____ day of _____, 2026, at _____ m.

Marla Ailor, Clerk-Treasurer

I hereby APPROVE Ordinance 26-~~06~~-09
this ____ day of _____, 2026.

Scott A. Willis, Mayor

I hereby VETO Ordinance 26-~~06~~-09
this ____ day of _____, 2026.

Scott A. Willis, Mayor

This document prepared by: James E. Shinaver, attorney at law, NELSON & FRANKENBERGER and Jon C. Dobosiewicz, land use professional, NELSON & FRANKENBERGER. 11350 N. Meridian St., Suite 320, Carmel, IN 46032 (317) 844-0106.

SCHEDULE OF EXHIBITS

Exhibit A Real Estate (Legal Description)

Exhibit B Concept Plan

[Exhibit C Tree Preservation Exhibit](#)

[Exhibit D Buffer Yard Exhibit](#)

EXHIBIT A
REAL ESTATE
(Page 1 of 2)

Overall Legal Description

PARCEL 1: (PID: 29-05-23-000-018.002-014)

A PART OF THE SOUTHEAST QUARTER, SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, DESCRIBED AS FOLLOWS: COMMENCING AT A REBAR FOUND AT THE WEST CORNER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 08' 47" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 330.70 FEET TO THE NORTH LINE OF 10 ACRES OF THE SOUTHSIDE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE NORTH LINE THEREOF 320.00 FEET TO THE NORTHEAST CORNER OF "MANDERS", POINT OF BEGINNING AND A REBAR WITH CAP SCRIBED "SEA GROUP FIRM 00091", HEREINAFTER REFERRED TO AS A "REBAR SET"; THENCE CONTINUING ALONG SAID NORTH LINE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST 15.00 FEET TO A REBAR SET; THENCE SOUTH 00 DEGREES 08 MINUTES 47 SECONDS WEST PARALLEL WITH THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER 992.76 FEET TO THE SOUTH LINE OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 38 MINUTES 26 SECONDS WEST ALONG THE SOUTH LINE THEREOF 336.59 FEET TO THE WEST LINE OF THE SOUTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE NORTH 00 DEGREES 17 MINUTES 04 SECONDS EAST ALONG THE WEST LINE THEREOF 583.87 FEET TO THE SOUTHWEST CORNER OF "MANDERS"; THENCE NORTH 89 DEGREES 33 MINUTES 03 SECONDS EAST ALONG THE SOUTH LINE OF "MANDERS" 320.19 FEET; THENCE NORTH 00 DEGREES 08 MINUTES 47 SECONDS EAST ALONG THE EASTERLY LINE OF "MANDERS" 408.38 FEET AND THE POINT OF BEGINNING, CONTAINING 4.529 ACRES, MORE OR LESS. SURVEY BY BRIAN CRAIG RISMILLER, LS #20200083.

PARCEL 2: (PID: 29-05-23-000-018.001-014)

A PART OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST LOCATED IN WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA, BEING MORE SPECIFICALLY DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, SAID POINT OF BEGINNING BEING THE NORTHWEST CORNER OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE EASTERLY 320.00 FEET ON AND ALONG THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER; THENCE SOUTHERLY 408.38 FEET PARALLEL WITH THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE WESTERLY 320.00 FEET PARALLEL WITH THE NORTH LINE OF 10 ACRES OFF THE SOUTH END OF THE NORTHWEST QUARTER OF SAID SOUTHEAST QUARTER TO THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE NORTHERLY 408.38 FEET ON AND ALONG THE WEST LINE OF SAID SOUTHEAST QUARTER TO THE POINT OF BEGINNING.

EXHIBIT A
REAL ESTATE
(Page 2 of 2)



EXHIBIT B
CONCEPT PLAN
(Page 1 of 1)

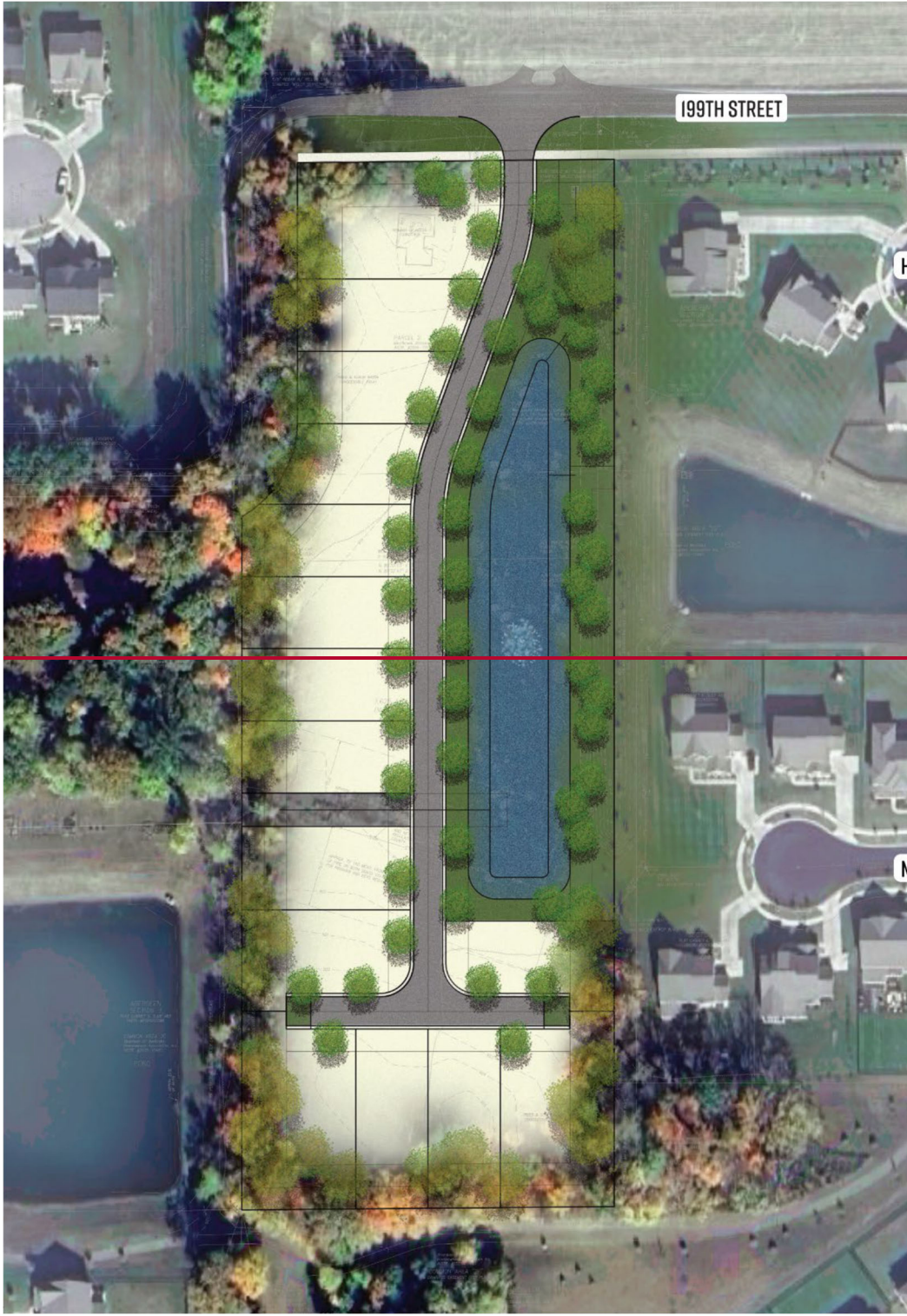




EXHIBIT C
TREE PRESERVATION EXHIBIT
(Page 1 of 1)



EXHIBIT D
BUFFER YARD EXHIBIT
(Page 1 of 1)





LOTS: 14

199TH AND MONON ANNEX CONCEPT PLAN

APRIL 13, 2026





TREE PRESERVATION EASEMENT

199TH AND MONON ANNEX CONCEPT PLAN
APRIL 13, 2026





AI

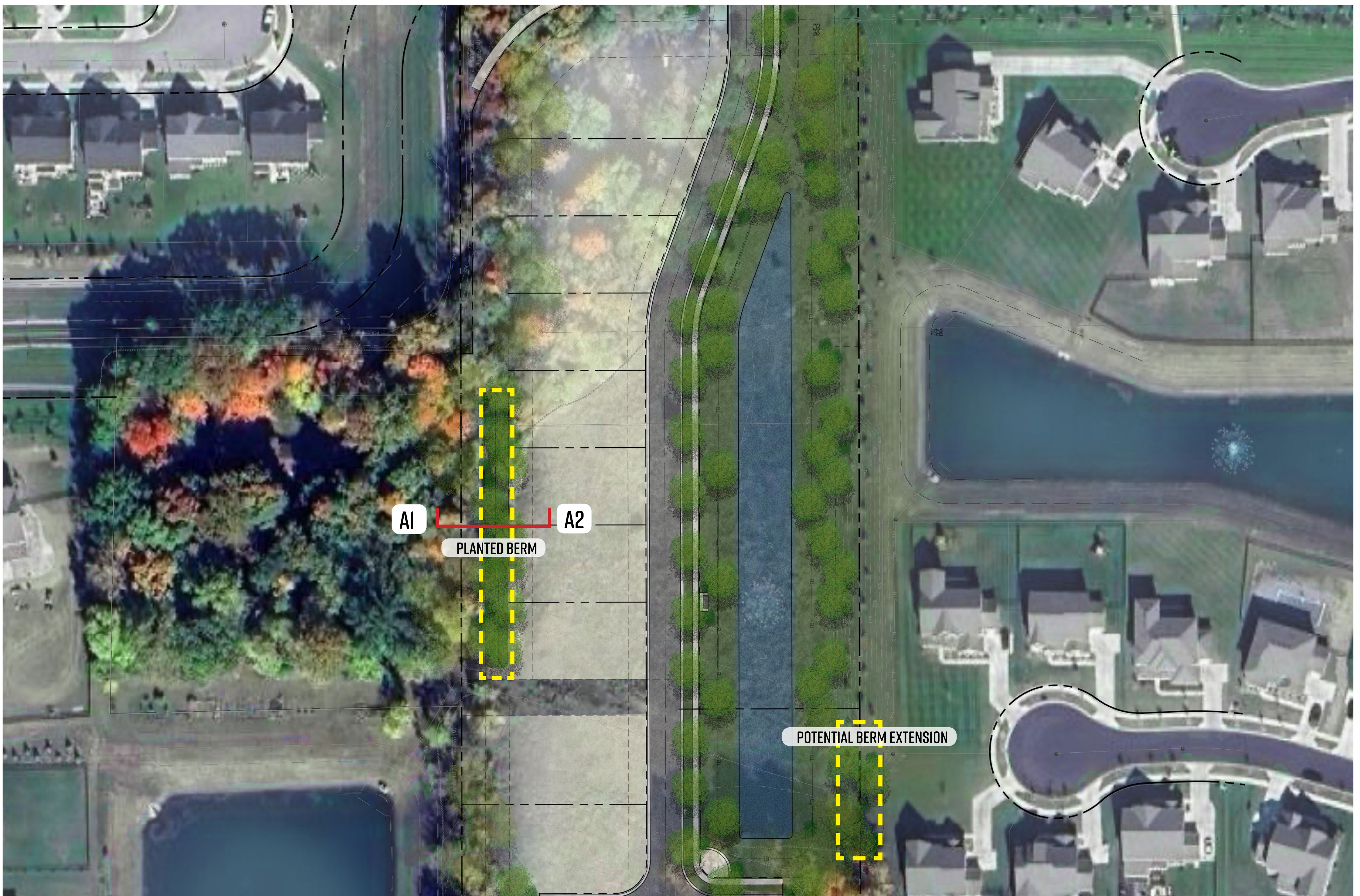
TREE PRESERVATION EASEMENT

LANDSCAPE BUFFERYARD

EASEMENT

BUILDABLE AREA

A2



AI

A2

PLANTED BERM

POTENTIAL BERM EXTENSION





Petition Number: 2603-PUD-04

Project Name: Trace Commons PUD (Ord. 26-08)

Subject Site Address: Generally located southwest of the intersection at SR 32 & Shady Nook Road (the "Property")

Petitioner: Level 2 Development, represented by Church Church Hittle + Antrim (the "Petitioner")

Request: Level 2 Development represented by Church Church Hittle + Antrim requests a change of zoning request for 19.44 acres +/- from the GB-PD: General Business-Planned Development and the GB: General Business District to the Trace Commons Planned Unit Development (PUD) District.

Current Zoning: GB-PD: General Business-Planned Development & GB: General Business

Current Land Use: Vacant / Undeveloped

Approximate Acreage: 19.44 acres +/-

Exhibits:

1. Staff Report
2. Vicinity Map
3. Narrative Statement
4. Clean Ord. 26-08
5. Redlined Ord. 26-08
6. Concept Plan
7. Landscape Plan
8. Supplemental Renderings (Looking South from SR 32)
9. Voluntary Developer Commitments
10. Issue List



- Additional Linked Exhibits:** [District Areas Map](#)
[Area A Character Exhibits](#)
[Area B Character Exhibits](#)
[Area C Character Exhibits](#)
[Site Amenities & Renderings](#)
[Neighborhood Meeting Summary](#)

Staff Reviewer: Ryan Collingwood, Senior Associate Planner

PETITION HISTORY

The petition had its first reading at the [February 23, 2026](#), City Council meeting. Video footage of the item's First Reading can be viewed [here](#).

A neighbor meeting was held on February 24, 2026. A summary of the neighborhood meeting can be viewed within the Neighborhood Meeting Summary.

The petition received a public hearing at the [March 2, 2026](#), Advisory Plan Commission (the "Plan Commission" or "APC") meeting. Video footage of the item's Public Hearing can be viewed [here](#).

This item is slated for a Workshop discussion at the APC's April 20th meeting.

PROJECT OVERVIEW

Location: The Property is generally located south of SR 32, generally southwest of the intersection with SR 32 & Shady Nook Road (see [Exhibit 2](#)).

To the immediate west is a self-storage development. To the east exists the Bonterra development with a few older uses/buildings (IMCU & medical office building).

Project Description: The Petitioner is requesting a change of zoning request from general business uses to the Trace Commons PUD, a mixed-use development consisting of residential, commercial, and recreational uses engaged by the Midland Trace Trail that runs east & west on the Property's southern edge. Both townhomes and multi-family uses encompass the residential portion of the development, while the commercial areas intend to develop with more of a local business focus along SR 32.

This project has Economic Development incentives tied to it; a design review letter is currently being compiled from the Economic Development Department.



PROJECT OVERVIEW

The Trace Commons PUD (Ord. 26-08) is a proposed mixed-use district just south of SR 32 & in between Jeff's Jam-It-In Storage to the west & the Bonterra development to the east. This will be a trail-oriented development on about 20 acres activated by the Midland Trace Trail to the Property's south.

A newly proposed roundabout is also contemplated at the intersection of SR 32 & Shady Nook Road this will help assist in alleviating traffic & movement concerns in and around this existing intersection.

Concept Plan:

- The development will be built in general conformance with the Concept Plan (see **Exhibit 6**).
- The Property will be developed via three (3) distinct Areas: Areas A, B, & C.

Underlying Zoning Classification:

- All three Areas will have underlying zoning designation as the LB: Local Business District.

Permitted Uses:

- All LB: Local Business uses listed in the UDO shall be permitted on the Property.
- **Additional Permitted Uses**
 - Area B: Multi-family Dwelling
 - Area C: Townhouse Dwelling
- **Prohibited Uses**
 - **Areas A & B**
 - Amphitheater/outdoor theatre, Civic center, Museum/exhibition hall, Utilities – not regulated by Indiana Utility Regulatory Commission.
 - **Area C**
 - The only use permitted within Area C is Townhouse Dwellings; all other uses shall be prohibited.
 - Special Exception uses within the LB District are not permitted.
 - Drive-thru facilities are not permitted anywhere on the Property.

General Regulations:

- The SR 32 Overlay shall not apply to the Property.
- Article 4.16(E) [GB Setbacks] shall not apply.
 - Instead, a 20-foot setback from the perimeter of the Property will apply. There shall be no other applicable setbacks to the development.
- **Area B Maximum Units** (multi-family units): 310 units
- **Area C Maximum Units** (townhome dwellings): 30 units

Development Standards:

- **Architectural Standards**
 - Area A
 - Article 6.3(F) will still apply. While Character Exhibits have been compiled for this Area, UDO regulations still apply.
 - Area B
 - Article 6.3 will not apply. Instead, the Character Exhibits compiled for Area B will be applied instead.
 - Area C
 - Article 6.3(E) will still apply. While Character Exhibits have been compiled for this Area, UDO regulations still apply.
- **Landscaping Standards**
 - Article 6.8(I) [Detention & Retention Areas] through Article 6.8(O) [Parking Area Landscaping] will not apply to the Property. Instead, the provided Landscape Plan (**Exhibit 7**) will be the controlling landscape plan.
 - Director is given ability to approved planting substitutions and relocations.
 - [UDO language has been input to help solidify the tree preservation procedure.](#)
- **Parking and Loading Standards**
 - Article 6.14(G)(11) [Off-Street Parking, Required Number of Spaces] will not apply to the development.
 - Instead, parking counts will be determined based off parking data provided by the Petitioner at the Detailed Development Plan phase.

- **Open Space and Amenity Standards**
 - Article 8.6 will not apply.
 - Instead, site amenities will be implemented via the Site Amenities exhibit.

PROJECT MODIFICATIONS SINCE THE MARCH 2ND PUBLIC HEARING DISCUSSION

Since the item's March 2nd public hearing, the following changes have been made to the project petition:

- Ordinance Language Updates: inclusion of tree preservation language to solidify compliance procedure, in which derived from the UDO
- Minor modifications to the “plaza” or “festival” street segment proposal between Bldgs. B & C within the Concept Plan (**Exhibit 6**)
 - *Removed parallel parking opportunities along roadway*
- Establishment of Voluntary Developer Commitments (**Exhibit 9**)
 - Outlining one singular ownership entity for townhome & multi-family residential unit operations
 - *Due to amenity-sharing functionality, target market demographic for residential tenants, and to offer a price opportunity not heavily experienced within Hamilton County via price-point options for renters.*
- An Issue List (**Exhibit 10**) has been compiled, outlining overarching concerns from the Public Hearing discussion

COMPREHENSIVE PLAN

Indiana Code states that reasonable regard be paid to the Comprehensive Plan when considering zoning map changes, however, the Comprehensive Plan is not law. It is simply intended to serve as a guide in making land use decisions.

The Westfield-Washington Township Comprehensive Plan (the “Comprehensive Plan”) identifies the majority of this Property as being within the “Highway Corridors” land use classification (labeled “Employment Corridor” on the Land Use Concept Plan).

Development Policies for “Local Commercial” include: (i) locate local commercial development only in planned centers and only on streets classified as arterials or on frontage roads as depicted on the Land Use Concept Map; (ii) require the size, materials, color, and design of buildings to be unique to Westfield; (iii) Parking areas should be broken up by landscaping or by being located on more than one side of the buildings; (iv) encourage signs that are easy to locate and read, sized and designed in relation to the buildings and the traffic conditions in which they are viewed; and (v) encourage pedestrian connections between local commercial areas and adjacent residential areas.



Thoroughfare Plan: The following corridors are impacted by the development of the Property: (i) Primary Arterial 1: State Road 32, (ii) Collectors: Shady Nook Road; and (iv) Alternative Transportation Plan: Midland Trace Trail.

PROCEDURAL

Public Hearing: A change of zoning request is required to be considered at a public hearing by the Plan Commission. The public hearing for this petition will be held at the March 2, 2026, Plan Commission meeting. Notice of the public hearing was provided in accordance with Indiana law and the Plan Commission's Rules of Procedure.

Statutory Considerations: Indiana Code 36-7-4-603 states that in the consideration of zoning ordinance amendments and zone map changes that reasonable regard shall be paid to:

1. The Comprehensive Plan.
2. Current conditions and the character of current structures and uses.
3. The most desirable use for which the land is adapted.
4. The conservation of property values throughout the jurisdiction.
5. Responsible growth and development.

Council First Reading: The petition had its first reading at the February 23, 2026, Council meeting.

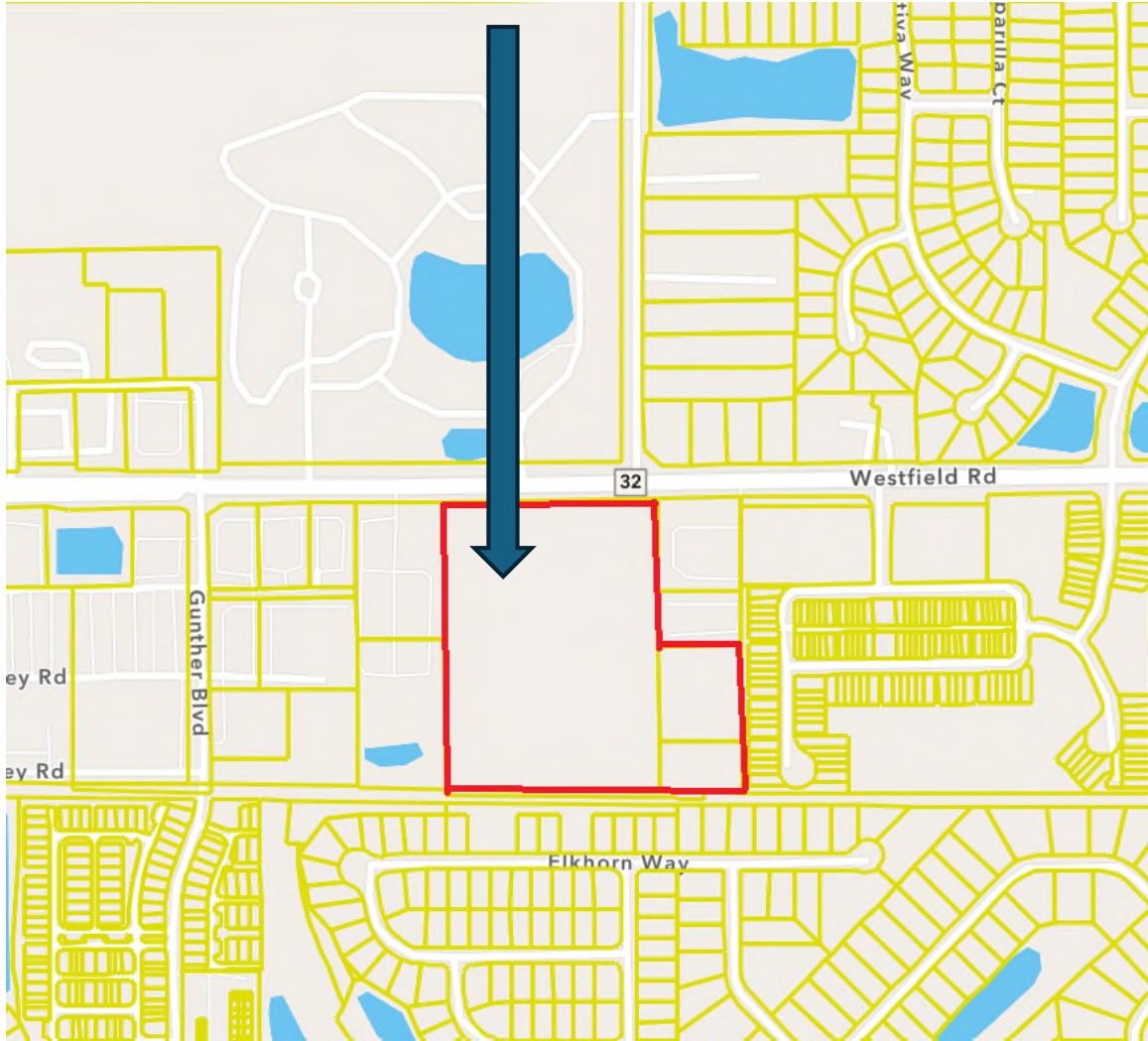
APC Public Hearing: The petition had its public hearing at the March 2, 2026, APC meeting.

DEPARTMENT COMMENTS

1. **Action:** Conduct a Workshop discussion at the April 20, 2026, APC meeting.
2. If any Plan Commission member has questions prior to the public hearing, then please contact Ryan Collingwood at (317) 741-8857 or rcollingwood@westfield.in.gov.

VICINITY MAP

SUBJECT SITE



Narrative Statement

Level 2 Development – Trace Commons Planned Unit Development, 3901 Westfield Road

Level 2 Development is proposing a premier trail-oriented, mixed-use development on approximately 16.53 acres at 3901 Westfield Road, to be known as Trace Commons. The proposal includes approximately 27,000 square feet of commercial space, which serves as the primary gateway and entrance experience to the community. Additionally, the project features two 4-story, mixed-use buildings containing ground-floor retail and 302 residential units, and 25 townhomes strategically located along the Midland Trace Trail.

Trace Commons will provide a much-needed roundabout at the intersection of Shady Nook Road and State Highway 32. Complementing this infrastructure on the trail side, the project is centered on a "Trail-to-Table Experience," where the commercial space is envisioned for locally curated tenants. Targeted concepts for this space include examples such as a signature destination brunch house, a craft coffee roastery, a neighborhood-focused specialty market and cafe, a specialized trail and adventure gear outfitter, and a fitness/wellness studio.

The development is designed to be pedestrian, bike, and stroller-centric, featuring two significant connections to the Midland Trace Trail and a trailhead plaza with a bicycle station and pavilion. At the heart of the community is an activated Plaza Promenade featuring a pop-up gathering space designed for food trucks, farmers' markets, and seasonal events. This social hub is complemented by a well-appointed pond amenity featuring a water feature, elevated waterfront overlooks, and a 1/2-mile walking loop trail.

ORDINANCE NUMBER 26-08

**AN ORDINANCE OF THE CITY OF WESTFIELD AND
WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA
CONCERNING AMENDMENT TO THE UNIFIED DEVELOPMENT
ORDINANCE**

“Trace Commons PUD”

This is a Planned Unit Development District Ordinance, to be known as the TRACE COMMONS PLANNED UNIT DEVELOPMENT (the “**Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. 2603-PUD-04), requesting an amendment to the Unified Development Ordinance and to the Zoning Map with regard to the subject real estate more particularly described in Exhibit 1 attached hereto (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. 2603-PUD-04 to the Common Council of the City of Westfield, Hamilton County, Indiana (the “**Council**”) with a favorable recommendation (X-X) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on _____, 2026;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The UDO and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the “Trace Commons Planned Unit Development District” (the “**District**”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the UDO, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3 Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Concept Plan. The concept plan, attached hereto as Exhibit 2 (the “**Concept Plan**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 2.1 The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “Area A”, “Area B” and “Area C” (individually or collectively, the “**Area**” or “**Areas**”).
- 2.2 The Real Estate shall be developed in substantial conformance with the Concept Plan.

Section 3. Underlying Zoning District(s). The Underlying Zoning District of Areas A, B and C shall be the LB: Local and Neighborhood Business District (the “**Underlying Zoning District**”).

Section 4. Permitted Uses. All uses permitted in the Underlying Zoning District shall be permitted, except as otherwise modified below:

- 4.1 Additional Uses: The following additional uses shall be permitted:
 - A. Area A – None
 - B. Area B – Multi-family Dwelling
 - C. Area C – Townhouse Dwelling
- 4.2 Prohibited Uses: The following uses shall be prohibited:
 - A. All Special Exception Uses, except as otherwise permitted in this Ordinance.

B. Drive-thru facilities shall not be permitted on the Real Estate.

C. Area A

1. Amphitheater/outdoor theatre
2. Civic center
3. Museum/exhibition hall
4. Utilities – not regulated by Indiana Utility Regulatory Commission

D. Area B

1. Amphitheater/outdoor theatre
2. Civic center
3. Museum/exhibition hall
4. Utilities – not regulated by Indiana Utility Regulatory Commission

E. Area C – All uses except Townhouse Dwellings shall be prohibited in Area C.

Section 5. General Regulations. The standards of Chapter 4 Zoning Districts, as applicable to the Underlying Zoning District, shall apply to the development of the Real Estate, except as otherwise modified below.

5.1 Development Standards:

- A. Article 4.14(E) shall not apply. Instead, a Minimum 20’ Building Setback along the perimeter of the District shall be provided. There shall be no other Building Setback requirements within the District.
- B. The maximum number of Dwelling Units permitted in Area B shall be 310.
- C. The maximum number of Dwelling Units in Area C shall be 30.

Section 6. Overlay District. The State Highway 32 Overlay District shall not apply to the District.

Section 7. Development Standards. The standards of Chapter 6 Development Standards shall apply to the development of the Real Estate, except as otherwise modified below.

7.1 Article 6.3 Architectural Standards:

- A. Article 6.3(F) of the UDO shall apply to Area A of the District. Architectural character examples are attached hereto as Exhibit 3 (the “**Area A Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of Area A. The architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be

built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

- B. Article 6.3 shall not apply to Area B of the District. Instead, the Buildings in Area B shall be constructed in substantial conformance with the depictions included in Exhibit 4 (the “**Area B Character Exhibit**”).
- C. Article 6.3(E) of the UDO shall apply to Area C of the District. Architectural character examples are attached hereto as Exhibit 5 (the “**Area C Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of the Area C. The architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

7.2 Landscaping Standards. Articles 6.8(I) through (O) shall not apply to the District. Instead landscaping shall be installed in substantial compliance with the detailed landscaping plans attached hereto as Exhibit 6 (the “**Landscaping Plans**”). Tree preservation areas shall be provided in accordance with the provisions of Article 6.8(E) of the UDO, and in substantial conformance with the tree preservation areas identified on the Concept Plan. The Director shall have the authority to approve planting substitutions and relocations in the event needed, so long as the overall design and effect of such landscaping installations are maintained as determined by the Director.

