



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda_08_16_2021

Monday, August 16, 2021 at 07:00 PM

BOARD OR COMMISSION: Advisory Plan Commission (APC)

MEETING DATE: Monday, August 16, 2021 at 07:00 PM

MEETING PLACE: Westfield City Hall, 130 Penn Street, Westfield, IN 46074

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION

Public input can be submitted in 1 of 2 ways:

- Email to planners@westfield.in.gov
 - Show up at Westfield City Hall for an opportunity to participate in this public hearing.
- o Staff will be present to help direct traffic inside the room.

OPENING OF MEETING

Documents: [Viewable online at: https://www.youtube.com/user/CityofWestfieldIN](https://www.youtube.com/user/CityofWestfieldIN)

Note the Presence of a Quorum

Approval of Minutes

August 2, 2021 APC Minutes

Documents: [APC Minutes - August 2, 2021](#)

Review APC Rules & Procedures

CONSENT AGENDA

No Consent Agenda Items

ITEMS OF BUSINESS

2108-ODP-19 & 2108-SPP-19

Lancaster II

Northeast corner of 186th Street and Casey Road

William Tres Developers by HWC Engineering request Overall Development Plan and Primary Plat review of 90 Lots on 36.01 acres +/- in the Lancaster II PUD District.

(Reviewing Planner: Corrie Meyer - cmeyer@westfield.in.gov)

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Primary Plat](#) | [Exhibit 4: Overall Development Plan](#) | [Exhibit 5: Landscape Plan](#)

2108-ODP-20 & 2108-SPP-20

Midland South

Northwest corner of Roosevelt Street and Cherry Street

Old Town Design Group by Apollo Developers requests Overall Development Plan and Primary Plat review of 1 Lot on 3.37 acres +/- in the Midland South PUD District.

(Planner: Rachel Riemenschneider - rriemenschneider@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Overall Development Plan](#) | [Exhibit 4: Primary Plat](#) | [Exhibit 5: Administrative Determination](#) | [Exhibit 6: Public Works Response to Variance Request](#) | [Presenter Materials](#)

PUBLIC HEARING ITEMS

No Public Hearing Items

ITEMS CONTINUED TO A FUTURE MEETING

2008-PUD-09 [CONTINUED]

Northpoint II PUD

North side of SR 38 between Anthony Road and Hinkle Road

Northpoint Owners, LLC by Clark, Quinn, Moses, Scott & Grahn, LLP requests a change of zoning for 183.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Northpoint II PUD District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2101-ZOA-01 [CONTINUED]

Unified Development Ordinance Amendment

Westfield City Council requests approval of an ordinance to amend Article 10.9 of the Westfield-Washington Township Unified Development Ordinance.

(Planner: Kevin Todd - ktodd@westfield.in.gov)

2106-PUD-19 [CONTINUED]

Overlook at Wood Wind PUD

North side of 161st Street, 1/4 mile east of Towne Road

Pulte Homes of Indiana, LLC by Church Church Hittle + Antrim requests a change in zoning for 75 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Overlook at Wood Wind PUD District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2108-ODP-18 & 2108-SPP-18 [CONTINUED]

Highlands Latin School

3810 W 146th Street

Indy Latin Schools requests Overall Development Plan and Primary Plat review of 1 Lot and 1 Block on 30.88 acres +/- in AG-SF1: Agriculture/Single-Family Rural District.
(Planner: Rachel Riemenschneider - rriemenschnider@westfield.in.gov)

2108-ODP-21 & 2108-SPP-21 [CONTINUED]

Bonterra

South of SR 32 and 1/4 mile west of Gray Road

M/I Homes of Indiana by Kimley-Horn and Associates requests Overall Development Plan and Primary Plat review of 138 lots and 2 blocks on 28.77 acres +/- in the Bonterra PUD District.

(Reviewing Planner: Corrie Meyer - cmeyer@westfield.in.gov)

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

2108-PUD-21 [CONTINUED]

Grand Millennium Center PUD Amendment I

North of David Brown Drive, East and West of Westfield Blvd

31/32 Investors by Edgerock Development, LLC requests an Amendment to the Permitted Uses and General Regulations of the Grand Millennium Center PUD District.

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

2108-PUD-22 [CONTINUED]

Urban Apples PUD

18326 Spring Mill Road

Herron Holdings, LLC by Church Church Hittle + Antrim requests a change in zoning for 23.71 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Urban Apples PUD District.

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

2108-PUD-23 [CONTINUED]

Springmill Trails PUD Mixed-Use Amendment

East of Ditch Road, West of Casey Road

Platinum Properties Management Company, LLC by Nelson & Frankenberger, LLC requests an amendment to the Springmill Trails PUD modifying 10.99 acres +/- to allow for development of for-sale townhomes.

(Planner: Rachel Riemenschneider - rriemenschnider@westfield.in.gov)eld.in.gov

2102-PUD-06 [CONTINUED]

Grand Park Village PUD Amendment IV

South Side of 186th Street, ENE of Kinsey Avenue

D&W Farms, Inc. by Henke Development Group requests an amendment to a 68 acre +/- portion of the Grand Park Village PUD to permit Townhome and Single-Family Detached dwelling units.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

WITHDRAWN PETITIONS

2105-PUD-16 [WITHDRAWN]

Winterburg PUD

South of and adjacent to 193rd Street, west of and adjacent to Casey Road

Platinum Properties Management Company, LLC by Nelson & Frankenberger, LLC requests a change in zoning of 154 acres +/- from the AG-SF1: Agriculture / Single-family District to the Winterburg PUD District.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Community Development Department

ADJOURNMENT

Petition Number: 2108-ODP-19 and 2108-SPP-19
Project Name: Lancaster II
Subject Site Address: Northeast corner of 186th Street and Casey Road
Petitioner: William Tres Developers
Representative: HWC Engineering
Request: Overall Development Plan & Primary Plat review of 90 Single Family
Current Zoning: [Ordinance 21-02](#) Lancaster – Phase 2 PUD District, SFA
Current Land Use: Agriculture
Exhibits:
1. Staff Report
2. Location Map
3. Primary Plat
4. Overall Development Plan
5. Landscape Plan
Approximate Acreage: 36.01 +/-
Staff Reviewer: Corrie Meyer, AICP, PLA, Planning Consultant
Staff Presenter: Pam Howard, Senior Planner

Procedural

Approval of an Overall Development Plan and Primary Plat must be granted if the submitted plans demonstrate compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)

The plans comply.

- 1) Proposed name of subdivision.
- 2) Names and addresses of the owner, owners, land surveyor or land planner.

- 3) Title, scale, north arrow and date.
- 4) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 5) Easements (locations, widths and purposes). (Article 8.3)
- 6) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 7) Layout of Lots (showing dimensions, numbers and square footage). See PUD Standards
- 8) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 9) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 10) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 11) Building setback lines. See PUD Standards.
- 12) Legend and notes.
- 13) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 14) Other features or conditions which would affect the subdivision favorable or adversely.
- 15) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 16) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 17) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
- 18) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 19) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division

of Water, concerning construction in floodway, including floodplain high water marks, etc.

OVERALL DEVELOPMENT PLAN (Article 10.7 of the UDO)

The plans comply.

- 20) Title, scale, north arrow and date.
- 21) Proposed name of the development.
- 22) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 23) Address and legal description of the property.
- 24) Boundary lines of the property including all dimensions.
- 25) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 26) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 27) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 28) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 29) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 30) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 31) Location and dimensions of all existing structures and paved areas.
- 32) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 33) Location of all Floodplain areas within the boundaries of the property.
- 34) Names of legal ditches and streams on or adjacent to the site.

- 35) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 36) Identify buildings proposed for demolition.
- 37) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 38) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

DISTRICT STANDARDS

The plans comply with SFA, (ARTICLE 4.7) AND THE LANCASTER PHASE 2 PUD.

39) Single-family Attached District SFA

- A. **Purpose and Intent:** The purpose of this district is to accommodate Attached Single-family Dwellings for individuals who desire maintenance-free living (e.g., where grass mowing, property maintenance, snow removal are commonly maintained and owned by a homeowners' association).
- B. **Permitted Uses:** The following uses shall be permitted: Duplex Dwelling, Triplex Dwelling, Quadraplex Dwelling, and Development Amenities.
- C. **Minimum Lot Area:** No minimum
- D. **Minimum Lot Frontage:** No minimum
- E. **Maximum Density:** Four (4) Dwelling Units per acre
- F. **Maximum Dwellings:** Four (4) per building
- G. **Maximum Project Size within District:** Thirty (30) acres
- H. **Minimum Building Setback Lines:**
 - 1. Front Yard:
 - a. Expressways: 50 feet
 - b. Primary Arterials: 35 feet
 - c. Secondary Arterials: 25 feet
 - d. Collectors, Local and Private streets: 20 feet
 - 2. Buildings with more than one adjacent unit shall stagger the Front Building Setback Line for each unit by at least four (4) feet.
- I. **Minimum Distance Between Structures:**
 - 1. Structures with no vinyl exterior siding: 25 feet
 - 2. Structures with any vinyl exterior siding: 30 feet **COMMENT: N/A, SEE PUD**
- J. **Project Perimeter Setback:** No structure shall be erected above the projected 1:2 Proximity Slope line from the perimeter of the project.
- K. **Maximum Building Height:** 35 feet (see also [Article 6.6 Height Standards](#))
- L. **Minimum Living Area:** A minimum of seventy-five percent (75%) of the Dwelling Units within a project shall be 1,500 square feet or greater.
 - 1. Single-story: 1,300 square feet
 - 2. Story and one-half: 1,600 square feet (lower and main levels)
 - 3. Two-story: 1,800 square feet (lower and main levels)

40) LANCASTER PHASE 2 PUD

Standard	
Maximum Project Size	See Real Estate
Minimum Distance Between Buildings	Ten (10) feet
Project Perimeter Setback	Not Applicable - See Bufferyards and External Street Frontage Landscaping

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply.

41) Architectural Standards (Article 6.3)

42) Architectural Standards, LANCASTER PHASE 2 PUD

43) Building Standards (Article 6.4)

44) Fence Standards (Article 6.5)

45) Height Standards (Article 6.6)

46) Landscaping Standards (Article 6.8, Bonterra PUD):

- a) Lot Landscaping: Article 6.8(K)/PUD Minimum Lot Landscaping Requirements shall apply except as modified and enhanced below:
 - (1) At a minimum, all Established Front Yards shall be sodded and the remainder of the Lot shall be seeded.
 - (2) A minimum of: one (1) Shade Tree, (1) Ornamental or Evergreen Tree, and four (4) Shrubs shall be required per Townhouse Dwelling, of which, a minimum of one (1) Tree and four(4) Shrubs shall be located the Front Yard.
 - (3) In addition to the minimum required landscaping above, a Dwelling Unit on a Comer Lot shall provide a minimum of one Tree and four (4) Shrubs in the additional Front Yard.
- b) External Street Frontages: Article 6.8(M)(I) External Street Frontage Landscaping Requirements- Residential Uses shall apply except as modified below
 - i) No mounds shall be required along an External Street Frontage due to existing utility easements.
 - ii) Required shrubs may be substituted with an evergreen tree or shade tree at a rate of five (5) shrubs: one (I) tree.
 - iii) Fountains shall be installed and seasonally maintained within Detention Ponds.
- c) Buffer Yards: Article 6.8(N) Buffer Yard Requirements shall not apply, except as modified

below:

- (1) A minimum eight-foot (8') tall wood shadowbox privacy fence shall be required along the north and west property line of County Parcel No. 08-05-27-00-00-011.000 (the "Buffered Parcel"). The privacy fence shall (i) include a gate for maintenance access and (ii) be located a minimum of five (5) feet from the shared property line as generally depicted on Exhibit E - Buffer Area Plan. The owner of the Buffered Parcel shall be permitted to attach a fence, to the fence required under this section, which would connect to a fence on the Buffered Parcel.
- (2) A minimum of forty-two (42) evergreen trees (8' tall Norway Spruce) shall be planted near the rear lot line of those lots identified on Exhibit E - Buffer Area Plan (the "Buffered Lots"). The evergreen trees may be planted on the Buffered Lots or the adjacent Common Area with the general intent of providing visual screening between the Structures on the Buffered Lots and the Buffered Parcel as generally depicted on Exhibit E - Buffer Area Plan.

47) Lighting Standards (Article 6.9)

48) Lot Standards (Article 6.10)

49) Setback Standards (Article 6.16)

50) Vision Clearance Standards (Article 6.19)

- a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:
 - i) Forty (40) feet from intersections of Collectors, Private or Local Street.
 - ii) Seventy-five (75) feet from intersections of Expressways or Arterials.
- b) Yard Standards (Article 6.21)

DESIGN STANDARDS (Chapter 8 of UDO) AND PUD

The plans comply.

51) Block Standards (Article 8.1) SEE PUD STANDARD

52) Easement Standards (Article 8.3)

53) Monument and Marker Standards (Article 8.5)

54) Street and Right-of-Way Standards (Article 8.9) and PUD

- a) All Streets within the District shall be designed with a Right-Of-Way of fifty-nine (59') feet with a minimum Street width of thirty-one (31') feet from back of curb to back of curb, with the exception of the frontage road. There shall be an eight (8') feet wide planting strip from back of

- curb to front edge of sidewalk. Sidewalks shall be five (5') feet in width.
- b) On-Street Parking. On street parking shall be limited to one side of the street. No parking signs shall be installed to indicate which side of the street is prohibited.
- 55) Street Sign Standards (Article 8.11) and PUD. The developer will be responsible for the cost of, and the placement of all street signage as required by the City.
- 56) Utilities. All utilities within the District will be trenched and located behind the curb. This commitment is subject to the approval by the utilities that will serve the community. Private utilities shall be placed in the utility easements and shall not be within the public Right-Of-Way.
- 57) Pedestrian Network Standards (Article 8.7)
- 58) Storm Water Standards (Article 8.8)
- 59) Street Light Standards (Article 8.10)
- a) General: The Developer shall install, or cause to be installed, street lights at all intersections, development entrances, and along internal Streets as required by the provisions of this Article. The Plan Commission may direct street lights at other locations if in its discretion it determines is necessary to provide vehicular or pedestrian safety.
 - b) Street Lights at Intersections: The Developer shall propose a lighting design that provides the minimum amount of light necessary for vehicular and pedestrian safety at all intersections within the development, consistent with the City's Construction Standards (see *Article 7.3 Principles and Standards of Design*) and the public utility providing such lighting. The Public Works Department may reduce the number of intersections required to have street lighting. Under no circumstances shall the major intersections (involving Collectors or Arterials) within the development be waived.
 - c) Lighting between Intersections: Unless street lights have been provided at the lesser of either mid-Block or every fifteen (15) lots, a dusk-to-dawn light that operates on a photo cell shall be installed on each home site. This lighting shall be maintained by the Property Owner in perpetuity.
- 60) Surety Standards (Article 8.12)
- 61) Utility Standards (Article 8.13)
- 62) Amenities (PUD)
- a) Passive Amenities: A large natural open space including trails shall be provided for passive recreation opportunities, as generally depicted on Exhibit B. Trails shall be installed in substantial compliance with the locations depicted on the Concept Plan. The final locations are subject to existing easements and final engineering. If trails are prevented from being installed as generally shown, then alternative trail locations shall be approved by the Director.



WESTFIELD-WASHINGTON
ADVISORY PLAN COMMISSION

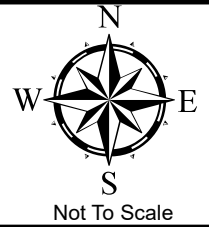
August 16, 2021
2108-SPP-19 and 2108-ODP-19

DEPARTMENT COMMENTS

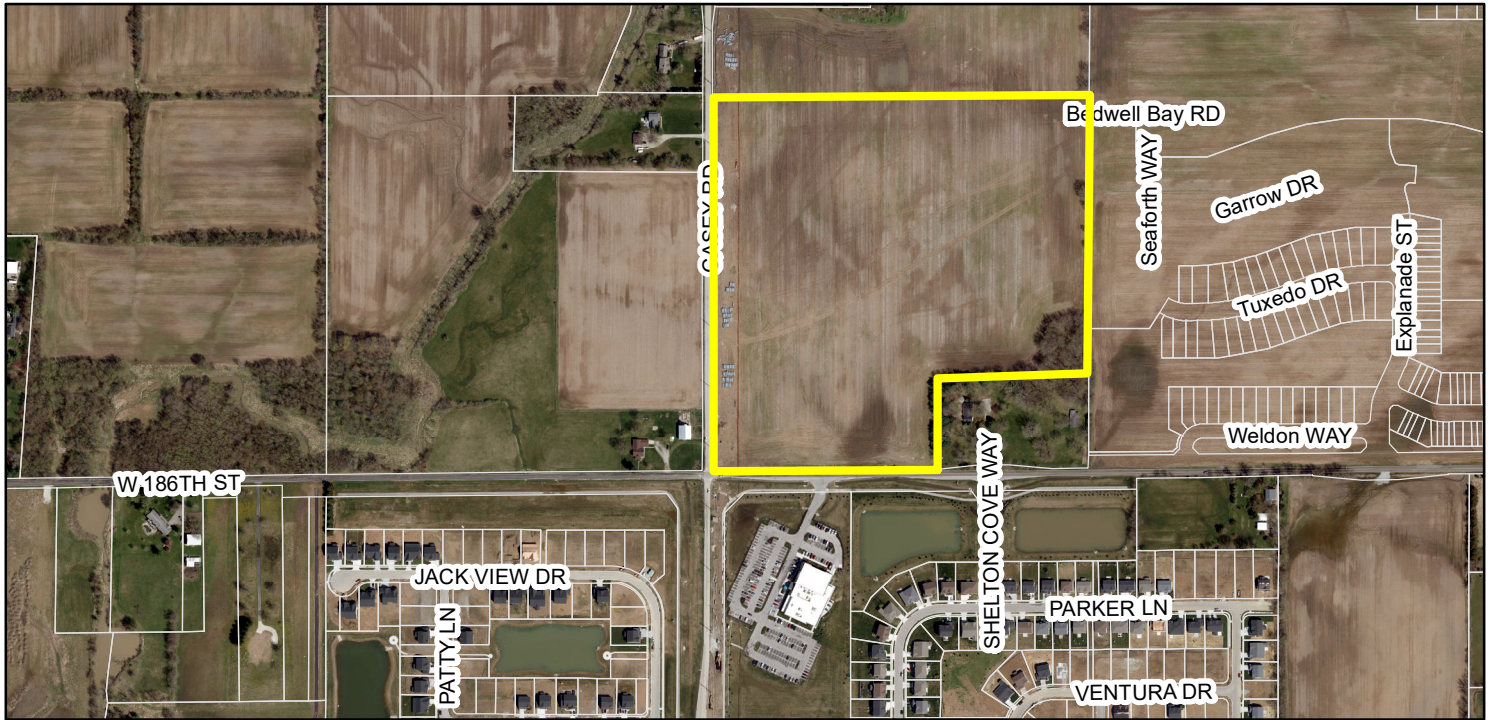
1. **Action: Recommend approval at the August 16, 2021, Plan Commission meeting.**
2. If any Plan Commission member has questions prior to the public hearing, then please contact Carrie Meyer at 317-660-1762 or cmeyer@westfield.in.gov.



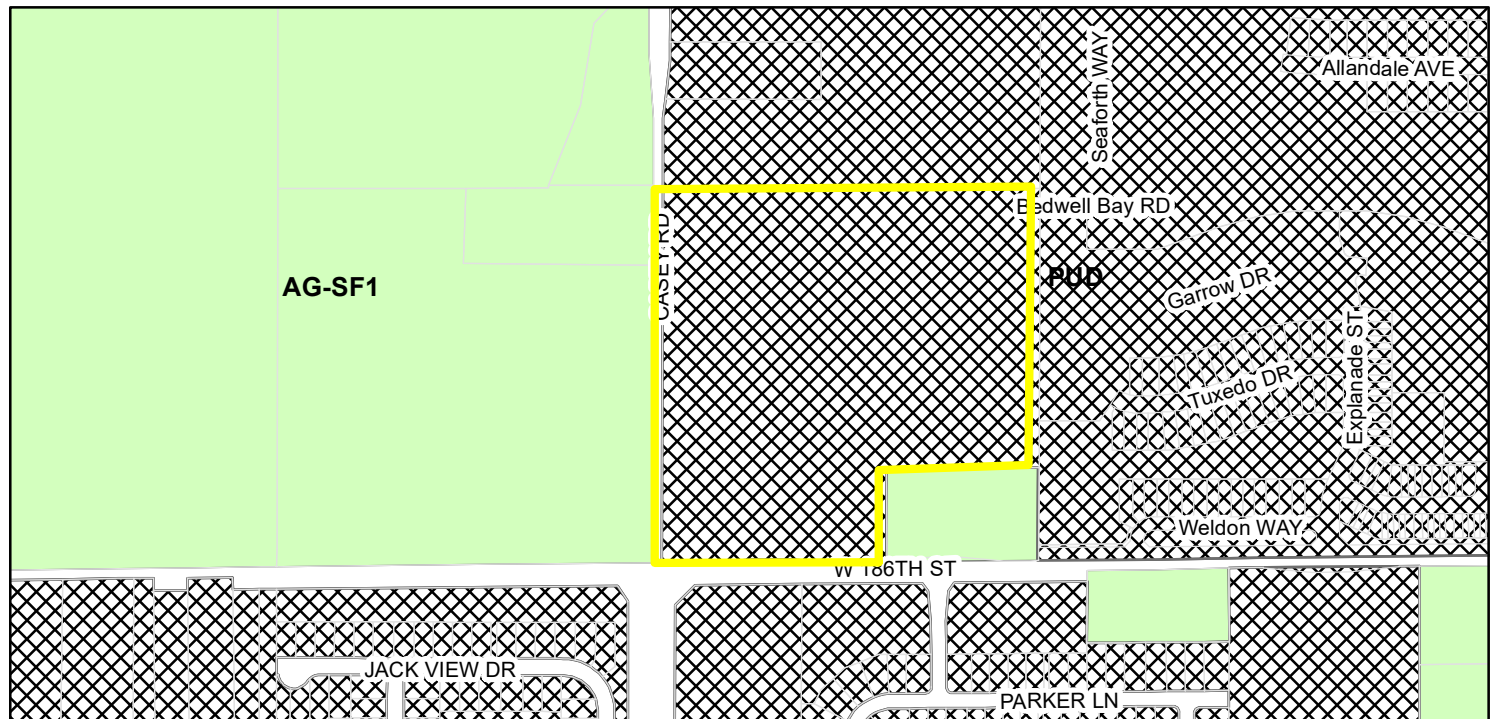
Property Location Map
Lancaster Phase 2
2108-ODP-19 & 2108-SPP-19



Aerial Location Map

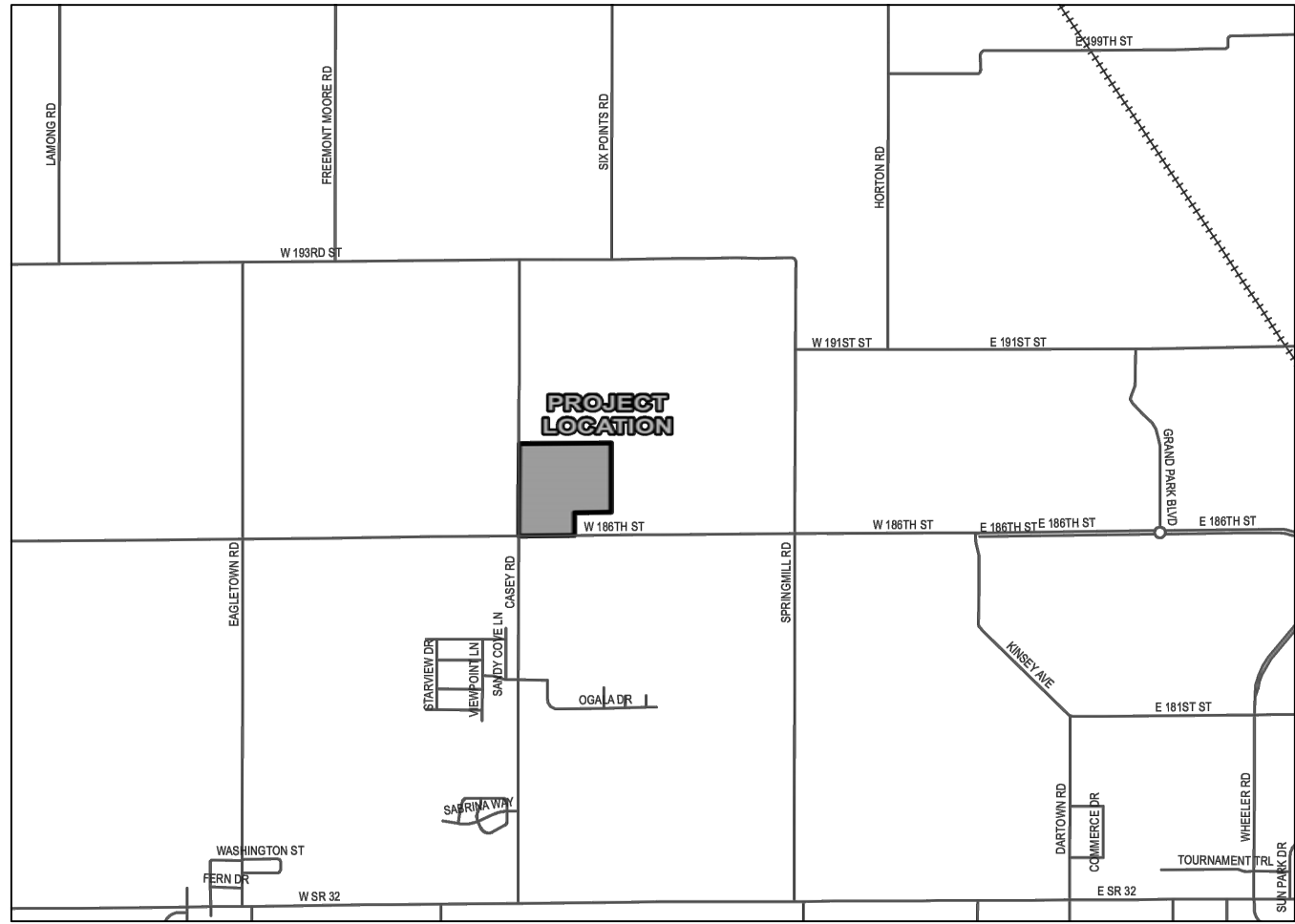


Zoning Map



Zoning

- AG-SF1 (Agriculture - Single Family - 1)
- PUD (Planned Unit Development)



LOCATION MAP
SCALE 1"= 1/2 MILE

UTILITY CONTACT INFORMATION:

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM TECHNICAL ADVISORY COMMITTEE MEMBERS		
CITY OF WESTFIELD		
Westfield Community Development Department (P) 2728 East 171st Street Westfield, Indiana 46074 (317) 804-3170 community@westfield.in.gov	Westfield Fire Department (P) 17535 Dartmouth Road Westfield, Indiana 46074 Fire Marshal/Division Chief Jim Roberts (317) 804-3307 jroberts@westfield.in.gov	Westfield G.L.S. (for addressing) 2706 East 171st Street Westfield, Indiana 46074 Leanne Heiber (317) 804-3001 lheiber@westfield.in.gov
Westfield Public Works Department Plan Review, Pre-Construction, Stormwater & Mass Grading (C) (P) 2706 East 171st Street Westfield, Indiana 46074 John Rankin (317) 804-3147 jrankin@westfield.in.gov		
SCHOOL CORPORATION		
Westfield-Washington School Corp. 2143 East 151st Street Westfield, Indiana 46074 Joe Montalano (317) 862-8085 montalano@wkw.k12.in.us	Indiana Department of Transportation (INDOT) Tipton Sub-District 2152 West State Road 28 Tipton, Indiana 46077 Sandra Landrum (317) 492-1823 (cell) (765) 475-7402 x 4 slandrum@indot.in.gov	HAMILTON COUNTY Hamilton County Soil and Water Conservation 1717 Pleasant St, Suite 100 Noblesville, IN 46060 Dave Bradshaw (317) 773-2181 David.Bradshaw@hamiltoncounty.in.gov
HAMILTON COUNTY		
Hamilton County Surveyor's Office (H) One Hamilton County Square, Suite 188 Noblesville, Indiana 46060 Samuel Clark (317) 776-4845 samuel.clark@hamiltoncounty.in.gov	Hamilton County Highway Department 1700 S. 10th Street Noblesville, Indiana 46060 Dave Lucas (317) 773-7770 dave.lucas@hamiltoncounty.in.gov	Hamilton County Health Department 4800 Foundation Drive, Suite A Noblesville, Indiana 46060 Larry Beard (317) 776-8500 larry.beard@hamiltoncounty.in.gov
SERVICE PROVIDERS		
Citizens Westfield (for water & sanitary sewer) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Mich House (317) 937-5294 mhouse@citizensenergygroup.com	Citizens Gas of Westfield (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Richard Miller, Jr. Construction Field Coordinator (317) 937-4684 rmiller@citizensenergygroup.com	Citizens Energy Group (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Chris L. Hall (317) 937-4538 chhall@citizensenergygroup.com
(H) = agencies/departments that require hardcopies of plans; otherwise electronic copies of plans suffice. (C) = denotes agencies/departments that require CAD files of plans. (P) = PDF		
WESTFIELD COMMUNITY DEVELOPMENT DEPARTMENT 2728 EAST 171ST STREET, WESTFIELD, INDIANA 46074 WJ-2021		

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM TECHNICAL ADVISORY COMMITTEE MEMBERS		
SERVICE PROVIDERS (CONT.)		
Duke Energy (Noblesville Office) (C) 100 South Mill Creek Road Noblesville, Indiana 46062 ID Cox (317) 776-5350 / (317) 349-3740 (cell) id.cox@duke-energy.com	Duke Energy Carmel Office (H) (C) 18475 Southpark Drive Westfield, Indiana 46074 Please contact ID Cox (317) 776-5350 / (317) 349-3740 (cell) id.cox@duke-energy.com	Duke Energy Asset Protection (H) (C) WFSO / 2727 Central Avenue Columbus, Indiana 47201 Ryan Daugherty (812) 375-2021 ryan.daugherty@duke-energy.com
Panhandle Eastern Pipeline Company 9371 Dorville Road Indianapolis, Indiana 46268 Troy Noble (317) 739-3213 traynoble@energytransfer.com	Indiana Gas / Vectren (P) (C) P.O. Box 1700 Noblesville, Indiana 46061 Chad Miller (317) 776-5590 cmiller@vectren.com	Comcast Cable 5330 East 65th Street Indianapolis, Indiana 46220 Earl Small, Jr. (317) 982-1161 Earl.Small@cable.comcast.com
Spectrum 3030 Meridian Avenue Indianapolis, Indiana 46218 Matt Filson (317) 713-3890 / (317) 618-2822 (cell) mfilson@filsoncharter.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	AT&T 240 North Meridian Street Indianapolis, Indiana 46204 Wendy Noble (317) 610-5440 / (317) 403-6673 (cell) wnoble7@att.com
Marathon Pipeline LLC 10722 East County Road 303 North Indianapolis, Indiana 46224 Brian Phillips (317) 291-9460 brphillips@marathonpipeline.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	Zayo Group 20905 Hague Road Indianapolis, Indiana 46220 Waylon Higgins (765) 341-1199 lshy_relo@zayo.com
Metronet (C) 12415 Old Meridian Street Carmel, Indiana 46032 Marc Hill (317) 670-7995 Marc.Hill@metronet.com		
(H) = agencies/departments that require hardcopies of plans; otherwise electronic copies of plans suffice. (C) = denotes agencies/departments that require CAD files of plans. (P) = PDF		
WESTFIELD COMMUNITY DEVELOPMENT DEPARTMENT 2728 EAST 171ST STREET, WESTFIELD, INDIANA 46074 WJ-2021		

AS-SURVEYED LAND DESCRIPTION

Part of the Southeast Quarter of the Southwest Quarter of Section 27, Township 19 North, Range 3 East of the Second Principal Meridian, in the City of Westfield, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 2150017, HWC Engineering, Job Number 2021-105, more particularly described as follows:

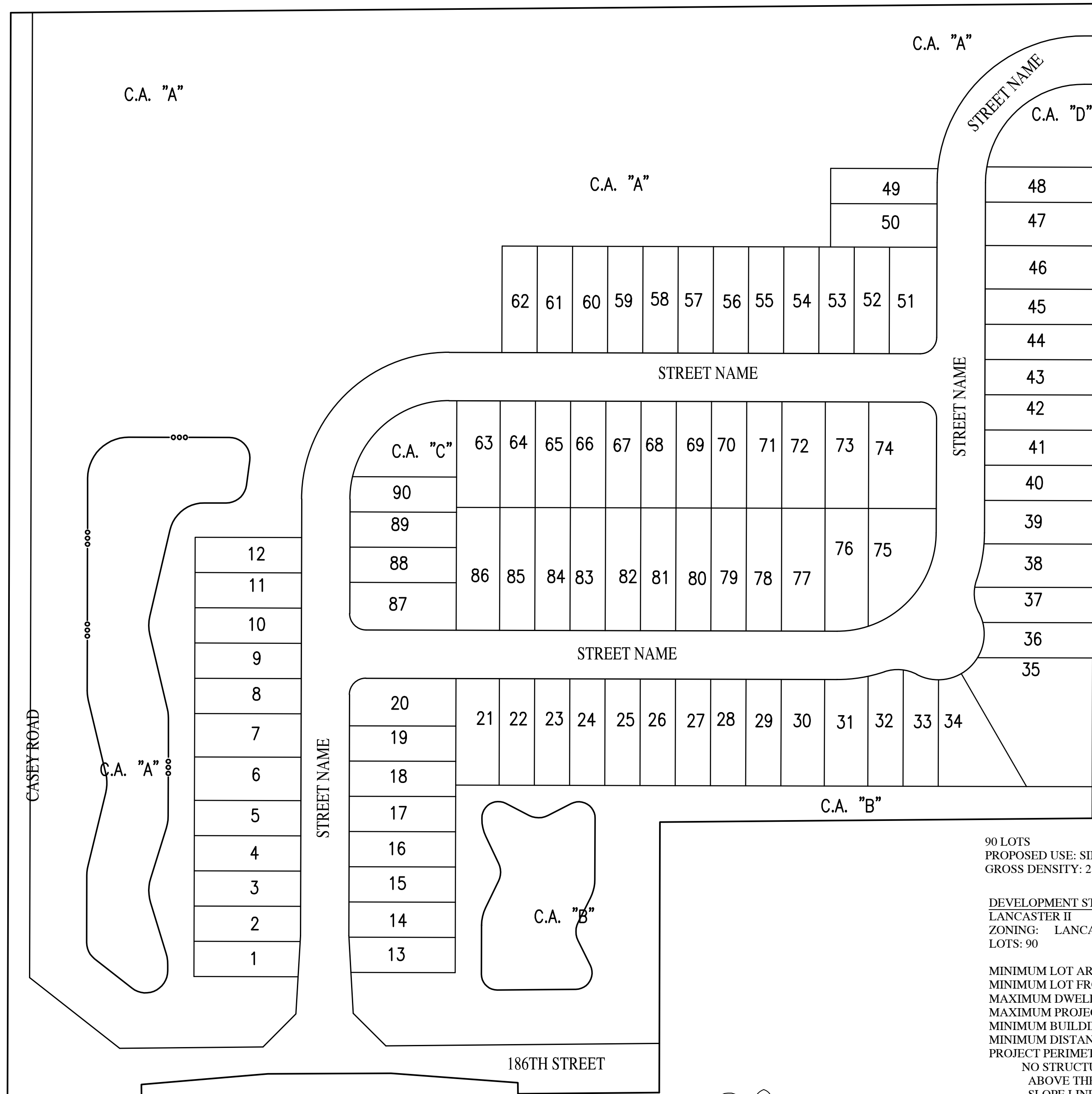
COMMENCING at the southeast corner of said Southwest Quarter, marked by a Harrison monument found per Hamilton County Surveyor reference ties; thence South 89 degrees 28 minutes 43 seconds West (assumed bearing per ALTA/NSPS Land Title Survey for Lancaster, recorded as Instrument Number 2019010792 in the Office of the Recorder of Hamilton County, Indiana) along the south line of said Southwest Quarter a distance of 528.00 feet to the southwest corner of a tract of land described in Instrument Number 9709721324 in said Recorder's Office and the POINT OF BEGINNING; thence continuing South 89 degrees 28 minutes 43 seconds West along said south line a distance of 172.46 feet to the southeast corner of a Dedication of Public Right-of-Way described in Instrument Number 2017008528 in said Recorder's Office, the following five (5) courses being along the east, north, and west lines of said Right-of-Way: (1) thence North 00 degrees 31 minutes 17 seconds West a distance of 13.61 feet; (2) thence North 85 degrees 46 minutes 36 seconds West a distance of 155.27 feet; (3) thence South 89 degrees 42 minutes 56 seconds West a distance of 150.39 feet; (4) thence South 85 degrees 13 minutes 10 seconds West a distance of 154.97 feet; (5) thence South 00 degrees 31 minutes 17 seconds East a distance of 15.56 feet to offoresaid south section line; thence South 89 degrees 28 minutes 43 seconds West along said south line a distance of 163.54 feet to the southwest corner of the Southeast Quarter of said Southwest Quarter, marked by a Harrison monument found per Hamilton County Surveyor reference ties; thence North 00 degrees 10 minutes 05 seconds East along the west line of said Quarter-Quarter Section a distance of 1325.28 feet to the northeast corner thereof, marked by a 5/8-inch rebar with cap stamped "Firm 0066"; thence South 00 degrees 09 minutes 41 seconds West along the east line of said Southwest Quarter a distance of 994.07 feet to the northeast corner of said Instrument Number 9709721324, the following two (2) courses being along the north and west lines of said tract: (1) thence South 89 degrees 28 minutes 43 seconds West a distance of 528.00 feet; (2) thence South 00 degrees 09 minutes 41 seconds West a distance of 330.00 feet to the POINT OF BEGINNING, containing 36.009 acres, more or less.

FLOOD HAZARD STATEMENT:

THE ACCURACY OF THE FLOOD HAZARD INFORMATION SHOWN OR IDENTIFIED HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE WITHIN DESCRIBED TRACT OF LAND LIES WITHIN FLOOD ZONE AE AND FLOOD ZONE X (UNSHADED) AS SAID TRACT PLOTS BY SCALE ON COMMUNITY PANEL NUMBER 180083 0120 G (MAP NUMBER 18057001200) OF THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA (MAPS DATED NOVEMBER 19, 2014).

The presence of a City of Westfield review and acceptance stamp on plans does not relieve the Contractor or Developer from compliance of the "City of Westfield construction Standards, latest edition". This review only designates that the general conformance with design and specifications have been met. Field changes may become necessary in order to comply with the detailed City of Westfield Specifications.

All Contractors Shall Review City Of Westfield Standards And Specifications Prior To Bidding On This Project. Additional Specifications, Not Included In This Set Of Plans, May Be Required. <http://www.westfield.in.gov/egov/apps/document/center.egov?view=item;id=50>



SITE MAP
SCALE: 1" = 100'



Call 811 or 800-382-5544 Before you Dig!

90 LOTS
PROPOSED USE: SINGLE FAMILY RESIDENTIAL ATTACHED VILLAS
GROSS DENSITY: 2.5 LOTS/ACRE

DEVELOPMENT STANDARDS

LANCASTER II
ZONING: LANCASTER - PHASE 2 PUD DISTRICT
LOTS: 90

MINIMUM LOT AREA:
MINIMUM LOT FRONTAGE:
MAXIMUM DWELLINGS:
MAXIMUM PROJECT SIZE WITHIN DISTRICT:
MINIMUM BUILDING FRONT SETBACK:
MINIMUM DISTANCE BETWEEN STRUCTURES:
PROJECT PERIMETER SETBACK:
NO STRUCTURE SHALL BE ERECTED ABOVE THE PROJECTED 1:2 PROXIMITY SLOPE LINE FROM THE PERIMETER OF THE PROJECT.
MAXIMUM BUILDING HEIGHT:
MINIMUM LIVING AREA:
A MINIMUM OF SEVENTY-FIVE PERCENT (75%) OF THE DWELLING UNITS WITHIN A PROJECT SHALL BE 1,500 SQUARE FEET OR GREATER.
BUILDINGS WITH MORE THAN ONE ADJACENT UNIT SHALL STAGGER THE FRONT BUILDING SETBACK LINE FOR EACH UNIT BY AT LEAST FOUR (4) FEET.

NO MINIMUM
NO MINIMUM
90 UNITS MAX.
30 AC.
20'
10'

35'
SINGLE STORY: 1,300 SQUARE FEET
STORY AND ONE-HALF: 1,600 SQUARE FEET (LOWER AND MAIN LEVELS)
TWO STORY: 1,800 SQUARE FEET (LOWER AND MAIN LEVELS)



SOILS MAP
NOT TO SCALE

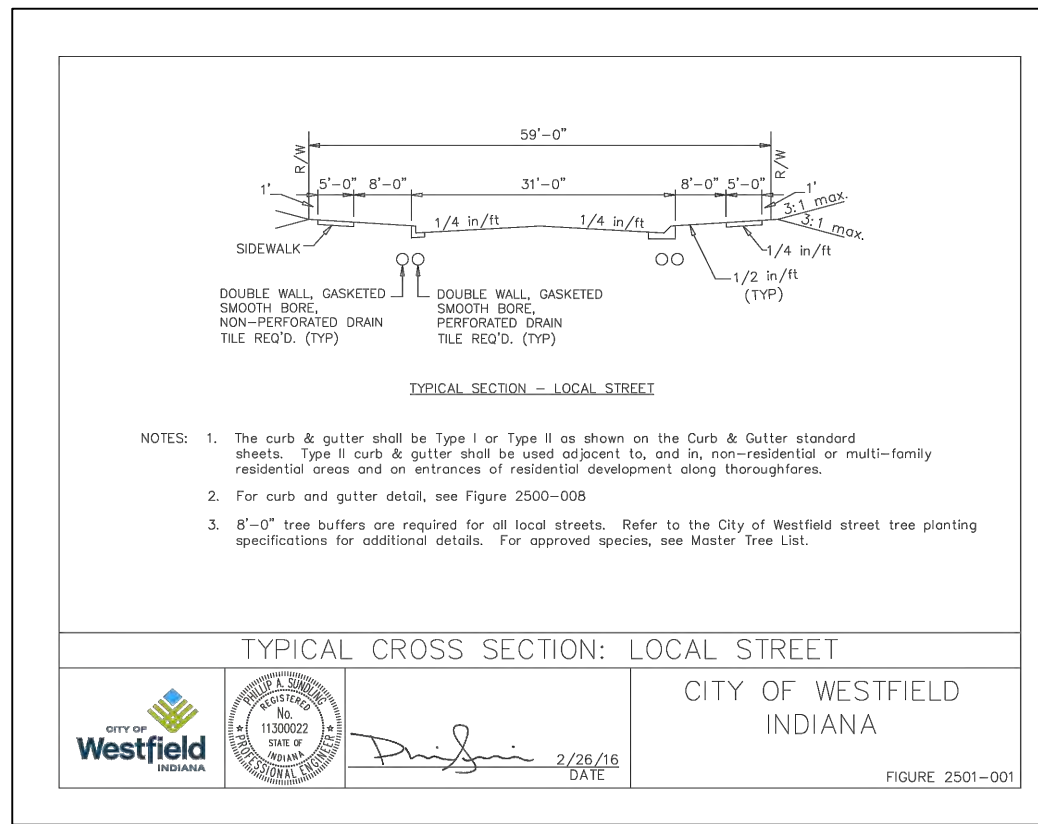
SOILS LEGEND

Br Brookstone silty clay loam, 0 to 2 percent slopes
CrA Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes
MnA Miami silt loam, 0 to 2 percent slopes
MnB2 Miami silt loam, 2 to 6 percent slopes, eroded
MnC2 Miami silt loam-Urban land complex, 5 to 12 percent slopes, eroded
Sh Shoals silt loam-Urban land complex, 0 to 2 percent slopes, frequently flooded, brief duration

PRIMARY PLAT SHEET SET

SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	OVERALL SITE PLAN
C1.2-C1.4	OVERALL PRIMARY PLAT PLAN

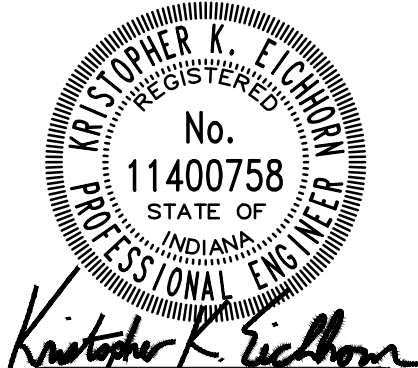


PREPARED BY:
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
CONTACT: KYLE EICHORN
P: 317-981-1249
E: keichhorn@hwcengineering.com