7.3 Parking and Loading Standards. Article 6.14 shall apply to the development of the District, except as otherwise modified below

- A. Off-Street Parking, Required Spaces. Article 6.14(G)(11) shall not apply to the District. Parking Space requirements shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for a Detailed Development Plan.

7.4 The standards of Article 8.6 of the UDO shall not apply to the District. Instead, site amenities in substantial conformance with the depictions and description included in Exhibit 7 (“**Site Amenities**”) shall be provided.

Section 8. Infrastructure Standards. The District's infrastructure shall comply with the UDO and the City’s Construction Standards (see Chapter 7 Subdivision Regulations) unless otherwise approved by the Department of Public Works.

ALL OF WHICH IS ORDAINED/RESOLVED THIS ___ DAY OF _____, 2026.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

Jon Dartt

Jon Dartt

Jon Dartt

Victor McCarty

Victor McCarty

Victor McCarty

Joe Duepner

Joe Duepner

Joe Duepner

Patrick T. Tamm

Patrick T. Tamm

Patrick T. Tamm

Noah Herron

Noah Herron

Noah Herron

Chad Huff

Chad Huff

Chad Huff

Kurt Wanninger

Kurt Wanninger

Kurt Wanninger

ATTEST:

Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE** _____ was delivered to the Mayor of Westfield on the _____ day of _____, 2026, at _____ m.

Marla Ailor, Clerk-Treasurer

I hereby **APPROVE ORDINANCE** _____
this _____ day of _____, 2026.

I hereby **VETO ORDINANCE** _____
this _____ day of _____, 2026.

Scott A. Willis, Mayor

Scott A. Willis, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

EXHIBIT 1

The "Real Estate"

Part of the Northwest Quarter of Section 5, Township 18 North, Range 4 East in Hamilton County, Indiana, described as follows:

Begin at a point 2720.5 feet West of the Northeast corner of the Northeast Quarter of Section 5, Township 18 North, Range 4 East; thence South on and along a fence line parallel to the half Section line 963.7 feet to the intersection with the North right-of-way fence line of the Central Indiana Railroad, said point being 50.53 feet West of the East line of the Northwest Quarter; thence Westerly on and along said right-of-way fence, 667.00 feet to an iron stake; thence North parallel to the East line of this tract, 947.7 feet to the intersection with the center of State Highway No. 32; thence East on and along said center line 667.00 feet to the Place Of Beginning.

AND ASLO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows:

Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 seconds West parallel with the West line of the said Northeast quarter 808.59 feet to a rebar and cap set inscribed "Wright 9700013" to the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West 158.46 feet to a rebar and cap set inscribed "Wright 9700013" on the North right of way line of the former Central Indiana Railway Company; thence North 88 degrees 55 minutes 40 seconds West on and along the said right of way line 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East 158.46 feet; thence South 88 degrees 55 minutes 40 seconds East 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 0.93 acres more or less.

AND ALSO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows: Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 feet from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 minutes West parallel with the West line of the said Northeast Quarter 510.00 feet to a rebar and cap set inscribed "Wright 9700013" also being the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West parallel with the

West line of the said Northeast quarter 298.59 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 88 degrees 55 minutes 40 seconds West and parallel with the North right of way line of the former Central Indiana Railway Company 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East parallel with the East line of the said Northwest Quarter 294.73 feet to a rebar and cap inscribed "Wright 9700013"; thence South 89 degrees 47 minutes 03 seconds East parallel with the North line of said Northeast Quarter 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 1.76 acres more or less.

Subject to all pertinent easements, restrictions and right of ways.

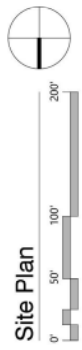
EXHIBIT 2

The “Concept Plan”

The “Concept Plan” appears on the following two (2) pages of this Exhibit 2.

PROJECT DATA:

Apartment Units: 308
Apartment Building GSF: A: 226,590 GSF
B: 123,224 GSF
Townhomes: 25 Total
Retail Area: 27,850 SF
Surface Parking: 519 P.S.

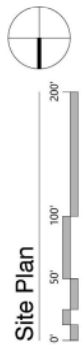
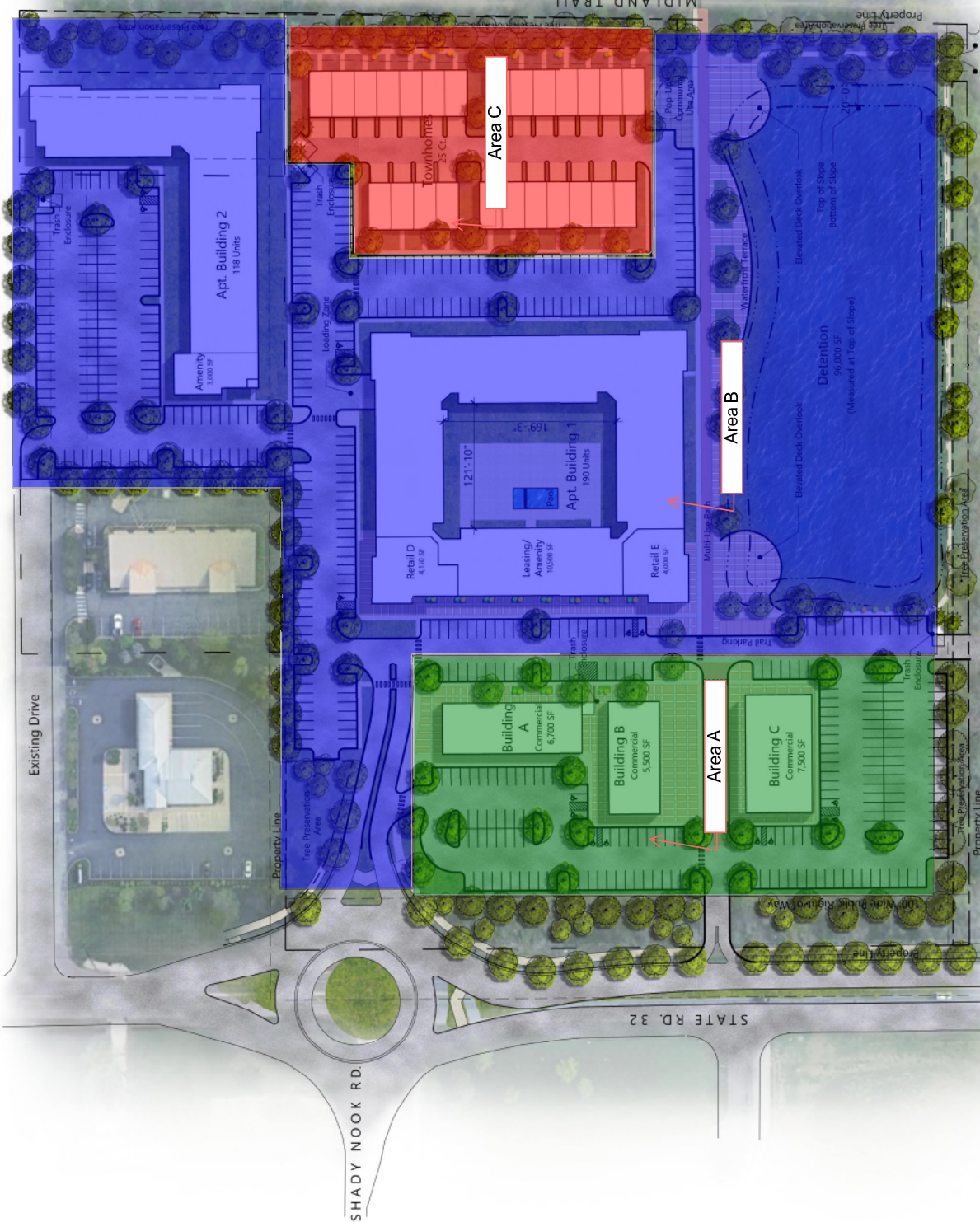


2025073

L2 Westfield Apartments/Mixed-Use
Westfield, IN | 08 April 2026

PROJECT DATA:

Apartment Units: 308
 Apartment Building GSF: A: 226,590 GSF
 B: 123,224 GSF
 Townhomes: 25 Total
 Retail Area: 27,850 SF
 Surface Parking: 519 P.S.



2025073

L2 Westfield Apartments/Mixed-Use
 Westfield, IN | 08 April 2026

EXHIBIT 3

“Area A Character Exhibit”

The “Area A Character Exhibit” appears on the following nine (9) pages of this Exhibit 3.









View of Retail

Rendering for conceptual design intent only. Final design may vary.



View of Retail

Rendering for conceptual design intent only. Final design may vary.

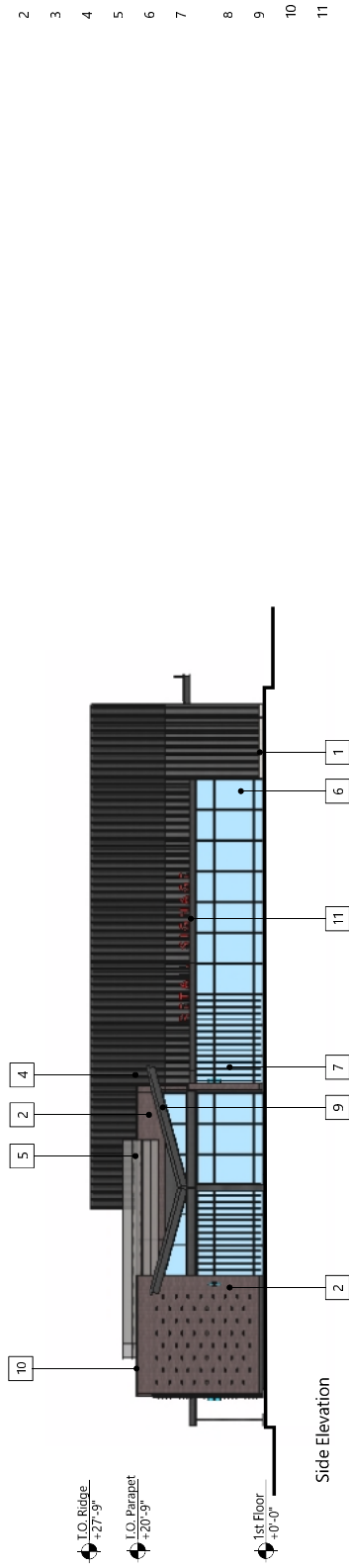


View of Retail

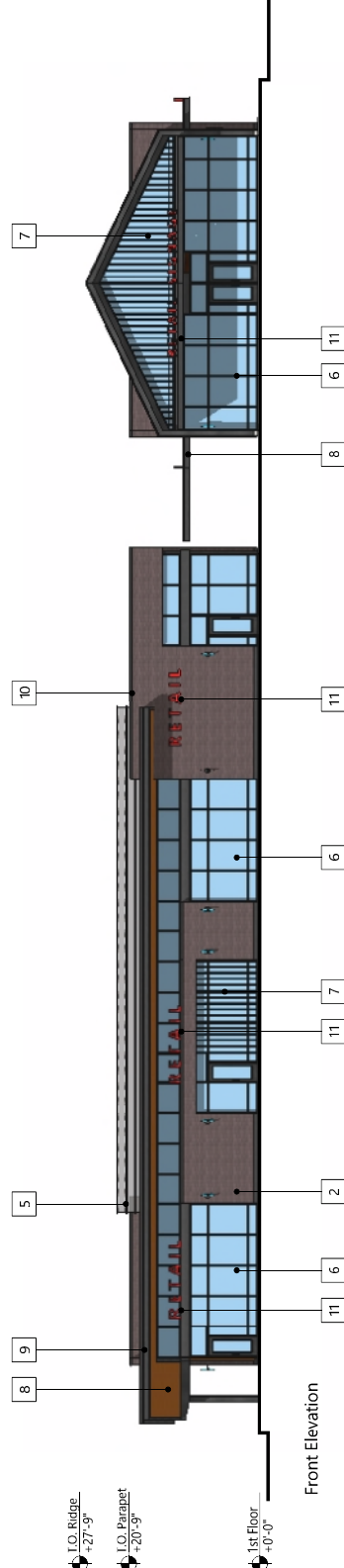
Rendering for conceptual design intent only. Final design may vary.

MATERIALS KEY: RETAIL

- 1 Unit Masonry Veneer
- 2 Color: Light Gray
- 3 Brick Veneer
- 4 Dark Plum
- 5 Ribbed Metal Panel
- 6 Color: Black
- 7 Standing Seam Metal Siding/Roof
- 8 Color: Dark Gray
- 9 Aluminum Perforated Screen Wall
- 10 Color: Gray
- 11 Storefront Glazing System
- 12 Color: Clear Glazing with Black Mullions
- 13 Fixed Vertical Wood Slit Screen Integrated with Storefront System
- 14 Color: Wood Tone
- 15 Tongue and Groove Soffit Planks
- 16 Color: Wood Tone
- 17 Steel or Aluminum Canopy
- 18 Color: Black
- 19 Metal Parapet Coping
- 20 Color: Black
- 21 Building Signage Location



Side Elevation



Front Elevation

Note: All rooftop mechanical units to be fully screened.

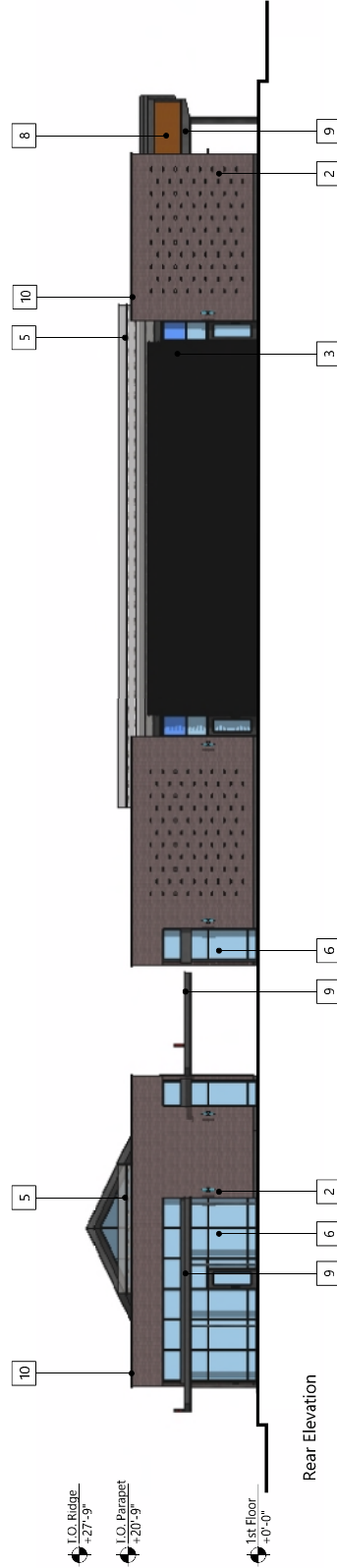
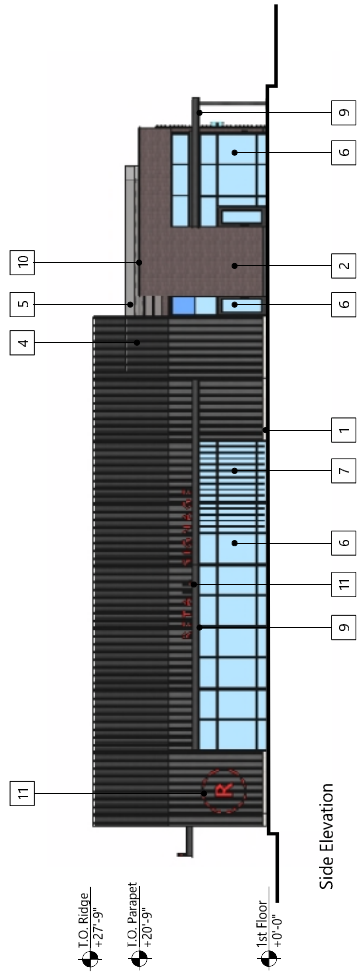
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail A & B



MATERIALS KEY: RETAIL

- 1 Unit Masonry Veneer
- 2 Color: Light Gray
- 3 Ribbed Metal Panel
- 4 Color: Black
- 5 Standing Seam Metal Siding/Roof
- 6 Aluminum Perforated Screen Wall
- 7 Fixed Vertical Wood Slat Screen Integrated with Storefront System
- 8 Tongue and Groove Soffit Planks
- 9 Steel or Aluminum Canopy
- 10 Metal Parapet Coping
- 11 Building Signage Location



Note: All rooftop mechanical units to be fully screened.

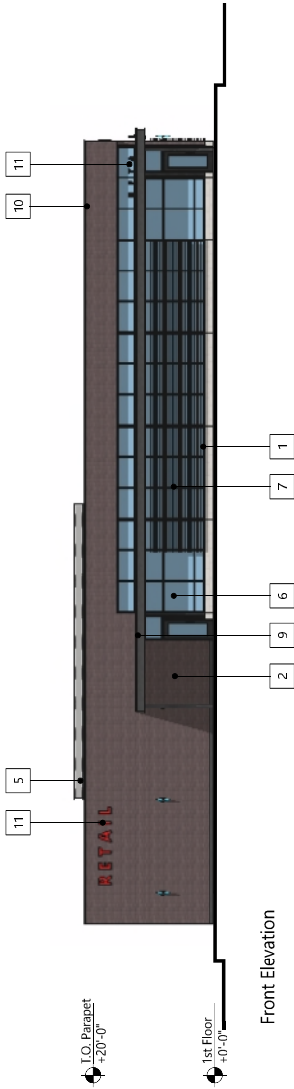
Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail A & B

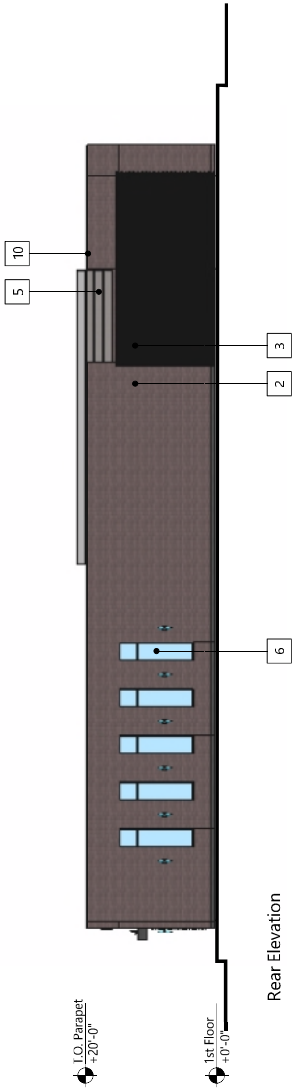


MATERIALS KEY: RETAIL

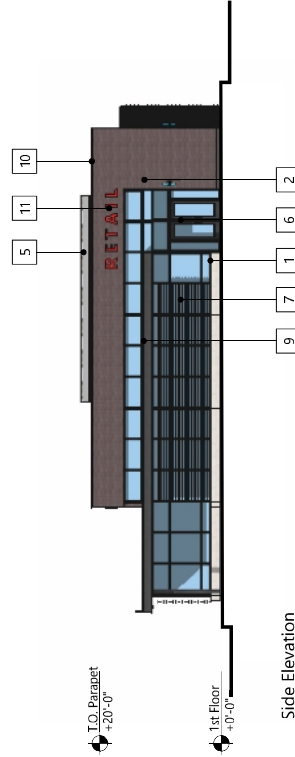
- 1 Unit Masonry Veneer
- 2 Brick Veneer
- 3 Ribbed Metal Panel
- 4 Standing Seam Metal Siding/Roof
- 5 Aluminum Perforated Screen Wall
- 6 Aluminum Slotted Glazing System
- 7 Fixed Vertical Wood Slit Screen Integrated with Storefront System
- 8 Tongue and Groove Soffit Planks
- 9 Steel or Aluminum Canopy
- 10 Metal Parapet Coping
- 11 Building Signage Location



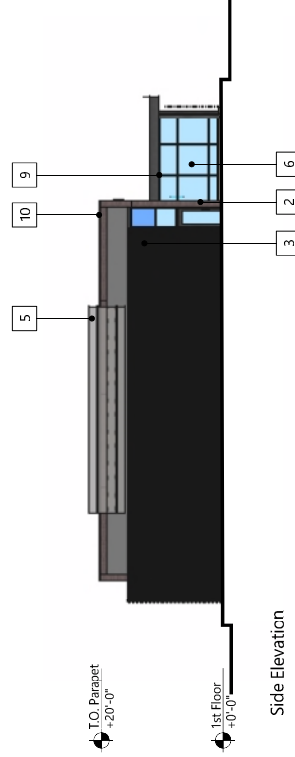
Front Elevation



Rear Elevation



Side Elevation



Side Elevation

Note: All rooftop mechanical units to be fully screened.

Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Retail C



EXHIBIT 4

“Area B Character Exhibit”

The “Area B Character Exhibit” appears on the following eight (8) pages of this Exhibit 4.



SSCSO





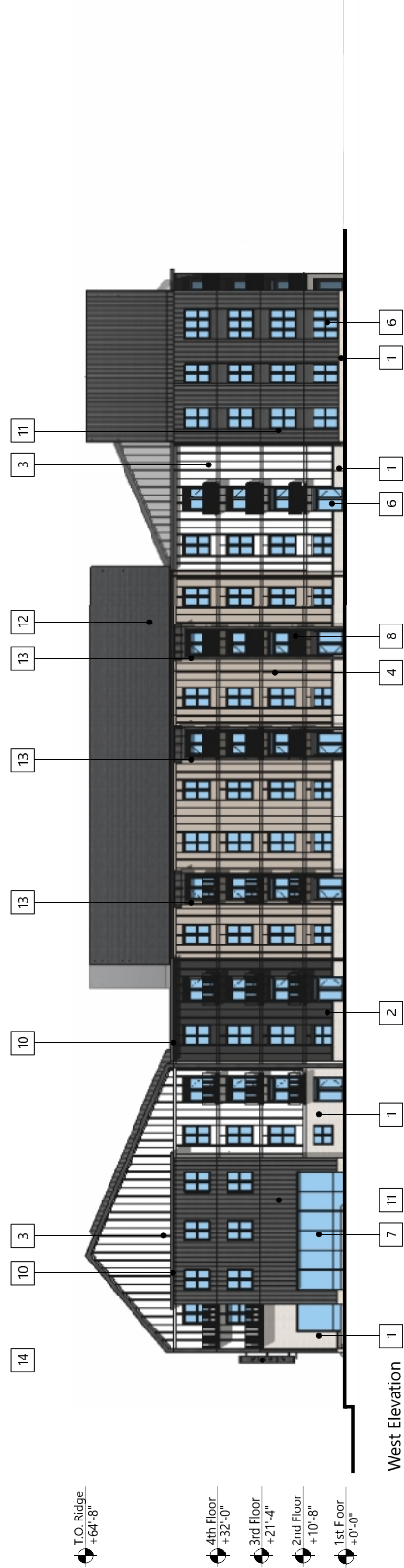




CSO

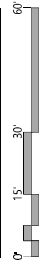
MATERIALS KEY:

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel
Color: Dark Gray
- 3 Vertical Board & Batten Fiber Cement Panel
Color: Warm White
- 4 Vertical Board & Batten Fiber Cement Panel
Color: Black
- 5 Vertical Board & Batten Fiber Cement Panel
Color: Black
- 6 Unit Fiberglass Windows/Patio Doors
Color: Black
- 7 Aluminum Soffit Glazing System
Color: Clear Glazing with Black Mullions
- 8 Metal Balconies and Railing
Color: Black
- 9 Steel or Aluminum Canopy
Color: Black
- 10 Metal Parapet Coping: C-Channel Profile
Color: Black
- 11 Standing Seam Metal Siding/Roof
Color: Dark Gray
- 12 Asphalt Shingle Roof
Color: Dark Gray
- 13 Post Supported Balconies with Sheet Roof
Color: Dark Gray
- 14 Building Signage Location



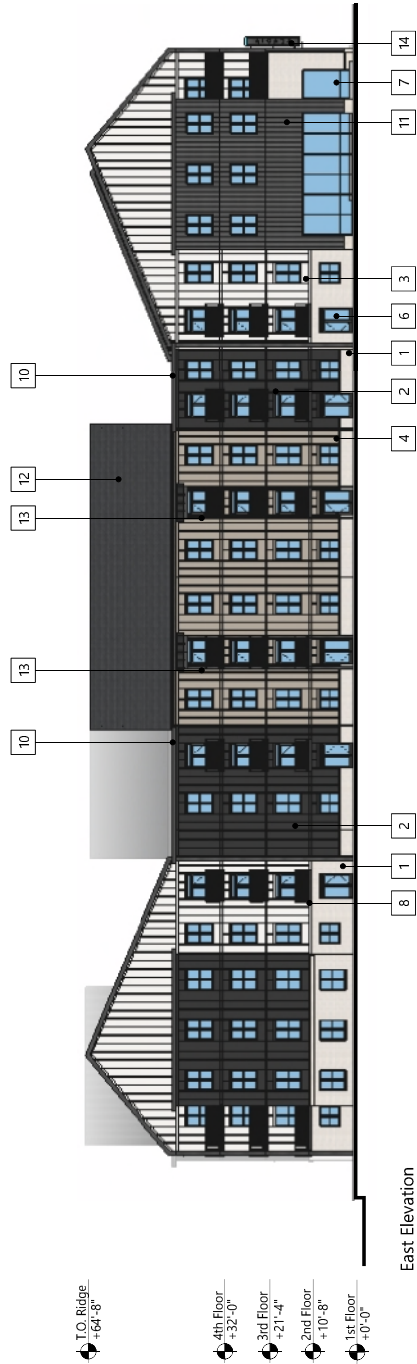
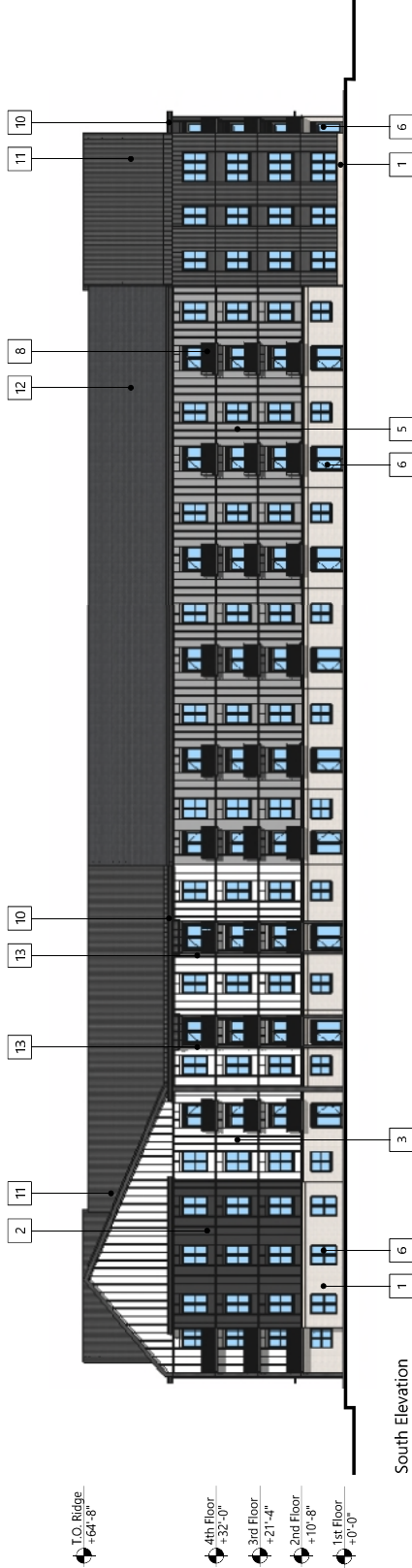
Rendering for conceptual design
intent only. Final design may vary.

Exterior Elevations - Apt. A



MATERIALS KEY:

- 1 Unit Masonry Veneer
- 2 Color: Buff
- 3 Vertical Board & Batten Fiber Cement Panel
- 4 Color: Dark Gray
- 5 Vertical Board & Batten Fiber Cement Panel
- 6 Color: Warm White
- 7 Vertical Board & Batten Fiber Cement Panel
- 8 Color: Buff
- 9 Vertical Board & Batten Fiber Cement Panel
- 10 Color: Black
- 11 Unit Fiberglass Windows/Patio Doors
- 12 Color: Black
- 13 Aluminum Storefront Glazing System
- 14 Metal Balconies and Railing
- 15 Color: Clear Glazing with Black Mullions
- 16 Steel or Aluminum Canopy
- 17 Color: Black
- 18 Metal Parapet Coping: C-Channel Profile
- 19 Color: Black
- 20 Standing Seam Metal Siding/Roof
- 21 Color: Dark Gray
- 22 Asphalt Shingle Roof
- 23 Color: Dark Gray
- 24 Post Supported Balconies with Sheet Roof
- 25 Color: Dark Gray
- 26 Building Signage Location



Rendering for conceptual design intent only. Final design may vary.