REVISIONS		
DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS

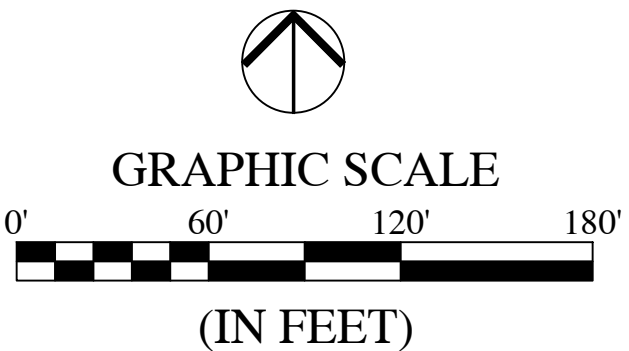
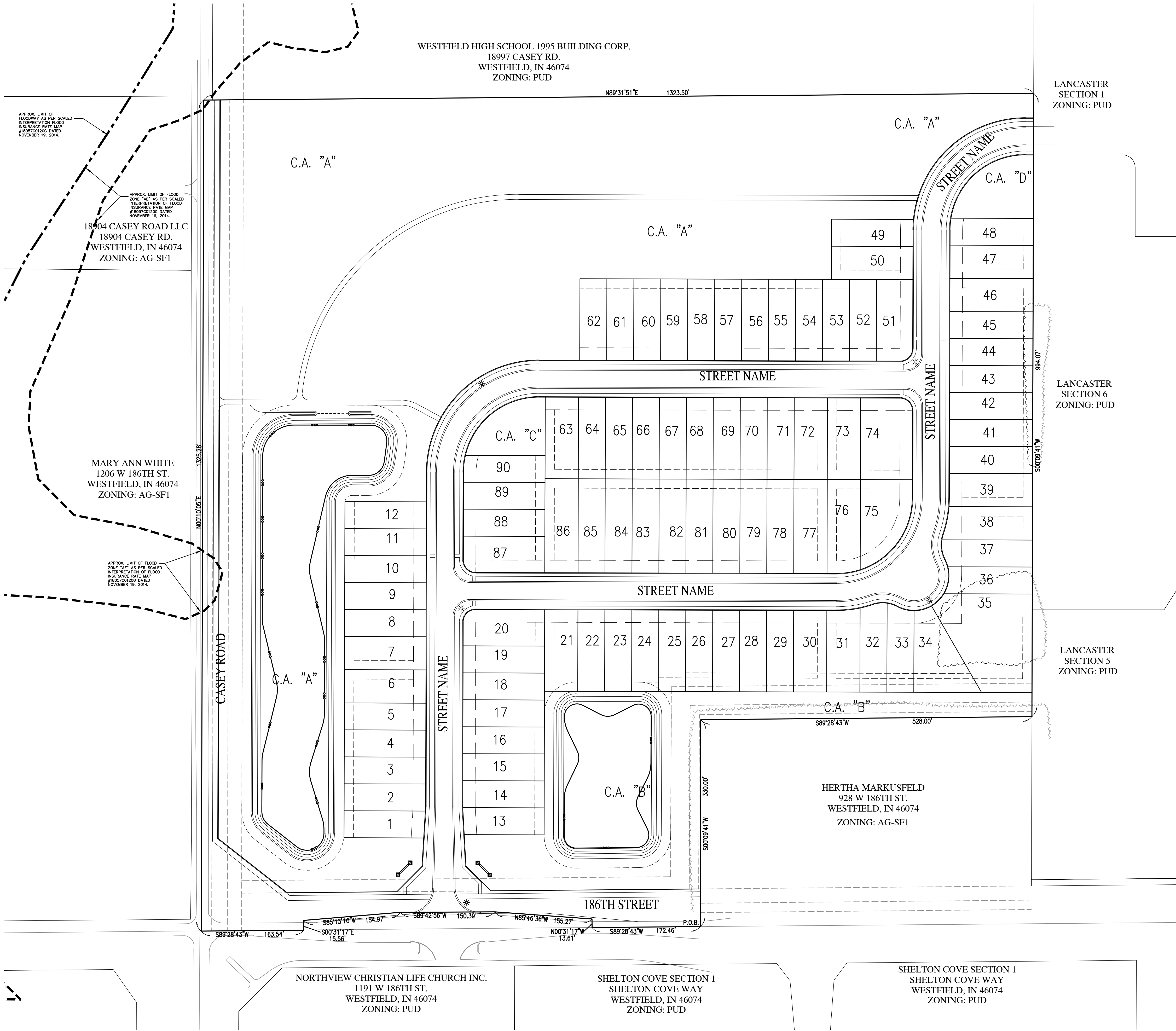


LANCASTER II
CITY OF WESTFIELD, INDIANA
COVER



DRAWN BY DC	JOB NUMBER 2021-105-S
CHECKED BY KE	
DATE JULY 2, 2021	
SCALE AS SHOWN	
SHEET	

C1.0
COVER



LEGEND:	
EXISTING	PROPOSED

ABBREVIATIONS:

C.A. - COMMON AREA
ZS - LOT NUMBER

AS-SURVEYED LAND DESCRIPTION

Part of the Southeast Quarter of the Southwest Quarter of Section 27, Township 19 North, Range 3 East of the Second Principal Meridian, in the City of Westfield, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 21500017, HWC Engineering, Job Number 2021-105, more particularly described as follows:

COMMENCING at the southeast corner of said Southwest Quarter, marked by a Harrison monument found per Hamilton County Surveyor reference ties; thence South 89 degrees 28 minutes 43 seconds West (assumed bearing per ALTA/NSPS Land Title Survey for Lancaster, recorded as Instrument Number 2019010792 in the Office of the Recorder of Hamilton County, Indiana) along the south line of said Southwest Quarter a distance of 528.00 feet to the southwest corner of a tract of land described in Instrument Number 9709721324 in said Recorder's Office and the POINT OF BEGINNING; thence continuing South 89 degrees 28 minutes 43 seconds West along said south line a distance of 172.46 feet to the southeast corner of a Dedication of Public Right-of-Way described in Instrument Number 2017008528 in said Recorder's Office, the following five (5) courses being along the east, north, and west lines of said Right-of-Way: (1) thence North 00 degrees 31 minutes 17 seconds West a distance of 13.61 feet; (2) thence North 85 degrees 46 minutes 36 seconds West a distance of 155.27 feet; (3) thence South 89 degrees 42 minutes 56 seconds West a distance of 150.39 feet; (4) thence South 85 degrees 13 minutes 10 seconds West a distance of 154.97 feet; (5) thence South 00 degrees 31 minutes 17 seconds East a distance of 15.56 feet to aforesaid south section line; thence South 89 degrees 28 minutes 43 seconds West along said south line a distance of 163.54 feet to the southwest corner of the Southeast Quarter of said Southwest Quarter, marked by a Harrison monument found per Hamilton County Surveyor reference ties; thence North 00 degrees 10 minutes 05 seconds East along the west line of said Quarter-Quarter Section a distance of 1325.28 feet to the northwest corner thereof, marked by a mag nail; thence North 89 degrees 31 minutes 51 seconds East along the north line of said Quarter-Quarter Section a distance of 1323.50 feet to the northeast corner thereof, marked by a 5/8-inch rebar with cap stamped "Tmn 0066"; thence South 00 degrees 09 minutes 41 seconds West along the east line of said Southwest Quarter a distance of 994.07 feet to the northeast corner of said Instrument Number 9709721324, the following two (2) courses being along the north and west lines of said tract; (1) thence South 89 degrees 28 minutes 43 seconds West a distance of 528.00 feet; (2) thence South 00 degrees 09 minutes 41 seconds West a distance of 330.00 feet to the POINT OF BEGINNING, containing 36.009 acres, more or less.

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

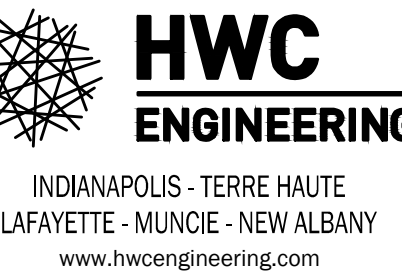
THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

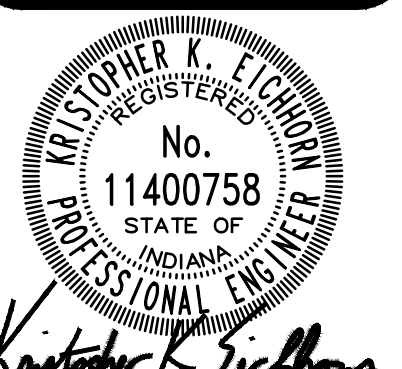
THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS



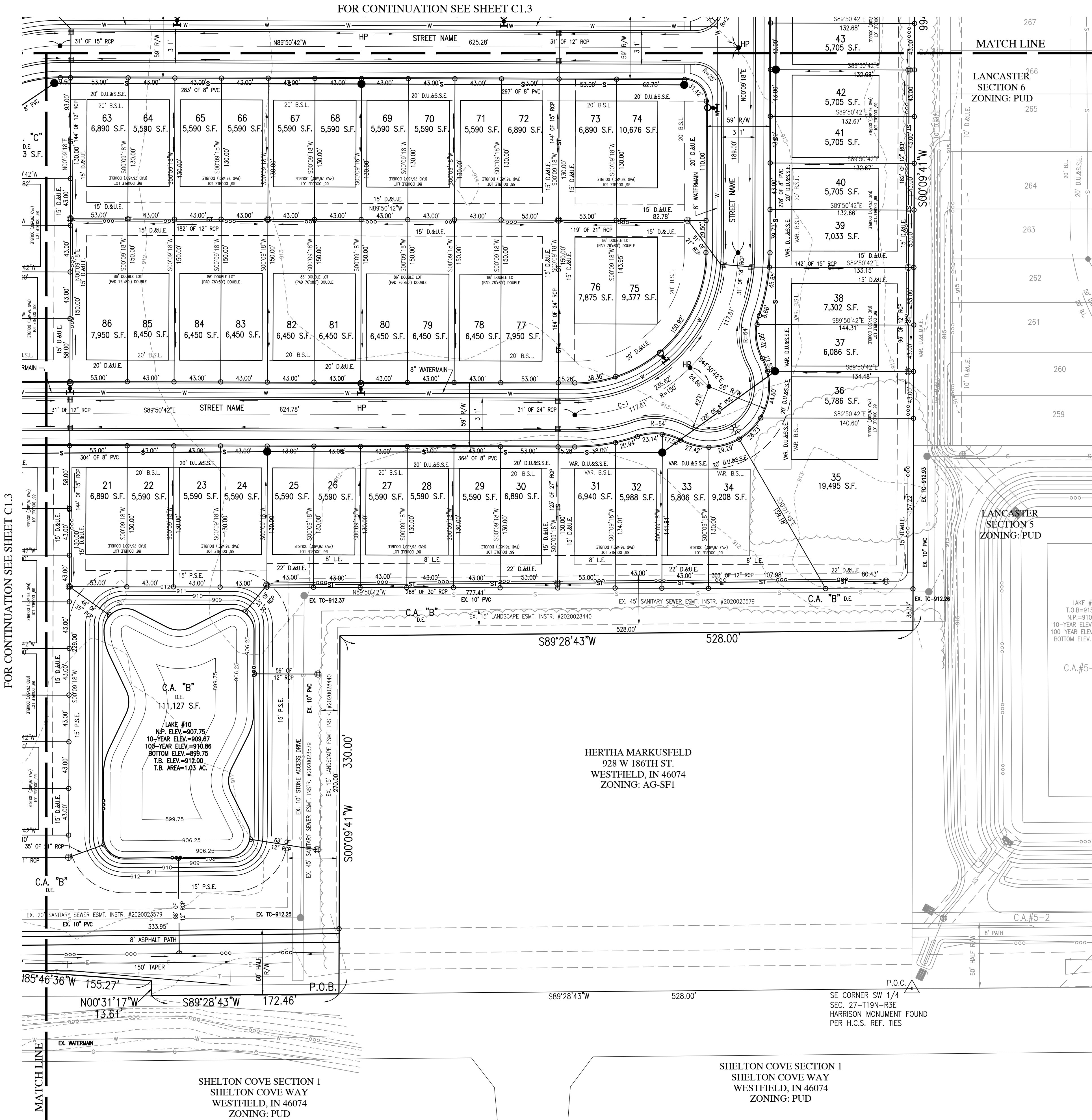
LANCASTER II
CITY OF WESTFIELD, INDIANA
OVERALL SITE PLAN



DRAWN BY DC	JOB NUMBER 2021-105-S
CHECKED BY KE	
DATE JULY 2, 2021	
SCALE AS SHOWN	
SHEET	

C1.1
OVERALL SITE PLAN

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	235.62'	150.00'	212.13'	N45°09'18"E	90°00'01"
C-2	235.12'	150.00'	211.78'	S45°03'34"W	89°48'32"
C-3	235.64'	150.00'	212.14'	S45°09'30"W	90°00'23"



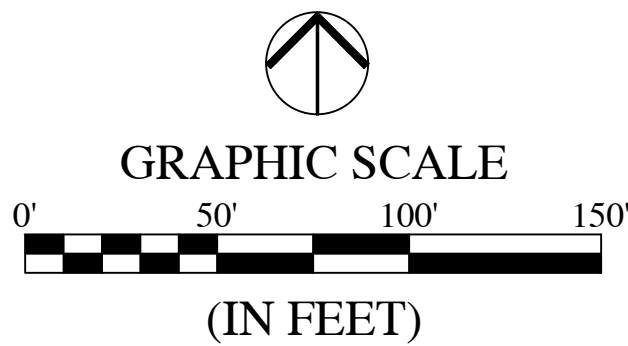
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FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

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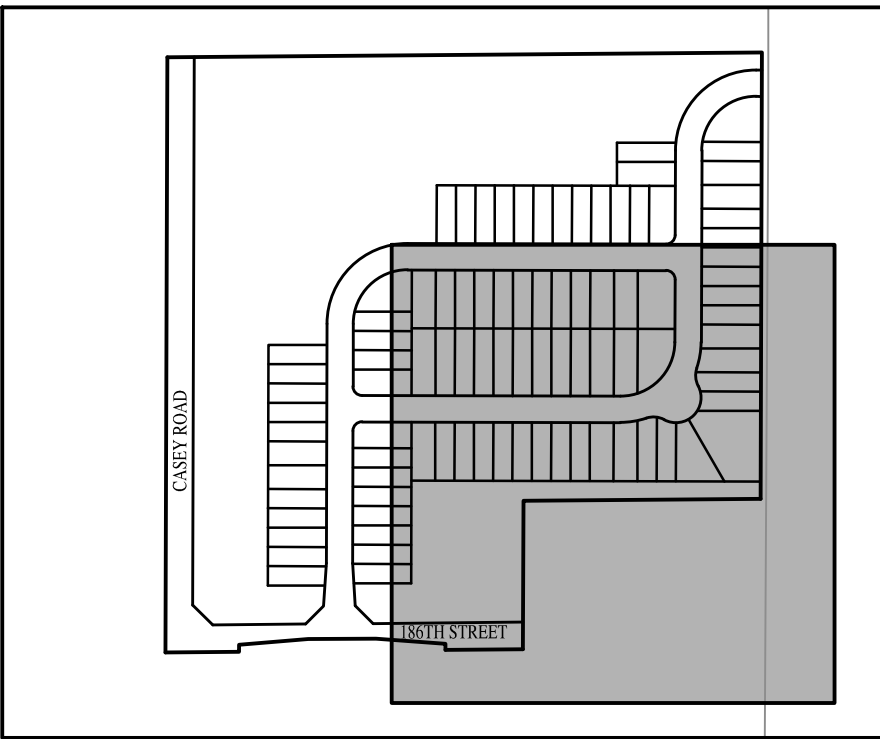


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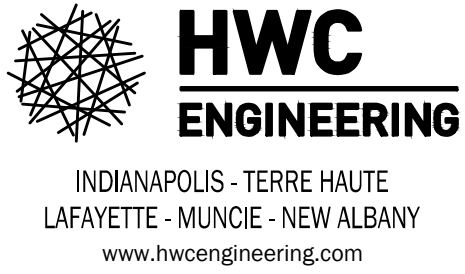
EXISTING		RIGHT-OF-WAY LINE	PROPOSED
		EASEMENT LINE	
		SETBACK LINE	
		CENTERLINE	
		SWALE / FLOWLINE	
		SURFACE DRAIN	
		SANITARY SEWER	
		STORM SEWER	
		STORM CULVERT	
		WATER MAIN	
		CONTOUR, MAJOR	
		CONTOUR, MINOR	
		FENCE	
		TREE LINE	
		SANITARY MANHOLE	
		STORM MANHOLE	
		STORM INLET	
		STORM END SECTION	
		FIRE HYDRANT	
		FLOW ARROW	
		STREET LIGHT	
		6" X 6" VEHICLE BARRIER POST	

ABBREVIATIONS:

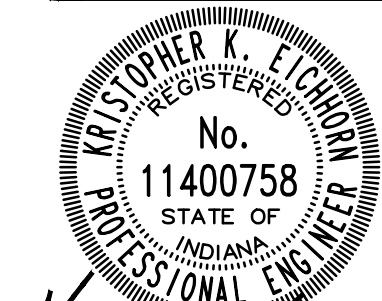
BC	— BACK OF CURB
CL	— CENTERLINE
FL	— FLOW LINE
NP	— NORMAL POOL (ELEVATION)
PVC	— POLYVINYL CHLORIDE PIPE
RCP	— REINFORCED CONCRETE PIPE
C.A.	— COMMON AREA
D.E.	— DRAINAGE EASEMENT
S.S.D.&U.E.	— SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
P.&U.E.	— PUBLIC AND UTILITY EASEMENT
P.S.E.	— PERMANENT STORMWATER EASEMENT
P.A.E.	— PEDESTRIAN ACCESS EASEMENT
ESMT.	— EASEMENT
ZS	— LOT NUMBER
B.S.L.	— BUILDING SETBACK LINE
S.F.	— SQUARE FEET
R/W	— PUBLIC RIGHT-OF-WAY



KEYMAP
NOT TO SCALE

[illegible]

LANCASTER II OVERALL PRIMARY PLAT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL PRIMARY PLAT PLAN

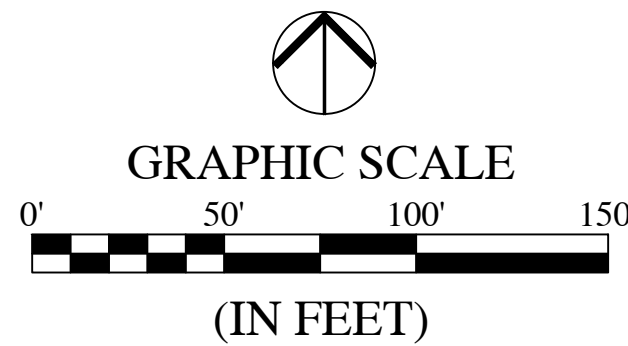
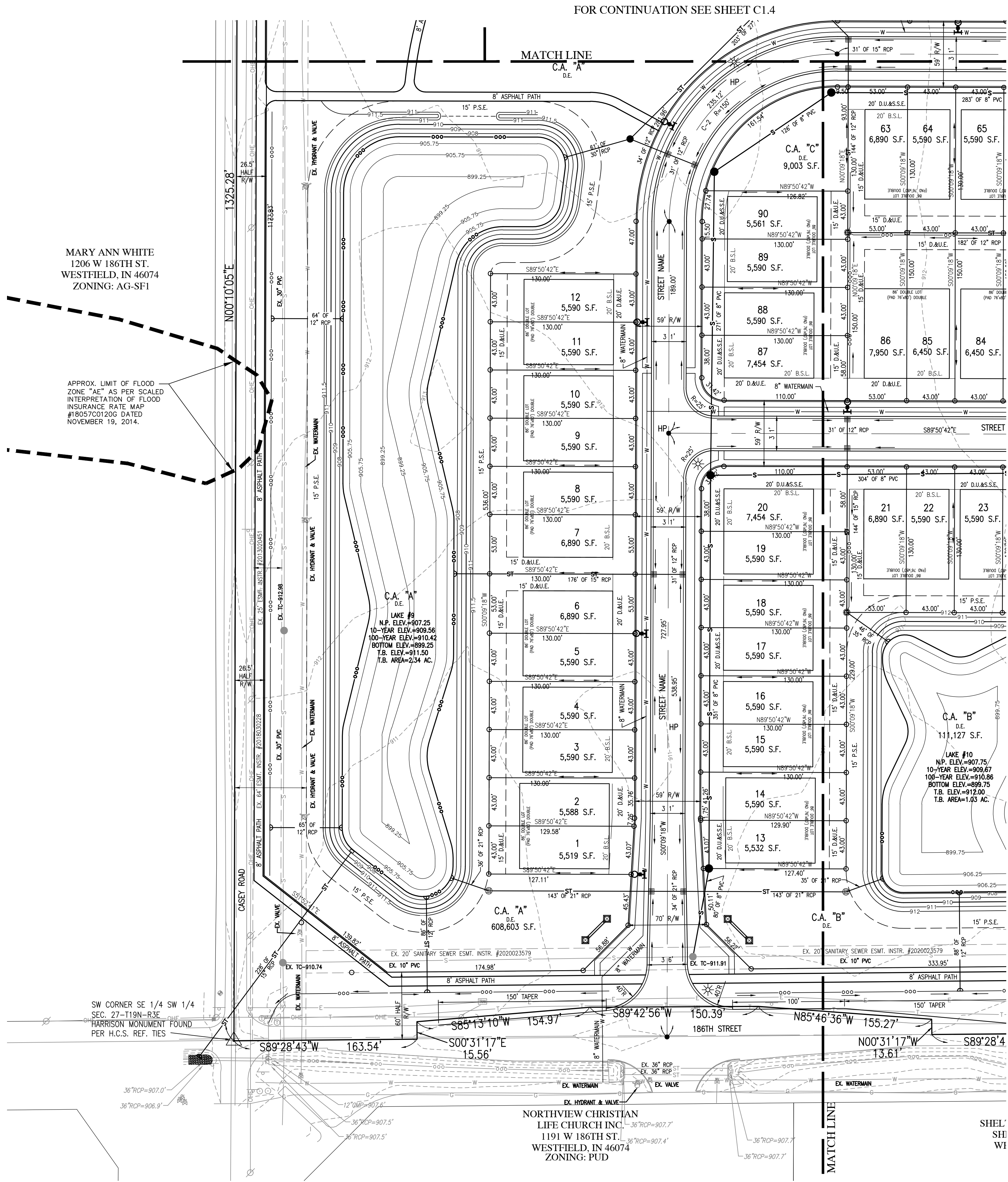


DRAWN BY	DC
CHECKED BY	KE
DATE	JULY 2, 20
SCALE	AS SHOWN
SHEET	

JOB NUMBER
3021 105 S

C1.2

OVERALL PRIMARY PLAT
PLAN



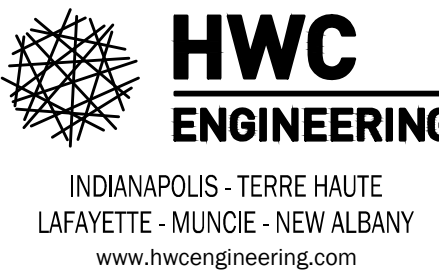
LEGEND:

EXISTING	PROPOSED
---	RIGHT-OF-WAY LINE
---	EASEMENT LINE
---	SETBACK LINE
---	CENTERLINE
---	SWALE / FLOWLINE
---	SUBSURFACE DRAIN
---	SANITARY SEWER
---	STORM SEWER
---	STORM CULVERT
---	WATER MAIN
---	CONTOUR, MAJOR
---	CONTOUR, MINOR
---	FENCE
---	TREE LINE
---	SANITARY MANHOLE
---	STORM MANHOLE
---	STORM INLET
---	STORM END SECTION
---	FIRE HYDRANT
---	FLOW ARROW
---	STREET LIGHT
---	6' X 6' VEHICLE BARRIER POST

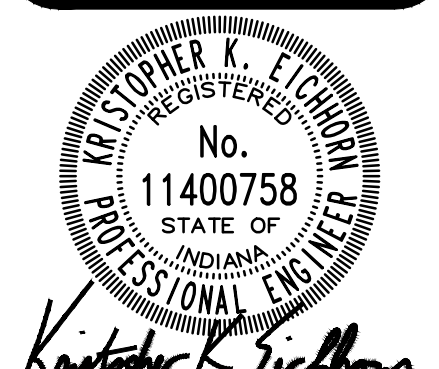
ABBREVIATIONS:

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CA	- COMMON AREA
D.E.	- DRAINAGE EASEMENT
S.S.D.&U.E.	- SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT
D.&U.E.	- DRAINAGE AND UTILITY EASEMENT
P.S.E.	- PERMANENT STORMWATER EASEMENT
P.A.E.	- PEDESTRIAN ACCESS EASEMENT
ESMT.	- EASEMENT
25	- LOT NUMBER
B.S.L.	- BUILDING SETBACK LINE
S.F.	- SQUARE FEET
R/W	- PUBLIC RIGHT-OF-WAY

DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS



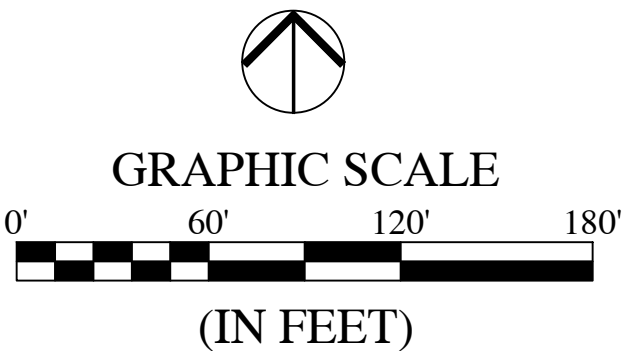
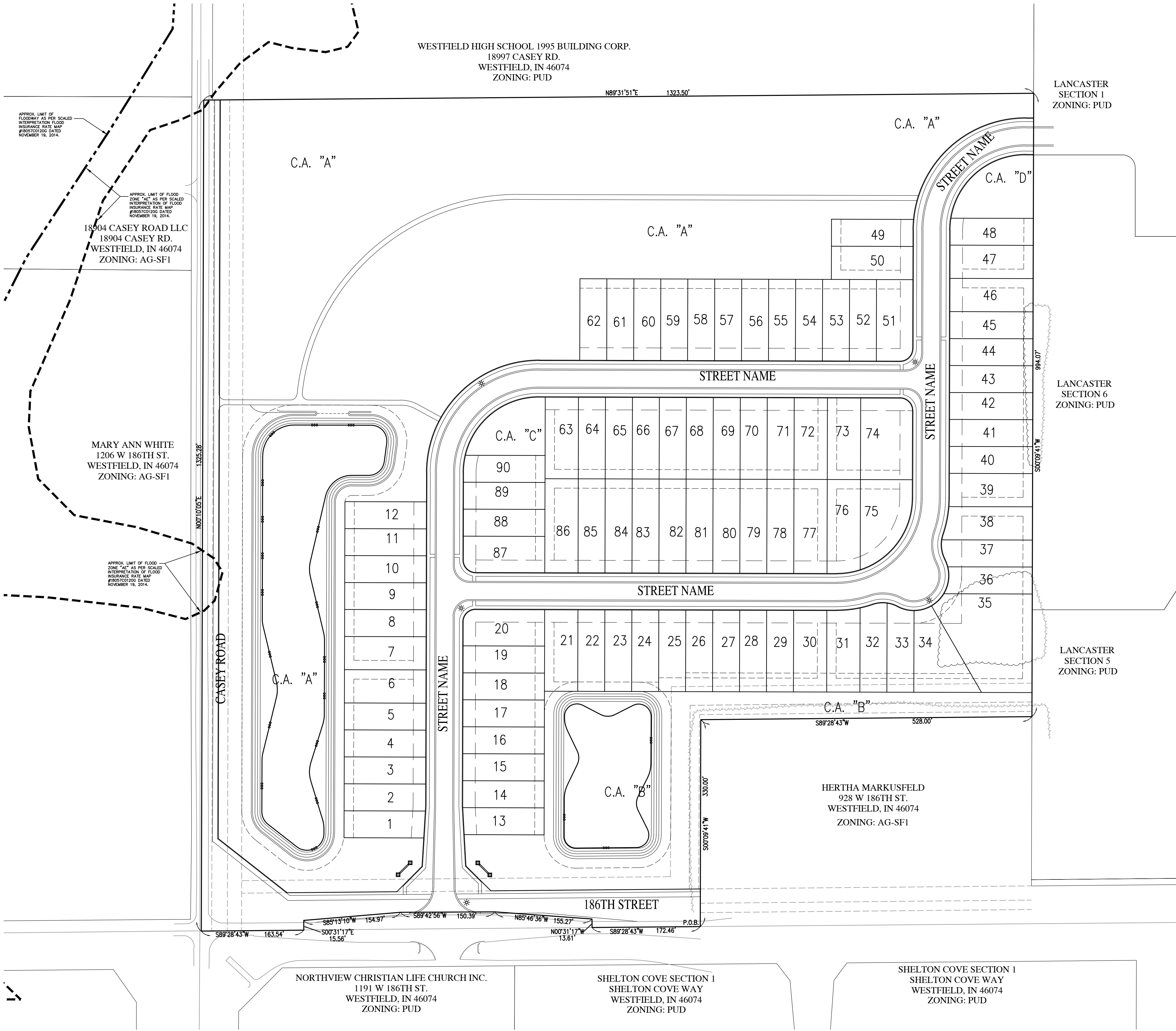
LANCASTER II OVERALL PRIMARY PLAT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL PRIMARY PLAT PLAN



DRAWN BY DC	JOB NUMBER 2021-105-S
CHECKED BY KE	
DATE JULY 2, 2021	
SCALE AS SHOWN	
SHEET	

C1.3
OVERALL PRIMARY PLAT PLAN

© 2021



LEGEND:

EXISTING	PROPOSED

ABBREVIATIONS:

C.A.	- COMMON AREA
ZS	- LOT NUMBER

AS-SURVEYED LAND DESCRIPTION

Part of the Southeast Quarter of the Southwest Quarter of Section 27, Township 19 North, Range 3 East of the Second Principal Meridian, in the City of Westfield, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 21500017, HWC Engineering, Job Number 2021-105, more particularly described as follows:

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THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS



LANCASTER II
CITY OF WESTFIELD, INDIANA
OVERALL SITE PLAN

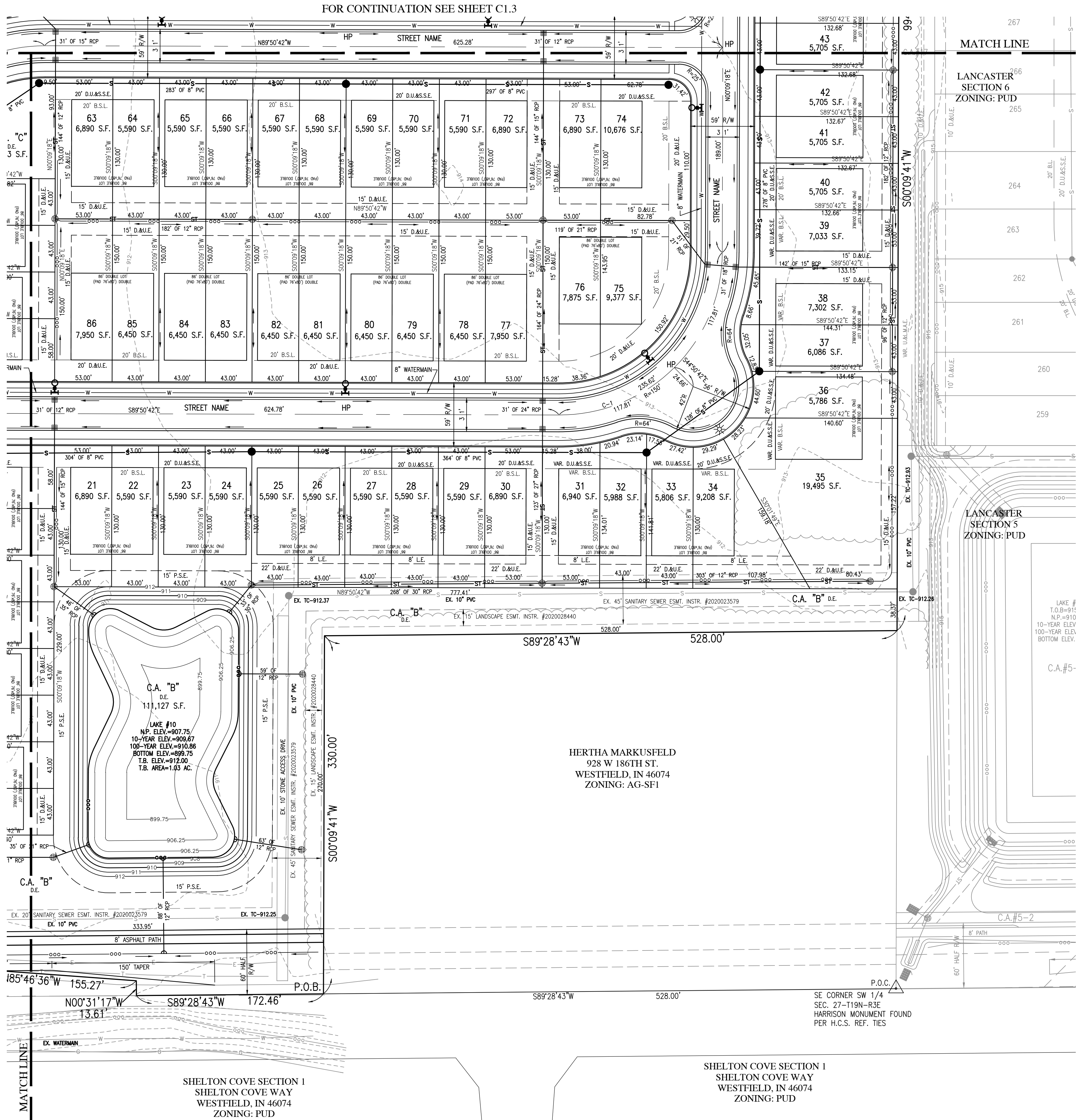


DRAWN BY DC	JOB NUMBER 2021-105-S
CHECKED BY KE	
DATE JULY 2, 2021	
SCALE AS SHOWN	
SHEET	

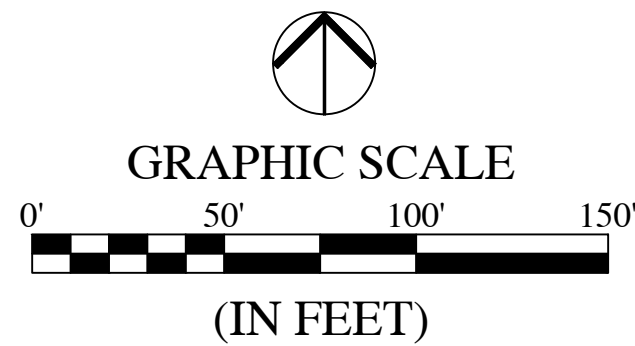
C1.1

OVERALL SITE PLAN

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	235.62'	150.00'	212.13'	N45°09'18"E	90°00'01"
C-2	235.12'	150.00'	211.78'	S45°03'34"W	89°48'32"
C-3	235.64'	150.00'	212.14'	S45°09'30"W	90°00'23"



THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

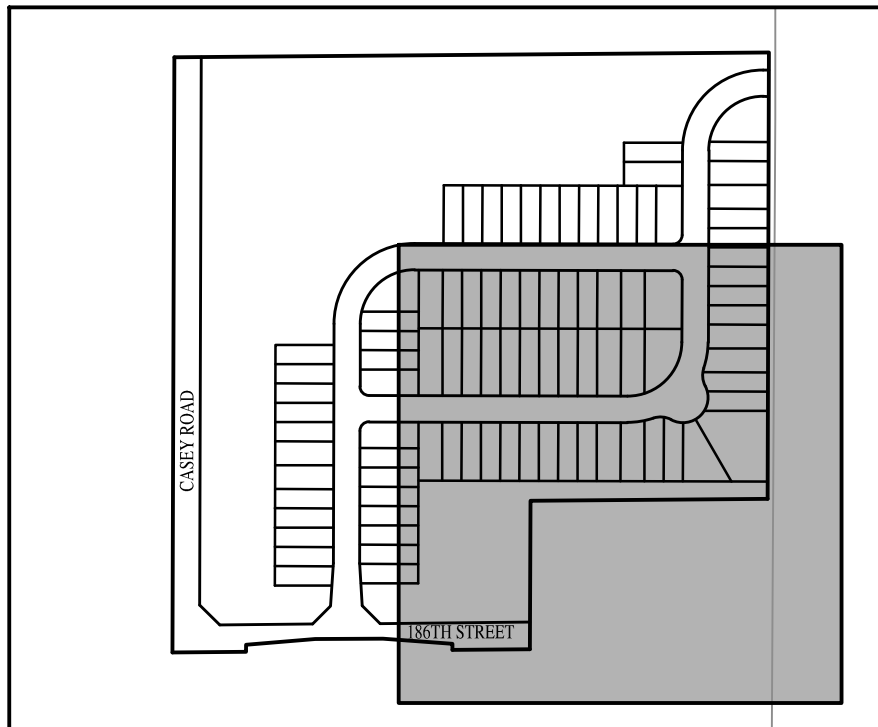


LEGEND:

EXISTING		RIGHT-OF-WAY LINE		PROPOSED
_____		EASEMENT LINE	_____	_____
_____		SETBACK LINE	_____	_____
_____		CENTERLINE	_____	_____
_____o o o_____		SWALE / FLOWLINE	_____o o o_____	_____o o o_____
_____dashed_____		SUBSURFACE DRAIN	_____dashed_____	_____dashed_____
_____S_____		SANITARY SEWER	_____S_____	_____S_____
_____ST_____		STORM SEWER	_____ST_____	_____ST_____
≡ST_____		STORM CULVERT	≡ST_____≡	≡ST_____≡
_____W_____		WATER MAIN	_____W_____	_____W_____
_____800'_____		CONTOUR, MAJOR	_____800'_____	_____800'_____
_____799'_____		CONTOUR, MINOR	_____799'_____	_____799'_____
_____x x x x x_____		FENCE	_____x x x x x_____	_____x x x x x_____
_____wavy_____		TREE LINE	_____wavy_____	_____wavy_____
⊙		SANITARY MANHOLE	⊙	⊙
⊙		STORM MANHOLE	⊙	⊙
⊙		STORM INLET	⊙	⊙
⊙		STORM END SECTION	⊙	⊙
⊙		FIRE HYDRANT	⊙	⊙
N/A		FLOW ARROW	→	→
		STREET LIGHT	☆	☆
		6" x 6" VEHICLE BARRIER POST	□	□

ABBREVIATIONS:

BC	BACK OF CURB
CL	CENTERLINE
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RCP	REINFORCED CONCRETE PIPE
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25	LOT NUMBER
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R/W	PUBLIC RIGHT-OF-WAY



KEYMAP
NOT TO SCALE

REVISIONS

DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/K



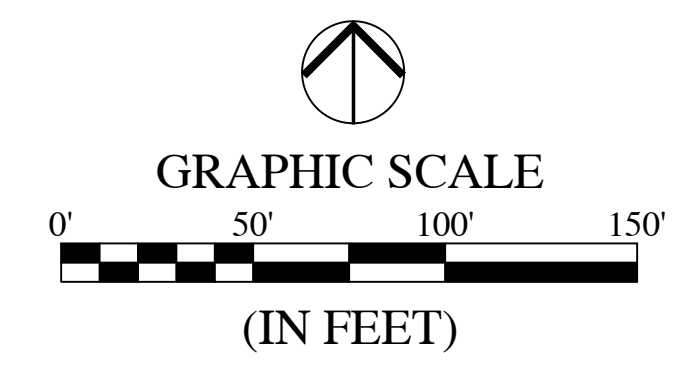
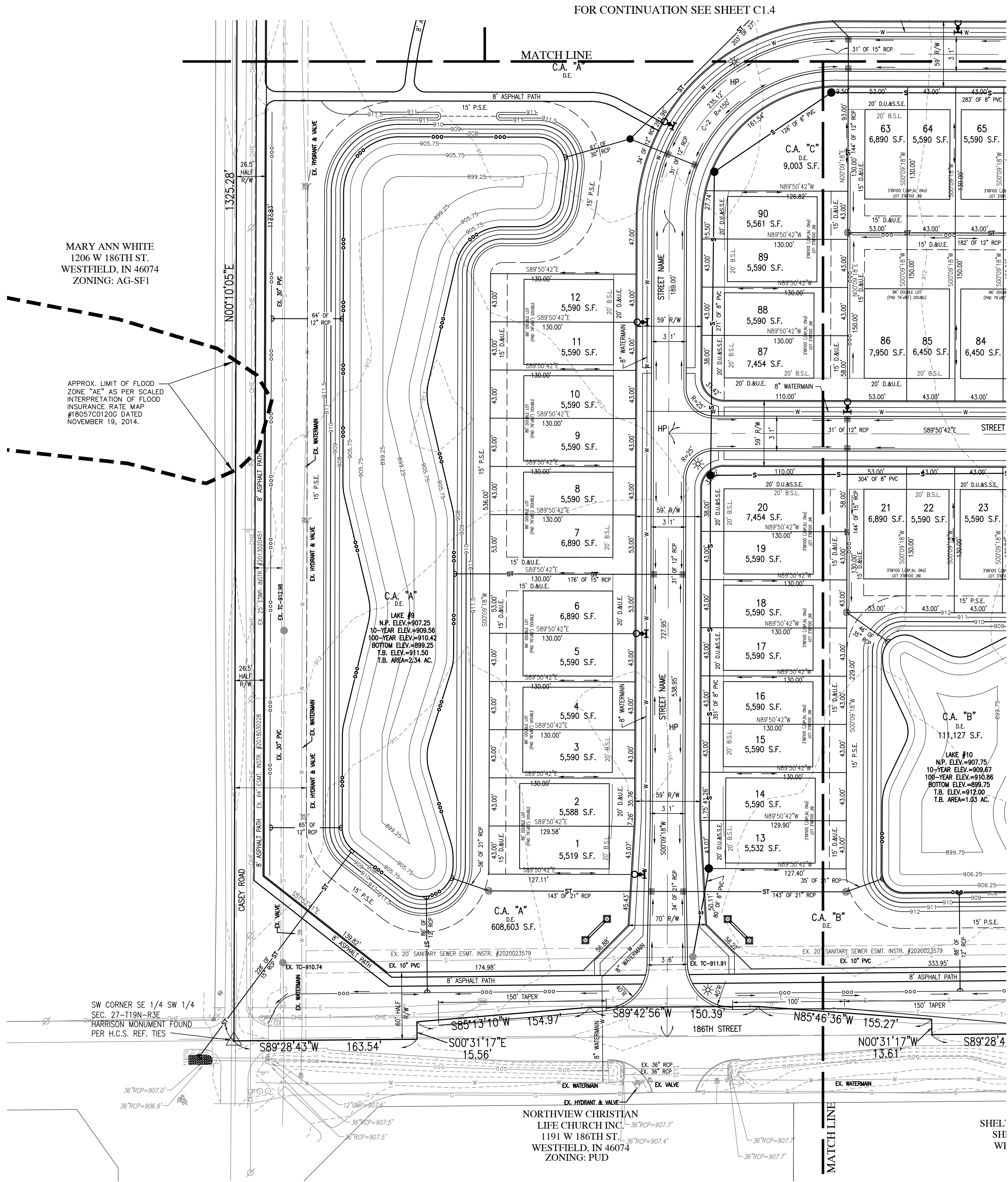
LANCASTER II OVERALL DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL DEVELOPMENT PLAN



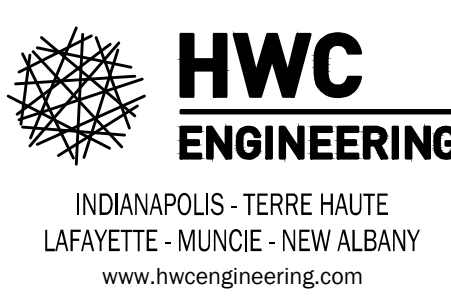
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DATE JULY 2, 2021	
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C1.2