Exterior Elevations - Apt. A



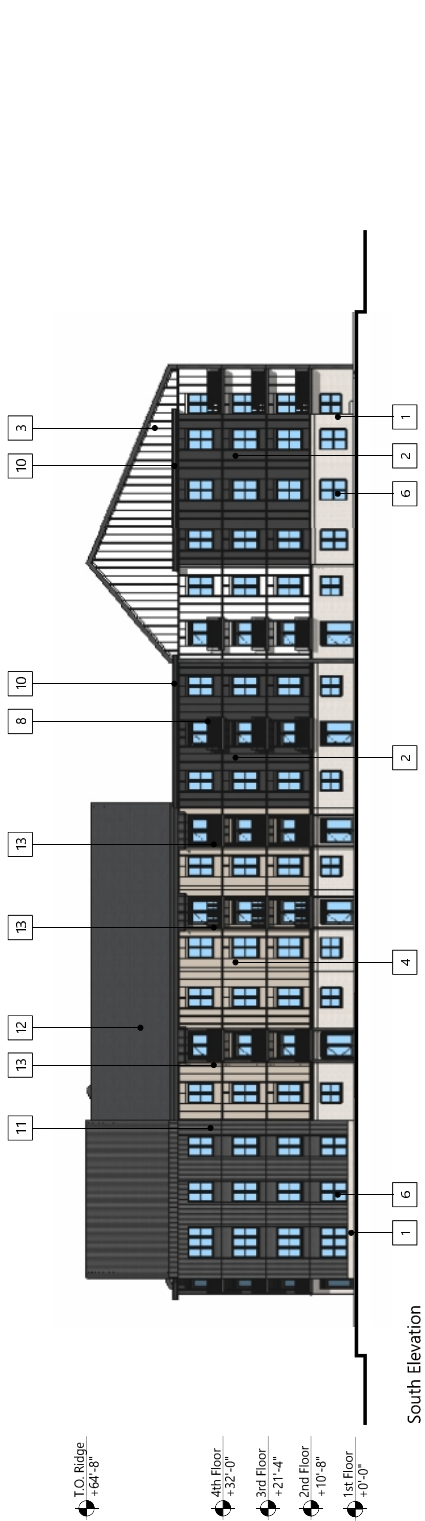
L2 Westfield Apartments/Mixed-Use

Westfield, IN | 23 December 2025

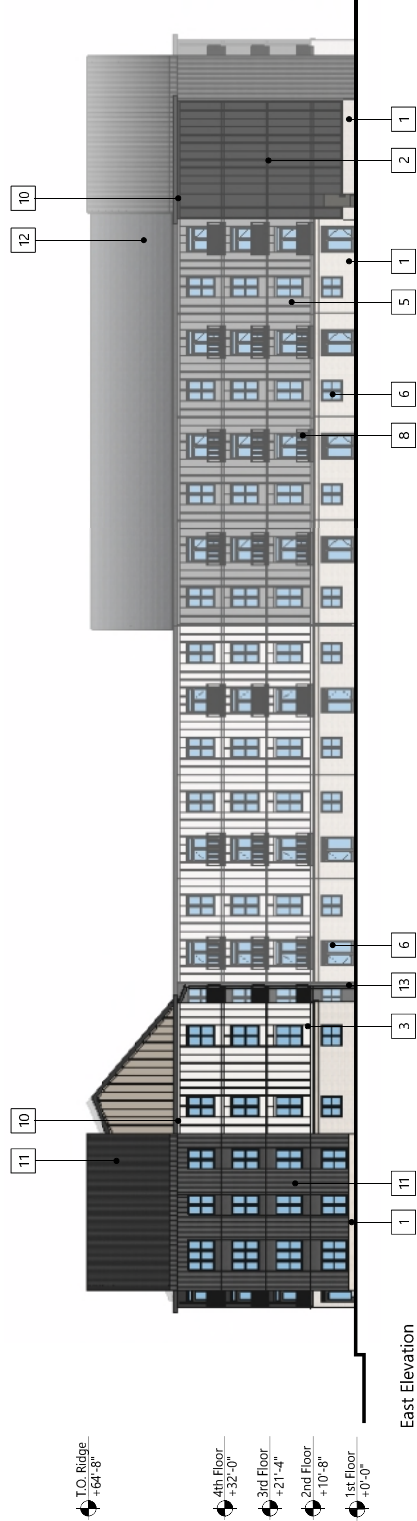


MATERIALS KEY:

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel
- 3 Vertical Board & Batten Fiber Cement Panel
- 4 Vertical Board & Batten Fiber Cement Panel
- 5 Vertical Board & Batten Fiber Cement Panel
- 6 Unit Fiberglass Windows/Patio Doors
- 7 Aluminum Storefront Glazing System
- 8 Metal Balconies and Railing
- 9 Steel or Aluminum Canopy
- 10 Metal Parapet Coping; C-Channel Profile
- 11 Standing Seam Metal Siding/Roof
- 12 Asphalt Shingle Roof
- 13 Post Supported Balconies with Sheat Roof
- 14 Building Signage Location



South Elevation



East Elevation

Rendering for conceptual design
intent only. Final design may vary.

Exterior Elevations - Apt. B

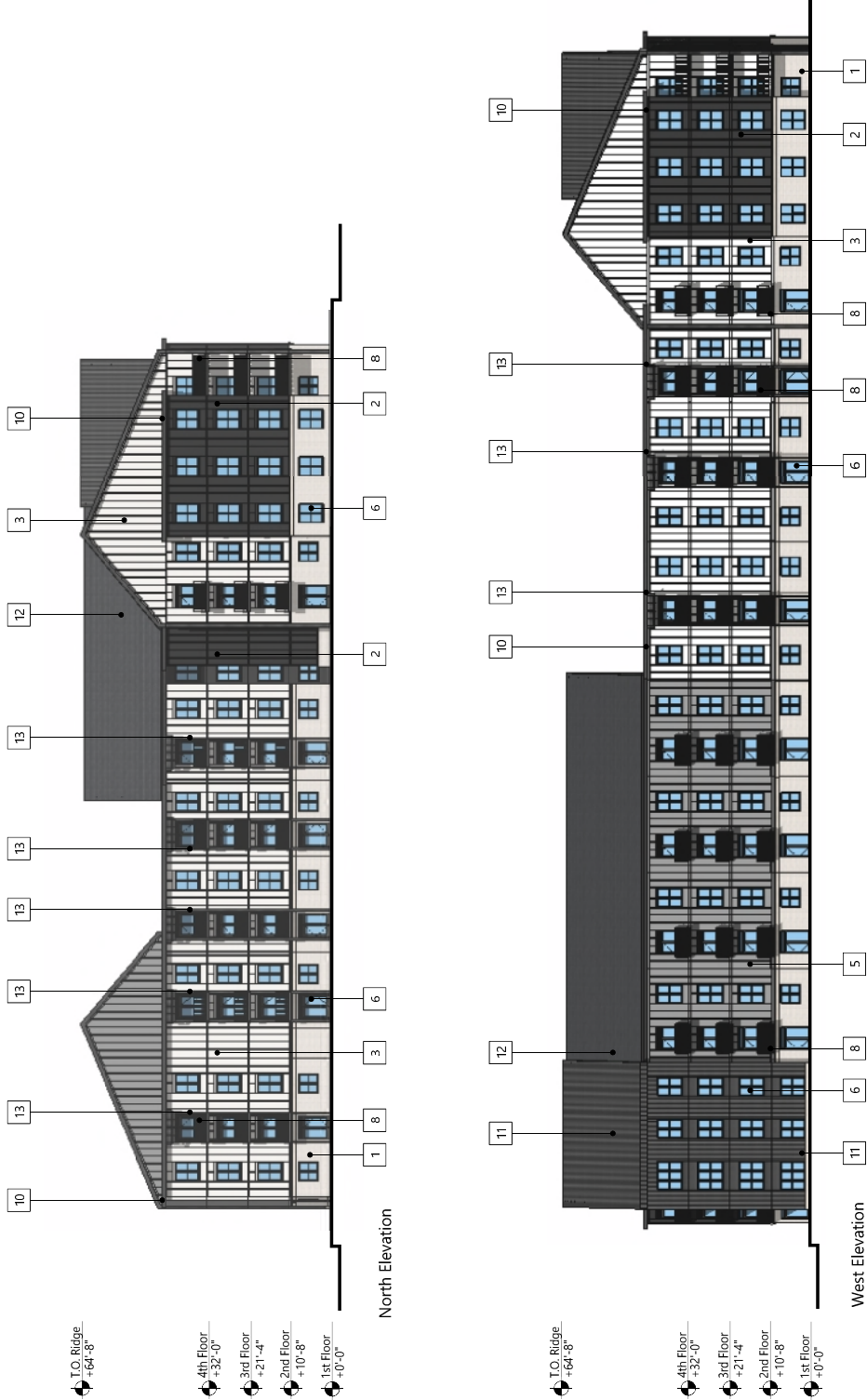


L2 Westfield Apartments/Mixed-Use

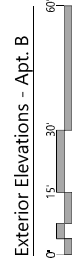
Westfield, IN | 23 December 2025

MATERIALS KEY:

- 1 Unit Masonry Veneer
- 2 Vertical Board & Batten Fiber Cement Panel
Color: Dark Gray
- 3 Vertical Board & Batten Fiber Cement Panel
Color: Warm White
- 4 Vertical Board & Batten Fiber Cement Panel
Color: Warm White
- 5 Vertical Board & Batten Fiber Cement Panel
Color: Warm White
- 6 Unit Fiberglass Windows/Patio Doors
Color: Black
- 7 Aluminum Storefront Glazing System
Color: Clear Glazing with Black Mullions
Color: Black
- 8 Metal Balconies and Railing
Color: Black
- 9 Steel or Aluminum Canopy
Color: Black
- 10 Metal Parapet Coping: C-Channel Profile
Color: Black
- 11 Standing Seam Metal Siding/Roof
Color: Dark Gray
- 12 Asphalt Shingle Roof
Color: Dark Gray
- 13 Post-Supported Balconies with Sheet Roof
Color: Dark Gray
- 14 Building Signage Location



Rendering for conceptual design
intent only. Final design may vary.



L2 Westfield Apartments/Mixed-Use

Westfield, IN | 23 December 2025



EXHIBIT 5

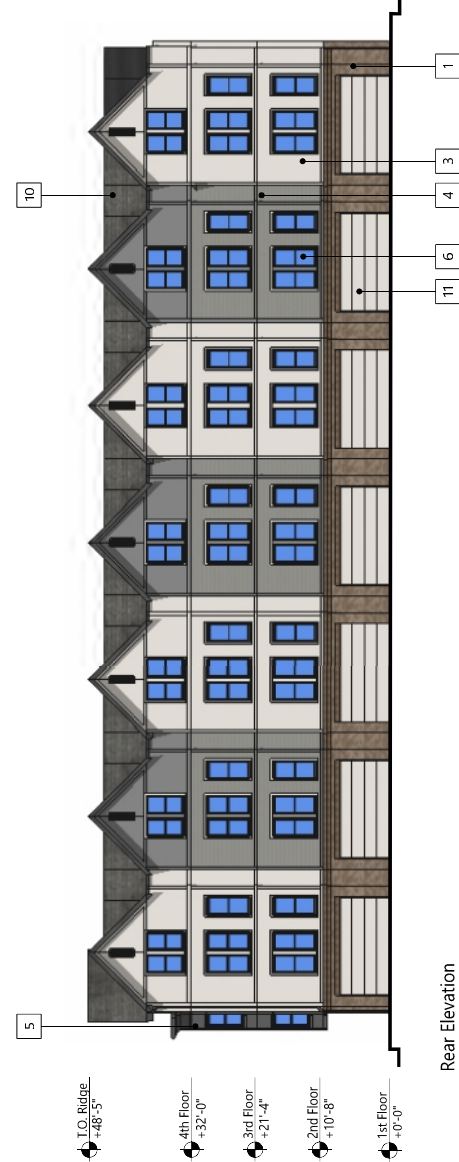
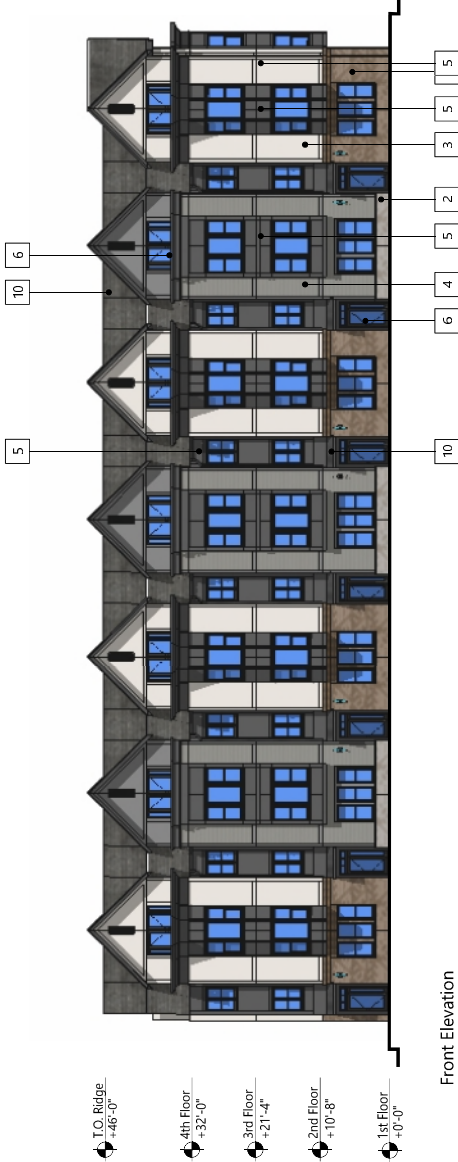
“Area C Character Exhibit”

The “Area C Character Exhibit” appears on the following two (2) pages of this Exhibit 5.



MATERIALS KEY: TOWNHOME

- 1 Brick Masonry Veneer
Color: L. Brown
- 2 Brick Masonry Veneer
Color: T. Gray
- 3 Fiber Cement Panel
Color: Warm White
- 4 Fiber Cement Horizontal Lap Siding
Color: Gray
- 5 Fiber Cement Panel
Color: Dark Gray
- 6 Unit Fiberglass Balcony
Color: Black
- 7 Aluminum Scaffolding System
Color: Clear Glazing with Black Mullions
Color: Black
- 8 Metal Balconies and Railing
Color: Black
- 9 Steel or Aluminum Canopy
Color: Black
- 10 Asphalt Shingle Roof
Color: Dark Gray
- 11 Garage Door
Color: Warm White



Rendering for conceptual design
intent only. Final design may vary.

Exterior Elevations - Townhome

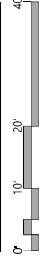
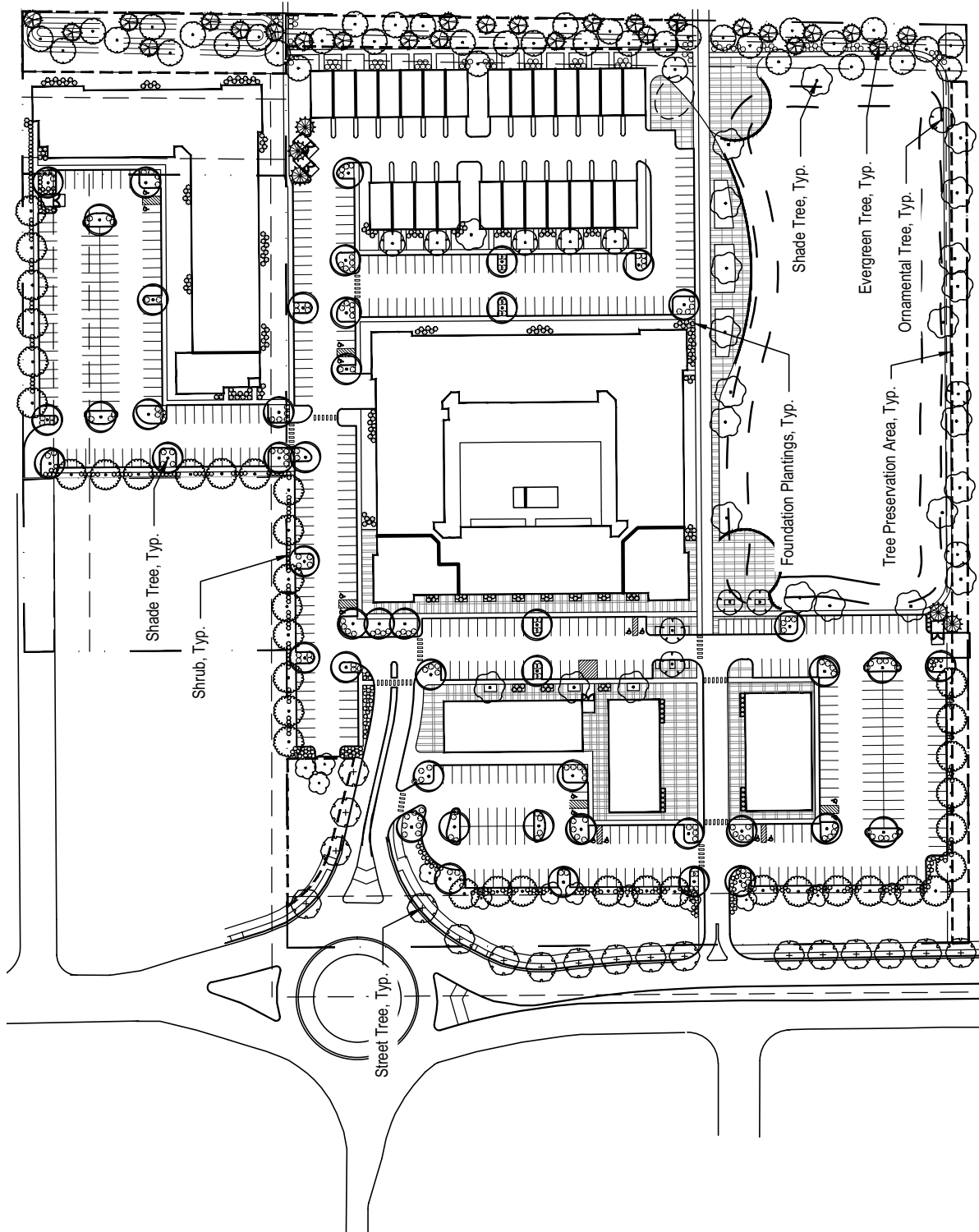


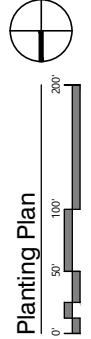
EXHIBIT 6

“Landscaping Plans”

The “Landscaping Plans” appear on the following page of this Exhibit 6.



NOTE:
 Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees.



2025073

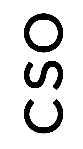


EXHIBIT 7

“Site Amenities”

The “Site Amenities” are described below and depicted on the following three (3) pages of this Exhibit 7.

The “Site Amenities” shall include, but shall not be limited to, the following:

1. Multi-use trail connecting the Midland Trace Trail to the State Highway 32 corridor.
2. Landscaped, pond amenity with water feature.
3. Elevated pond amenity overlook(s) and waterfront terrace along pond amenity area.
4. Pop-up community use trailhead with seating, cycling service station, water fountain, shade structures, and/or food truck opportunities.
5. Hardscaped outdoor plaza space along the multi-use trail amenity area.
6. Tree preservation areas along the Midland Trace Trail and site perimeter areas.
7. Trailhead on Midland Trace Trail and ½ mile walking loop trail.



CSO





ORDINANCE NUMBER 26-08

AN ORDINANCE OF THE CITY OF WESTFIELD AND WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA CONCERNING AMENDMENT TO THE UNIFIED DEVELOPMENT ORDINANCE

“Trace Commons PUD”

This is a Planned Unit Development District Ordinance, to be known as the TRACE COMMONS PLANNED UNIT DEVELOPMENT (the “**Ordinance**”), to amend the Unified Development Ordinance of the City of Westfield and Washington Township, Hamilton County, Indiana (the “**UDO**”), enacted by the City of Westfield pursuant to its authority under the laws of the State of Indiana, Ind. Code § 36-7-4 et seq., as amended.

WHEREAS, the City of Westfield, Indiana (the “**City**”) and the Township of Washington, both of Hamilton County, Indiana are subject to the Unified Development Ordinance;

WHEREAS, the Westfield-Washington Advisory Plan Commission (the “**Commission**”) considered a petition (Petition No. 2603-PUD-04), requesting an amendment to the Unified Development Ordinance and to the Zoning Map with regard to the subject real estate more particularly described in Exhibit 1 attached hereto (the “**Real Estate**”);

WHEREAS, the Commission forwarded Petition No. 2603-PUD-04 to the Common Council of the City of Westfield, Hamilton County, Indiana (the “**Council**”) with a favorable recommendation (X-X) in accordance with Indiana Code § 36-7-4-608, as required by Indiana Code § 36-7-4-1505;

WHEREAS, the Secretary of the Commission certified the action of the Commission to the Council on _____, 2026;

WHEREAS, the Council is subject to the provisions of the Indiana Code §36-7-4-1507 and Indiana Code § 36-7-4-1512 concerning any action on this request; and

NOW, THEREFORE, BE IT ORDAINED by the Council, meeting in regular session, that the UDO and Zoning Map are hereby amended as follows:

Section 1. Applicability of Ordinance.

- 1.1 The UDO and Zoning Map are hereby changed to designate the Real Estate as a Planned Unit Development District to be known as the “Trace Commons Planned Unit Development District” (the “**District**”).
- 1.2 Development of the Real Estate shall be governed by (i) the provisions of this Ordinance and its exhibits, and (ii) the provisions of the UDO, as amended and applicable to the Underlying Zoning District or a Planned Unit Development District, except as modified, revised, supplemented or expressly made inapplicable by this Ordinance.
- 1.3 Chapter (“**Chapter**”) and Article (“**Article**”) cross-references of this Ordinance shall hereafter refer to the section as specified and referenced in the UDO.
- 1.4 All provisions and representations of the UDO that conflict with the provisions of this Ordinance are hereby made inapplicable to the Real Estate and shall be superseded by the terms of this Ordinance.

Section 2. Concept Plan. The concept plan, attached hereto as Exhibit 2 (the “**Concept Plan**”), is hereby incorporated in accordance with Article 10.9(F)(2) Planned Unit Development Districts; PUD District Ordinance Requirements; Concept Plan.

- 2.1 The District is hereby divided into three (3) areas, as depicted on the Concept Plan and labeled as “Area A”, “Area B” and “Area C” (individually or collectively, the “**Area**” or “**Areas**”).
- 2.2 The Real Estate shall be developed in substantial conformance with the Concept Plan.

Section 3. Underlying Zoning District(s). The Underlying Zoning District of Areas A, B and C shall be the LB: Local and Neighborhood Business District (the “**Underlying Zoning District**”).

Section 4. Permitted Uses. All uses permitted in the Underlying Zoning District shall be permitted, except as otherwise modified below:

- 4.1 Additional Uses: The following additional uses shall be permitted:
 - A. Area A – None
 - B. Area B – Multi-family Dwelling
 - C. Area C – Townhouse Dwelling
- 4.2 Prohibited Uses: The following uses shall be prohibited:
 - A. All Special Exception Uses, except as otherwise permitted in this Ordinance.

B. Drive-thru facilities shall not be permitted on the Real Estate.

C. Area A

1. Amphitheater/outdoor theatre
2. Civic center
3. Museum/exhibition hall
4. Utilities – not regulated by Indiana Utility Regulatory Commission

D. Area B

1. Amphitheater/outdoor theatre
2. Civic center
3. Museum/exhibition hall
4. Utilities – not regulated by Indiana Utility Regulatory Commission

E. Area C – All uses except Townhouse Dwellings shall be prohibited in Area C.

Section 5. General Regulations. The standards of Chapter 4 Zoning Districts, as applicable to the Underlying Zoning District, shall apply to the development of the Real Estate, except as otherwise modified below.

5.1 Development Standards:

- A. Article 4.14(E) shall not apply. Instead, a Minimum 20’ Building Setback along the perimeter of the District shall be provided. There shall be no other Building Setback requirements within the District.
- B. The maximum number of Dwelling Units permitted in Area B shall be 310.
- C. The maximum number of Dwelling Units in Area C shall be 30.

Section 6. Overlay District. The State Highway 32 Overlay District shall not apply to the District.

Section 7. Development Standards. The standards of Chapter 6 Development Standards shall apply to the development of the Real Estate, except as otherwise modified below.

7.1 Article 6.3 Architectural Standards:

- A. Article 6.3(F) of the UDO shall apply to Area A of the District. Architectural character examples are attached hereto as Exhibit 3 (the “**Area A Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of Area A. The architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be

built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

- B. Article 6.3 shall not apply to Area B of the District. Instead, the Buildings in Area B shall be constructed in substantial conformance with the depictions included in Exhibit 4 (the “**Area B Character Exhibit**”).
- C. Article 6.3(E) of the UDO shall apply to Area C of the District. Architectural character examples are attached hereto as Exhibit 5 (the “**Area C Character Exhibit**”) and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of the Area C. The architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

7.2 Landscaping Standards. Articles 6.8(I) through (O) shall not apply to the District. Instead landscaping shall be installed in substantial compliance with the detailed landscaping plans attached hereto as Exhibit 6 (the “**Landscaping Plans**”). Tree preservation areas shall be provided in accordance with the provisions of Article 6.8(E) of the UDO, and in substantial conformance with the tree preservation areas identified on the Concept Plan. The Director shall have the authority to approve planting substitutions and relocations in the event needed, so long as the overall design and effect of such landscaping installations are maintained as determined by the Director.

7.3 Parking and Loading Standards. Article 6.14 shall apply to the development of the District, except as otherwise modified below

- A. Off-Street Parking, Required Spaces. Article 6.14(G)(11) shall not apply to the District. Parking Space requirements shall be determined by the Director based upon data supplied by the Applicant in response to traffic and parking data requested to be furnished with the application for a Detailed Development Plan.

7.4 The standards of Article 8.6 of the UDO shall not apply to the District. Instead, site amenities in substantial conformance with the depictions and description included in Exhibit 7 (“**Site Amenities**”) shall be provided.

Section 8. Infrastructure Standards. The District's infrastructure shall comply with the UDO and the City’s Construction Standards (see Chapter 7 Subdivision Regulations) unless otherwise approved by the Department of Public Works.

ALL OF WHICH IS ORDAINED/RESOLVED THIS ___ DAY OF _____, 2026.

WESTFIELD CITY COUNCIL

Voting For

Voting Against

Abstain

Jon Dartt

Jon Dartt

Jon Dartt

Victor McCarty

Victor McCarty

Victor McCarty

Joe Duepner

Joe Duepner

Joe Duepner

Patrick T. Tamm

Patrick T. Tamm

Patrick T. Tamm

Noah Herron

Noah Herron

Noah Herron

Chad Huff

Chad Huff

Chad Huff

Kurt Wanninger

Kurt Wanninger

Kurt Wanninger

ATTEST:

Marla Ailor, Clerk Treasurer

I hereby certify that **ORDINANCE** _____ was delivered to the Mayor of Westfield on the _____ day of _____, 2026, at _____ m.

Marla Ailor, Clerk-Treasurer

I hereby **APPROVE ORDINANCE** _____
this _____ day of _____, 2026.

I hereby **VETO ORDINANCE** _____
this _____ day of _____, 2026.

Scott A. Willis, Mayor

Scott A. Willis, Mayor

This document prepared by: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, Indiana 46074, (317) 773-2190.

I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Matthew S. Skelton.

EXHIBIT 1

The "Real Estate"

Part of the Northwest Quarter of Section 5, Township 18 North, Range 4 East in Hamilton County, Indiana, described as follows:

Begin at a point 2720.5 feet West of the Northeast corner of the Northeast Quarter of Section 5, Township 18 North, Range 4 East; thence South on and along a fence line parallel to the half Section line 963.7 feet to the intersection with the North right-of-way fence line of the Central Indiana Railroad, said point being 50.53 feet West of the East line of the Northwest Quarter; thence Westerly on and along said right-of-way fence, 667.00 feet to an iron stake; thence North parallel to the East line of this tract, 947.7 feet to the intersection with the center of State Highway No. 32; thence East on and along said center line 667.00 feet to the Place Of Beginning.

AND ASLO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows:

Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 seconds West parallel with the West line of the said Northeast quarter 808.59 feet to a rebar and cap set inscribed "Wright 9700013" to the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West 158.46 feet to a rebar and cap set inscribed "Wright 9700013" on the North right of way line of the former Central Indiana Railway Company; thence North 88 degrees 55 minutes 40 seconds West on and along the said right of way line 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East 158.46 feet; thence South 88 degrees 55 minutes 40 seconds East 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 0.93 acres more or less.

AND ALSO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows: Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 feet from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 minutes West parallel with the West line of the said Northeast Quarter 510.00 feet to a rebar and cap set inscribed "Wright 9700013" also being the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West parallel with the

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Subject to all pertinent easements, restrictions and right of ways.

EXHIBIT 2

The “Concept Plan”

The “Concept Plan” appears on the following two (2) pages of this Exhibit 2.

EXHIBIT 3

“Area A Character Exhibit”

The “Area A Character Exhibit” appears on the following nine (9) pages of this Exhibit 3.

EXHIBIT 4

“Area B Character Exhibit”

The “Area B Character Exhibit” appears on the following eight (8) pages of this Exhibit 4.

EXHIBIT 5

“Area C Character Exhibit”

The “Area C Character Exhibit” appears on the following two (2) pages of this Exhibit 5.

EXHIBIT 6

“Landscaping Plans”

The “Landscaping Plans” appear on the following page of this Exhibit 6.

EXHIBIT 7

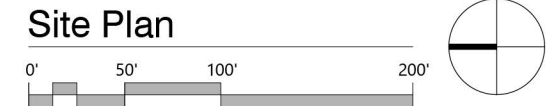
“Site Amenities”

The “Site Amenities” are described below and depicted on the following three (3) pages of this Exhibit 7.

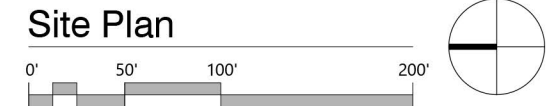
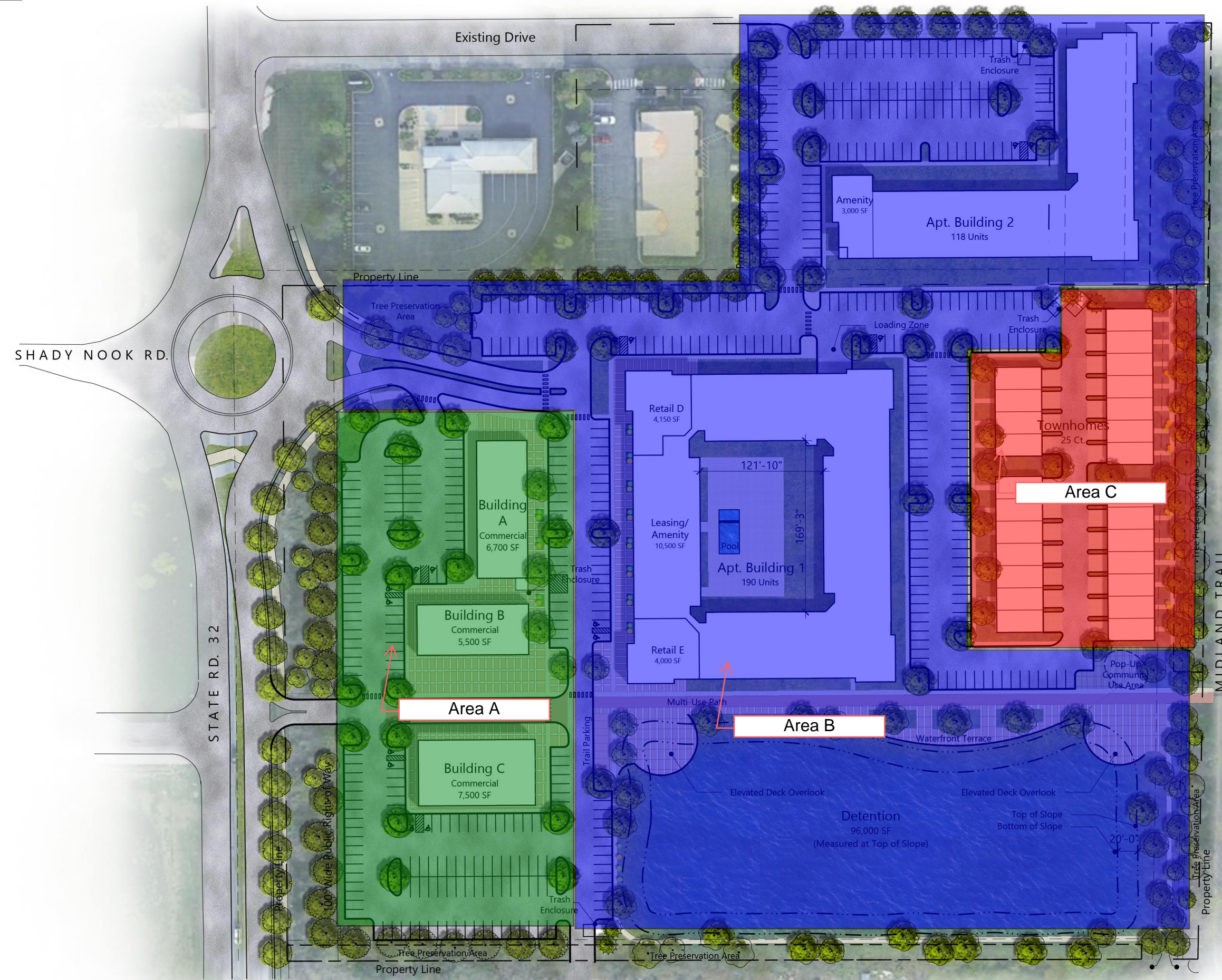
The “Site Amenities” shall include, but shall not be limited to, the following:

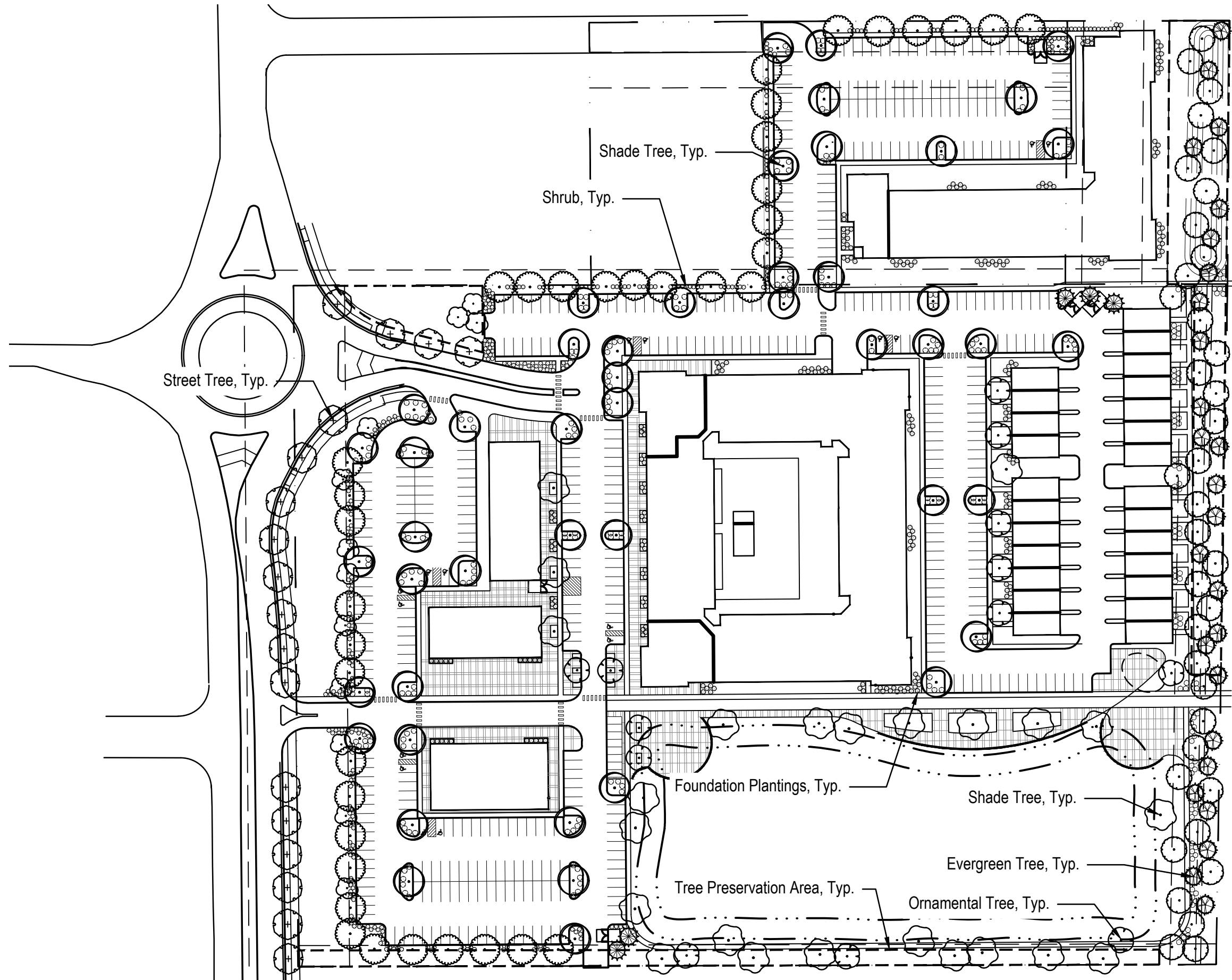
1. Multi-use trail connecting the Midland Trace Trail to the State Highway 32 corridor.
2. Landscaped, pond amenity with water feature.
3. Elevated pond amenity overlook(s) and waterfront terrace along pond amenity area.
4. Pop-up community use trailhead with seating, cycling service station, water fountain, shade structures, and/or food truck opportunities.
5. Hardscaped outdoor plaza space along the multi-use trail amenity area.
6. Tree preservation areas along the Midland Trace Trail and site perimeter areas.
7. Trailhead on Midland Trace Trail and ½ mile walking loop trail.

PROJECT DATA:
 Apartment Units: 308
 Apartment Building GSF: A: 226,590 GSF
 B: 123,224 GSF
 Townhomes: 25 Total
 Retail Area: 27,850 SF
 Surface Parking: 519 P.S.

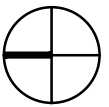
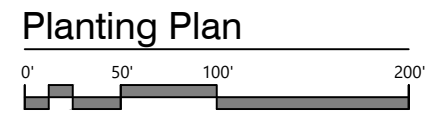


PROJECT DATA:
 Apartment Units: 308
 Apartment Building GSF: A: 226,590 GSF
 B: 123,224 GSF
 Townhomes: 25 Total
 Retail Area: 27,850 SF
 Surface Parking: 519 P.S.





NOTE:
 Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees.





Risky
BISCUIT

steak + drafthouse

DAY-SPA

Organics

REFRESH



The Roastery
Coffee House

BUSINESS OFFICE

ARTMENT

fusion grille

boutique

DAY SPA

Rishon

COMMITMENTS CONCERNING USE AND DEVELOPMENT OF REAL ESTATE

Document Cross Reference Instrument Nos. 2003118553, 2010056261, 2005050530

WHEREAS, the City of Westfield, Indiana (“**City**”) and Township of Washington, both of Hamilton County, Indiana are subject to the Westfield-Washington Township Unified Development Ordinance (“**UDO**”);

WHEREAS, the Developer filed a petition under Docket Number 2603-PUD-04 (Ordinance 26-08) with the Plan Commission and City Council to rezone parcels as the same are more particularly described in Exhibit A which is attached hereto and incorporated herein by reference (collectively the “**Real Estate**”) to the Trace Crossing Planned Unit Development District (the “**PUD**”);

WHEREAS, the Developer is requesting the Westfield City Council to consider adoption of the PUD subject to the following commitments (the “**Commitments**”);

NOW THEREFORE, the Developer makes the following Commitments to the Westfield City Council regarding the use and development of the Real Estate:

Section 1. Commitments. The Real Estate is subject to the following Commitments:

- A. The Townhouse Dwellings and Multi-family Dwellings on the Real Estate shall be leased dwellings under common ownership and operated, maintained and managed by a single entity.

Section 2. Definitions.

- A. Developer. Level 2 Development, LLC, a District of Columbia limited liability company, and its successors and assigns.
- B. Department. The Community Development Department of the City of Westfield.
- C. Multi-family Dwellings: Dwelling units located within a building designed to accommodate three (3) or more dwelling units or part of a mixed-use building with each dwelling unit living independently of another.
- D. Townhouse Dwellings: A dwelling units with a private entrance, which is part of a building with dwelling units attached in a linear arrangement, each having more than one story and totally exposed front and rear walls, used for access, light, and ventilation.

Section 3. Modification of Commitments. These Commitments shall continue in effect until modified or terminated. These Commitments shall only be modified or terminated in accordance with Section 10.6 (F) of the UDO and/or Ind. Code 36-7-4-1015.

Section 4. Effective Date. These Commitments shall be effective upon the City Council's adoption of the PUD.

Section 5. Recording. These Commitments shall be recorded with the Office of the Recorder of Hamilton County, Indiana by the Developer following the City Council's approval of the PUD. Within fifteen (15) days after the recording of these Commitments, the Developer shall provide to the Department a recorded copy of these Commitments.

Section 6. Enforcement. These Commitments may be enforced by the City.

Section 7. Binding on Successors. These Commitments are binding upon (i) each owner of the Real Estate and (ii) upon each owner's successors, assigns and grantees with respect to the portion of the Real Estate owned by such successor, assign and grantee and during such successor's, assign's and grantee's ownership, unless modified or terminated pursuant to the requirements herein. Notwithstanding the provisions of this Section 7, these Commitments shall terminate as to any part or parts of the Real Estate for which the zoning district or classification is later changed after the Effective Date.

[The remainder of this page is intentionally left blank.]

IN WITNESS WHEREOF, Level 2 Development, LLC has caused these Commitments to be executed as of the dates identified below.

“Developer”

Level 2 Development, LLC

David Franco, Managing Member

Date: _____, 2026

STATE OF _____)
) SS:
COUNTY OF _____)

Before me, a Notary Public in and for said County and State, personally appeared David Franco, Managing Member of Level 2 Development, LLC, who acknowledged the execution and the foregoing Commitments Concerning Use and Development of Real Estate this ____ day of _____, 2026 for and on behalf of said entity.

WITNESS my hand and Notarial Seal this ____ day of _____, 2026.

[SEAL]

Notary Public

Printed: _____

I am a resident of _____ County, _____ (State).

My commission expires: _____.

This instrument prepared by Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, IN 46060.

Return to: Matthew S. Skelton, Church Church Hittle + Antrim, Two North Ninth Street, Noblesville, IN 46060.

I affirm under the penalties of perjury that I have taken reasonable care to redact each social security number in this document, unless required by law. Matthew S. Skelton.

EXHIBIT A

“Real Estate”

Part of the Northwest Quarter of Section 5, Township 18 North, Range 4 East in Hamilton County, Indiana, described as follows:

Begin at a point 2720.5 feet West of the Northeast corner of the Northeast Quarter of Section 5, Township 18 North, Range 4 East; thence South on and along a fence line parallel to the half Section line 963.7 feet to the intersection with the North right-of-way fence line of the Central Indiana Railroad, said point being 50.53 feet West of the East line of the Northwest Quarter; thence Westerly on and along said right-of-way fence, 667.00 feet to an iron stake; thence North parallel to the East line of this tract, 947.7 feet to the intersection with the center of State Highway No. 32; thence East on and along said center line 667.00 feet to the Place Of Beginning.

AND ASLO:

Part of the Northeast and Northwest Quarter of Section 5, Township 18 North, Range 4 East of the Second Principal Meridian, Hamilton County, Indiana, being more particularly described as follows:

Commencing at a mag nail and washer set inscribed "Wright 9700013", said point being North 89 degrees 47 minutes 03 seconds West 2669.95 from a 1" rebar marking the Northeast corner of the Northeast Quarter; thence South 89 degrees 47 minutes 03 seconds East (assumed bearing) along the North line of said Northeast Quarter 207.55 feet; thence South 00 degrees 31 minutes 56 seconds West parallel with the West line of the said Northeast quarter 808.59 feet to a rebar and cap set inscribed "Wright 9700013" to the POINT OF BEGINNING of this described parcel; thence continuing South 00 degrees 31 minutes 56 seconds West 158.46 feet to a rebar and cap set inscribed "Wright 9700013" on the North right of way line of the former Central Indiana Railway Company; thence North 88 degrees 55 minutes 40 seconds West on and along the said right of way line 258.08 feet to a rebar and cap set inscribed "Wright 9700013"; thence North 00 degrees 31 minutes 56 seconds East 158.46 feet; thence South 88 degrees 55 minutes 40 seconds East 258.08 feet to the POINT OF BEGINNING of this described parcel, containing 0.93 acres more or less.

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Subject to all pertinent easements, restrictions and right of ways.

ISSUES AND QUESTIONS RAISED REGARDING THE TRACE COMMONS PUD PROPOSAL

The list below includes issues that were raised during the March 2nd Advisory Plan Commission public hearing and in written public comments submitted prior to and since the public hearing, as compiled by the Community Development Department. Duplicate or similar issues have been consolidated and simplified for purposes of this list.

Tree Preservation & Landscaping

- How will the Petitioner address tree preservation elements, especially along the Midland Trace Trail corridor?

Tree Preservation Areas have been identified on the Concept Plan of the Trace Crossing PUD Ordinance (the “PUD Ordinance”). Tree Preservation Areas are provided along the entire Midland Trace Trail corridor abutting Trace Crossing. A provision has been added to the PUD Ordinance, requiring tree preservation in accordance with the tree preservation standards of the Unified Development Ordinance.

Trail-related Concerns

- How is the Petitioner proposing to interact with the Midland Trace Trail with this development?

Two Midland Trace Trail access points are identified on the Concept Plan. The westernmost trail access includes a trail head, including a public gathering space, seating area, an elevated overlook adjacent to the pond amenity water feature, bicycle parking, cycling service station, and shade structure.

Environmental & Drainage Concerns

- Is there a wetland designation on this property? If so, how is the Petitioner addressing the situation?
- How will the Petitioner address drainage concerns on the property?

There is a wetland area on a portion of the property today. The property drains poorly today. Any wetland mitigation must be conducted in accordance with all applicable regulatory requirements. This is true of any project requiring wetland mitigation. The drainage improvements to be made on the property will significantly improve the function of the existing stormwater conditions on the site. This will allow for vacation of the existing Hamilton County Regulated Drain easement along the Midland Trace Trail, allowing tree preservation to be sustained in the trail corridor.

Grand Park District Timeline

- April 20 – APC Workshop Meeting presentation
- Week of April 27 – First Task Group Meeting
- TBD – Individual meetings with Council members
- Week of May 11 – Second Task Group Meeting
- May 26 – City Council Introduction
- June 1 – APC Public Hearing
- Week of June 8 – Third Task Group Meeting, if needed
- June 15 – APC Recommendation
- June 22 – City Council Approval



Grand Park District

District Vision & Regulating Plan

April 2025

01



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**“A Place for
People who
love sports.”**



The Grand Park District

Grand Park in Westfield, Indiana, is the most visited competitive youth sports complex in the United States, with more than 5.5 million individual arrivals in 2023 alone. It was voted the top sports facility in the nation for soccer and lacrosse and hosts the Indianapolis Colts Training Camp each summer. The 400-acre complex with 31 sports fields, 26 baseball diamonds, and Grand Park Event Center attracts athletes and their families from across the country.

And yet, this activity, energy, and excitement have not made much of a mark on the larger landscape. Sports fields are surrounded first by more sports fields but then by farm fields. A few hotels, housing subdivisions, and chain restaurants exist nearby, but each sits at the end of a short drive. As a result, the thriving sports culture of the campus has yet to be cultivated with the sustained social culture of gathering, fellowship, and celebration that one hopes to find at the end of a hard-won or bitterly lost day on the pitch.

As documented by the political scientist Robert Putnam in the landmark best-seller *Bowling Alone*, the rise of suburban sprawl and the decline of walkable, mixed-use neighborhoods has contributed markedly to a national epidemic of loneliness and social disconnection. As it evolves beyond its agricultural inheritance, the Grand Park District, with more than 140 acres of readily developable property, is poised to demonstrate a different, more traditional model of growth, one which—by bringing together places to live, work, learn, and play in a fully amenitized walkable environment—creates a foundation for sociability and cultural exchange.

The traditional neighborhood, in contrast to auto-oriented suburban sprawl, is defined as being compact, mixed-use, and walkable. Compactness is historically represented by an average five-minute walk from edge to center, the precise size of the District. Mixed-use means that, in a region of high car ownership and limited transit, a “park-once” environment frees residents and visitors from

driving between different daily activities, since so many are located close at hand. Walkable means a safe, comfortable, and engaging environment where walking is the preferred, practical, and joyful way to get around. In great walkable urban environments, even people with cars will make the choice to walk. More than any other organizational principle, the plan for Grand Park is committed to embodying this traditional neighborhood structure to create a second downtown for Westfield and a social center for the northern Indianapolis region.

Grand Park Sports Campus

#1 Total Visitation among Competitive National Sports Developments
37 Million Estimated Visitation
2017 - 2023

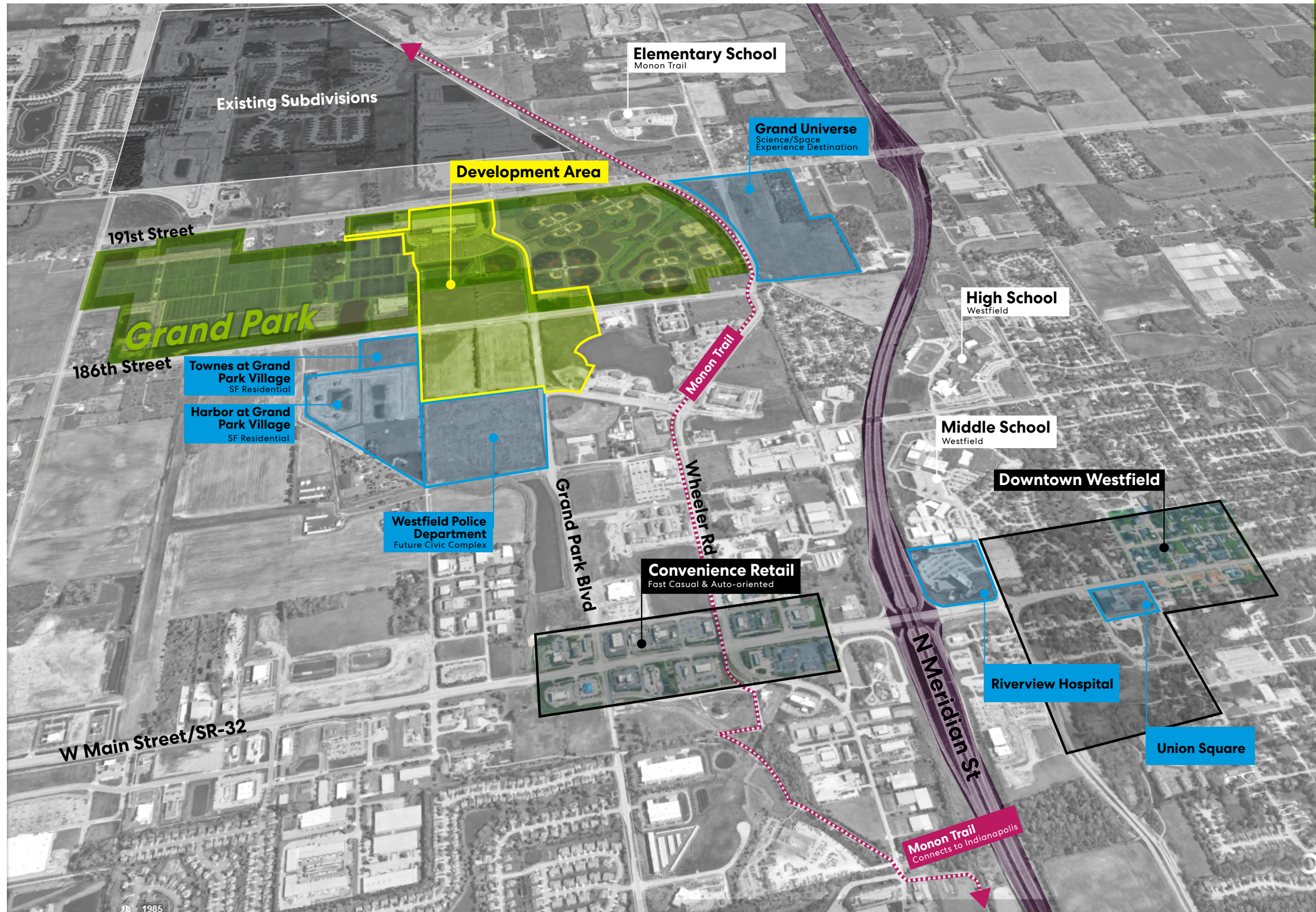
#16 Most Visited Stadiums, Arenas, Convention Centers & Sports Complexes
5,503,068 Visits in 2023

Source of statistics above, Place.ai. analysis completed as part of Grand Park Overview & Historical Performance Analysis, Hunden Partners, 2024.

Grand Park District

“Grand Park was always envisioned as more than just a youth sports facility - it was designed to drive economic growth, and become a destination for visitors from all over. We saw its potential to transform Westfield, bringing people together, boosting local businesses, and making our city an exciting place to live and to visit.”

- Mayor Scott Willis



Planning Context

Westfield, one of Indiana’s fastest-growing cities, is undergoing significant development, including Union Square, a mixed use development (construction completion 2026) and overhaul of State Road 32 in Downtown. Directly adjacent to Grand Park Sports Campus, Grand Universe, a proposed 78-acre \$1.2 billion development, will include a science and space center, resort and conference center, and other entertainment facilities (construction start 2025)¹. With more development on the horizon, the City is also working on a comprehensive development plan to be finalized by spring 2026. These developments will solidify Westfield’s position as a major tourism destination and economic hub.

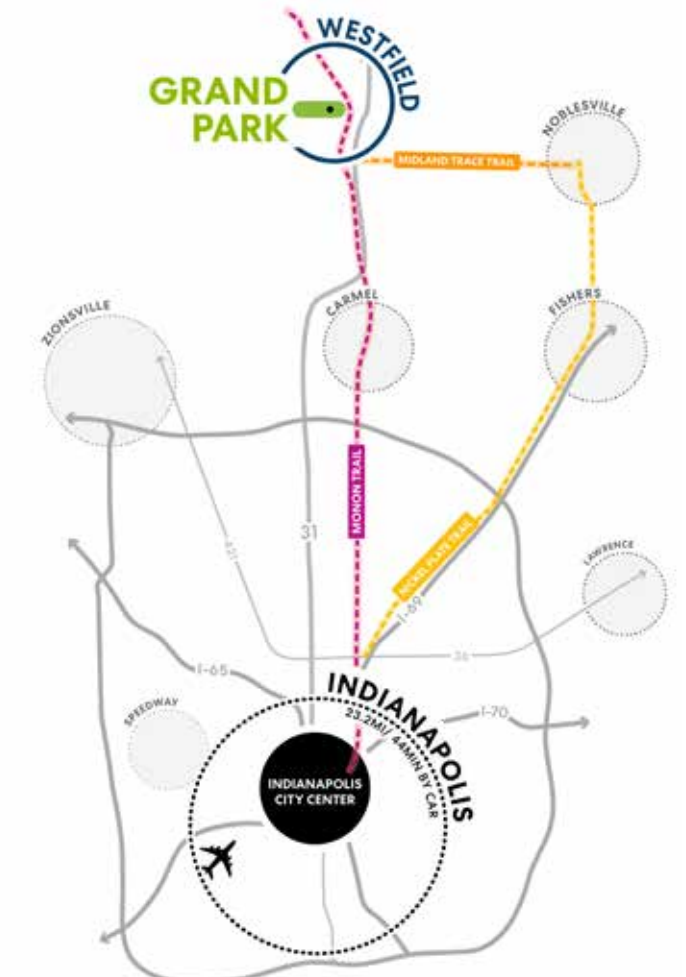


Figure 1.1: Planning Context Map (left) Map shows proximity of Grand Park and Downtown Westfield, destinations nearby Grand Park, as well as planned, and ongoing development surrounding the Grand Park Sports Campus which will influence how visitors experience the area.

Figure 1.2: Regional Connections (above) The Grand Park Sports Campus is a 40 minute drive from Downtown Indianapolis, via I-465 N and US-31 N / N Meridian St.

Development Sites

North Area

The northern area includes 70.58 acres owned by the City of Westfield and 17.02 acres of privately owned land. Publicly-owned property in the North area falls within the Grand Park PUD, which does allow a mix of uses including residential. Primary access roads bordering the area are E 191st Street, E 186th Street, and Grand Park Boulevard. This area includes the Grand Park Event Center building and parking lot. Any future project affecting the parking lot must replace the impacted parking (total existing parking: ~900 spaces). Additionally, two Championship Fields in this area must be relocated within Grand Park’s central area if impacted by new development.

South Area

The southern area includes 65 acres of developable property spanning both sides of Grand Park Boulevard and abuts E 186th Street to the north, an existing lake to the east, and a single-family residential neighborhood under construction to the west. The south area falls within the Grand Park Village PUD, which does allow a mix of uses, including residential. Several developments, including the TWG Multi-Family Apartment on the Monon. Development around the existing lake is expected to continue an off-street trail along the lake’s edge. Interior street or alley connections should be considered between this residential area and adjacent blocks in the southern development area. A new police station is planned for the parcel along the southern edge. There is a street connection from the southeast along John Dippel Boulevard. Currently, the entire southern area consists of unbuilt, brushy overgrowth.

Connectivity & Access

Existing & Planned Multimodal Network

Grand Park, bordered by E 191st, E 186th, Spring Mill, and Tomlinson Roads, is accessible via E 191st Street, which serves as the primary gateway to the regional highway network. SR 32, Westfield’s key auto-oriented retail corridor, connects to the park via Grand Park Boulevard and Wheeler Road.

To improve access, the City of Westfield plans to construct a roundabout at E 191st and Grand Park Boulevard to enhance traffic flow and safety. However, transportation challenges persist within Grand Park. The campus’s size forces visitors to traverse long distances with gear, centralized parking results in lengthy walks to remote fields, and staff vehicles share pathways with

pedestrians, creating safety concerns. During major events, the limited street network often backs up, slowing entry and exit. Additionally, a lack of food options on-site drives visitors to leave at mealtimes, increasing traffic and limiting the park’s potential as a walkable destination.

Addressing these challenges will require alternative transportation solutions, such as shuttle systems or internal transit, to ease long walking distances. Expanding pedestrian connectivity between fields and nearby developments is vital to fostering a cohesive “park-once” environment where visitors can easily access events and amenities.