OVERALL DEVELOPMENT
PLAN



REVISIONS		
DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS



LANCASTER II OVERALL DEVELOPMENT PLAN
CITY OF WESTFIELD, INDIANA
OVERALL DEVELOPMENT PLAN

REGISTERED PROFESSIONAL ENGINEER
No. 11400758
STATE OF INDIANA
KATHARINE K. KEICHORN

DRAWN BY
DC

CHECKED BY
KE

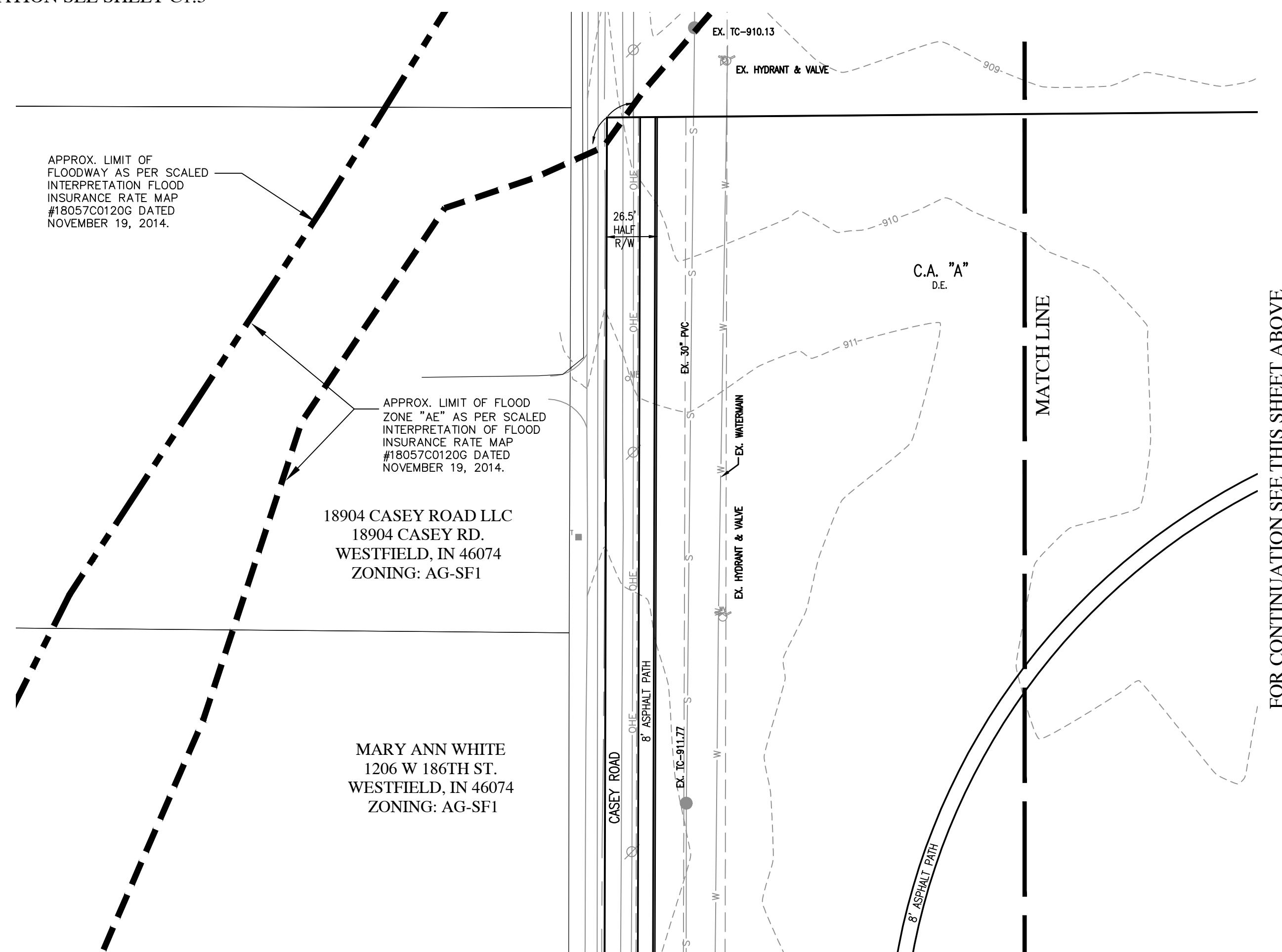
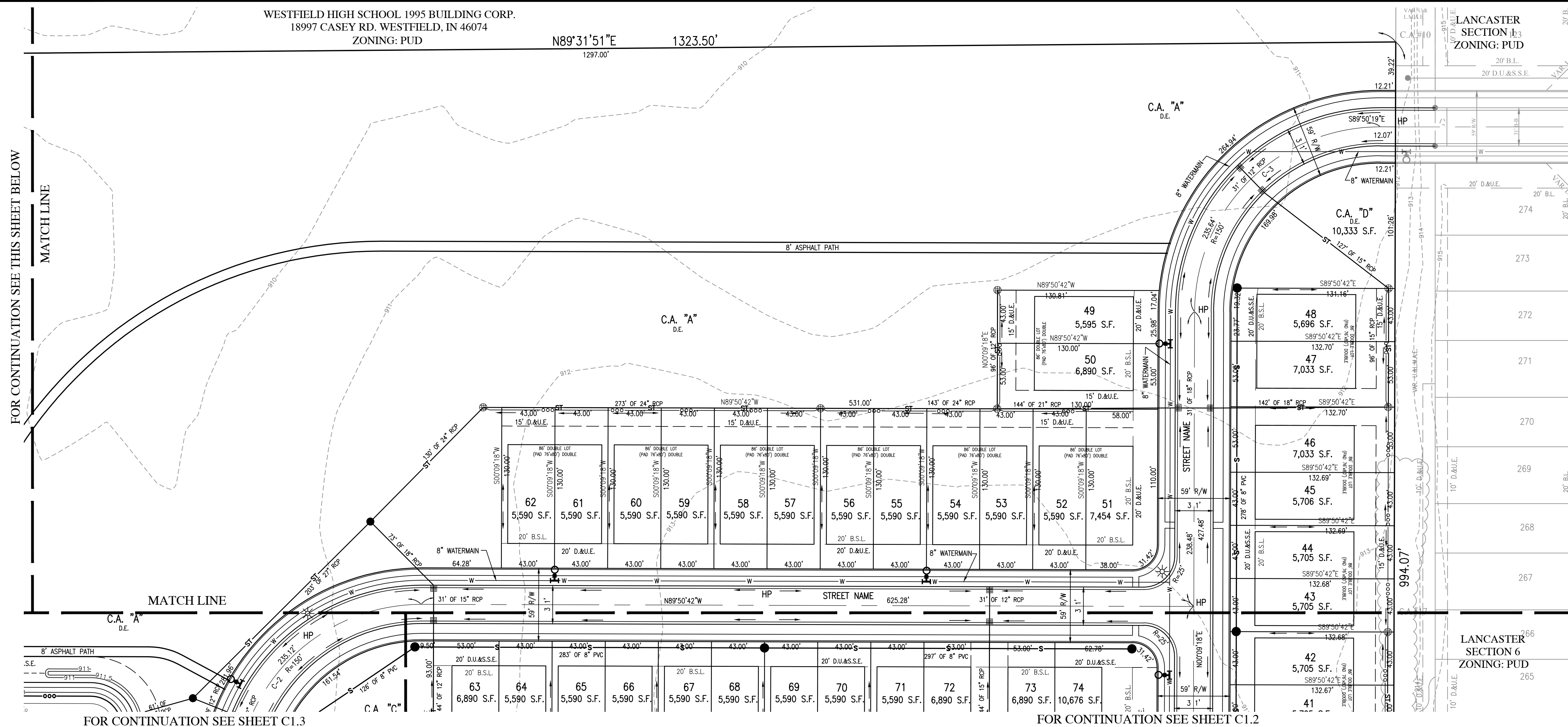
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SCALE
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JOB NUMBER
2021-105-S

C1.3
OVERALL DEVELOPMENT PLAN



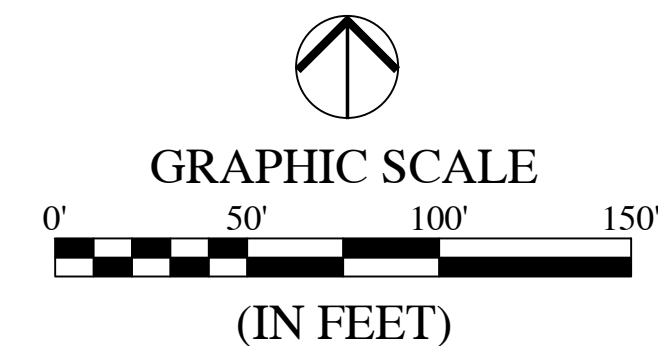
ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN
FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

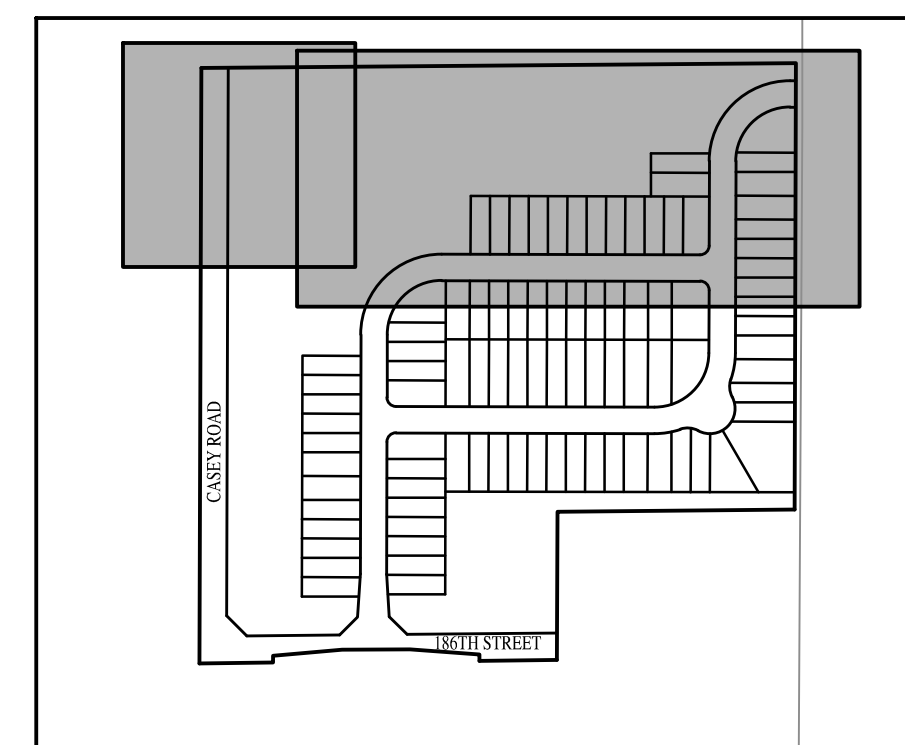


LEGEND:

EXISTING		RIGHT-OF-WAY LINE		PROPOSED
_____		EASEMENT LINE	_____	
_____		SETBACK LINE	_____	
_____		CENTERLINE	_____	
_____	o o o	SWALE / FLOWLINE	_____	o o o
- - - - -		SUBSURFACE DRAIN	_____	
_____	S	SANITARY SEWER	_____	S
_____	ST	STORM SEWER	_____	ST
_____	ST	STORM CULVERT	_____	ST
_____	W	WATER MAIN	_____	W
-800-		CONTOUR, MAJOR	_____	800
-799-		CONTOUR, MINOR	_____	799
x x x x x x x x		FENCE	_____	□ □
				BLACK "4-BOARD" FENCE
~~~~~		TREE LINE	~~~~~	
③		SANITARY MANHOLE	●	
⑤		STORM MANHOLE	●	
⊕		STORM INLET	⊕	
⊞		STORM END SECTION	⊞	
⦿		FIRE HYDRANT	⦿	
N/A		FLOW ARROW	→	
		STREET LIGHT	☆	
		6" x 6" VEHICLE BARRIER POST	□	

ABBREVIATIONS:

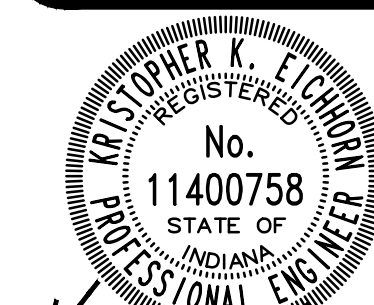
BC – BACK OF CURB  
CL – CENTERLINE  
FL – FLOW LINE  
NP – NORMAL POOL (ELEVATION)  
PVC – POLYVINYL CHLORIDE PIPE  
RCP – REINFORCED CONCRETE PIPE  
C.A. – COMMON AREA  
D.E. – DRAINAGE EASEMENT  
S.S.D.&A.E. – SANITARY SEWER, DRAINAGE AND UTILITY EASEMENT  
D.&A.E. – DRAINAGE AND UTILITY EASEMENT  
P.S.E. – PERMANENT STORMWATER EASEMENT  
P.E. – PEDESTRIAN ACCESS EASEMENT  
E.S.M.T. – EASEMENT  
25 – LOT NUMBER  
B.S.L. – BUILDING SETBACK LINE  
S.F. – SQUARE FEET  
R/W – PUBLIC RIGHT-OF-WAY



**KEYMAP**  
NOT TO SCALE

[illegible]

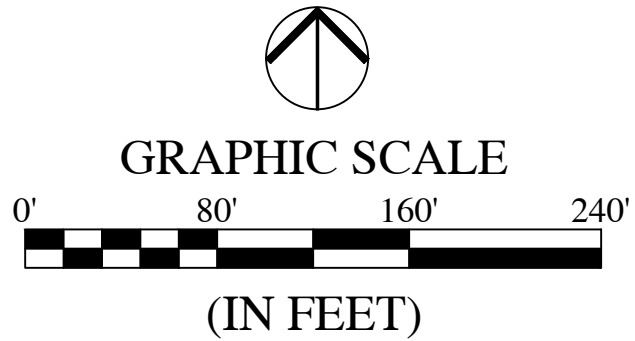
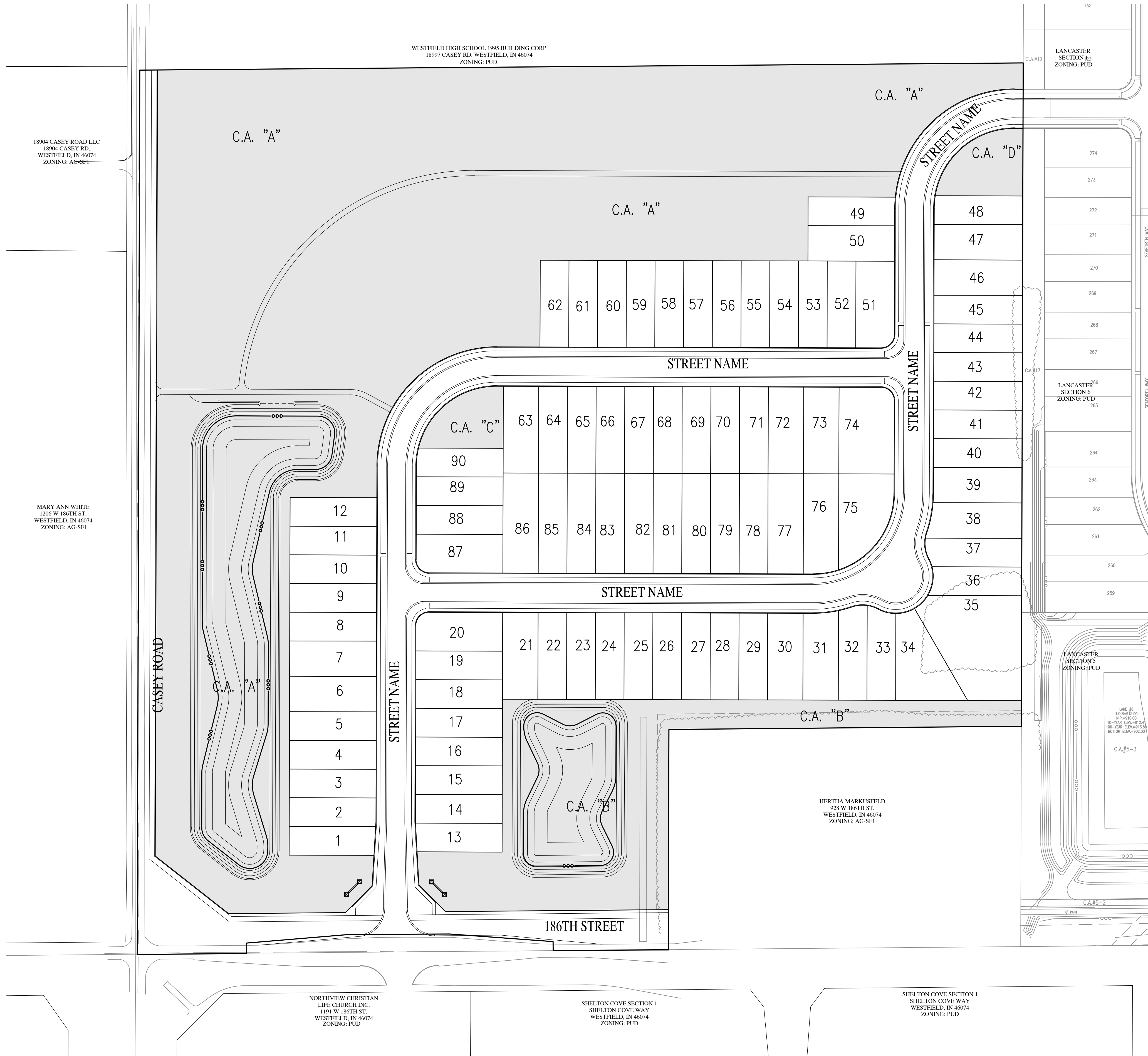
LANCASTER II OVERALL DEVELOPMENT PLAN  
CITY OF WESTFIELD, INDIANA  
OVERALL DEVELOPMENT PLAN



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## C1.4

## OVERALL DEVELOPMENT PLAN



LEGEND:		
EXISTING		PROPOSED
---	RIGHT-OF-WAY LINE	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	TREE LINE	---

ABBREVIATIONS:	
C.A.	- COMMON AREA
25	- LOT NUMBER

COMMON AREA SUMMARY (OPEN SPACE)	
CA "A"	= 608,603 SF
CA "B"	= 111,127 SF
CA "C"	= 9,003 SF
CA "D"	= 10,333 SF
TOTAL COMMON AREA = 739,066 SF	
TOTAL COMMON AREA = 16.97 ACRES	

OPEN SPACE PROVIDED
OPEN SPACE AREA = 16.97 AC.
TOTAL ACREAGE = 36.009 AC.
= 47.13%

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

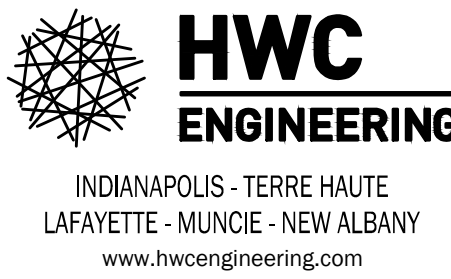
STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

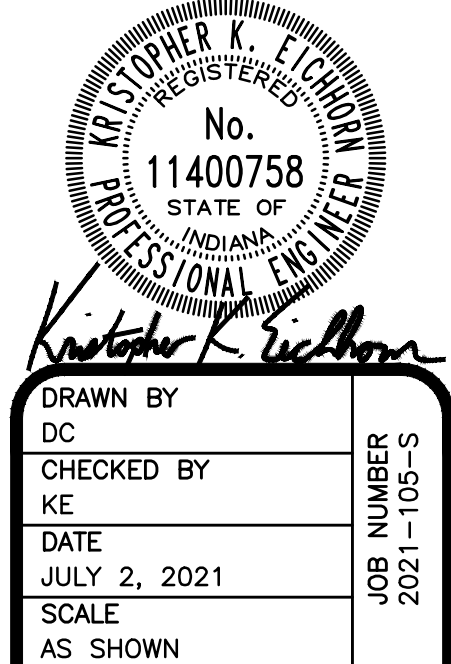
THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

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REVISIONS		
DATE	DESCRIPTION	BY
08/06/21	REVISED PER TAC COMMENTS	DC/KS



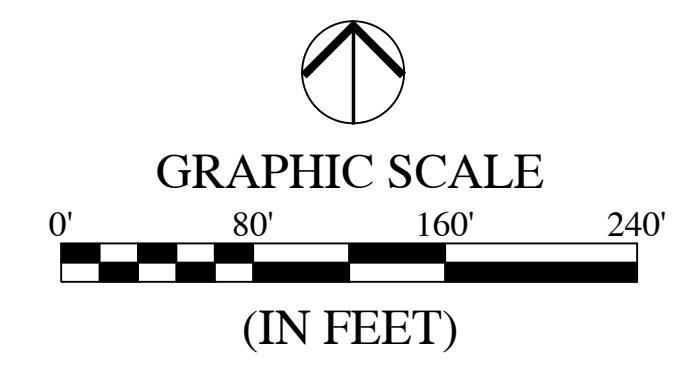
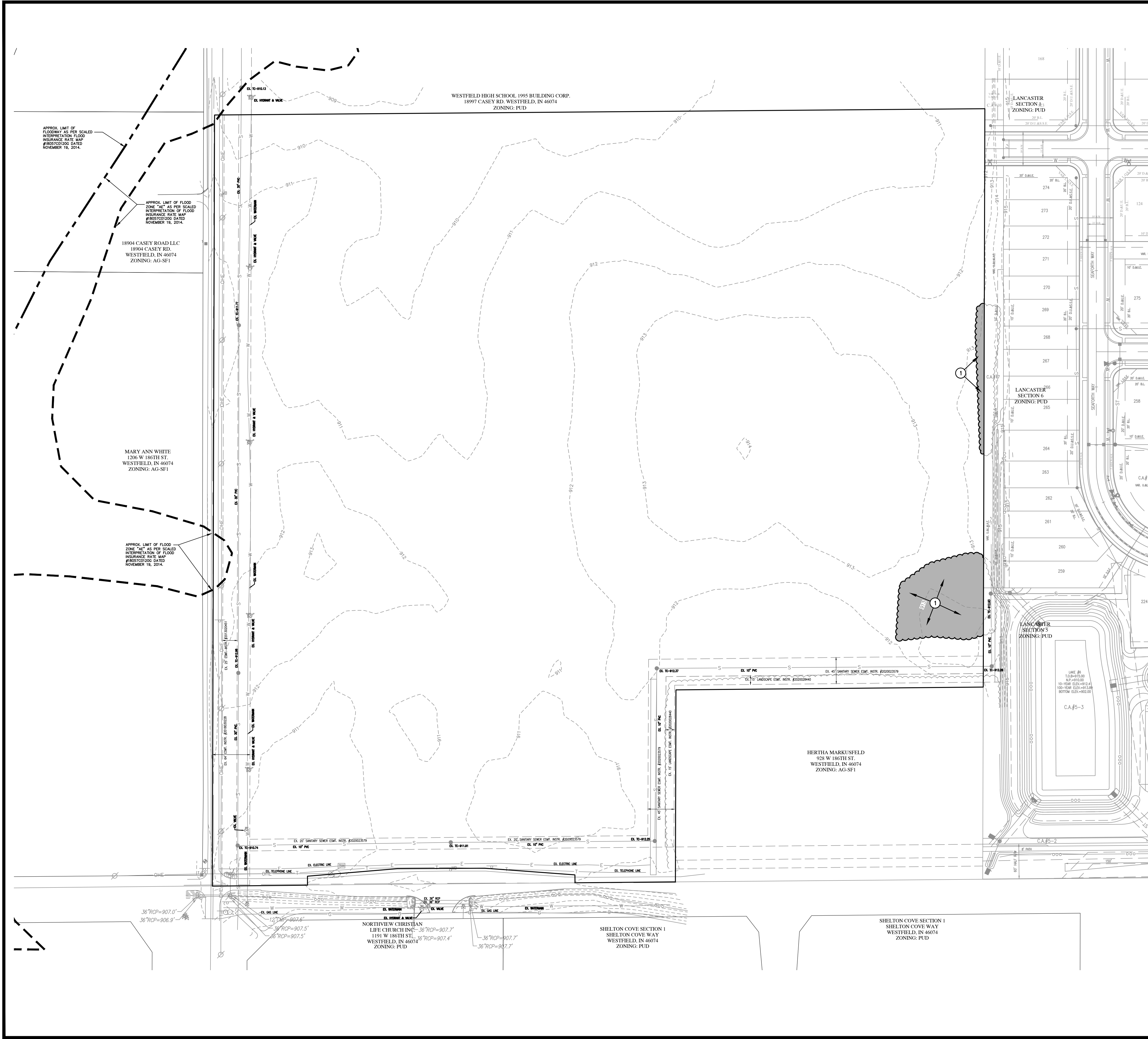
LANCASTER II OVERALL DEVELOPMENT PLAN  
CITY OF WESTFIELD, INDIANA  
OVERALL OPEN SPACE PLAN



DRAWN BY DC  
CHECKED BY KE  
DATE JULY 2, 2021  
SCALE AS SHOWN  
SHEET

JOB NUMBER 2021-105-S

C2.0  
OVERALL OPEN SPACE PLAN



**LEGEND:**

EXISTING	RIGHT-OF-WAY LINE
—	CENTERLINE
—+—+—+—	SWALE / FLOWLINE
—S—S—S—S—	SANITARY SEWER
—ST—ST—ST—ST—	STORM SEWER
—W—W—W—W—	STORM CULVERT
—800—	WATER MAIN
—799—	CONTOUR, MAJOR
—x—x—x—x—	CONTOUR, MINOR
—wavy line—	FENCE
—tree line—	TREE LINE
—circle with S—	SANITARY MANHOLE
—circle with ST—	STORM MANHOLE
—square with S—	STORM INLET
—square with d—	STORM END SECTION
—circle with cross—	FIRE HYDRANT

**DEMOLITION KEYNOTES:** (#)

(NOT ALL KEY NOTES APPLY TO THIS SHEET)  
ALL ITEMS SHALL BE REMOVED IN THEIR ENTIRETY UNLESS NOTED OTHERWISE.

1. REMOVE EXISTING TREES AND/ OR TREE LINE.

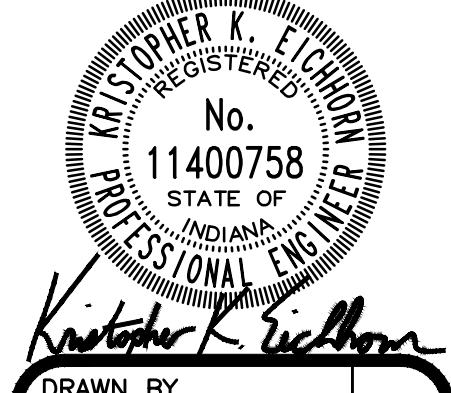
**DEMOLITION GENERAL NOTES:**

- THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL MATERIALS INDICATED ON THE PLAN. GENERALLY, DEMOLITION AREAS AND FACILITIES ARE INDICATED WITH BOLD LINES AND/OR SHADDED AREAS. DISPOSAL OF SITE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL GUIDELINES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FEATURES WHICH LIE ALONG THE PERIMETER OF THE SITE. THESE FEATURES INCLUDE, BUT ARE NOT LIMITED TO: BUILDINGS, PAVEMENTS, FENCES, VEGETATION, UTILITIES, PROPERTY MARKERS, ETC. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE WHICH OCCURS DURING OR AS A RESULT OF CONSTRUCTION ACTIVITY. REPLACEMENT OF DAMAGED PROPERTY SHALL BE EQUAL TO EXISTING CONDITIONS.
- FOLLOWING REMOVAL OF INDICATED NATURAL FEATURES AND SITE IMPROVEMENTS, AND FOLLOWING THE COMPLETION OF EARTHWORK AS INDICATED ON THE GRADING PLAN, CONTRACTOR SHALL SUPPLY AND INSTALL TOPSOIL FILL TO THE FINISH GRADES INDICATED ON THE GRADING PLAN. TOPSOIL FILL SHALL BE FREE OF ROCK, RUBBISH, OR OTHER UNSUITABLE MATERIAL AND SHALL BE MODERATELY COMPACTED WHEN PLACED TO AVOID EXCESSIVE SETTLEMENTS. THE SURFACE OF ALL FILL SHALL BE UNIFORMLY AND SMOOTHLY GRADED IN ACCORDANCE WITH THE SITE GRADING PLAN. THE FINISHED SURFACE GRADES SHALL BE NOT MORE THAN 0.1 FOOT ABOVE OR BELOW THE GRADES INDICATED ON THE PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND THE ADJACENT FILL.
- ALL TREES, BRUSH, STUMPS AND GRUBBING DEBRIS SCHEDULED FOR DEMOLITION ARE TO BE REMOVED FROM THE SITE.
- CURRENT FIELD CONDITIONS MAY VARY SOMEWHAT FROM THOSE INDICATED ON THIS PLAN. THE INFORMATION SHOULD NOT BE CONSIDERED AS EXACT OR COMPLETE.
  - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO CONSTRUCTION. CONTACT THE INDIANA UNDERGROUND UTILITY PROTECTION SERVICE AT 1-800-382-5544.
  - THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF WORK WHICH COULD DISRUPT THE RESPECTIVE UTILITY SERVICE.
  - ANY DEVIATIONS FROM THE UTILITY LOCATIONS OR ELEVATIONS FROM THOSE SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION. ANY OTHER DEVIATIONS OF THE SITE IMPROVEMENTS FROM THOSE SHOWN ON THE PLANS THAT AFFECT THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH THE IMPROVEMENTS SHOWN ON THE SITE PLANS.
  - ANY DAMAGE TO EXISTING UTILITY LINES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
- UNLESS NOTED OTHERWISE, ALL UNDERGROUND UTILITIES SCHEDULED FOR DEMOLITION SHALL BE COMPLETELY EXCAVATED AND REMOVED, AND THE TRENCH BACKFILLED WITH STRUCTURAL FILL PLACED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
- DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/ REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF CONSTRUCTION TO DOCUMENT THE EXISTING CONDITIONS OF THE RIGHT-OF-WAY.

REVISIONS		
DATE	DESCRIPTION	BY
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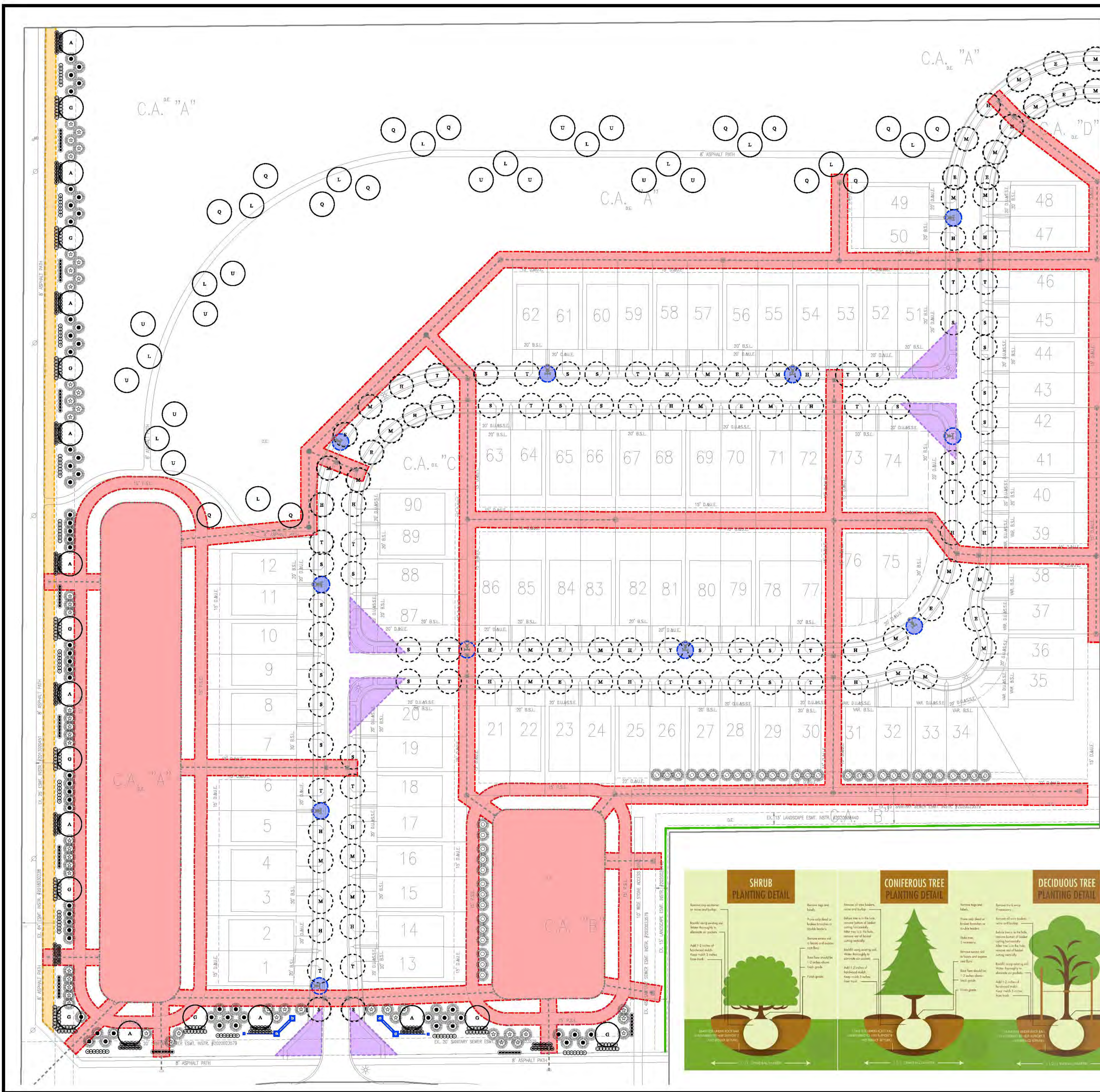
**HWC ENGINEERING**  
INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwceengineering.com

LANCASTER II OVERALL DEVELOPMENT PLAN  
CITY OF WESTFIELD, INDIANA  
EXISTING CONDITIONS &  
DEMOLITION PLAN



DRAWN BY DC	JOB NUMBER 2021-105-S
CHECKED BY KE	
DATE JULY 2, 2021	
SCALE AS SHOWN	
SHEET	

**C3.0**  
EXISTING CONDITIONS &  
DEMOLITION PLAN



Planting Requirements (per PUD Ordinance #21-02) for Lancaster II					
BUILDER	Street Trees (2")	Other Trees (2" Shade and Ornamental, 5-8' Evergreen)			
		Shade (NA)	Ornamental (NA)	Evergreen (NA)	Shrub (NA)
Street Trees (along Lots)	Street (150 LF)	0	0	0	0
3,500 LF (one-side total excluding known restricted zones)	0	0	0	0	0
On-Site (Lots)	0	0	0	0	0
80 Lots (standard)	0	0	0	0	0
4 Lots (corner)	0	0	0	0	0
Buffered Lots #20-34 (on Lots)	0	0	0	0	0
Required Builder Total:	0	0	0	0	0
DEVELOPER	Street (150 LF)	Other Trees (2" Shade and Ornamental, 5-8' Evergreen)			
		Shade (NA)	Ornamental (NA)	Evergreen (NA)	Shrub (NA)
Street Trees (along Commons)	Street (150 LF)	0	0	0	0
914 LF (one-side total excluding known restricted zones)	0	0	0	0	0
On-Site (Commons)	0	0	0	0	0
External Street Frontage (accounting for known restricted zones)	0	0	0	0	0
16th Street (642 LF)	0	0	0	0	0
County Road 12 (171 LF)	0	0	0	0	0
Buffered Lots #15-18 (on Commons)	0	0	0	0	0
Required Developer Total:	0	0	0	0	0
Required Developer Total After Credits:	0	0	0	0	0
Proposed Developer Total After Substitutions:	0	0	0	0	0

**PLANT SCHEDULE:**

**Street Trees (2"):**

Installed:

- (By Developer | by Builder)
- Acer saccharum 'Green Mountain' - 10 | 20 (Green Mountain Sugar Maple)
- Gleditsia triacanthos var. inermis 'Skycole' - 5 | 19 (Skyline Honeylocust)
- Liquidambar styraciflua 'Moraine' - 3 | 28 (Moraine Sweetgum)
- Liriodendron tulipifera - 3 | 23 (Tuliptree)
- Ulmus x 'Morton' - 6 | 6 (Accolade Elm)

**Shade Trees (2"):**

- Acer saccharum 'Legacy' - 10 (Legacy Sugar Maple)
- Gleditsia triacanthos var. inermis 'Suncoke' - 10 (Sunburst Honeylocust)
- Liquidambar styraciflua 'Worpleston' - 13 (Worpleston Sweetgum)
- Quercus bicolor - 14 (Swamp White Oak)
- Ulmus x 'Morton' - 12 (Accolade Elm)

**Evergreen Trees (by Developer | by Builder):**

- Picea abies - 14 @ 8' (Norway Spruce)
- Picea abies - 64 @ 6' (Norway Spruce)
- Picea glauca var. densata - 52 @ 6' (Black Hills Spruce)

**Shrubs:**

- Aronia melanocarpa 'Viking' - 142 @ 18" (Viking Black Chokeberry)
- Physocarpus opulifolius 'Seward' - 84 @ 18" (Summer Wine Ninebark)
- Viburnum opulus 'Compactum' - 70 @ 18" (Compact European Cranberrybush)
- Viburnum p. tom. 'Summer Snowflake' - 158 @ 18" (Summer Snowflake Viburnum)

**NOTES:**

- Unless otherwise indicated above all plant material shall be contracted for installation by the Developer.
- All Street Trees species shall comply with Westfield's Preferred Street Tree List. See Table 1 below.
- The quantity and location of proposed Street Trees may be adjusted in the field to accommodate notes #3 and #4.
- No trees shall be planted within 4 feet of any pavement.
- No trees shall be planted within 10 feet of any storm sewer pipe, subsurface drain or fire hydrant.
- No fence, wall, hedge, tree or shrub planting which obstructs sight lines and elevations between 3 and 9 feet above the street shall be located in any Site Clearance Triangle.
- No plantings shall be located in perimeter street rights-of-way.
- No plantings shall be installed in a Legal Drain Easement, Tree Preservation Easement or Permanent Storm Easement.
- Trees shall be planted so that when they reach maturity, there will be a minimum of five (5) feet of clearance between tree trunks and vertical structures or other tree trunks.
- At the time of installation the minimum plant size shall be two (2) inch caliper for Shade/Street Trees, two (2) inch caliper or eight (8) feet tall for dump forms of Ornamental/Understory Trees, six (6) feet tall for Evergreen Trees, eighteen (18) inches for Shrubs, two (2) gallon containers for medium-large stature Ornamental Grasses, one (1) gallon containers for low stature Ornamental Grasses and Forbs, and two and five eighths (2-5/8) inch pots for Groundcovers.

**LEGEND**

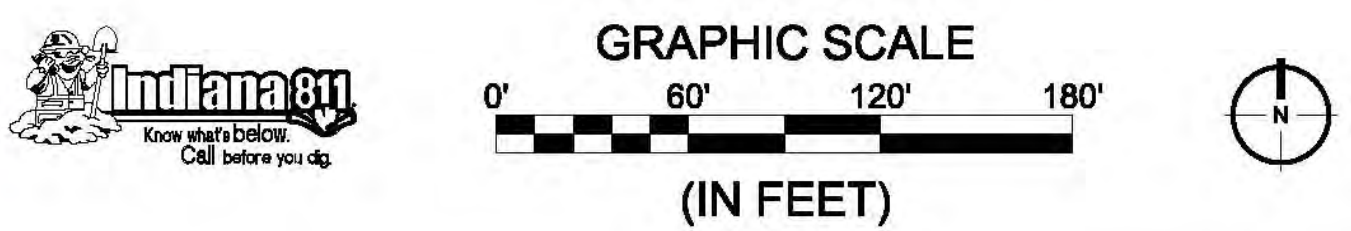
- Tree-Free Zone (Traffic Safety Clearance)
- Tree-Free Zone (Storm Pipe or Permanent Storm Easmt.)
- Tree-Free Zone (Fire Hydrant)
- Tree-Free Zone (Overhead Electrical Line Easement)
- 8" Shadowbox Fence (See Sheet L1.1)
- Entry Feature (See Sheet L1.1)

SECTION 02800 - STREET TREE LIST

Table 1  
Preferred Street Trees  
Large/ Medium Tree List

Trees from Table 1 will eventually reach a height of between thirty (30) to eighty (80) feet in most urban situations. Variations of the plant selections not included on the Preferred Shade Tree List may be approved through the City's designee. Improved cultivars, seedless, and/or thornless varieties must be used when available. Locally grown stock is advised to improve tree survival rates. Minimum caliper of 2 inches is required for all Shade Trees at installation unless otherwise specified.

STREET TREES (TYPE A)	
COMMON NAME	SCIENTIFIC NAME
Coffeetree, Kentucky	Gymnocladus dioica (male only)
Elm, Accolade	Ulmus 'Morton'
Ginkgo	Ginkgo biloba (male only)
Hackberry	Celtis occidentalis
Honeylocust (thornless)	Gleditsia triacanthos var. inermis, seedless cultivars
Horechestnut, Red	Aesculus x carnea 'Briotii'
Katsursitree	Cercidiphyllum japonicum
Linden, Silver 'Sterling Silver'	Tilia tomentosa 'Sterling Silver'
Maple, Black	Acer nigrum
Maple, Freeman	Acer freemanii
Maple, Red	Acer rubrum
Maple, Sugar	Acer saccharum
Maple, Sycamore	Acer pseudoplatanus
Oak, Chinquapin	Quercus muhlenbergii
Oak, Northern Red	Quercus rubra
Oak, Shingle	Quercus imbricaria
Oak, Swamp White	Quercus bicolor
Oak, White	Quercus alba
Sweetgum	Liquidambar styraciflua
Tulip	Liriodendron tulipifera
Zelkova	Zelkova serrata



**REVISIONS**

DATE	DESCRIPTION	BY

**HWC**  
ENGINEERING

INDIANAPOLIS - TERRE HAUTE  
LAFAYETTE - MUNCIE - NEW ALBANY  
www.hwcengineering.com

**LANCASTER II PRIMARY PLAT  
CITY OF WESTFIELD, INDIANA  
LANDSCAPE PLAN**

**L1.0**  
1 OF 2

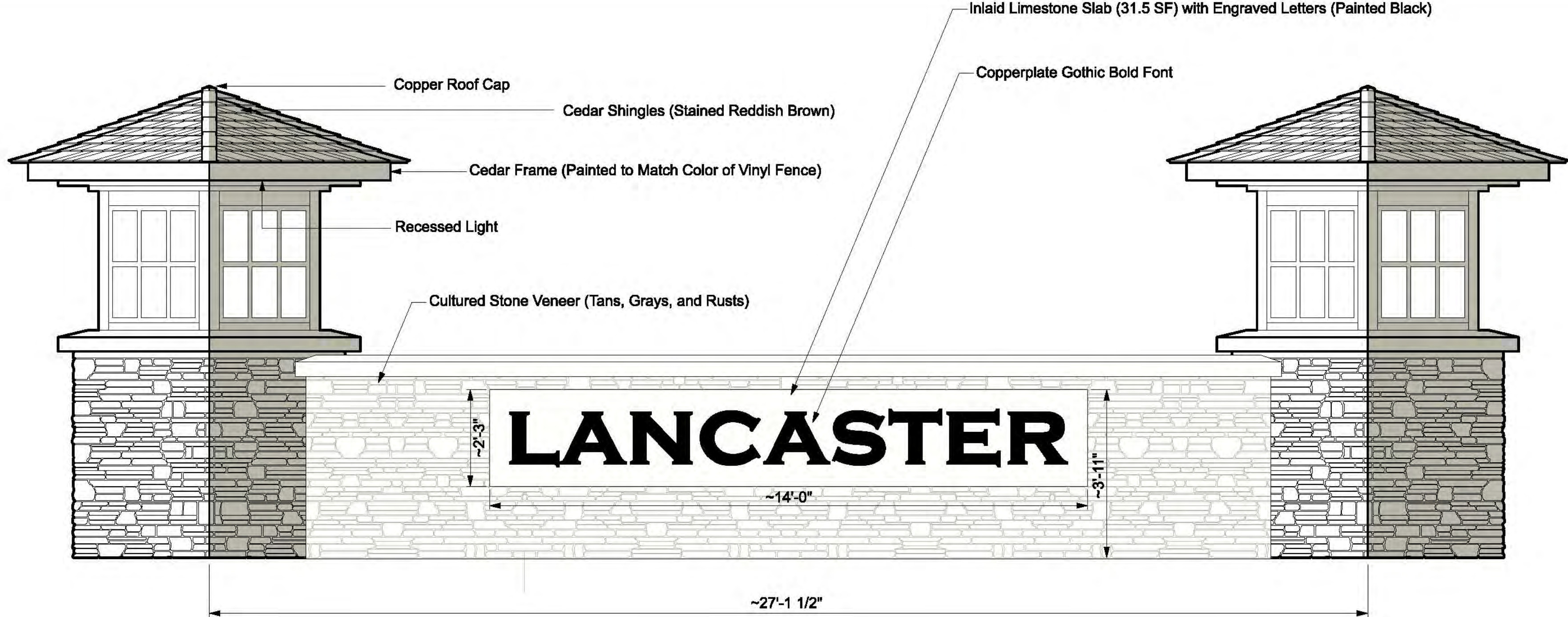
**INDIANAPOLIS**  
No. 11400758  
STATE OF INDIANA  
Professional Engineer  
Katherine K. Richman

DRAWN BY  
EWS  
CHECKED BY  
EWS  
DATE  
06/30/2021  
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AS SHOWN  