Golf carts, already popular for short trips in Westfield, offer another solution. The city is exploring updates to expand golf cart use on trails and paths within Grand Park’s multimodal network. Combined with shuttles, pedestrian-friendly paths, and bike infrastructure, these improvements could transform Grand Park into a highly accessible, enjoyable destination for residents and visitors alike.

Monon Trail

The Monon Trail, a rails-to-trails paved path, stretches 25 miles through Central Indiana, linking downtown Indianapolis to the Indianapolis Cultural Trail, and continuing north through Westfield to Grand Park and then beyond to the Town of Sheridan. In 2025, the Monon Trail will extend an additional 1.1 miles to the north to connect to the Hamilton/Boone County Line. The existing segment follows Wheeler Road from the south and passes by Grand Park before crossing E 191st Street at grade. The City of Westfield plans to begin construction of a dedicated bike/pedestrian overpass at this crossing in 2025. Currently, the redevelopment sites are just a 5-10 minute walk or bike ride from the Monon Trail via existing sidewalks, offering easy access to this vital regional path.

This multimodal network ensures that Grand Park will be well-integrated with Westfield’s broader transportation and recreation infrastructure, creating seamless connections for pedestrians, cyclists, and drivers alike.

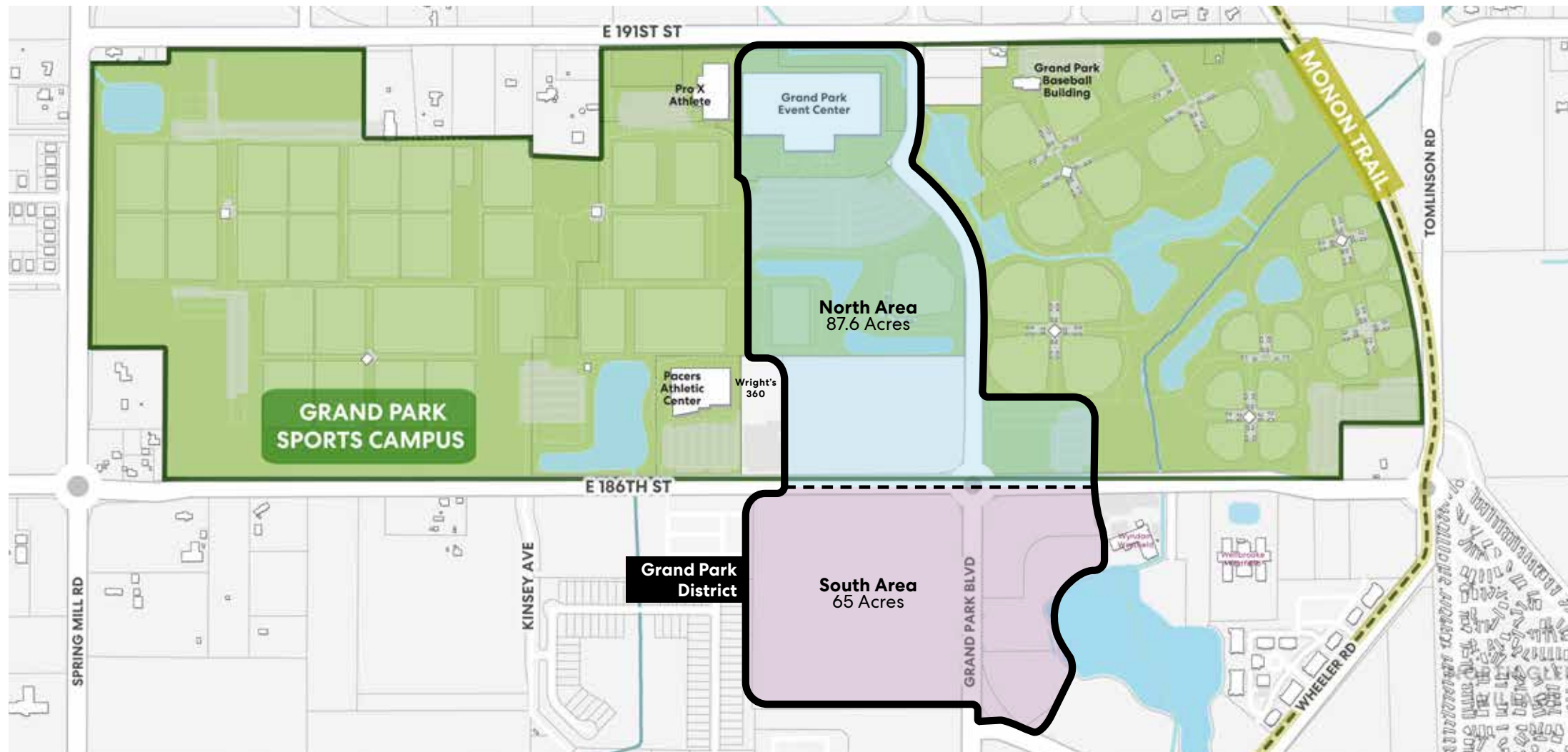


Figure 1.3: Grand Park District (left) North and South

Natural and Engineered Landscape

Site Elevation & Drainage

Natural and engineered landscape elements influenced the planning process for the Grand Park District. Grand Park falls within the Cool Creek Watershed, with Cool Creek crossing the eastern side of Grand Park and passing along existing retention ponds flanked by a National Flood Hazard Boundary defined by FEMA. Existing retention ponds in the area are of sufficient size to manage.

The Grand Park District falls within the Cool Creek Drainage Area (332.22 acres). Based on available data detailing drainage and stormwater retention in the area, the Grand Park Village Lake was designed to accommodate development within the surrounding drainage area, which includes the South site and a portion of the North site. The area in the Grand Park District plan that is north of 186th falls within the Grand Park overall drainage plan (i.e. water runoff in the area would be detained in the ponds constructed with Grand Park). This assumes that development would not exceed the 18.75 acres of open space and 31.19 acres of impervious area, as identified in the Proposed Legal Drainage Area Map provided to the project team. As long as the new development maintains the same pond storage volume and does not exceed the 31.19 acres of impervious area, then no additional detention should be required. In the North area, the concept must maintain drainage retention capacity as retained water in this area is used for irrigation of the fields. If retention ponds were removed, water from the respective drainage area would require pumping to another location at a significant additional cost.

Early concepts for the Grand Park District proposed an expansion to the existing lake, as well as a new canal connection crossing Grand Park Boulevard and extending into a proposed pond to the west. To carry this design element forward, the planning team explored its feasibility given the site's existing elevation and drainage. The normal pool elevation for the Grand Park Village Lake Pond is 894.00 with a 100-year storm level of 898.11. Based on this elevation, it is approximately 16-20 feet below the existing grade of the parcel on the southwest

corner of E 186th Street and Grand Park Boulevard. The canal concept works with the existing grade through stepped or terraced elevation changes to create a riverfront edge (water level) and street-level frontage (upper level) approaching the west. This approach would provide boats on the water and pedestrians on a waterfront boardwalk sufficient clearance under street-level bridges.

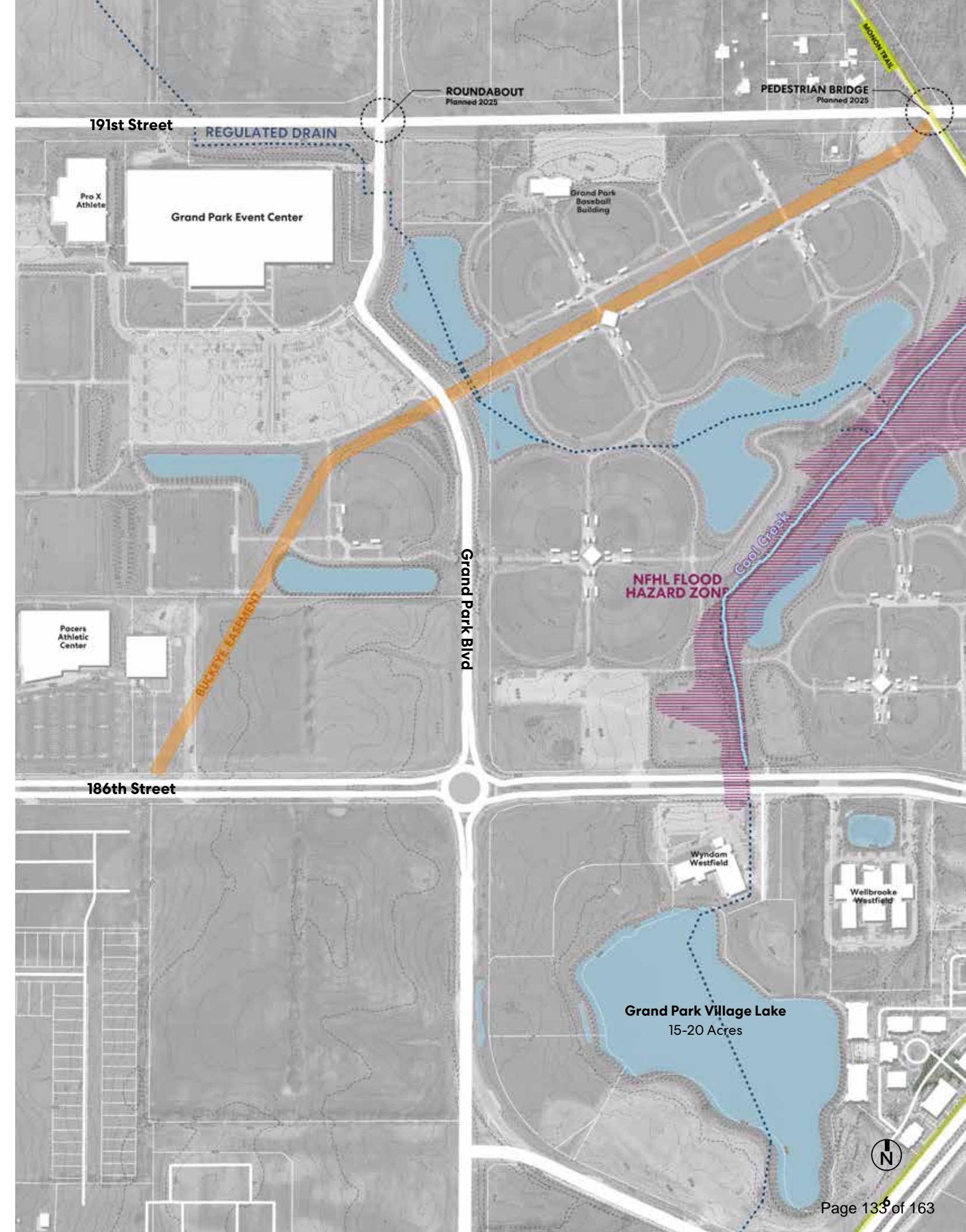
All detention in the Grand Park District south of 186th St should be provided in the existing Grand Park Village Lake. Since this is being expanded, it could potentially be used as additional detention for anything to the north, assuming grading works out. It should be noted that plans for the Grand Park District that propose an expansion to the Grand Park Village Lake to the southeast of 186th & Grand Park Boulevard would create additional detention potential for the North site as well.

Underground Utilities

A high-pressure petroleum pipeline crosses the North Site diagonally northeast to southwest. Buckeye Energy Holdings LLC ("Buckeye") holds an easement following the pathway of the pipe which requires 16 feet flanking both sides of the pipe (32 feet total easement width) to remain clear of development to ensure Buckeye's continued access and maintenance of this utility.

Because water captured in the retention ponds in the north area is used to irrigate the sports fields to the west of the North Site, the pond water level will fluctuate unless supplemented from another source. An existing regulatory drain is represented on the map to the right.

Figure 1.4: Natural and Engineered Landscape (right)



Grand Park Operational Considerations

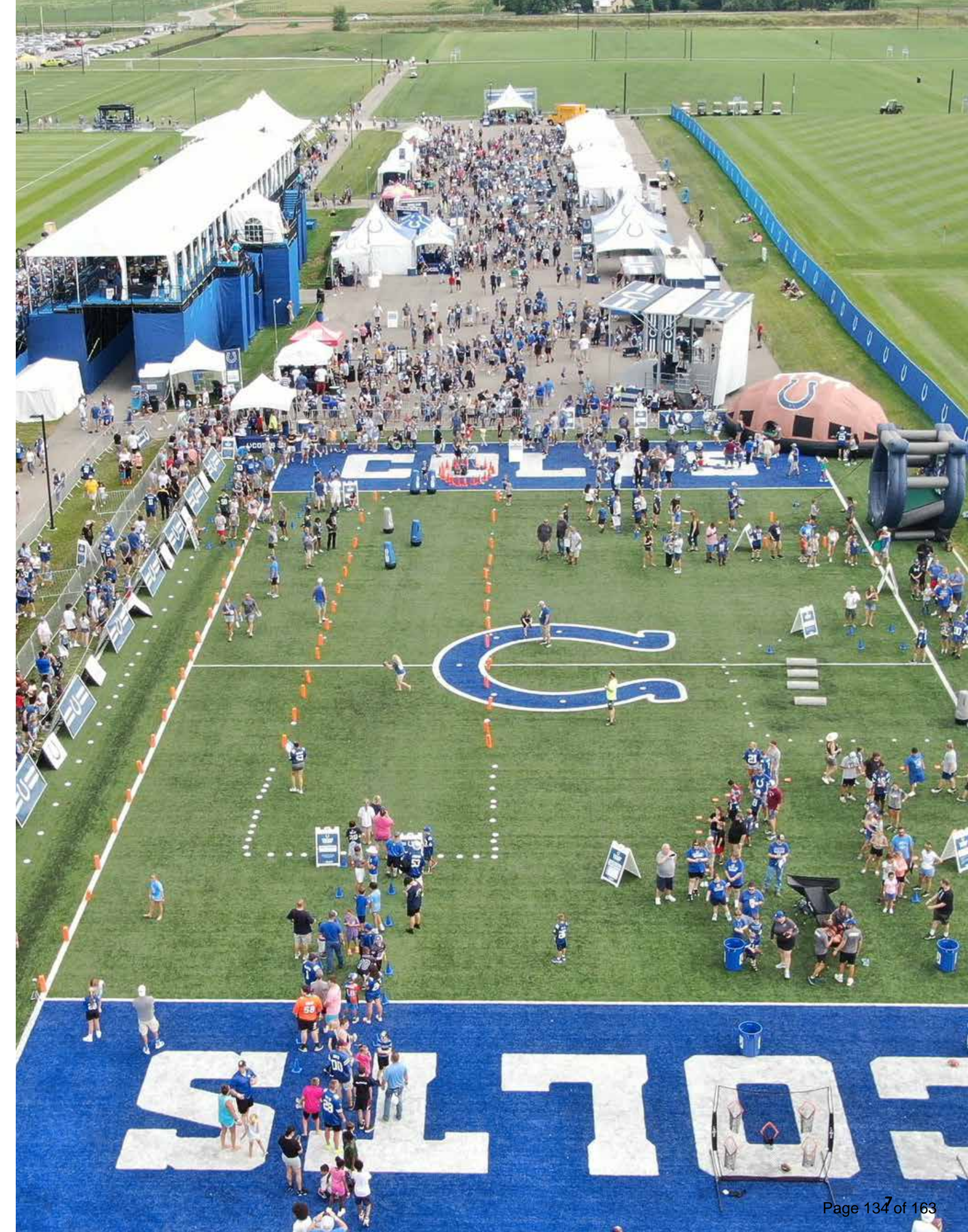
Grand Park Sports & Entertainment (GPSE) is a partnership formed between Keystone Group, Indy Sports & Entertainment, Indy Eleven, and Bullpen Tournaments. Grand Park is comprised of a 400-acre campus with 31 sports fields, 26 baseball diamonds, and three indoor facilities including the Grand Park Event Center (GPEC) as well as two administrative buildings. In close proximity to Grand Park are the Pacers Athletic Center, ProX Athlete Development, and Wright's 360 Movement, further solidifying this area as sports destination in the region. Given our site's unique context, several operational considerations are essential in planning for future success:



Figure 1.5: Image (Above) Youth sports typically include athletes from 8-17 years. For major tournaments, athletes will be accompanied by family members who remain in the tournament area over the course of the competition.

Figure 1.6: Image (Right) Colts Camp is an annual week-long event that invites people of all ages to come to Grand Park to watch the Colts football team preseason practices.

- **Grand Park must offer variety to active families for longer stays.** The most successful youth sports campuses can meet the needs of a wide variety of users. Consider the working parents, engaged grandparents, or ride-along siblings who frequent Grand Park to support their athletes. Youth sports draw active families looking for a variety of food and beverage options and an amenitized destination that makes staying in the area for longer periods of time more comfortable, feasible, and appealing.
- **Visitor needs vary by sport.** The ways in which athletes and visitors interact with the campus, including the duration of their stay, hinge on the sports and attractions that drive them to Grand Park. The duration and frequency of games, dimensions and amount of equipment needed, and size of the teams playing differ on the west side (soccer/multipurpose fields) and east side (Diamond side or Baseball/Softball diamonds).
- **Operations and Visitors must have clear pathways to traverse Grand Park.** The site requires a network of interior pathways and convenient parking lots to support the flow of visitors into and among the fields and diamonds for tournaments and major events. In addition, this connectivity will accommodate the Grand Park operations and staff who are constantly maintaining fields and moving equipment between storage, administrative buildings, and loading docks at the GPEC to and from the sporting fields.
- **Parking facilities must support all events.** Grand Park hosts annual events like Colts Camp, many of which attract thousands of visitors in a short period of time. All visitors will seek parking opportunities close to their destination. To manage the heavy in/out flow of visitors, convenient, highly accessible parking amenities with intuitive pathways, clear line-of-site to parking opportunities (gateways, signs, wayfinding, etc), and micromobility within the campus will be increasingly essential to successful operations as the area grows and diversifies in use.

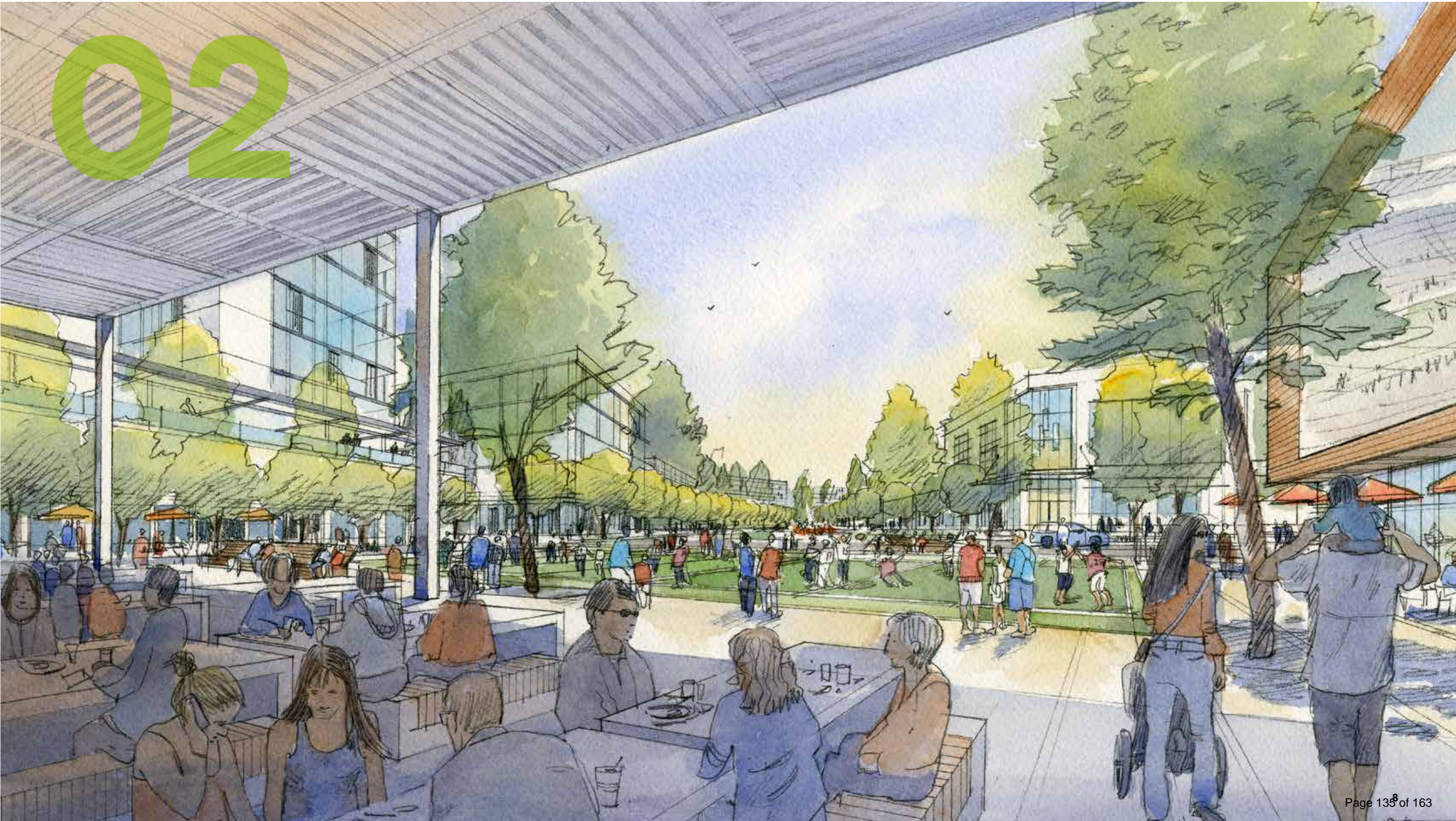


“This transformational vision for the Grand Park district will offer something for every visitor, resident, player, and parent, giving them a complete experience with elevated amenities to live, work, play, stay, dine, and be entertained 365 days a year.”

-Ersal Ozdemir, Keystone Group

Development Vision

02



Development Vision

The new Grand Park District is designed not only to attract visitors, but to become a true asset for the Westfield community—offering spaces that draw businesses, residents, and visitors alike. Anchored by Champions Way Linear Park, the district creates a vibrant, welcoming environment for both those coming to Grand Park for tournaments and events, and for the people who live and work in Westfield. This thriving hub connects the north-south blocks, featuring an active plaza, a re-imagined entrance to the Grand Park Event Center, and a retail canalwalk with a pond that invites interaction and leisure.

The view to the south along the Champions Way Linear Park will culminate in a major entertainment destination, depicted as a Ferris Wheel, serving as both a draw for visitors and a landmark for the community. As the park evolves, it offers diverse amenities: play equipment for younger children, outdoor classrooms for community gatherings, and shaded seating areas for relaxation. These spaces provide not only opportunities to unwind between events but also foster a sense of belonging and ownership for Westfield residents, employees, and businesses, making the district a new town center—not just a visitor destination.

Surrounding the Champions Way Linear Park, the district caters to both practical and leisure needs. Parents can browse shops, enjoy a meal, or relax with a coffee while staying close to the action. Accessible sidewalks, pocket plazas, and a vibrant streetscape make it easy for families to navigate with strollers or sports gear, fostering convenience and community. By blending recreation, retail, and comfort in a walkable environment, the district transforms tournament weekends into a seamless and enjoyable experience for athletes and their families.

Two canals serve as a defining east-west feature within the mixed-use blocks of the northern district, combining practical functionality with aesthetic appeal. Each 50-foot-wide canal, inspired by the iconic waterways of European cities, is flanked by generous sidewalks and shaded by tree-lined paths that welcome pedestrians and foster a distinctive sense of place. The canals provide picturesque views of surrounding area while supporting essential irrigation and stormwater management needs by replacing traditional detention basins.

The northern district's block layout is designed for anchor facilities and efficient connectivity. A proposed 10,000-seat stadium at a prominent intersection creates a bold gateway for major events and activities. Along key corridors, five-story mixed-use buildings with

integrated parking combine residential, retail, and event spaces to activate the streetscape and urban vibrancy. Premier locations for office exist throughout the district welcoming opportunities for sports tech employment and research facilities to integrate seamlessly into this expanded sports destination and community.

To the south, the development is anchored by a pond and canal system that connect under Grand Park Boulevard to an existing water feature, adding continuity to the landscape. A proposed four-sheet ice facility introduces a distinctive recreational amenity, attracting diverse visitors. Adjacent to this, a residential core with townhome-style residences and pedestrian-scaled streets—drawing inspiration from the Village of West Clay—balances density with livability. Interwoven green spaces and pedestrian networks create a walkable, human-scaled environment that complements the engaging uses and large-scale venues in the northern district.

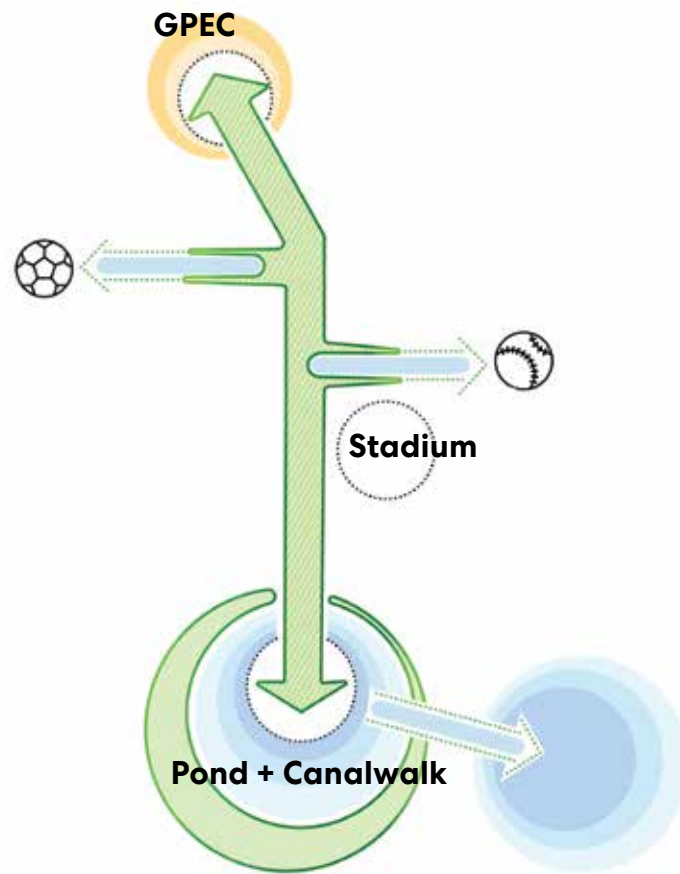


Figure 2.1: Organizing Concept (above) Champions Way Linear Park and East-West Canals

Figure 2.2: Illustrative Plan (right) Future vision for the north and south development areas in the Grand Park District.



Champions Way Linear Park

Champions Way Linear Park runs along the center of a boulevard with retail frontage, serving as a dynamic and unifying feature for the new mixed-use district, seamlessly connecting the north-south blocks while offering a vibrant public space for recreation and interaction.

By integrating a mélange of design elements—such as play equipment for children, outdoor classrooms for educational activities, and other features catering to diverse users—the park cultivates an ever-changing, exciting urban environment. This purposeful variety fosters engagement, encourages repeat visits, and ensures the park meets the needs of residents, businesses, visitors, and sports enthusiasts alike. As a central amenity, the Champions Way Linear Park also enhances walkability and safety, creating a pedestrian-friendly environment that aligns with the active lifestyle associated with the adjacent youth sports complex.

Beyond its social and recreational value, the Champions Way Linear Park delivers economic and environmental benefits that amplify its impact on the district. Champions Way provides a central artery from which underground utilities serving the district will branch and distribute. Champions Way's adjacency to retail frontage draws foot traffic, supporting local businesses and extending visitors' engagement with the area. Its green infrastructure elements, such as natural plantings and shaded areas, contribute to stormwater management, urban cooling, and air quality improvement, reinforcing the district's sustainability goals. By serving as a hub for connection, play, and discovery, the park not only energizes the streetscape but also enhances the identity and appeal of the district as a destination, generating lasting value for the community.

Principles for Champions Way Linear Park

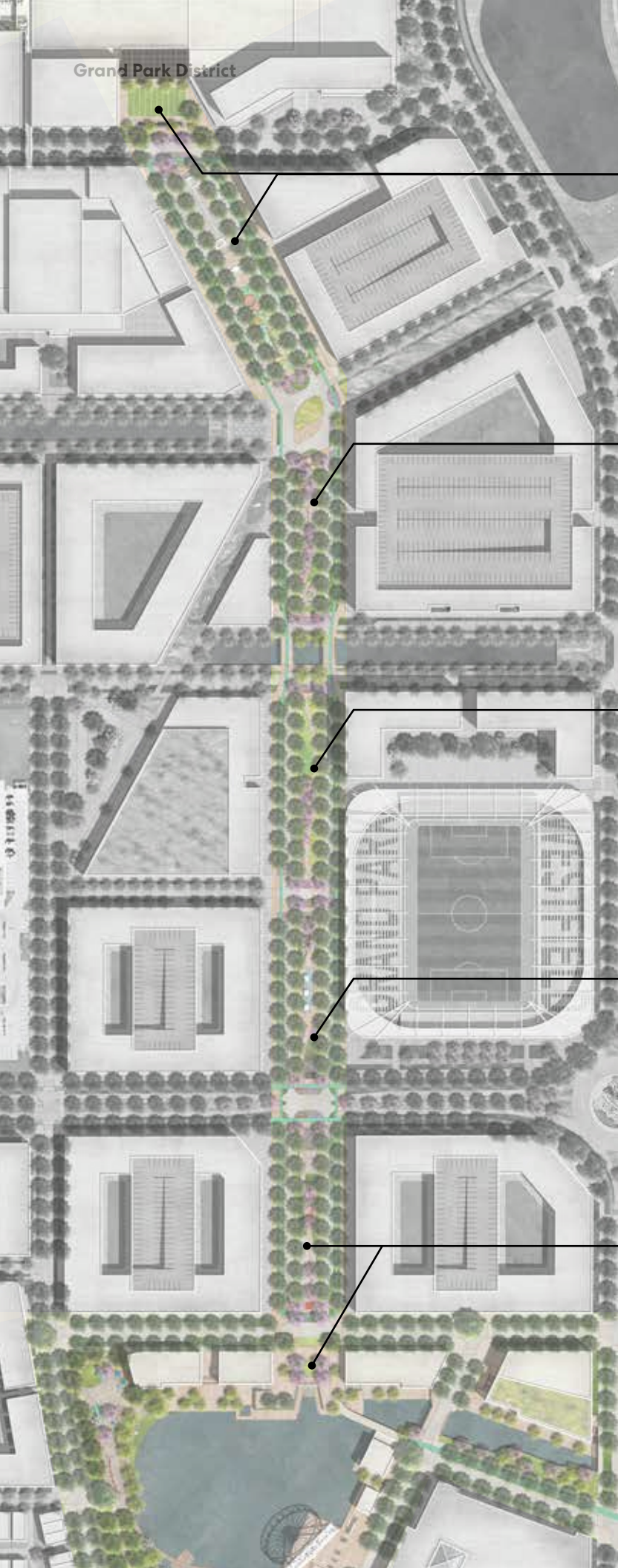
1. Promote active and passive play for all ages (and species)
2. Celebrate the sports community and achievements
3. Provide comfortable spaces for all to socialize, and spaces for athletes to recuperate between tournaments and during training
4. Engage the community through programming and events
5. Offer a variety of options for gathering and seating
6. Provide points of interest including art, nature, and entertainment
7. Versatile for day and night use throughout all seasons and weather conditions
8. Interact with surrounding retail, stadium, and other development
9. Promote a comfortable, safe, and interesting walk

“Something so transformational and unique that it becomes as well known as Grand Park, itself”

- Grand Park District Steering Committee

Figure 2.3: Rendering (below) Future vision for Champions Way Linear Park and retail streetscape. Vantage point from west side of Champions Way Linear Park boulevard along retail frontage looking north toward GPEC Plaza.





Grand Park District

Champions Way Linear Park

Cheer, Engage, and Showcase

Teeming with energy, this plaza features a mini football field, seating, and tables to foster a vibrant space for fun--whether you're on the field or rooting from the sidelines. The adjacent block features a winner's podium for photos, space for events, and a destination skate park to enliven the area even when events aren't happening.

Suggested program elements: mini football field, Olympic-style winners podium, flexible seating and tables, space for pop-up market events, jumbo video viewing screens, skate park



Engage and Showcase

Designed to inspire play, collaboration, learning, and celebrating community, this block boasts unique seating and tables, and shaded pavilions for outdoor education.

Suggested program elements: flexible seating and tables, splash pad, lawn for yoga and dance, canopy pavilions for outdoor learning, fitness stations, paved pavilions for ping pong tables, foosball, and more



Gather and Recreate

From a dynamic playground to mini golf to sprawling lawns for badminton, volleyball, and the like, this block taps into timeless recreational activities to invite residents and visitors of all ages.

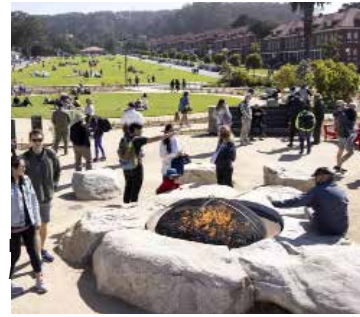
Suggested program elements: playground, flexible seating, gaga ball, pickleball, volleyball, mini golf, giant jenga



Celebrate and Linger

Replete with opportunities to interact with retail, socialize, fuel up, and commemorate a big win, this block is the perfect spot to enjoy yourself and stick around.

Suggested program elements: swings for seating, wall of champions, boccee court and seating grove, retail and dining pop-ups, photo backdrops, fire pit, interactive water feature, yoga lawn



Connect and Recharge

Whether you're looking to unwind in nature, challenge a friend to a chess game, or tackle a parkour course, this southern stretch of the Champions Way Linear Park offers something for everyone.

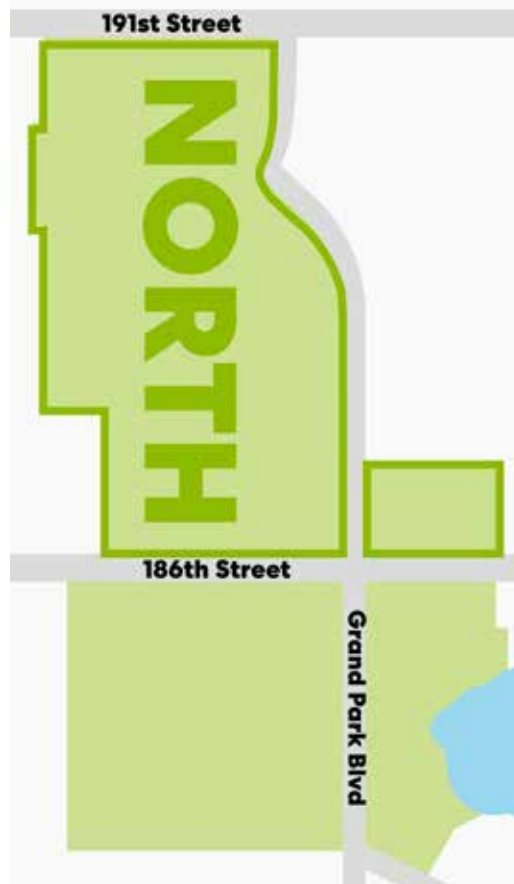
Suggested program elements: walking paths, sculptures to sit on, tables, giant chess, swings



North Development Area

Two canals provide unifying east-west features among the mixed-use blocks in the northern area, offering both functional and aesthetic value. Each 50-foot-wide canal, reminiscent of the iconic waterways of European cities, is lined with broad sidewalks and shaded by rows of trees. The western canal frames a picturesque view toward the multi-purpose fields at the district's edge, while the eastern canal overlooks Grand Park's "diamond side" baseball and softball fields across Grand Park Boulevard. Beyond their beauty, these canals replace traditional water detention basins, serving vital irrigation and stormwater catchment needs while elevating the character of the district.

Figure 2.4 Key Plan Highlighting North Area (below)



Area Anchors and Public Spaces

- 1. Champions Way Linear Park:** A central spine with a wide green space flanked by retail on both sides, the linear park runs along a boulevard-style street, fostering a walkable, vibrant area. Additional description on page 20.
- 2. East and West Canal Boulevards:** Key organizing features of the northern area, the east and west canals frame the views beyond to the baseball diamonds and multipurpose fields, reinforcing the significance of this place within its larger Grand Park context.
- 3. Grand Park Event Center (GPEC):** The Grand Park Events Center has been a centerpiece to the 400+ acre sports complex since the summer of 2016. This 377,000 square foot indoor sports facility includes three full-size synthetic fields, four locker rooms, office and meeting space, a full-service restaurant, and a sports pub.
- 4. Hotel + Conference Center:** A new hotel with ground-level conference/meeting and event spaces would be directly accessible from GPEC. The block fronting GPEC would support an entry portico for hotel visitors, though the primary parking amenities would be the surface lot on the eastern face of GPEC and the parking garage located across the street.
- 5. Stadium:** Replacing an existing multipurpose championship field, a new 10,000-seat multipurpose stadium is envisioned to hold a prominent location at the southeast corner of the northern development area. The stadium itself, highly visible from the eastern approach along E 186th Street, announces your arrival at the Grand Park District.
- 6. Practice Facility / Destination Sport Headquarters:** This block is sized to accommodate a large indoor practice facility, office, and support services for a sports headquarters, with retail fronting Champions Way.

Figure 2.5: Illustrative Plan (right) Future vision for the north development areas in the Grand Park District.



Figure 2.6: Rendering (center) Future vision for eastern canal reaching out toward baseball diamonds. Visible from this vantage point standing in the center of Champions Way Linear Park, looking east, are the canal boulevards, multimodal bridges and retail streetscape.





Grand Park Blvd



“...make the visitor experience holistic over a day, a few days, weekday as well as weekend.”

- Grand Park District Steering Committee



South Development Area

South Area Vision

The Vision for the South Area is that of a walkable urban neighborhood providing a southern retail anchor and indoor sports destination for the larger development and a rich, amenitized neighborhood with a variety of housing options.

“The Linear Park concept will be transformative for the new Grand Park District. Offering visitors and residents the opportunity to interact with unique recreation spaces and activities as they move through out the District.”

– Chris McConnell, Director of Parks and Recreation



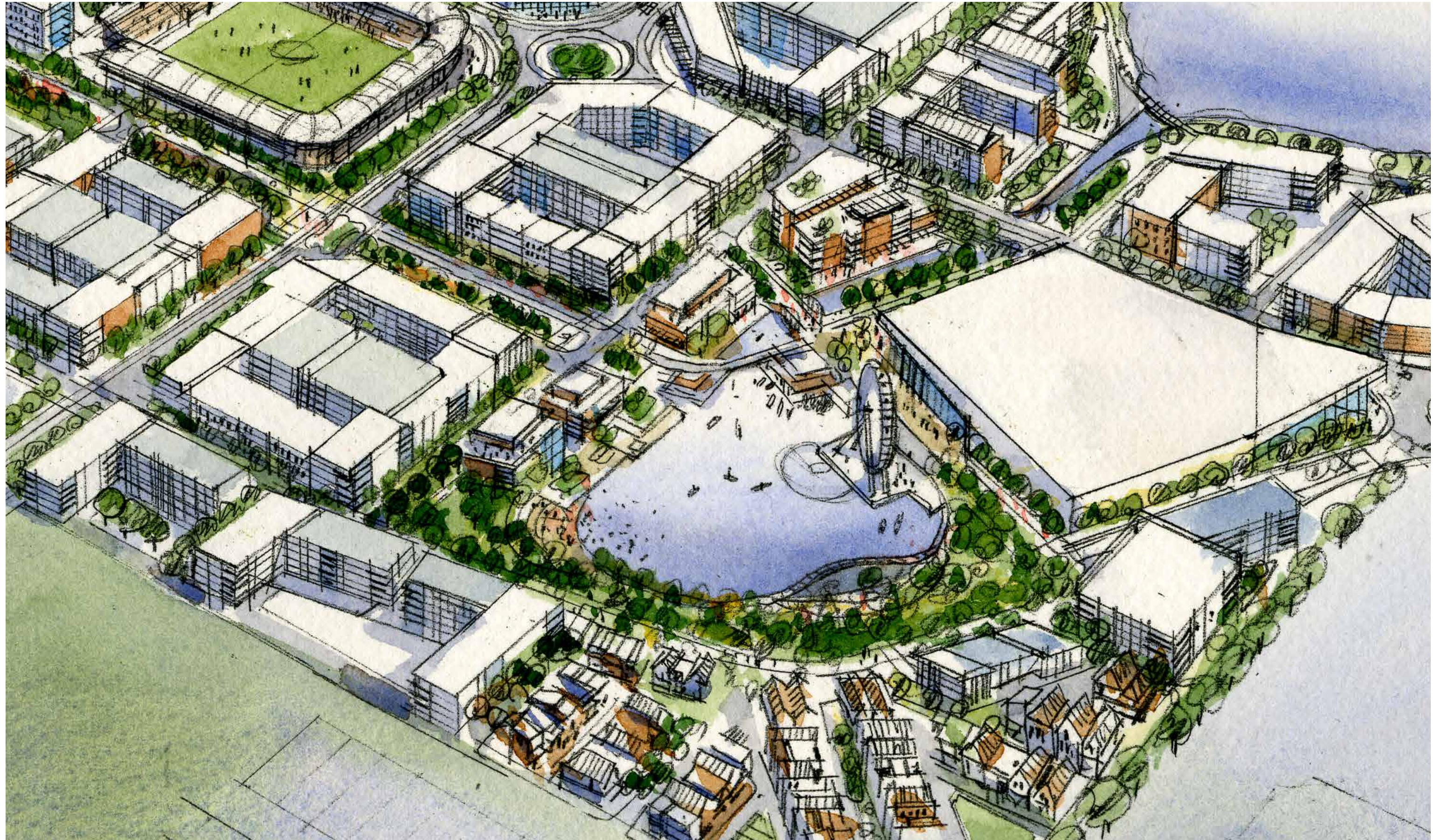
Figure 2.7 Key Plan
Highlighting South Area

Area Anchors and Public Spaces

- 1. Grand Park Pond:** A pond (4.5 acres including the canal) serves as the central feature of the area. Its edges have varied designs, including a destination retail attraction like a Ferris wheel, a multi-level boardwalk with retail spaces, destination waterfront playground and a park-like recreation area along the southeast edge of the pond.
- 2. Champions Way Linear Park:** The linear park is a central spine with a wide green space flanked by retail on both sides. It runs along a boulevard-style street and creates a walkable, vibrant area. Additional description on page 11.
- 3. Retail Canalwalk:** A canalwalk along the northern edge connects the new pond to the existing lake east of Grand Park Boulevard. Shops and restaurants will have two frontages: one facing the street and another facing the canal and boardwalk. The waterfront should include outdoor dining, lighting, and signage to enhance its appeal. Note that the Ferris Wheel shown is representative of a yet-to-be-defined entertainment attraction.
- 4. Ice Facility / Indoor Sports Destination:** A large southeastern block, spanning from the pond to Grand Park Boulevard, could host a major indoor sports venue like a 4-sheet ice facility or another large destination. The building acts as a gateway into the area, with ample pick-up/drop-off space and access to a nearby parking structure. Outdoor attractions to support winter activities can be programmed at the pond’s edge during colder months. Refer to Appendix 09 for winter programming concepts.
- 5. Variety of Housing:** The Grand Park District plan shows a variety of housing density ranging from 4-5 story mixed use residential apartment or condo buildings, mid-rise multi-unit buildings, and rows of townhouse or duplex units.

Figure 2.8: Illustrative Plan (left) Future vision for the south development areas in the Grand Park District.

Figure 2.9: South Area Birds-Eye Rendering Birds-eye view from southwest corner of Grand Park District toward the northeast over proposed pond and southern retail canalwalk and connection to Champions Way Linear Park.



South Area Open Space Activation

Shared Courtyards & Community Gardens



Destination Waterfront Playground



Pickleball or sport courts



Playable Fountain & Water Landscape



Climbing Wall Facade



Retail Canalwalk with hardscape edge



Outdoor Cafe Seating & Boardwalk



Bike & Pedestrian Bridge



Regulating Plan

03



General Regulating Plan

A regulating plan is the backbone of good urban design, turning vision into reality through clear, enforceable rules. While an illustrative vision plan inspires with a broad picture of what a place could look like, a regulating plan gets specific, laying out exactly where streets, blocks, building edges, and public spaces shall go. It ensures that every element contributes to a cohesive, walkable environment—where streets prioritize people, buildings engage the sidewalk, and public spaces are exactly where they need to be to create vibrancy. In short, it's the rulebook that ensures the vision doesn't just look good on paper but works properly in real life.



Example of Mixed Use Development: Legacy Town Center, Plano Texas



Example of Sports-Centered Mixed Use Development: The Battery, Atlanta GA.

Mixed Use Development Principles

A successful mixed-use building—residential above retail with a parking garage—must seamlessly blend functionality, livability, and community. Here's how:

Engage the Ground Floor: Retail spaces shall have large windows and transparent facades to draw in foot traffic and create an inviting atmosphere. Awning-covered sidewalks, clear signage, and smart lighting bring human-scale details that animate the street, while outdoor patios or plazas extend the public space, encouraging social interaction and activity.

Hide the Parking: Parking garages shall be tucked behind retail and residential edges to avoid dominating the streetfront. Use perforated metal, greenery, or decorative materials to obscure the structure against interior courtyards.

Prioritize Residential Privacy: The residential entrance needs separation from the retail and parking areas to ensure privacy and security. Add terraces or balconies to break up the building mass and offer outdoor space for residents, enhancing both privacy and the building's visual appeal.

Shape the Building to Fit: Stepbacks and setbacks reduce the mass of taller buildings and let more light reach the street. Use demise lines to give long buildings the appearance of multiple smaller structures.

Make it Walkable: Making it walkable means making it *roll-able*. Every measure that enhances accessibility will also accrue to walkability. Design wide, welcoming sidewalks with safe crossings and attractive landscaping to seamlessly connect the building to the surrounding area. Public spaces—whether lobbies, courtyards, or plazas—encourage interaction and help create a sense of community.

By focusing on these principles, a mixed-use building can integrate into the urban fabric, offering convenience, comfort, and a vibrant public space that invites interaction while promoting sustainability and walkability.

General Requirements

Buildings

Min./Max. Building Heights: No building shall be less than three or more than six stories tall with three exceptions: the Standalone Retail with canal frontage, which may be as small as one story; the Ice Facility / Indoor Sports Destination; and unique uses proposed for future development that align with the vision for the Grand Park District. Such structures must have a minimum parapet height not less than 25 ft and must conform to retail frontage requirements at the desired location.

Ground Floor Heights: All retail spaces shall be located on a ground floor placed at grade. Buildings with residential first floors shall locate all first-floor residences a minimum of 18 inches above adjacent sidewalk grade. The ground floor ceiling height for all retail, commercial, or civic buildings shall be a minimum of 15 feet. The exception to these rules is residential/artisanal uses, which may be placed at grade with a ceiling height of 10 feet minimum. Glass roll-up garage doors are recommended for these habitable workshops.

Building Attachment Location: Any attachments such as bay windows, balconies, porches, stoops, awnings, or eaves may extend forward of the Building Line. The Building Line or setback line is the minimum distance a building must be set back from the curblines to meet desired public space standards. All buildings shall provide some form of shelter from rain at the front door(s).

Encroachments: Cafe seating is encouraged along ground floor retail frontage in Grand Park District. Along building frontage where retail is required, sidewalks are designed to provide 15-20 ft. width to ensure sufficient space for cafe seating and space remaining for pedestrian passage. In all areas where retail is allowed or required, a five (5) foot pedestrian access area on the perimeter of the outdoor café and eating area shall be maintained at all times. Permanent outdoor cafés and eating areas require Development Plan approval by the City of Westfield. Functional awnings are the only first-floor attachments allowed to overhang the public right-of-way. On the second floor and above, balconies, bay windows, eaves, lights, and signs may occupy the public right-of-way.

Alcove: All retail users shall locate their primary entrances within a small additional setback between 30 and 100 square feet in size, paved to match the sidewalk.

Retail Awnings: Awnings shall be a minimum of six feet deep and shall be metal with colored fabric or metal and glass. Fabric awnings shall have a metal structure covered with canvas or synthetic canvas and be rectangular in shape with straight edges and no side panels or soffit. Awnings shall not be backlit or used as signs, except for

a possible single inscription on the flap, not to exceed six inches in height. All awnings on a single shop shall have the same depth, material, and color.

Courtyard Greens: Enclosed courtyards within residential blocks are private to those developments and not considered public spaces.

Liner Buildings: In many locations in the plan, thin buildings are employed to hide parking structures from public view. At their developers' discretion, these buildings may function as individual multi-story rowhouses, discrete multi-unit walk-ups, or single-story flats served by a rear hallway.

Sidewalk extension: All retail users shall pave their setbacks to match the adjoining sidewalk.

Retail Canalwalk: A retail boardwalk shall be comprised of linear boardwalks, retail frontage, integrated storefronts, shaded seating areas, enhanced paving materials, native planting, and connections to the water's edge.

Standalone Retail: Standalone retail refers to single-use, freestanding commercial buildings to support accommodate retail, dining, or service-oriented businesses. Standalone retail shall prioritize pedestrian-friendly design elements, including defined building entrances, sidewalks, and connections to nearby pathways or public spaces. Building orientation and façades shall engage the street with active frontages such as display windows, outdoor seating, or signage, to enhance the public realm. Where relevant, standalone retail establishments shall have a secondary frontage on the canalwalk.

Parking Structure Edges: Primary frontage lines do not allow exposed parking decks. The design of any parking structure edges facing a street shall be approached as the opportunity for unified artwork and may include supergraphics but not advertising other than temporary banners hung for no more than one year. Wherever a parking structure is exposed to a residential courtyard, its visible façade shall be provided with a "green screen" or planted window boxes, irrigated as necessary, such that vegetation shall cover at least 50 percent of the façade when planted.

Building Design for Accessibility: The U.S. Department of Justice (DOJ) enforces national ADA design standards under Titles II and III of the Americans with Disabilities Act. In Westfield, accessibility for new buildings and renovations is also guided by the Westfield-Washington Township Unified Development Ordinance (UDO) and the city's ADA Transition Plan for sidewalks and curb ramps.

Pedestrian Realm

All pedestrian infrastructure including sidewalks and curb ramps are built in accordance with ADA/PROWAG and City of Westfield Standards and Specifications. These guidelines ensure that pedestrian facilities in the public right-of-way, including sidewalks and curb ramps, are accessible.

Crosswalk Materials: Crosswalks shall be minimum 10 feet wide, located to continue all sidewalk trajectories across all intersections, and painted to comply with standards set forth by NACTO (the National Association of City Transportation Officials). As a welcome upgrade, crosswalks and even full intersections may be built of contrasting materials to the street and/or raised as speed tables.

Street Lighting: Streetlights shall be placed within the tree zone near the curb line and stand 10 feet to 15 feet tall. Retail-affronting sidewalks shall provide additional streetlights, evenly spaced, to result in a minimum spacing distance of 50 feet. In non-retail locations, streetlights shall be evenly spaced to result in a minimum spacing distance of 100 feet.

Sidewalk Objects: Any fire hydrants, mailboxes, parking meters, bicycle racks, or other impediments to foot traffic shall be located in the tree zone towards the curb. Benches shall be provided at retail frontages at a minimum of one per block face. Bike and Scooter parking racks shall be located along all street edges with a minimum spacing distance of 100 feet. Refer to Appendix 05 for locations where higher-capacity bike parking may be desirable. Benches shall be located facing the street with their backs against building fronts or in the tree zone perpendicular to the street. Benches built into building facades are encouraged and may encroach upon the sidewalk to a maximum depth of two feet.

Loading docks: Loading docks shall be located at the rear or side of buildings, away from pedestrian and retail frontages, with access provided through service lanes. To ensure functionality, docks shall be at least 12 feet wide and 30 feet deep, accommodating delivery vehicles without obstructing traffic flow. Screening with walls, gates, or landscaping designed to match the building architecture is required to minimize impact wherever a loading dock is visible from a street.

Golf Cart Parking: On-street parking lanes may be reconfigured to accommodate golf cart parking as deemed appropriate by City of Westfield Staff. Spaces should be positioned near intersections and mid-block crossings to maximize accessibility and pedestrian flow. Proper signage and pavement markings should delineate golf

cart parking areas, ensuring orderly use and integration with the broader multimodal transportation network. Refer to Appendix 05 for locations where higher-capacity bike parking may be desirable.

Above-ground utilities: Above-ground utilities must be placed in rear yards, alleys, or inconspicuous locations, avoiding visibility from public spaces. When less visible placement is not feasible, utilities shall be integrated into the building design, such as rooftop installations set back from edges. Utilities shall be grouped to reduce visual clutter and screened using enclosures made from durable materials or vegetative solutions that complement the building's aesthetic.

Street Trees: Street trees shall include Large, Standard, Ornamental/Flowering, and Specimen Trees, all with a minimum three inch caliper and pruned to maintain a seven feet clear trunk. These trees shall be planted in continuous beds of structural soil or Silva Cells. In more urban sidewalks, trees shall be placed in at-grade tree boxes approximately five feet square, with either groundcover or tree grates, depending on foot traffic. In less urban sidewalks, trees shall be planted in continuously landscaped strips. Native ground cover (not grass) is recommended for all tree strips and non-grated tree boxes.

Street Design

All streets shall conform to the layouts and dimensions of this Plan. The dimensions noted herein are present in the Plan.

Driving Lanes: Driving lanes shall be 10 feet wide with no centerlines between them, inclusive of curb width.

Curb Extensions: Curb extensions at corners and curb cuts shall be six feet deep. Curb extensions around parking stalls shall chamfer at 45 degrees to embrace the end stalls.

Parking Stalls: Parking stalls shall be eight feet deep and 22 feet long, but end units shall be 20 feet long against the 45-degree curb chamfer.

Curbs: Curbs shall be vertical without horizontal lips (no gutter pans). Rollover or rounded curbs are only permitted where required to facilitate truck motions to the degree demonstrated by turning templates.

Curb Radii: Other than at roundabouts, curbs shall have the following return radii at corners (at face of curb):

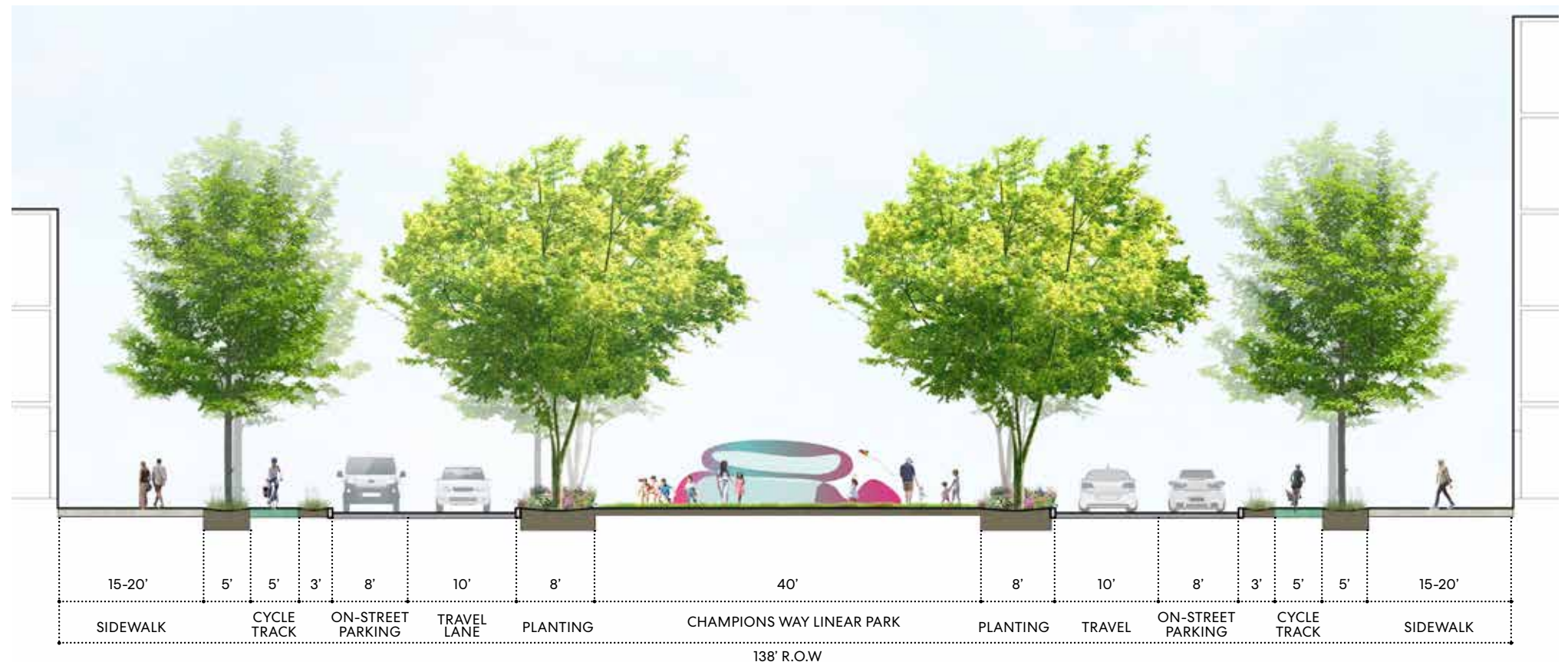
- 10 to 15 feet at standard intersections
- Five feet at curb cuts for alleys and parking structure access

Paseos (or Pedestrian Streets): The pedestrian street shall be 40 feet wide. Mechanical bollards shall be used to limit vehicular access. Trees shall be planted 10 feet from the building face on the north side of the street and planted with Narrow Trees spaced 20 – 30 feet on center. Paseos are indicated on the Landscape Regulating Plans (pages 22-28).

A summary of the Grand Park District Street Network Categorization and Street Sections is included as Appendix 03

Multimodal network recommendations for bikes, golf carts, and area trolley can be found in Appendix 05.

Figure 3.1: Section: Champions Way Linear Park



Regulating Plan

North Area Key Location Summary Map - Landscape

Public and Open Spaces

1. Grand Park Event Center Plaza

The Grand Park Event Center is shown with an enhanced front entry, bold horizontal awning adding architectural interest while shading and highlighting the entrance of a plain GPEC facade. Fronting GPEC is an enhanced plaza area. Retail frontage with café seating spilling into the plaza to the east and west shall create a sense of enclosure and further activate the space. The centerpiece of the plaza is a mini Astroturf football field which provides a flexible space for events and gathering.

2. Champions Way Linear Park

Champions Way Linear Park provides a walkable, vibrant central corridor through the district. It takes the form of a broad median at the center of an avenue flanked by retail and civic uses on both sides. Additional description on page 20; Schematic design and block descriptions in the Appendix 04.