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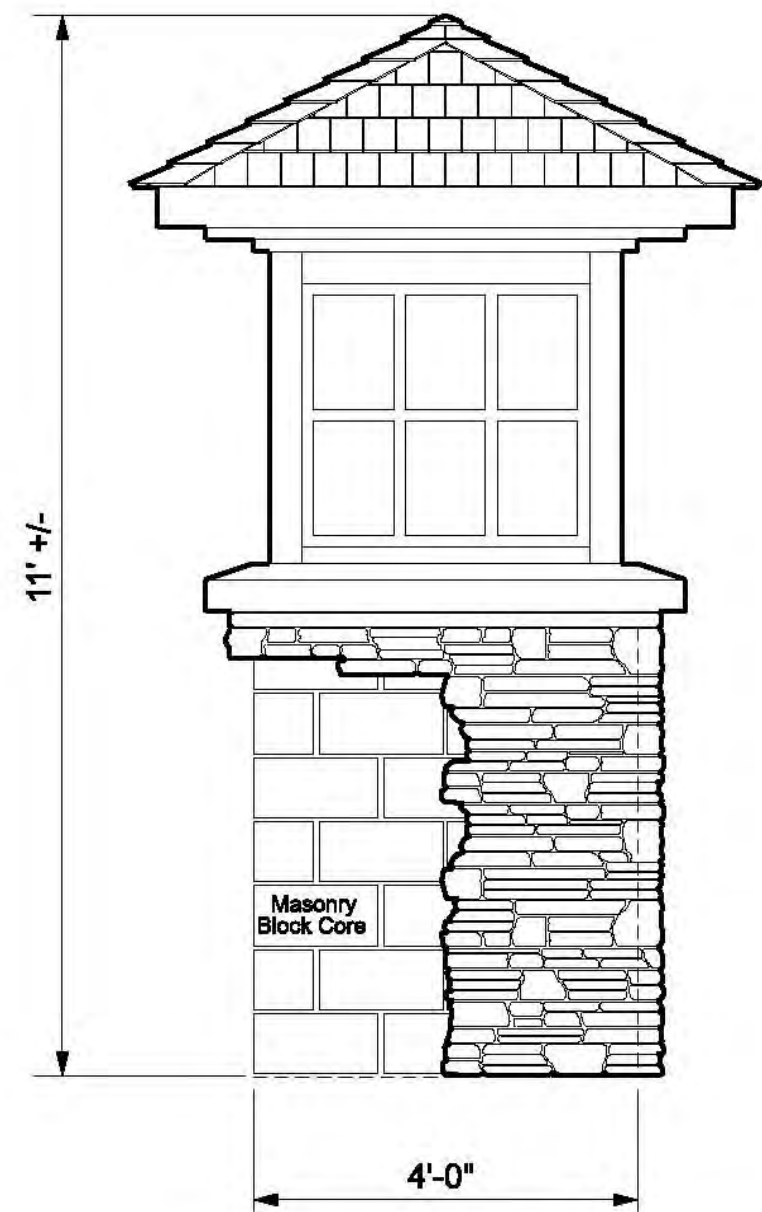
JOB NUMBER  
2021-105-3



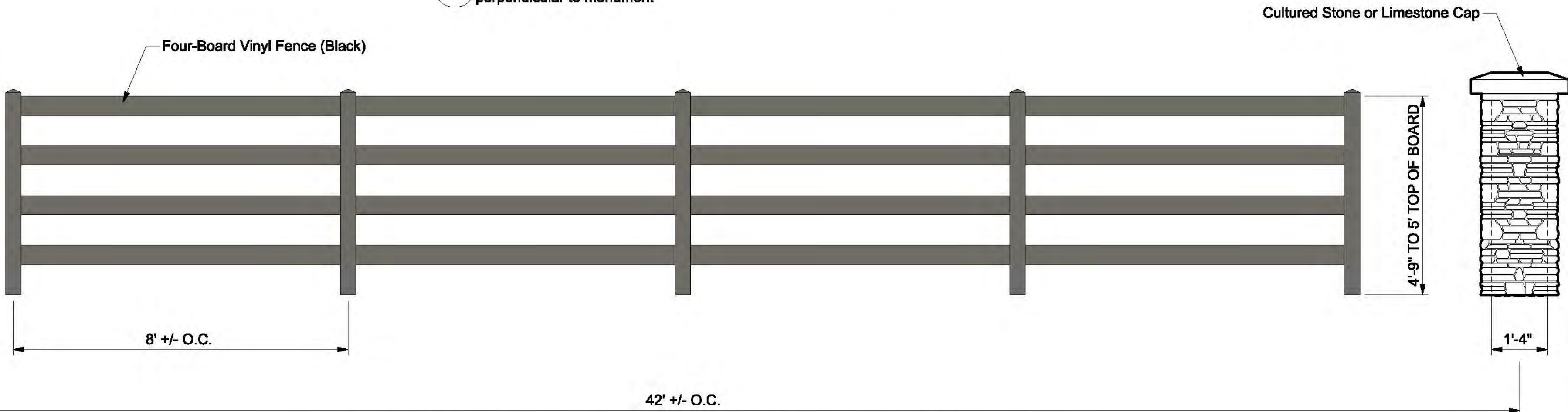
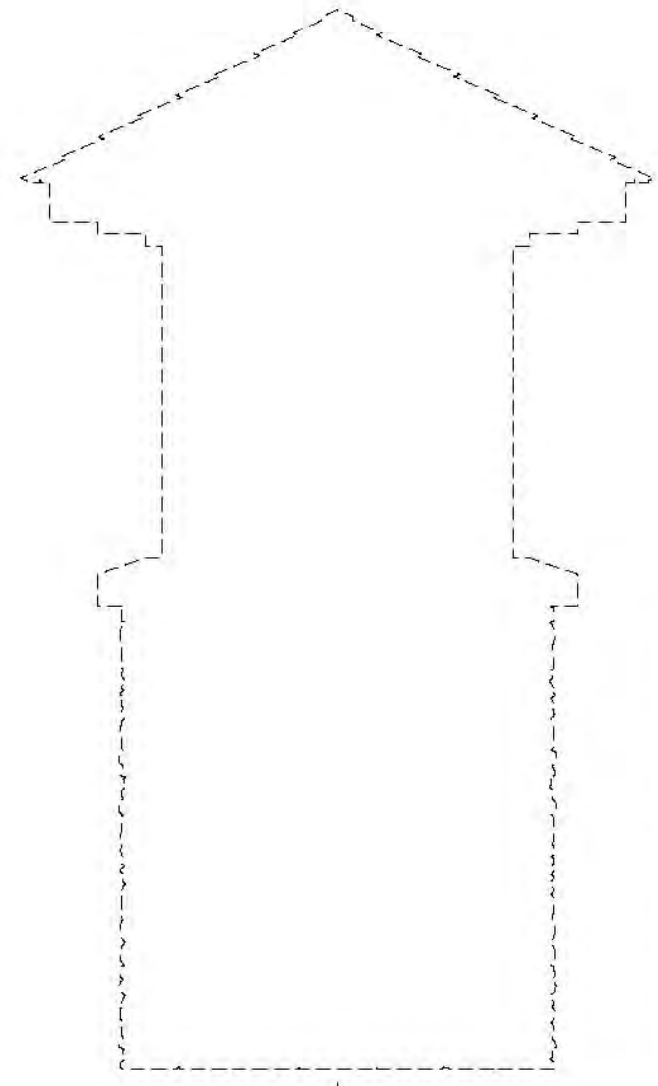
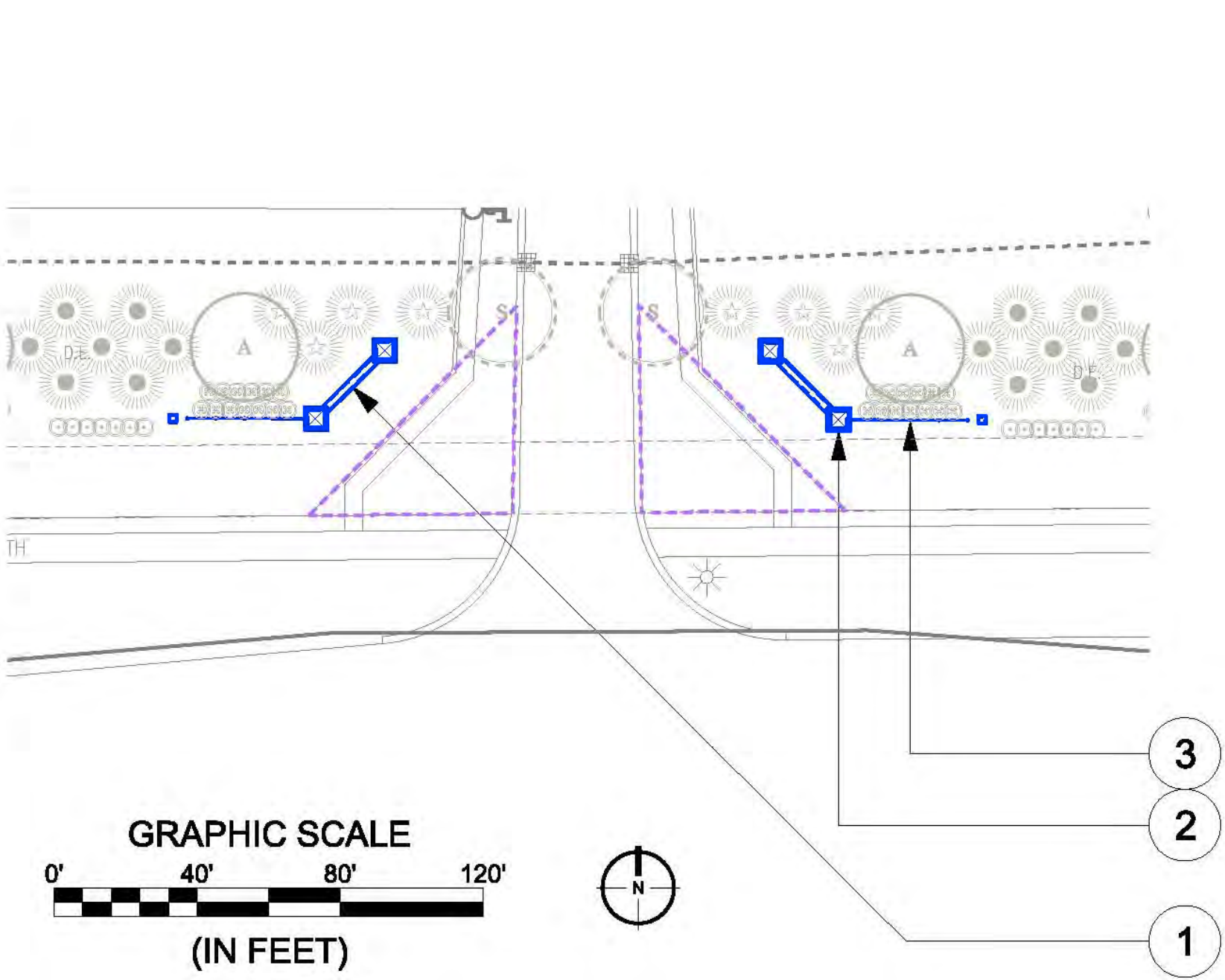
ELEVATION OF 8' TALL SHADOWBOX FENCE  
near common boundary with Markusfeld parcel



1 ELEVATION OF ENTRY MONUMENTS and SIGN WALL  
perpendicular to sign

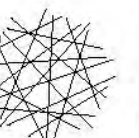


2 ELEVATION OF ENTRY MONUMENT  
perpendicular to monument



3 ELEVATION OF FOUR BOARD FENCE AND MASON COLUMNS  
perpendicular to fence

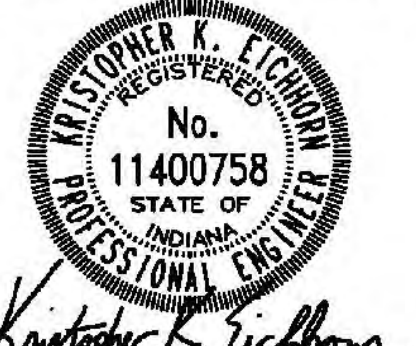
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DATE	DESCRIPTION	BY

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LANCASTER II PRIMARY PLAT  
CITY OF WESTFIELD, INDIANA

LANDSCAPE PLAN  
DETAILS



DRAWN BY  
EWS  
CHECKED BY  
EWS  
DATE  
06/30/2021  
SCALE  
AS SHOWN  
SHEET

JOB NUMBER  
2021-105-S



## Westfield–Washington Township Advisory Plan Commission (APC)

### Minutes of the August 2, 2021 APC Meeting

*Presented for approval: August 16, 2021*

**Westfield-Washington Advisory Plan Commission (APC) held a meeting on Monday, August 2, 2021 scheduled for 7:00 p.m. in person at City Hall.**

#### Active Links for this Meeting:

[August 2, 2021 APC Agenda & Exhibits](#)

[August 2, 2021 YouTube Video](#)

*Minutes are also available to be acquired or viewed at the City of Westfield Community Development Office.*

**ROLL CALL:** Noted presence of a quorum.

*YouTube Time: 0:16*

**Commissioners Present In-Person:** Kristen Burkman, Matthew Deck, Robert Horkay, Mike Johns, Ginny Kelleher, Victor McCarty, and Cindy Spoljaric.

**Commissioners Present Virtually:** None.

**Commissioners Absent:** Andre Maue and Dave Schmitz.

**City Staff Present in Person:** Kevin Todd, Director; Pam Howard, Senior Planner; and Rachel Riemenschneider, Associate Planner.

**City Staff Present Virtually:** None.

**Legal Counsel Present:** Beth Copeland with Taft Stettinius & Hollister LLP.

#### APPROVAL OF MINUTES

*YouTube Time: 0:41*

- July 6, 2021 APC Minutes
- July 19, 2021 APC Minutes

Motion: Deck motioned to approve the July 6, 2021 and July 19, 2021 APC minutes. Kelleher seconded. Motion passed. Vote 7-0.

#### REVIEW OF RULES AND PROCEDURES

Howard reviewed the modified public meeting rules and procedures.

#### CONSENT AGENDA ITEMS

*YouTube Time: 4:20*

##### **2105-DDP-16**

##### **Little Lamb Christian School**

*1609 E. Greyhound Pass*

Little Lamb Christian School by Red Barn Engineering Company, LLC requests Detailed Development Plan approval of a 2,170 square foot expansion to a daycare on 1.028 acres +/- in the GB: General Business District.

*(Planner: Caleb Ernest - [cernest@westfield.in.gov](mailto:cernest@westfield.in.gov))*

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Website: <http://www.westfield.in.gov> | Community Development Department E-mail: [community@westfield.in.gov](mailto:community@westfield.in.gov)

**2105-DDP-19****KFC***Southeast corner of State Road 32 and Spring Mill Road*

McKenzie Foods Inc. by Red Barn Engineering Company, LLC requests Detailed Development Plan approval of a 2,360 square foot restaurant on 0.80 acres +/- in the Maple Knoll Planned Unit Development (PUD) District.

(Planner: Caleb Ernest - [cernest@westfield.in.gov](mailto:cernest@westfield.in.gov))

**2107-DDP-26****Compton***15626 Spring Mill Road*

Adam Compton by Keeler-Webb Associates requests Detailed Development Plan approval of a 6,034 square foot multi-tenant office building on 0.88 acres +/- in Compton PUD District.

(Planner: Rachel Riemenschneider - [rriemenschneider@westfield.in.gov](mailto:rriemenschneider@westfield.in.gov))

Motion: McCarty motioned to approve the Consent Agenda with Staff conditions.

Kelleher seconded. Motion passed. Vote 7-0.

**ITEMS OF BUSINESS****2107-ODP-14 &****2107-SPP-14***YouTube Time: 6:37***Compton Subdivision***15626 Spring Mill Road*

Adam Compton by Keeler-Webb Associates requests Overall Development Plan and Primary Plat approval of 1 Lot on 0.88 acres +/- in Compton PUD District.

(Planner: Rachel Riemenschneider - [rriemenschneider@westfield.in.gov](mailto:rriemenschneider@westfield.in.gov))

Motion: McCarty motioned to approve 2107-ODP-14 & 2107-SPP-14 with Staff conditions.

Kelleher seconded. Motion passed. Vote 7-0

**2107-ODP-17 &****2107-SPP-17***YouTube Time: 9:21***Union Square***South side of SR 32, west of Union Street*

Old Town Companies by American Structurepoint requests Overall Development Plan and Primary Plat approval of 3 Blocks on 2.91 acres +/- in the Union Square PUD District.

(Planner: Rachel Riemenschneider - [rriemenschneider@westfield.in.gov](mailto:rriemenschneider@westfield.in.gov))

Motion: McCarty motioned to approve 2107-ODP-17 & 2107-SPP-17 with Staff conditions.

Burkman seconded. Motion passed. Vote 7-0.

**2107-PUD-20***YouTube Time: 15:35***Mule Barn Road Commercial PUD***18404 Mule Barn Road*

Patch Development, LLC requests a change in zoning of 10 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Mule Barn Road Commercial PUD District.

(Planner: Daine Crabtree - [dcrabtree@westfield.in.gov](mailto:dcrabtree@westfield.in.gov))

Motion: Horkay motioned to forward 2107-ODP-14 & 2107-SPP-14 to the City Council with a favorable recommendation.

Kelleher seconded. Motion passed. Vote 6-0-1 abstention. (Spoljaric)

**2107-ODP-15 &****2107-SPP-15***YouTube Time: 32:12***Mule Barn Road Commercial Subdivision***18404 Mule Barn Road*

IMI Real Estate, LLC by American Structurepoint, Inc. requests Overall Development Plan and Primary Plat approval for a concrete production facility on one (1) 10 acre +/- parcel in the proposed Mule Barn Road Commercial PUD District.

(Planner: Daine Crabtree - [dcrabtree@westfield.in.gov](mailto:dcrabtree@westfield.in.gov))

Motion: McCarty motioned to approve 2107-ODP-15 & 2107-SPP-15 with Staff conditions.

Deck seconded. Motion passed. Vote 7-0.

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## **PUBLIC HEARING ITEMS**

### **2108-ODP-18 &**

### **2108-SPP-18**

### **[PUBLIC HEARING]**

*YouTube Time: 35:35*

### **Highlands Latin School**

*3810 W 146th Street*

Indy Latin Schools requests Overall Development Plan and Primary Plat review of 1 Lot and 1 Block on 30.88 acres +/- in AG-SF1: Agriculture/Single-Family Rural District.  
(Planner: Rachel Riemenschneider - [rriemenschnneider@westfield.in.gov](mailto:rriemenschnneider@westfield.in.gov))

Public Hearing for 2107-ODP-18 & 2107-SPP-18 opened at 7:38 p.m.

- Two public comments.

Public Hearing for 2107-ODP-18 & 2107-SPP-18 closed at 7:45 p.m.

### **2108-ODP-19 &**

### **2108-SPP-19**

### **[PUBLIC HEARING]**

*YouTube Time: 59:47*

### **Lancaster II**

*Northeast corner of 186th Street and Casey Road*

William Tres Developers by HWC Engineering request Overall Development Plan and Primary Plat review of 90 Lots on 36.01 acres +/- in the Lancaster II PUD District.

(Reviewing Planner: Corrie Meyer – [cmeyer@westfield.in.gov](mailto:cmeyer@westfield.in.gov))

(Presenting Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

Public Hearing for 2107-ODP-19 & 2107-SPP-19 opened at 8:01 p.m.

- No public comments.

Public Hearing for 2107-ODP-19 & 2107-SPP-19 closed at 8:02 p.m.

### **2108-ODP-20 &**

### **2108-SPP-20**

### **[PUBLIC HEARING]**

*YouTube Time: 1:04:41*

### **Midland South**

*Northwest corner of Roosevelt Street and Cherry Street*

Old Town Design Group by Apollo Developers requests Overall Development Plan and Primary Plat review of 1 Lot on 3.37 acres +/- in the Midland South PUD District.

(Planner: Rachel Riemenschneider - [rriemenschnneider@westfield.in.gov](mailto:rriemenschnneider@westfield.in.gov))

Public Hearing for 2107-ODP-20 & 2107-SPP-20 opened at 8:09 p.m.

- One public comment.

Public Hearing for 2107-ODP-20 & 2107-SPP-20 closed at 8:11 p.m.

### **2108-ODP-21 &**

### **2108-SPP-21**

### **[PUBLIC HEARING]**

*YouTube Time: 1:14:00*

### **Bonterra**

*South of SR 32 and 1/4 mile west of Gray Road*

M/I Homes of Indiana by Kimley-Horn and Associates requests Overall Development Plan and Primary Plat review of 138 lots and 2 blocks on 28.77 acres +/- in the Bonterra PUD District.

(Reviewing Planner: Corrie Meyer – [cmeyer@westfield.in.gov](mailto:cmeyer@westfield.in.gov))

(Presenting Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

Public Hearing for 2107-ODP-21 & 2107-SPP-21 opened at 8:16 p.m.

- No public comments.

Public Hearing for 2107-ODP-21 & 2107-SPP-21 closed at 8:18 p.m.

### **2108-PUD-21**

### **[PUBLIC HEARING]**

*YouTube Time: 1:20:48*

### **Grand Millennium Center PUD Amendment I**

*North of David Brown Drive, East and West of Westfield Blvd*

31/32 Investors by Edgerock Development, LLC requests an Amendment to the Permitted Uses and General Regulations of the Grand Millennium Center PUD District.

(Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

Public Hearing for 2107-ODP-14 & 2107-SPP-14 opened at 8:25 p.m.

- Two public comments.

Public Hearing for 2107-ODP-14 & 2107-SPP-14 closed at 8:30 p.m.

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**2108-PUD-22**  
**[PUBLIC HEARING]**  
YouTube Time: 1:47:58

**Urban Apples PUD**  
18326 Spring Mill Road  
Herron Holdings, LLC by Church Church Hittle + Antrim requests a change in zoning for 23.71 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Urban Apples PUD District.  
(Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

Public Hearing for 2107-ODP-14 & 2107-SPP-14 opened at 9:06 p.m.

- Two emailed comments were read by Staff

Public Hearing for 2107-ODP-14 & 2107-SPP-14 closed at 9:07 p.m.

**2108-PUD-23**  
**[PUBLIC HEARING]**  
YouTube Time: 2:39:06

**Springmill Trails PUD Mixed-Use Amendment**  
East of Ditch Road, West of Casey Road  
Platinum Properties Management Company, LLC by Nelson & Frankenberger, LLC requests an amendment to the Springmill Trails PUD modifying 10.99 acres +/- to allow for development of for-sale townhomes.  
(Planner: Rachel Riemenschneider - [rriemenschneider@westfield.in.gov](mailto:rriemenschneider@westfield.in.gov))

Public Hearing for 2108-PUD-23 opened at 9:43 p.m.

- No public comments.

Public Hearing for 2108-PUD-23 closed at 9:45 p.m.

#### **ITEMS CONTINUED TO A FUTURE MEETING**

**2008-PUD-09**  
**[CONTINUED]**

**Northpoint II PUD**  
North side of SR 38 between Anthony Road and Hinkle Road  
Northpoint Owners, LLC by Clark, Quinn, Moses, Scott & Grahn, LLP requests a change of zoning for 183.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Northpoint II PUD District.  
(Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

**2102-PUD-06**  
**[CONTINUED]**

**Grand Park Village PUD Amendment IV**  
South Side of 186th Street, ENE of Kinsey Avenue  
D&W Farms, Inc. by Henke Development Group requests an amendment to a 68 acre +/- portion of the Grand Park Village PUD to permit Townhome and Single-Family Detached dwelling units.  
(Planner: Daine Crabtree - [dcrabtree@westfield.in.gov](mailto:dcrabtree@westfield.in.gov))

**2101-ZOA-01**  
**[CONTINUED]**

**Unified Development Ordinance Amendment**  
Westfield City Council requests approval of an ordinance to amend Article 10.9 of the Westfield-Washington Township Unified Development Ordinance.  
(Planner: Kevin Todd - [ktodd@westfield.in.gov](mailto:ktodd@westfield.in.gov))

**2105-PUD-16**  
**[CONTINUED]**

**Winterburg PUD**  
South of and adjacent to 193rd Street, west of and adjacent to Casey Road  
Platinum Properties Management Company, LLC by Nelson & Frankenberger, LLC requests a change in zoning of 154 acres +/- from the AG-SF1: Agriculture / Single-family District to the Winterburg PUD District.  
(Planner: Daine Crabtree - [dcrabtree@westfield.in.gov](mailto:dcrabtree@westfield.in.gov))

**2106-PUD-19**  
**[CONTINUED]**

**Overlook at Wood Wind PUD**  
North side of 161st Street, 1/4 mile east of Towne Road  
Pulte Homes of Indiana, LLC by Church Church Hittle + Antrim requests a change in zoning for 75 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Overlook at Wood Wind PUD District.  
(Planner: Pam Howard - [phoward@westfield.in.gov](mailto:phoward@westfield.in.gov))

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## **REPORTS/COMMENTS**

*YouTube Time:*

- Plan Commission Members
- City Council Liaison
- Board of Zoning Appeals Liaison
- Community Development Department