3. Eastside and Westside Canal (Field Side)

The Westside and Eastside canals, evocative of the iconic Dutch waterways, feature narrow, tree-lined paths and charming bridges that extend the activation along Champions Way both eastward and westward. Serving as key organizing elements of the northern area, these canals frame picturesque views toward the baseball diamonds on the east (Diamond Side) and the multipurpose fields on the west (Field Side). Replacing existing water retention ponds, the canals are designed with sustainability in mind, as the water is anticipated to support irrigation needs across the area.

4. Multimodal Bridges (X2)

A compact truss bridge in each direction of travel along Champions Way efficiently accommodates a single lane for vehicles while providing a safe, accessible, and multimodal path for walkers and cyclists.

5. Grand Park Boulevard Underpass

The existing Grand Park Boulevard underpass connecting the Grand Park District mixed use development to the Diamond Side of Grand Park shall remain. Access to this underpass shall be reconfigured to connect to the sidewalk north of the proposed Eastside Canal.

6. Surface Parking along Utility Pathway

This parking lot is designed such that drive aisles within the parking lot align with the utility easement pathway, rather than parking stalls.

7. Stadium Frontage on 186th Street

The stadium parcel's edges and corners along 186th Street shall feature active facades and landscaping with tall, striking elements that create a visual gateway, announcing entry into the district and enhancing the corner's prominence.

8. Grand Park District Area Wayfinding/Gateway:

Area visitors shall pass through a new roundabout at 191st Street and Grand Park Boulevard as they enter the Grand Park district. Landscaping and signage at this northernmost block of Grand Park Boulevard shall reinforce this important moment of entry. Consider mural activation of eastern Grand Park Even Center Wall and other gateway features.

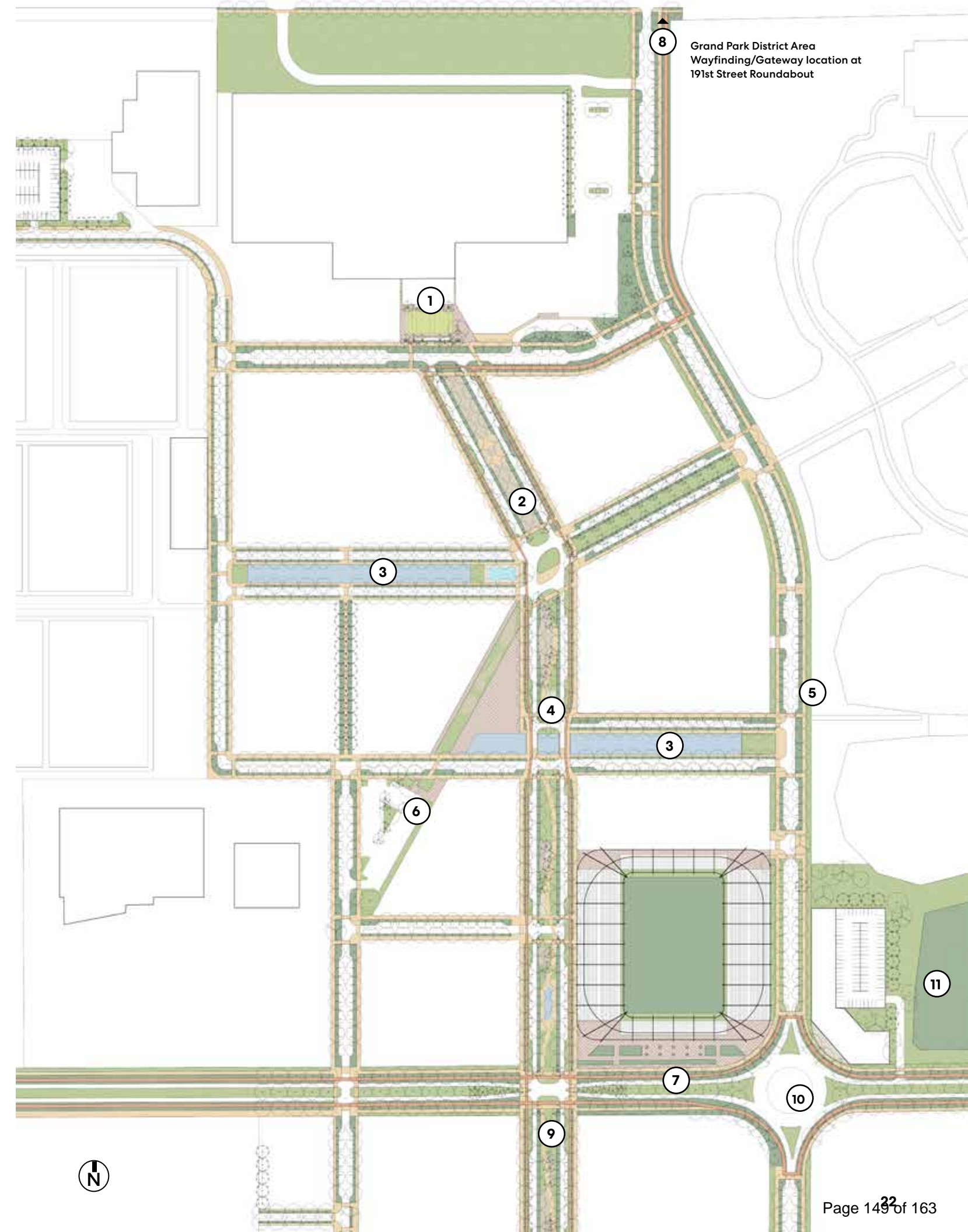
9. Champions Way Crossing

At the intersection of 186th Street and Champions Way a neck-down design shall be considered which narrows the roadway at the point of crossing, reducing lane widths along 186th Street to slow traffic speeds and enhance pedestrian safety. This will create a more calming and controlled driving environment and reduce the crossing distance for people walking or biking along Champions Way.

10. Existing 186th Street Roundabout

Location of new Championship Baseball Diamond relocated from existing location elsewhere in the district. Landscape screening along adjacent vertical structures is essential to preserve views for players.

Refer to Appendix 06 for more recommendations related to Gateways and Vista Terminations.



Regulating Plan

North Area Key Location Summary Map - Building

Anchor/Destination Buildings

Anchor buildings hold prominent locations and serve unique functions in the district. Anchor/Destination buildings' critical and flexible design features are described here:

- 1. Grand Park Event Center (GPEC)**
The Grand Park Events Center has been a centerpiece to the 400+ acre sports complex since the summer of 2016. This 377,000 square foot indoor sports facility includes three full-size synthetic fields, four locker rooms, office and meeting space, a full-service restaurant, and a sports pub.
- 2. Hotel + Conference Center**
A new hotel with ground-level conference/meeting and event spaces shall be directly accessible from GPEC. A portico marks the corner, visible and accessible from Grand Park Boulevard. This block shall also support an entry portico for hotel visitors, though the primary parking amenity would be the parking garage located across the street.
- 3. Practice Facility / Destination Sport Headquarters**
This block is sized to accommodate a large indoor practice facility, office, and support services for a sports headquarters, with retail fronting Champions Way.
- 4. Standalone Structured Parking**
One of only two non-wrapped parking garages proposed for the Grand Park District, this structured parking garage would support GPEC on major event days when parking demand is highest. This proposed garage replaces existing surface parking on the Grand Park Sports Campus.
- 5. Office over Retail Fronting Plaza**
In the Illustrative Plan for the area, a standalone structure is depicted at the location with retail on the ground floor, office uses above. The eastern face of a structure at this location provides essential enclosure to the GPEC Plaza, and will be highly visible. The eastern facade shall be considered a major placemaking opportunity and pursue major signage or use of this facade for a large video screen overlooking the plaza.

- 6. Grand Park Stadium**
Replacing an existing multipurpose championship field, a new 10,000-seat multipurpose stadium is envisioned to hold a prominent location at the southeast corner of the northern development area. The stadium itself, highly visible from the eastern approach along E 186th Street, announces your arrival at the Grand Park District.
- 7. 186th Corner Building**
A building designed for this site shall emphasize frontage toward the 186th Street and Grand Park Boulevard roundabout. Note that building materiality shall respond to the adjacency of the Championship Baseball Diamond. Retail would not be required at this location. Parking shall be shared with the field.
- 8. Typical Mixed Use Block**
The mixed-use block features a ground floor of retail with 4-5 stories of residential units above, surrounding a centrally located structured parking garage. This layout maximizes space efficiency, integrating commercial, residential, and parking uses in a cohesive design. Within the Grand Park District, most blocks are designed such that a typical mixed use development with internal structured parking could be accommodated. Ground Floor retail shall be focused toward Champions Way.
- 9. Standalone Retail**
A single-use, freestanding commercial building designed to accommodate retail, dining, or service-oriented businesses. A retail building at this prominent location shall engage all three faces of this block with active frontages such as display windows, outdoor seating, or signage, to enhance the public realm. The structure shall be a minimum 20 feet tall with primarily glass/openable facades on all sides, like a market hall.



Regulating Plan

North Area - Landscape 1|2

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North Area: Public & Open Spaces

1. Grand Park Event Center Plaza
2. Champions Way Linear Park
3. Westside Canal (Field Side)
4. Grand Park District Area Wayfinding/Gateway



Figure 3.2: Grand Park Event Center (above) is a 377,000 square feet indoor recreation facility located at 19000 Grand Park Boulevard, Westfield, IN 46074.



Key:

- ❖ **Paseos:** Open-air pedestrian passage through a building shall be placed in this location, primarily providing passage between the retail street and boardwalk. Paseos shall be between 12 and 20 feet in width and at least 16 feet in height.
- **Large Tree:** A native tree with a minimum 50-foot crown-width at maturity shall be planted in this location. Trees shall be planted in locations with ample planting width and depth to support mature growth. While genus may vary, all Large Trees on a given block shall appear to be the same species, with variety occurring between blocks, not within them. Native examples include White Oak, Sugar Maple, American Elm, Tulip Poplar, and American Sycamore.



Standard Tree: A native tree with an approximate 40-foot crown-width at maturity shall be planted in this location. While genus may vary, all Standard Trees shall appear to be the same species, with variety occurring between blocks, not within them. Native examples include Thornless Honey Locust, American Beech, Yellowwood, and Black Gum, and Hickory.



Ornamental / Flowering Tree: A smaller sized tree selected primarily for its decorative qualities, such as vibrant flowers, striking foliage, or unique form. These trees are placed to enhance visual or seasonal interest and accentuate key areas within the design, such as entryways or garden spaces. Variety among Ornamental Trees is welcome. Native examples include Dogwood, Eastern Redbud, Serviceberry, American Fringe Tree, and Sweetbay Magnolia.



Specimen Tree: A specimen tree is a notable tree identified for its exceptional size, form, species, or historical significance. It is typically used to emphasize a key feature of a landscape or open space design.



Evergreen Tree: A year-round foliage tree used to provide consistent visual screening and privacy for buildings or outdoor spaces. Its dense canopy and ability to block views make it an ideal choice for creating natural barriers and enhancing site aesthetics. Variety among Evergreen Trees is welcome. Native species examples include American Holly, Eastern Redcedar, White Pine, Northern White Cedar and Hemlock.

Regulating Plan North Area - Building 1|2

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Anchor/Destination Buildings

1. Grand Park Event Center (GPEC)
2. Hotel + Conference Center
3. Practice Facility / Destination Sport Headquarters
4. Standalone Structured Parking
5. Office over Retail Fronting Plaza



KEY

- Primary Building Line:** Buildings shall place a habitable building edge (and not parking) along no less than 80% of their Primary Building Lines. The gaps in building edge allowed by that percentage shall not occur at building corners, with the exception that corners may be rounded or chamfered. Other than Attachments, buildings may not sit in front of their Building Lines.
- Property Lines:** Property lines depict the outer extent of legally platted area within each block.

- Retail Required:** Buildings shall place ground-floor retail (or dining/entertainment) or hotel lobby uses along no less than 80% of this frontage.
- Retail Allowed:** Buildings may place ground-floor retail (or dining/entertainment) or hotel lobby uses along this frontage. Such use is prohibited at all other frontages.
- Full Demise Line:** Building segments on either side of this line shall convincingly appear to be a distinct building designed by a different architect. Each such "building" shall have its own entrance. Full demise lines may move by as much as 50 feet but may not decrease in number by more than 30%.

Partial Demise Line: Building segments on either side of this line shall convincingly appear to be repeated rowhouse-like structures. Each such "rowhouse" shall have its own entrance. Among segments, varying colors and doorway treatments are encouraged, but wall materials and window types shall be consistent. Partial demise lines may move or change in number as long as the resulting rowhouses are largely similar in width and between 15 and 50 feet wide.

- Vista Termination:** These locations are perspective-framed by a long view down a street. Buildings at Vista Terminations shall respond with an appropriately scaled architectural feature, aligned to sit centered within the vista. Proper such features include but are not limited to entrances, gables, bay windows, grouped window compositions, towers, and cupolas.
- Curb Cut Allowed:** Curb cuts are permitted only in these locations. Curb cuts may not exceed 20 feet in width (plus 10-foot max corner curb radii). Curb cuts may be moved (with appropriate modifications to the tree plan) to other non-corner locations but may not increase in number. The majority of locations indicated show access to structured parking garages.

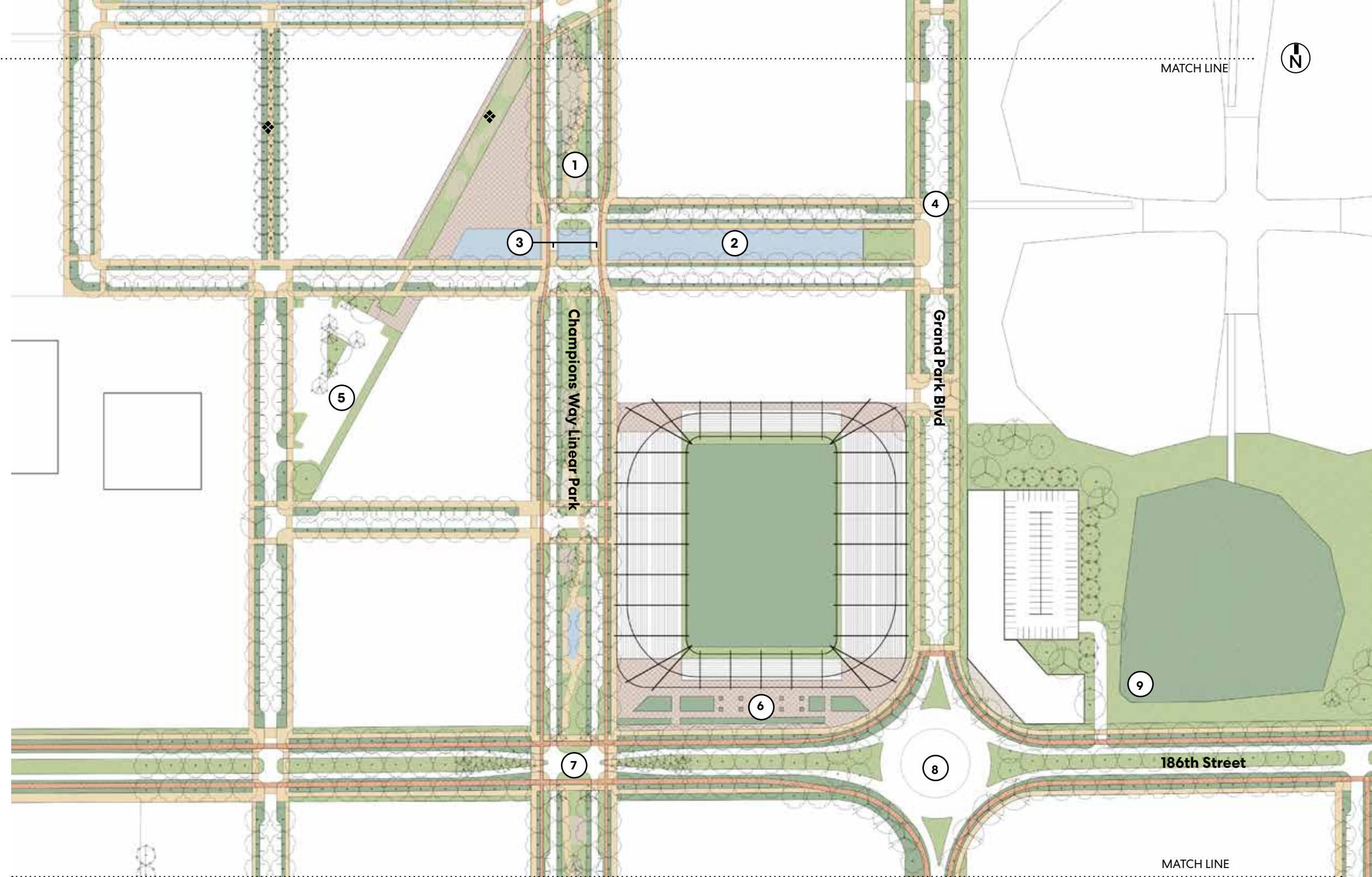
Regulating Plan

North Area - Landscape 2|2

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North Area: Public & Open Spaces

1. Champions Way Linear Park
2. Eastside Canal
3. Multimodal Bridges (X2)
4. Grand Park Boulevard Underpass
5. Surface Parking along Utility Pathway
6. Stadium Frontage on 186th Street
7. Champions Way Crossing
8. Existing Roundabout
9. Championship Baseball Diamond



Key:

❖ **Paseos:** Open-air pedestrian passage through a building shall be placed in this location, primarily providing passage between the retail street and boardwalk. Paseos shall be between 12 and 20 feet in width and at least 16 feet in height.

○ **Large Tree:** A native tree with a minimum 50-foot crown-width at maturity shall be planted in this location. Trees shall be planted in locations with ample planting width and depth to support mature growth. While genus may vary, all Large Trees on a given block shall appear to be the same species, with variety occurring between blocks, not within them. Native examples include White Oak, Sugar Maple, American Elm, Tulip Poplar, and American Sycamore.



○ **Standard Tree:** A native tree with an approximate 40-foot crown-width at maturity shall be planted in this location. While genus may vary, all Standard Trees shall appear to be the same species, with variety occurring between blocks, not within them. Native examples include Thornless Honey Locust, American Beech, Yellowwood, and Black Gum, and Hickory.



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○ **Specimen Tree:** A specimen tree is a notable tree identified for its exceptional size, form, species, or historical significance. It is typically used to emphasize a key feature of a landscape or open space design.



○ **Evergreen Tree:** A year-round foliage tree used to provide consistent visual screening and privacy for buildings or outdoor spaces. Its dense canopy and ability to block views make it an ideal choice for creating natural barriers and enhancing site aesthetics. Variety among Evergreen Trees is welcome. Native species examples include American Holly, Eastern Redcedar, White Pine, Northern White Cedar and Hemlock.

Regulating Plan

North Area - Building 2|2

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Anchor/Destination Buildings

1. Westfield Grand Park Stadium
2. 186th Corner Building
3. Typical Mixed Use Block (Example)
4. Standalone Retail



KEY

- Primary Building Line:** Buildings shall place a habitable building edge (and not parking) along no less than 80% of their Primary Building Lines. The gaps in building edge allowed by that percentage shall not occur at building corners, with the exception that corners may be rounded or chamfered. Other than Attachments, buildings may not sit in front of their Building Lines.
- Property Lines:** Property lines depict the outer extent of legally platted area within each block.

- Retail Required:** Buildings shall place ground-floor retail (or dining/entertainment) or hotel lobby uses along no less than 80% of this frontage.
- Retail Allowed:** Buildings may place ground-floor retail (or dining/entertainment) or hotel lobby uses along this frontage. Such use is prohibited at all other frontages.
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Partial Demise Line: Building segments on either side of this line shall convincingly appear to be repeated rowhouse-like structures. Each such "rowhouse" shall have its own entrance. Among segments, varying colors and doorway treatments are encouraged, but wall materials and window types shall be consistent. Partial demise lines may move or change in number as long as the resulting rowhouses are largely similar in width and between 15 and 50 feet wide.

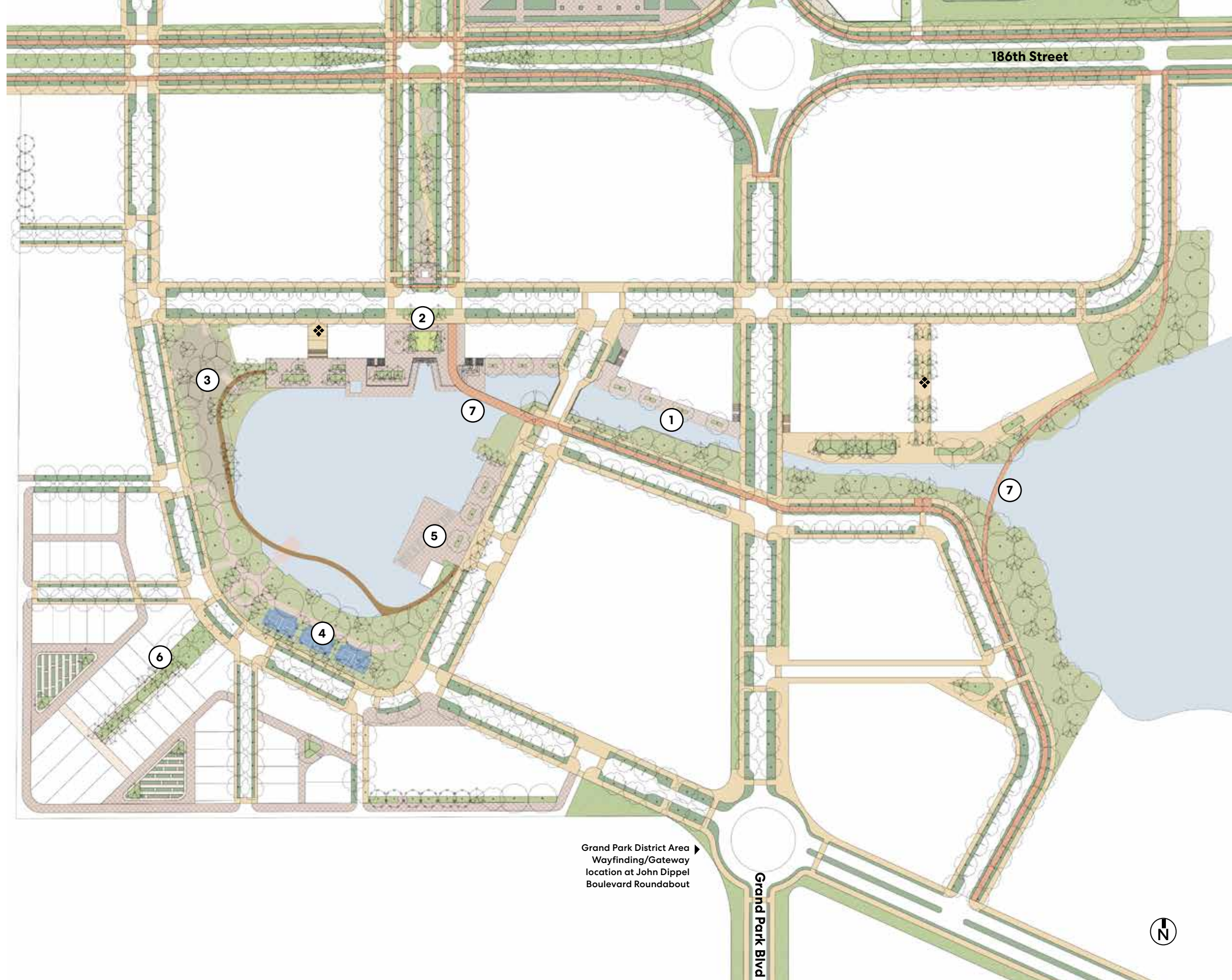
- Vista Termination:** These locations are perspective-framed by a long view down a street. Buildings at Vista Terminations shall respond with an appropriately scaled architectural feature, aligned to sit centered within the vista. Proper such features include but are not limited to entrances, gables, bay windows, grouped window compositions, towers, and cupolas.
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Regulating Plan

South Area Key Location Summary Map - Landscape

Public and Open Spaces

1. **Retail Canalwalk:** A retail canalwalk along the northern edge connects the new pond to the existing lake east of Grand Park Boulevard. Shops and restaurants here are designed with two frontages: one facing the street and another facing the canal and boardwalk. The waterfront shall include outdoor dining, lighting, and signage to enhance its appeal. The retail boardwalk presents opportunities for winter activation and programming including .
2. **Champions Way Linear Park & Central Public Plaza:** Champions Way Linear Park terminates in the south area at a plaza anchoring the retail canalwalk around a water feature and interactive landscape element that combines flowing, splashing, or cascading water with accessible design, inviting people of all ages to engage with the water through touch, movement, and play, while enhancing the aesthetic and sensory appeal of public spaces.
3. **Northwest Edge Park:** Envisioned to be the location of a destination waterfront playground at the western end of the retail canalwalk.
4. **Southwest Edge Park:** The park-like setting along the southern edge of the pond provides passive respite and active outdoor recreation facilities (tennis courts, pickleball courts, etc) serving the surrounding neighborhood.
5. **Retail Attraction:** The view to the south along the Champions Way Linear Park shall terminate with a proposed major retail attraction, depicted as a Ferris Wheel in the illustrative plans. Areas around this highly visible corner present opportunities for winter activation and programming.
6. **Residential Neighborhood Courtyard(s):** An interior residential courtyard is a shared, central green space enclosed by homes, fostering community interaction while offering a tranquil, semi-private outdoor environment.
7. **Bike/Pedestrian Bridges (X2):** The bike-and-pedestrian-only bridge is a streamlined structure designed with wide pathways, gentle slopes, and safety features like railings and lighting, creating a car-free, accessible route for walkers, runners, and cyclists to enjoy.



Regulating Plan

South Area - Landscape 1|1

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South Area: Public & Open Spaces

1. Retail Canalwalk
2. Champions Way Linear Park & Central Public Plaza
3. Northwest Edge Park
4. Southwest Edge Park
5. Retail Attraction
6. Residential Neighborhood Courtyard(s)
7. Bike/Pedestrian Bridges (X2)

Key:

❖ **Paseos:** Open-air pedestrian passage through a building shall be placed in this location, primarily providing passage between the retail street and boardwalk. Paseos shall be between 12 and 20 feet in width and at least 16 feet in height.

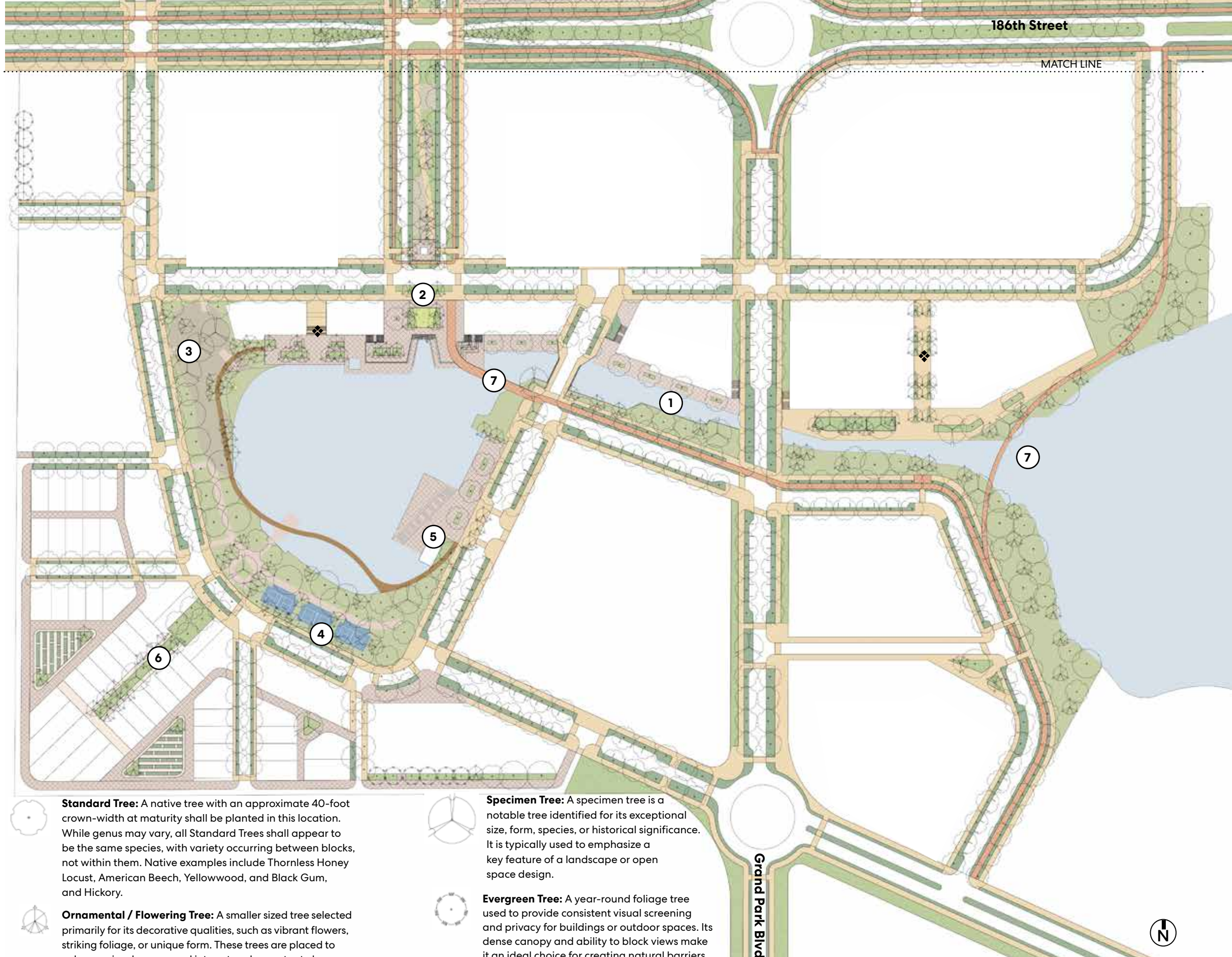
○ **Large Tree:** A native tree with a minimum 50-foot crown-width at maturity shall be planted in this location. Trees shall be planted in locations with ample planting width and depth to support mature growth. While genus may vary, all Large Trees on a given block shall appear to be the same species, with variety occurring between blocks, not within them. Native examples include White Oak, Sugar Maple, American Elm, Tulip Poplar, and American Sycamore.

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Regulating Plan South Area - Building 1|1

(Anchor/Destination Buildings Noted)





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Anchor/Destination Buildings

Anchor buildings hold prominent locations and serve unique functions in the district. Anchor/Destination Building's critical and flexible design features are described here:



- 1. Standalone Retail along the canalwalk:** Active frontage on both street and canal sides of the building. Where buildings are located at an intersection, all frontages must have active edges.
- 2. Ice Facility/Indoor Sport Destination:** holding a large, prominent location these buildings act as a gateway into the area or identifying marker for visitors and shall provide ample pick-up/drop-off space and access to a nearby parking structure to manage event traffic.


Key:


-  **Primary Building Line:** Buildings shall place a habitable building edge (and not parking) along no less than 80% of their Primary Building Lines. The gaps in building edge allowed by that percentage shall not occur at building corners, with the exception that corners may be rounded or chamfered. Other than Attachments, buildings may not sit in front of their Building Lines.
-  **Property Lines:** Property lines depict the outer extent of legally platted area within each block.
-  **Retail Required:** Buildings shall place ground-floor retail (or dining/entertainment) or hotel lobby uses along no less than 80% of this frontage.
-  **Retail Allowed:** Buildings may place ground-floor retail (or dining/entertainment) or hotel lobby uses along this frontage. Such use is prohibited at all other frontages.



Residential Concept Alternate in Appendix 02

-  **Full Demise Line:** Building segments on either side of this line shall convincingly appear to be a distinct building designed by a different architect. Each such "building" shall have its own entrance. Full demise lines may move by as much as 50 feet but may not decrease in number by more than 30%.
-  **Partial Demise Line:** Building segments on either side of this line shall convincingly appear to be repeated rowhouse-like structures. Each such "rowhouse" shall have its own entrance. Among segments, varying colors and doorway treatments are encouraged, but wall materials and window types shall be consistent. Partial demise lines may move or change in number as long as the resulting rowhouses are largely similar in width and between 15 and 50 feet wide.

 **Vista Termination:** These locations are perspective-framed by a long view down a street. Buildings at Vista Terminations shall respond with an appropriately scaled architectural feature, aligned to sit centered within the vista. Proper such features include but are not limited to entrances, gables, bay windows, grouped window compositions, towers, and cupolas. Note: At location "A" vista terminus, Civic Art or Playable installation such as a climbing wall shall be installed in front or attached to the building facade, visible from 1/2 mile distance.

 **Curb Cut Allowed:** Curb cuts are permitted only in these locations. Curb cuts may not exceed 20 feet in width (plus 10-foot max corner curb radii). Curb cuts may be moved (with appropriate modifications to the tree plan) to other non-corner locations but may not increase in number. The majority of locations indicated show access to structured parking garages.



Grand Park District

Figure 3.2 Full Illustrative Plan



Grand Park Blvd

Champions Way

191st Street

186th Street



Development Summary

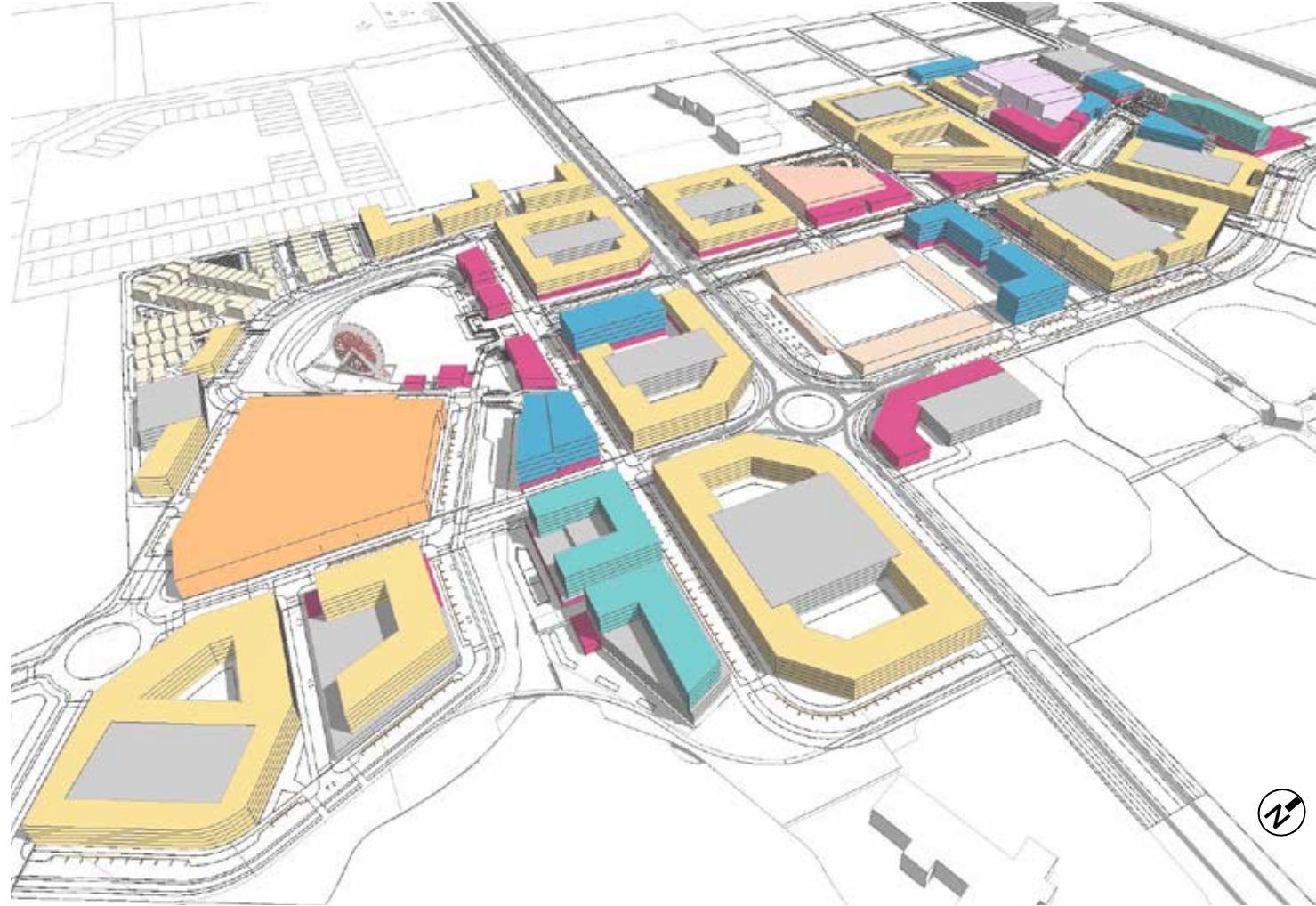
04



Quantified Development Overview

The Quantified Development Overview represents one possible full buildout scenario for the District to provide an estimate of use mix and development intensity possible within the Grand Park District Regulating Plan.

Grand Park District Development Summary - North and South Areas Combined



Total Development Summary by Use

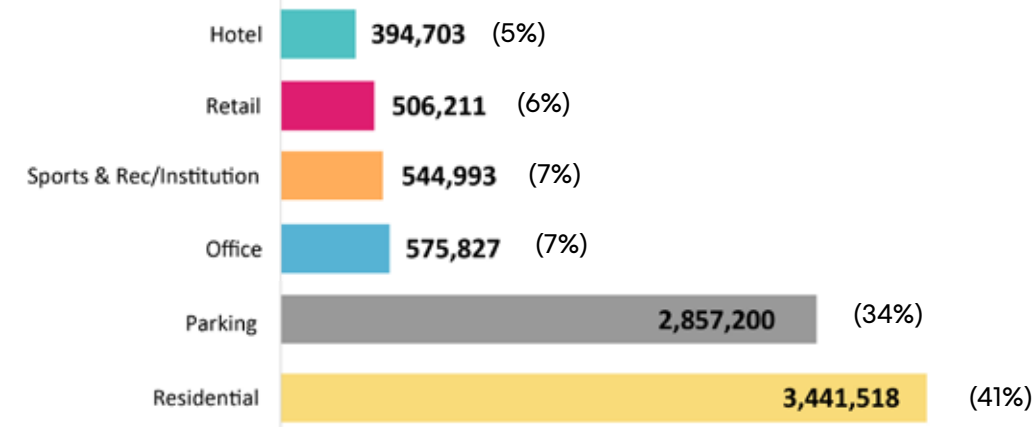


Figure 4.1: Graphs - Total Development Summary by Use (above)

Grand Park District Development Summary

LAND USE CATEGORY	SOUTH	NORTH	TOTAL SF
Residential	1,933,054	1,508,464	3,441,518
Parking	1,122,010	1,735,190	2,857,200
Office	190,576	385,251	575,827
Retail	223,136	283,075	506,211
Sports & Recreation / Institution	176,929	368,064	544,993
Hotel	248,942	145,761	394,703
TOTAL	3,894,647	4,425,805	8,320,452

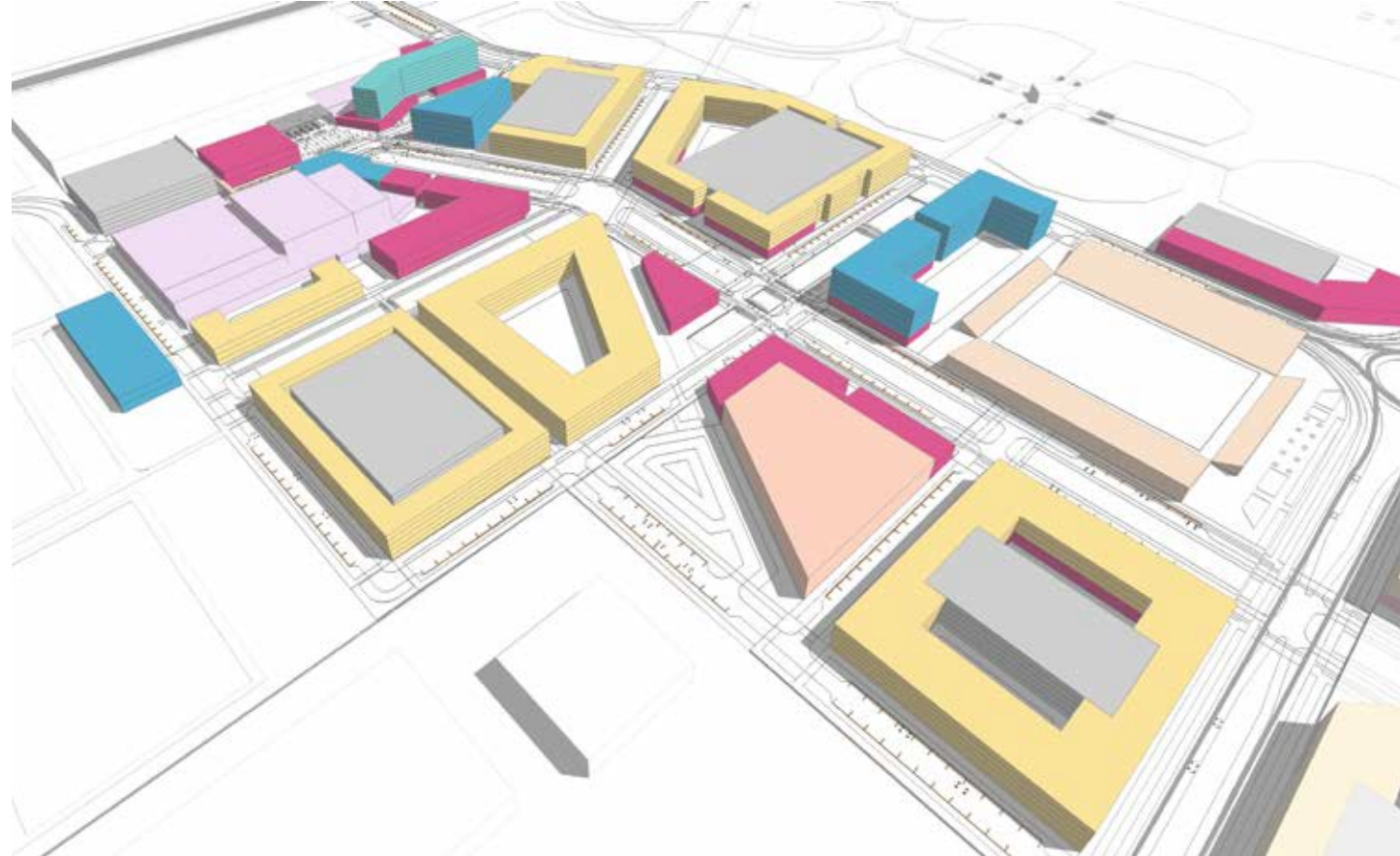
RESIDENTIAL UNITS & PARKING	SOUTH	NORTH	TOTAL
Residential Units	2,125	1,659	3,784
Parking Spaces	2,805	4,339	7,144

Figure 4.2: Summary Table (above)

Quantified Development Overview - North

The Quantified Development Overview represents one possible full buildout scenario for the District to provide an estimate of use mix and development intensity possible within the Grand Park District Regulating Plan.

Grand Park District Development Summary - North Area Only



North Area Development Summary by Use

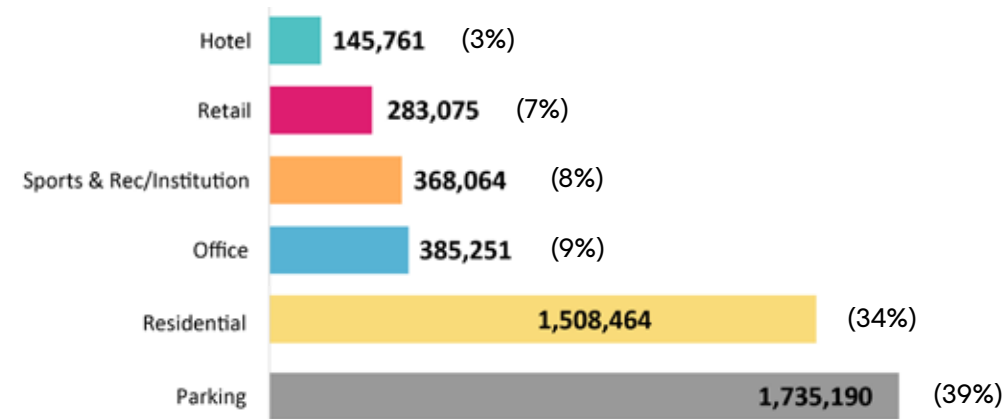
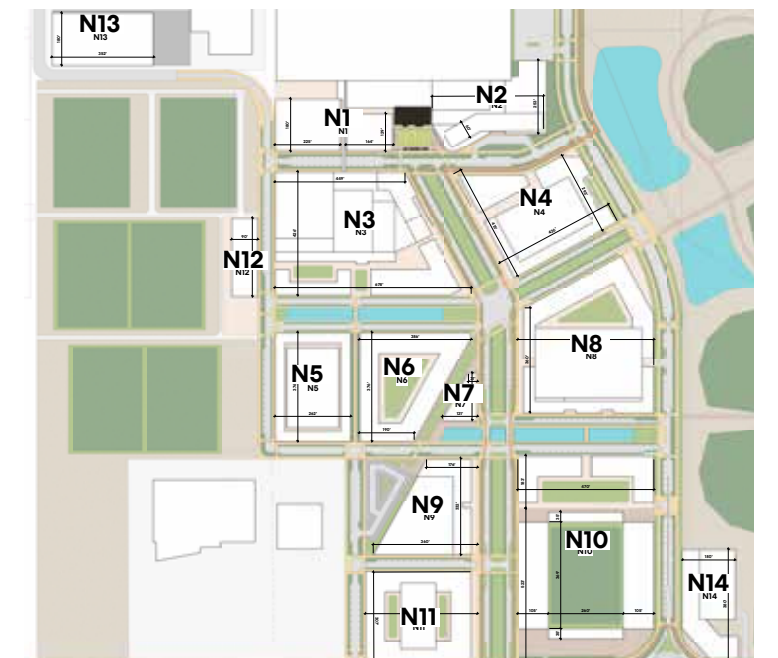


Figure 4.3: Graphs - North Area Development Summary by Use (above)

Parcel I.D.	Building Use	Gross Floor Area	Residential Units	Hotel Keys	Parking GSF	Parking Provided	Parking Demand
N1	PARKING				202,632	507	
N1	OFFICE	42,077					126
N1	RETAIL	21,039					84
N2	HOTEL	145,761		583			117
N2	INSTITUTION	37,237					
N2	RETAIL	46,732					187
N2	PARKING (SURFACE)				38,214	96	
N3	INSTITUTION	130,827					
N3	OFFICE	27,756					83
N3	RESIDENTIAL - TYPE A	49,522	~200 beds				
N3	RETAIL	75,843					303
N4	OFFICE	93,218					280
N4	PARKING				261,208	653	
N4	RESIDENTIAL - TYPE A	216,986	247				
N5	PARKING				247,957	620	
N5	RESIDENTIAL - TYPE A	194,813	221				
N6	RESIDENTIAL - TYPE A	379,744	432				
N7	RETAIL	24,528					98
N8	PARKING				444,000	1110	
N8	RESIDENTIAL - TYPE A	387,091	440				
N9	RETAIL (SURGE)	55,043					55
N10	OFFICE	173,600					521
N10	STADIUM	200,000					
N11	PARKING				136,667	342	
N11	RESIDENTIAL - TYPE A	280,309	319				
N11	RETAIL	29,023					116
N12	OFFICE	48,600					146
N13	PARKING				316,946	792	
N14	PARKING				87,566	219	
N14	RETAIL	30,867					123
TOTAL		2,690,616	1,659		1,735,190	4,339	2,239

Figure 4.4: North Area Summary Table (above). Note: Standard Type A Residential is Multi Family Apartment, 880GSF per unit.

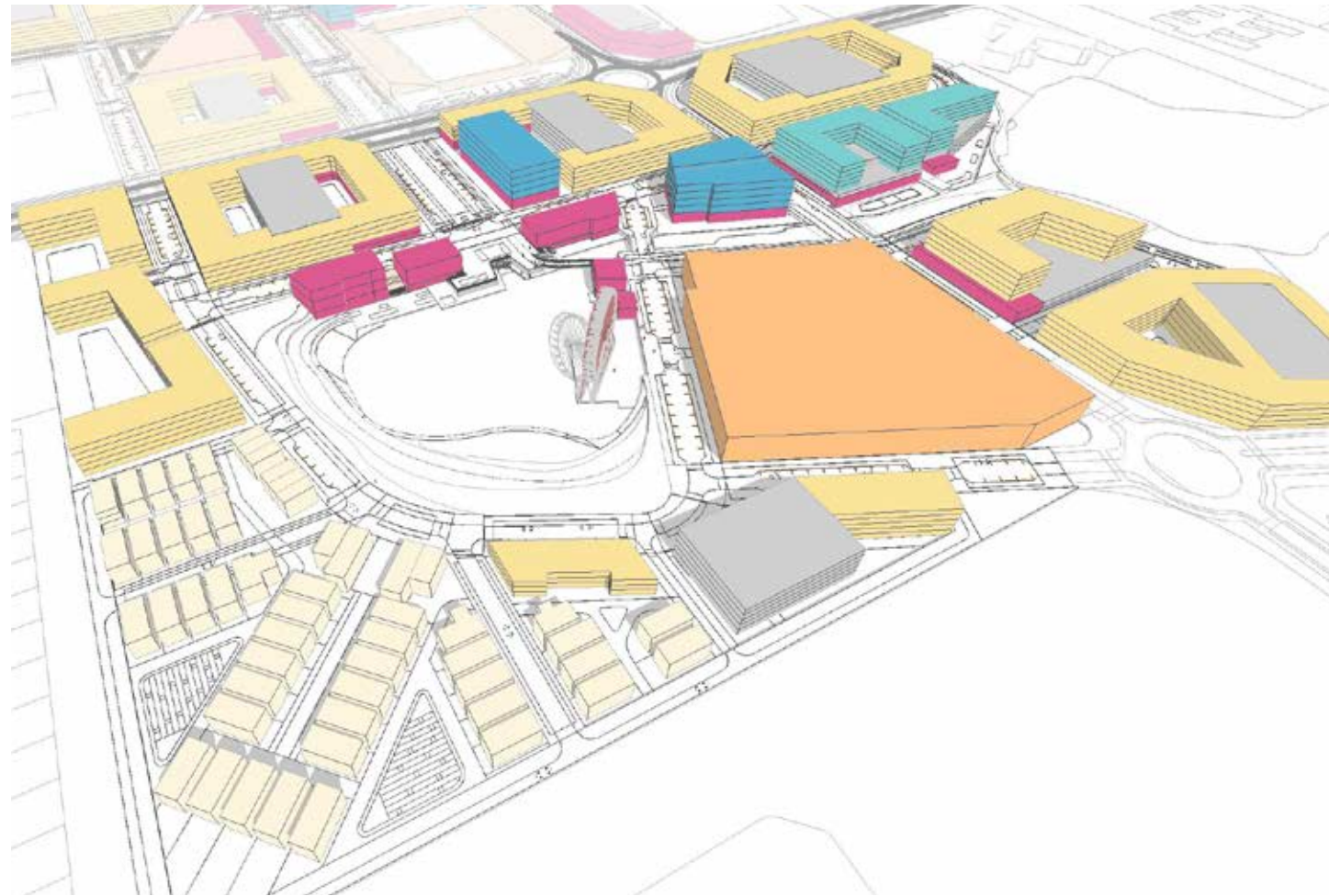
Figure 4.5: North Area Block reference map (right)



Quantified Development Overview - South

The Quantified Development Overview represents one possible full buildout scenario for the District to provide an estimate of use mix and development intensity possible within the Grand Park District Regulating Plan.

Grand Park District Development Summary - South Area Only



South Area Development Summary by Use

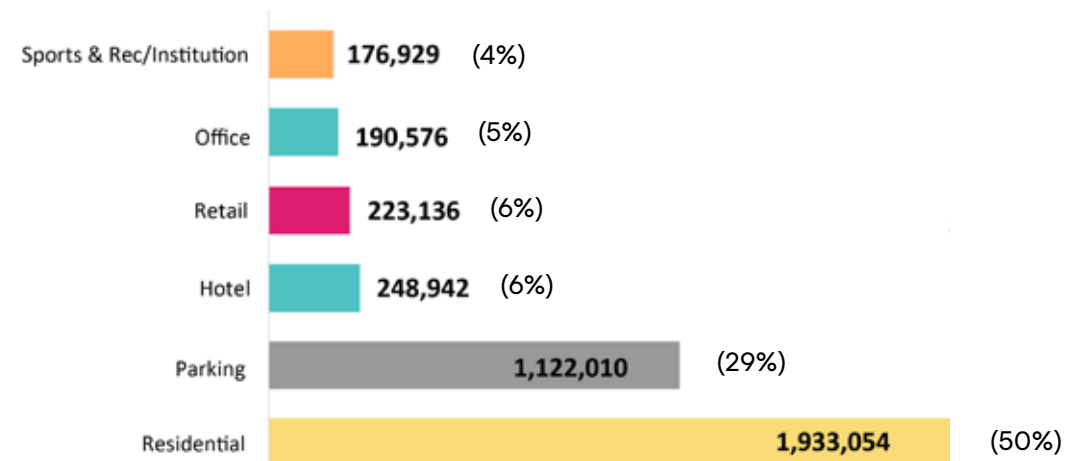


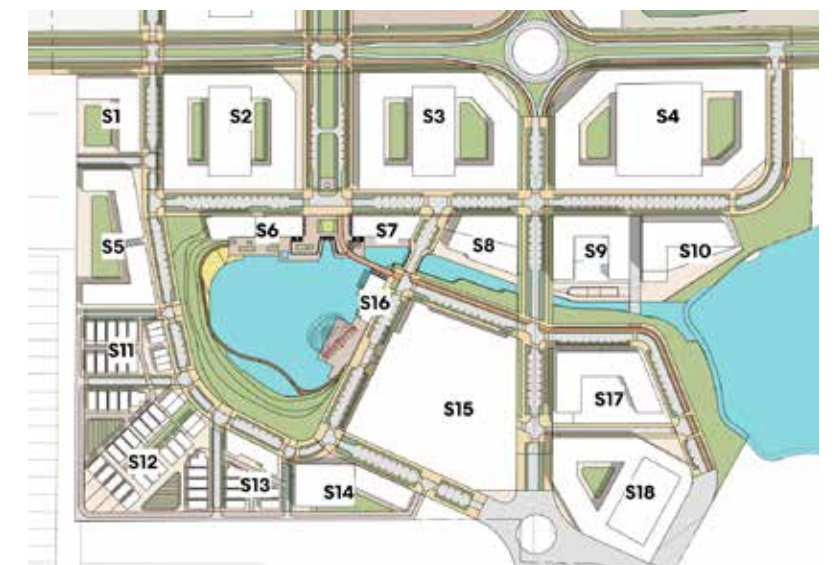
Figure 4.6: Graphs - South Area Development Summary by Use (above)

South Area Development Summary by Block

Parcel I.D.	Building Use	Gross Floor Area	Residential Units	Parking GSF	Parking Provided	Parking Demand
S1	RESIDENTIAL - TYPE 1	97,585	111			98
S2	PARKING			150,418	376	
S2	RESIDENTIAL - TYPE 1	290,118	330			290
S2	RETAIL	59,152				237
S3	PARKING			150,418	376	
S3	RESIDENTIAL - TYPE 1	256,302	291			256
S3	RETAIL	35,566				142
S3	OFFICE	91,982				276
S4	PARKING			312,457	781	
S4	RESIDENTIAL - TYPE 1	446,925	508			447
S5	RESIDENTIAL - TYPE 1	179,333	204			179
S6	RETAIL	35,360				141
S7	RETAIL	22,993				92
S8	OFFICE	98,594				296
S8	RETAIL	24,648				99
S9	HOTEL	136,796				109
S9	PARKING PODIUM			82,468	206	
S9	RETAIL	20,354				81
S10	HOTEL	112,146				90
S10	PARKING PODIUM			102,554	256	
S11	RESIDENTIAL - TYPE 2	32,000	16			16
S12	RESIDENTIAL - TYPE 2	62,000	31			37
S13	RESIDENTIAL - TYPE 1	24,794	28			8
S13	RESIDENTIAL - TYPE 2	15,000	6			8
S14	PARKING			101,239	253	
S14	RESIDENTIAL - TYPE 1	51,124	58			51
S15	SPORTS & REC	176,929				???
S16	RETAIL	7,799				31
S17	PARKING PODIUM			90,225	226	
S17	RESIDENTIAL - TYPE 1	161,919	184			162
S17	RETAIL	17,264				69
S18	PARKING			132,166	330	
S18	RESIDENTIAL - TYPE 1	315,954	359			316
TOTAL		2,772,637	2,000-2,500	1,122,010	2,805	3,523

Figure 4.7: South Area Summary Table (above). Note: Standard Type 1 Residential is Multi Family Apartment, 880GSF per unit. Standard Type 2 Residential (S11, S12, S13) assumes approximately 2,000-2,500GSF per lot.

Figure 4.8: South Area Block reference map (right)



Steering Committee

City of Westfield

Scott Willis, Mayor
Danielle Carey-Tolan, Deputy Mayor
Jenell Fairman
Kevin Todd
Johnathan Nail
Christopher McConnell
Claire Gelinas
Rachel Baker
Lauren Wahl
David Brock
Caleb Ernest
Daine Crabtree
Lauren Gillingham-Teague
Weston Rogers
Ryan Collingwood
Michael Pearce
Matt Trnian
Rachel Nelson
Kelley Wells

City Council

Patrick Tamm
Jon Dartt
Victor McCarty
Joe Duepner
Noah Herron
Chad Huff
Kurt Wanninger

Redevelopment Commission

Joe Plankis
Jon Dartt
Brian Tomamichael
Brian Pawlowski
Larry Kemper
Mike Steele

Hamilton County Tourism

Brenda Myers
Karen Radcliff

Partners

Hunden Partners – Rob Hunden, Ryan Sheridan, Steve Haemmerle, Hugh Hawes
Keystone Group - Ersal Ozdemir, Kelly Mulder, Jennifer Pavlik
Henke Development Group - Steve Henke, Brad Henke, Betsy Garfield
Wood Development, LLC - Craig and Sandy Wood
Boilermaker Ventures - Benjamin Smith
Podell Partners - Wes Podell

Consulting Team:

Cassie Branum
Evanthia Constantinou
Don Dethlefs
Sarah Kellerman-Gould
Lauren Hawley
Jahnvi Kirtane
Negar Mohammadi
Sulaya Ranjit
Jeff Speck
Alay Thakrar
Jeff Williams

In loving memory of: Aditi Subramanian

Special thanks to Hamilton County Tourism for sponsoring Grand Park District planning efforts.