## **ADJOURNMENT**

*YouTube Time: 1:11:23*

Motion: Adjourn Meeting.

Motion: Kelleher; Second: McCarty.

Motion passed. Vote: 7-0

Meeting adjourned at 9:55 p.m.

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Robert Horkay, President

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Ginny Kelleher, Vice President

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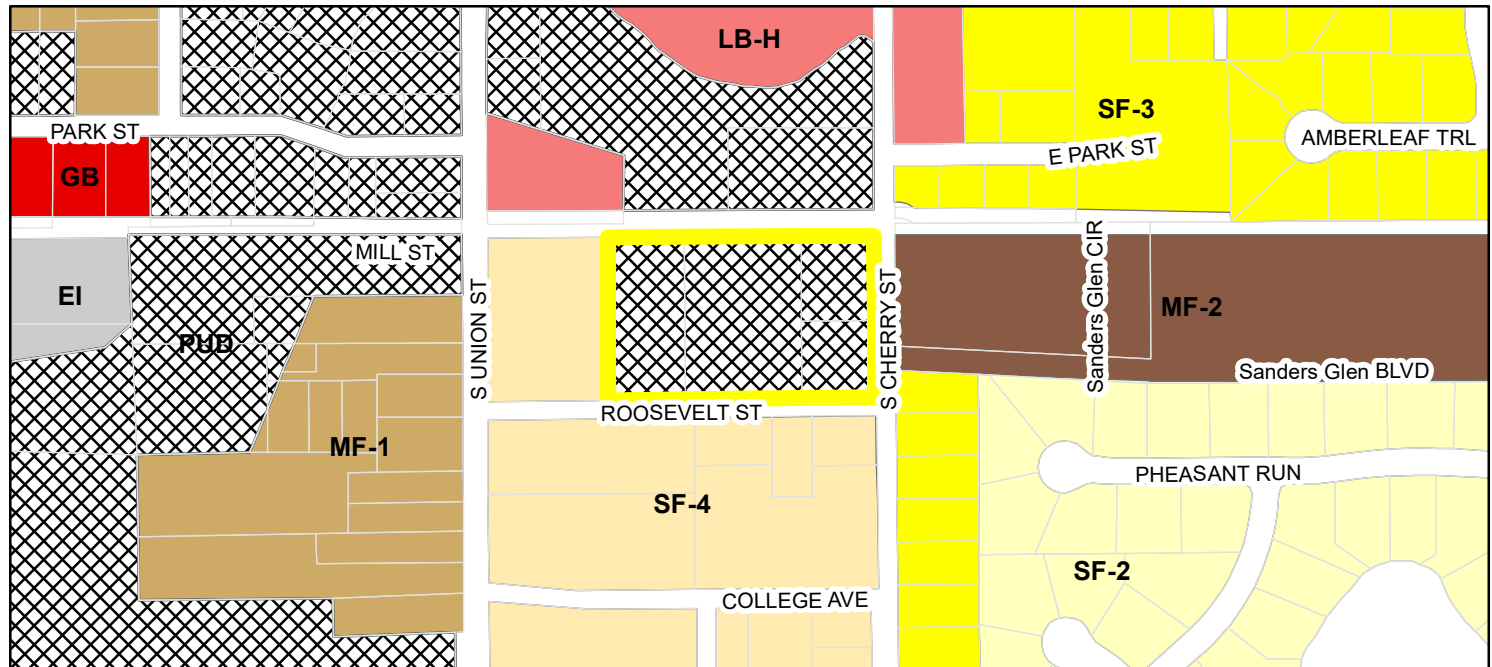
Kevin M. Todd, Secretary

### Aerial Location Map

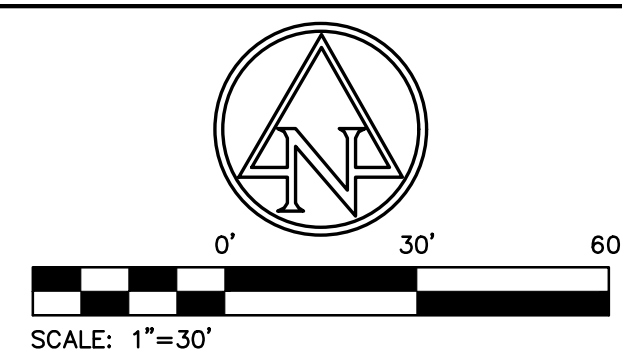
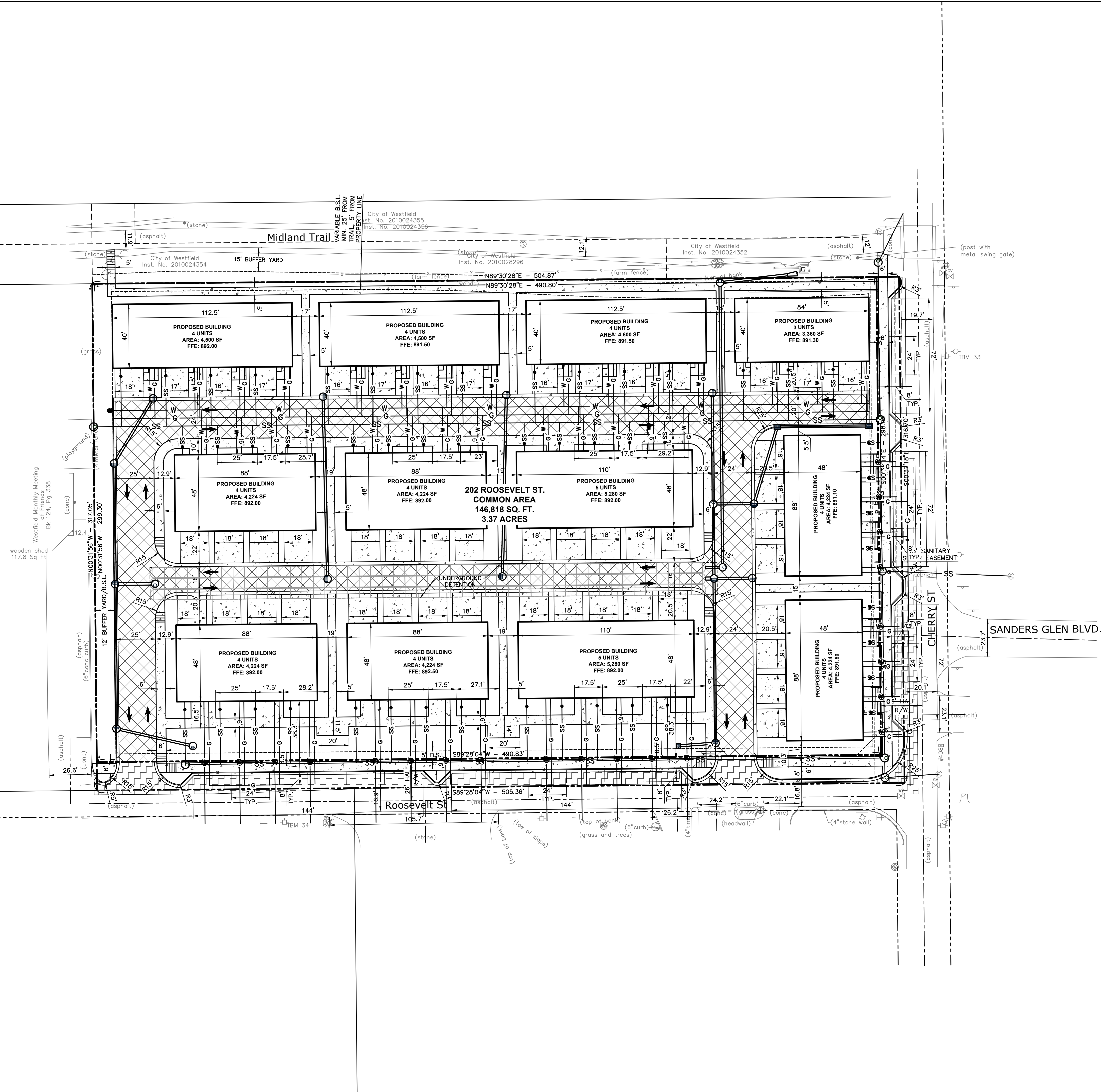
 Site



### Zoning Map



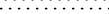
 Midland South <b>Zoning</b>	 LB-H (Local Business - Historical)	 PUD (Planned Unit Development)
 Parcel	 EI (Enclosed Industrial)	 SF-2 (Single Family - 2)
 GB (General Business)	 MF-1 (Multiple Family - 1)	 SF-3 (Single Family - 3)
	 MF-2 (Multiple Family - 2)	 SF-4 (Single Family - 4)



## EXISTING LEGEND

- |                                                                                     |                    |                                                                                     |                             |
|-------------------------------------------------------------------------------------|--------------------|-------------------------------------------------------------------------------------|-----------------------------|
|  | Air Conditioner    |  | Sanitary Manhole            |
|  | Bush               |  | Stand Pipe                  |
|  | Clean Out          |  | Spigot                      |
|  | Combination Pole   |  | Stump                       |
|  | Down Spout         |  | Telephone Handhole          |
|  | Electric Box       |  | Telephone Pole              |
|  | Electric Meter Box |  | Telephone Pedestal          |
|  | Fire Hydrant       |  | Tree                        |
|  | Gas Meter          |  | Water Meter                 |
|  | Gas Valve          |  | Water Valve                 |
|  | Guy Wire           |  | —o— Overhead Electric Line  |
|  | Inlet              |  | —f— Buried Fiber Optic Line |
|  | Lid                |  | —t— Overhead Telephone Line |
|  | Mailbox            |  | —w— Buried Water Line       |
|  | Pine               |                                                                                     |                             |

## SITE LEGEND

- |                                                                                     |                               |
|-------------------------------------------------------------------------------------|-------------------------------|
|  | LIGHT DUTY ASPHALT PAVEMENT   |
|  | HEAVY DUTY ASPHALT PAVEMENT   |
|  | RIGHT OF WAY ASPHALT PAVEMENT |
|  | CONCRETE PAVEMENT             |

## SITE DATA TABLE

SITE ZONING:	PUD
PROJECT AREA:	3.37± ACRES 146,818 SF
BUILDING AREA:	52,864 SF
SITE IMPERVIOUS AREA:	2.59± ACRES
PARALLEL PARKING (8'x24'):	22
TOTAL PROPOSED PARKING:	22

## LEGAL DESCRIPTION

A part of the Northwest Quarter of Section 6, Township 18 North, Range 4 East of the 2nd Principal Meridian, Washington Township, Hamilton County, Indiana, described as follows: Commencement point at the southeast corner of said quarter; thence North 0 degrees 31 minutes 56 seconds West (bearings based upon the National Geodetic Survey's (NGS) "Hamilton" zone para 8503 (2011)) 99 feet to the west line of said quarter section; thence North 89 degrees 28 minutes 4 seconds East 251.25 feet, more or less, to the southwest corner of the said quarter section; thence North 89 degrees 28 minutes 4 seconds West 317.05 feet (320 feet per Aultcain Deed) to the northwest corner of said parcel; thence North 89 degrees 30 minutes 28 seconds East 504.87 feet along the north line of said parcel to the east line of said quarter section; thence North that of said 0.535 acre parcel described in the Warranty Deed recorded as Instrument Number 200300019170; thence North 89 degrees 28 minutes 4 seconds West 316.70 feet along the east line of said 0.535 acre parcel and a southerly extension thereto to the southeast corner of said quarter section; thence North 89 degrees 28 minutes 4 seconds West 505.36 feet to the point of beginning and containing 3.674 acres, more or less.

GENERAL NOTES

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS
3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

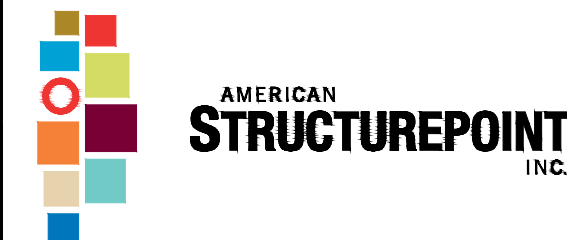
!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE  
"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND



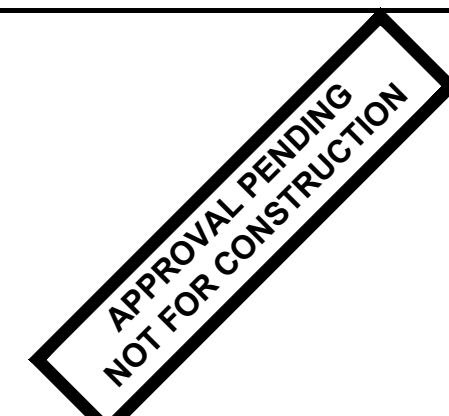
**31 1ST STREET SW,  
CARMEL, IN 46032**



9025 River Road, Suite 200 | Indianapolis, Indiana 46240  
TEL 317.547.5580 | FAX 317.543.0270  
[www.structurepoint.com](http://www.structurepoint.com)

**MIDLAND SOUTH**  
Roosevelt Street and  
Cherry Street

Westfield, Indiana



**CERTIFIED BY**

## ISSUANCE INDEX

DATE:
07/02/2021
PROJECT PHASE:
ISSUE FOR PERMIT

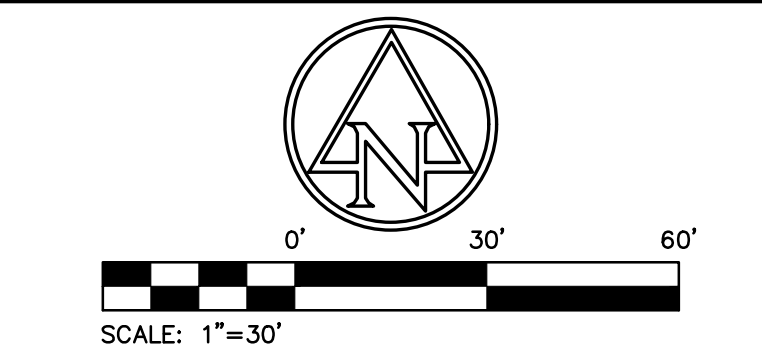
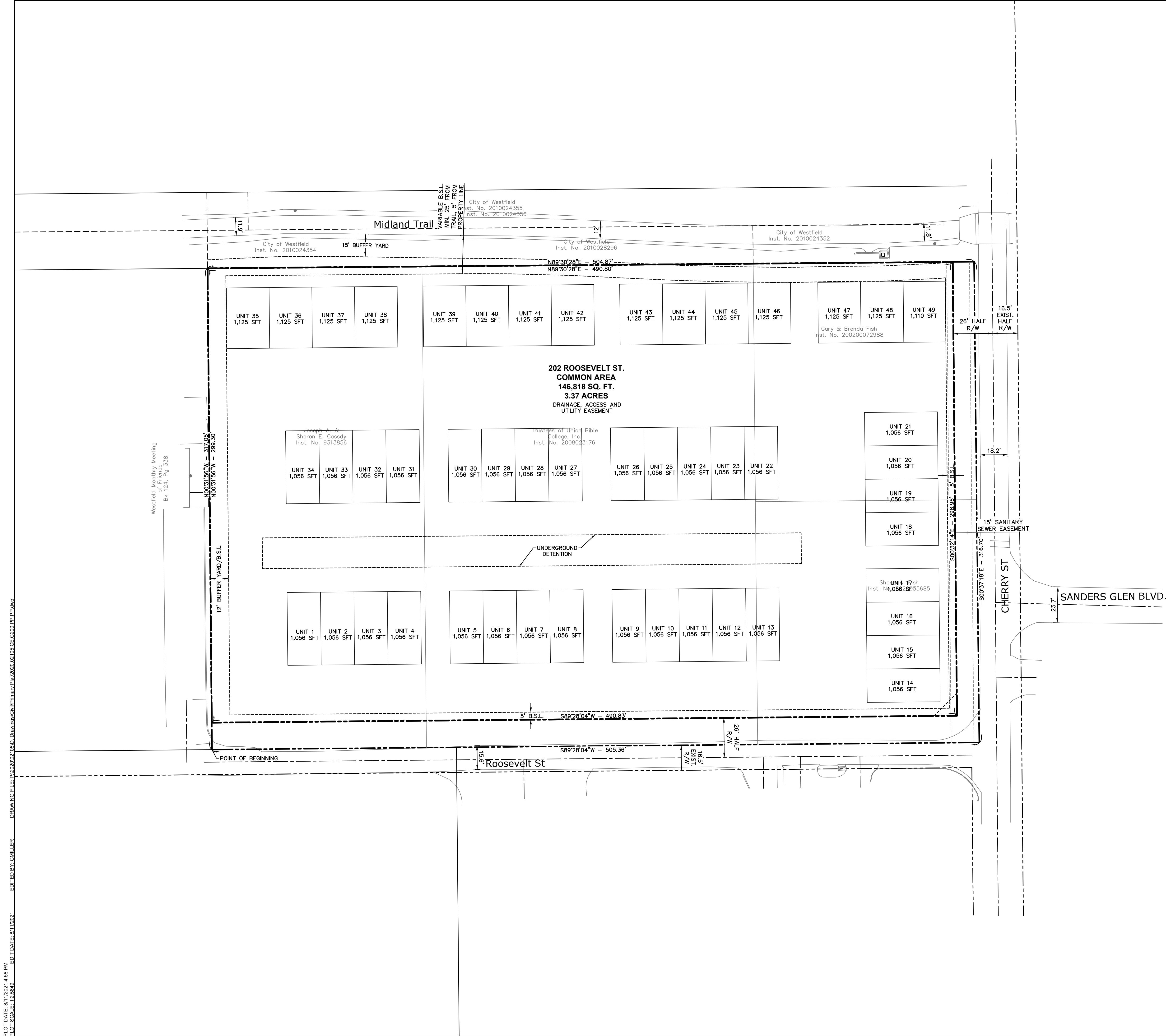
## REVISION SCHEDULE

[illegible]

Project Number	2020.02105
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## OVERALL DEVELOPMENT PLAN

# C300



EXISTING LEGEND	
	Air Conditioner
	Bush
	Clean Out
	Combination Pole
	Down Spout
	Electric Box
	Electric Meter Box
	Fire Hydrant
	Gas Meter
	Gas Valve
	Guy Wire
	Inlet
	Lid
	Mailbox
	Pine
	Post
	Sign
	Sanitary Manhole
	Stand Pipe
	Spigot
	Stump
	Telephone Handhole
	Telephone Pole
	Telephone Pedestal
	Tree
	Water Meter
	Water Valve
	Overhead Electric Line
	Buried Fiber Optic Line
	Buried Gas Line
	Overhead Telephone Line
	Buried Water Line

**LEGAL DESCRIPTION**

A part of the Northwest Quarter of Section 6, Township 18 North, Range 4 East of the 2nd Principal Meridian, Washington Township, Hamilton County, Indiana, described as follows: Commencing at the southwest corner of said quarter section; thence North 0 degrees 31 minutes 56 seconds West [bearings based upon Indiana Geospatial Coordinate System's (nGCS) "Hamilton" zone per NAD 83 (2011)] 981.75 feet along the west line of said quarter section; thence North 89 degrees 28 minutes 4 seconds East 251.25 feet, more or less, to the southwest corner of that parcel of land described in the Quitclaim Deed recorded as Instrument Number 9313865, said corner being the point of beginning of this description; thence North 0 degrees 31 minutes 56 seconds West 317.05 feet (320 feet per Quitclaim Deed) to the northwest corner of said parcel; thence North 89 degrees 30 minutes 28 seconds East 504.87 feet along the north line of said parcel and an easterly extension thereof to the northeast corner of that 0.535 acre parcel described in the Warranty Deed recorded as Instrument Number 200300101970; thence South 0 degrees 37 minutes 18 seconds East 316.70 feet along the east line of said 0.535 acre parcel and a southerly extension thereof to the southeast corner of that parcel of land described in the Warranty Deed recorded as Instrument Number 2020035685; thence South 89 degrees 28 minutes 4 seconds West 505.36 feet to the point of beginning and containing 3.674 acres, more or less.

31 1ST STREET SW,  
CARMEL, IN 46032

9025 River Road, Suite 200 | Indianapolis, Indiana 46240  
TEL 317.547.5580 | FAX 317.543.0270  
www.structurepoint.com

**MIDLAND SOUTH  
Roosevelt Street and  
Cherry Street**

Westfield, Indiana

APPROVAL PENDING  
NOT FOR CONSTRUCTION

CERTIFIED BY	
ISSUANCE INDEX	
DATE:	07/02/2021
PROJECT PHASE:	
ISSUE FOR PERMIT	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE

Project Number 2020.02105

**PRIMARY PLAT**

**C200**

**GENERAL NOTES:**

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
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CALL TOLL FREE  
"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND -



## ADMINISTRATIVE DETERMINATION

Cross Referenced to Instrument No. 2021034155

**FILE NUMBER:**  
2108-AD-05

**DESCRIPTION:**

The Midland South PUD Ordinance, Ordinance No. 21-07 (the "Ordinance"), recorded with the Hamilton County Recorder's Office as Instrument Number 2021034155 and Docket Number 2103-PUD-07, was approved by the Westfield City Council on April 19, 2021.

- (1) Section 6.2 of the Ordinance refers to Article 4.7(C) of the Unified Development Ordinance (the "UDO") instead of Article 4.9.
- (2) Section 7.1 of the Ordinance references applicable standards in Article 6.3 Architectural Standards in the UDO instead of specifying Article 6.3(C).

**ANALYSIS:**

These errors were identified when applying the Ordinance to submitted plans, after the approved Ordinance was recorded. Several factors were considered in verifying that these are scrivener's errors:

- (1) Section 6.2 of the Ordinance references Article 4.7(C) (SF4: Single-family High Density District) instead of Article 4.9 (SFA: Single-family Attached District) of the UDO.
  - a. Section 4 establishes the underlying zoning of the Ordinance as Single-family Attached, which is addressed in Article 4.9 of the UDO.
  - b. The standards listed in Section 6.2 of the Ordinance correspond to the standards listed in Article 4.9 of the UDO.
  - c. The standards listed in Section 6.2 of the Ordinance do not correspond with Article 4.7(C) of the UDO.
  - d. Within Section 6.2 of the Ordinance, two specific standards from Article 4.9 are referenced. These standards are 4.9(J) and 4.9(H)(2).
- (2) Section 7.1 of the Ordinance indicates that Article 6.3: Architectural Standards of the UDO shall apply instead of specifically referencing Article 6.3(C) (Single-family Districts (Residential Uses)).
  - a. Section 7.1(B), (C), and (D) of the Ordinance refers to Article 6.3(C) of the UDO.
  - b. The underlying zoning SFA: Single-family Attached is a Multi-family District. As written, Article 6.3(E) (Multi-family Districts) of the UDO would apply to the Ordinance. From the specific references noted above, Article 6.3(C) should be applied to the Ordinance instead of Article 6.3(E) of the UDO.

**DETERMINATION:**

The Community Development director (the "Director") hereby determines that there are two scrivener's errors in the Ordinance:

- (1) Section 6.2 of the Ordinance should reference Article 4.9 of the UDO instead of Article 4.7(C).
- (2) Section 7.1 of the Ordinance should reference Article 6.3(C) of the UDO instead of Article 6.3.

**APPEAL:**

This Administrative Determination may be appealed to the Westfield-Washington Township Board of Zoning Appeals within thirty (30) days of this Administrative Determination.

**BY:**

Kevin M. Todd  
Community Development Department Director  
City of Westfield, Indiana

The above signatory hereby certifies that the information contained in and accompanying this document is true and correct.

STATE OF INDIANA )

) SS:

COUNTY OF HAMILTON )

Before me, a Notary Public in and for said County and State, personally appeared Kevin M. Todd, the Community Development Director for the City of Westfield, who having been duly sworn upon his/her oath acknowledged this Administrative Determination as described herein.

Witness my hand and Notary Seal this 26 day of July, 2021.

Signature of Notary Public

Julie Sole

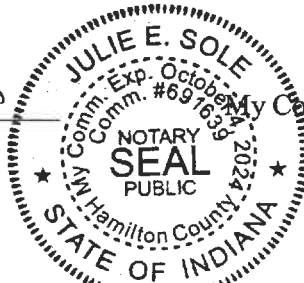
Printed Name of Notary Public

My County of Residence:

Hamilton

My Commission Expires:

10/04/2024



I affirm, under the penalties for perjury, that I have taken reasonable care to redact each Social Security Number in this document, unless required by law: Rachel Riemenschneider.

Prepared by Rachel Riemenschneider, City of Westfield, 2728 East 171st Street, Westfield, IN 46074, 463-231-6649.



August 12, 2021

Subject: Midland South Internal Sidewalk Variance

To: APC Members

I have reviewed the Detailed Development Plans for the Midland South project and determined that the requested variance to the standard "sidewalks shall be required on both sides on internal streets and internal private streets in all developments" is prudent. As such, I approve this variance to allow sidewalks on one side of the internal private streets as illustrated in the Detailed Development Plans.

Sincerely,

A handwritten signature in black ink that reads "Johnathon Nail".

Johnathon Nail  
City Engineer  
City of Westfield

**Mayor**  
Andy Cook

**City Council**  
Joe Edwards  
Scott Willis  
Jake Gilbert  
Scott Frei  
Mike Johns  
Cindy L. Spoljaric  
Troy Patton

**Clerk Treasurer**  
Cindy J. Gossard

**Public Works Department**

(317) 804-3100 office  
(317) 804-3190 fax

2706 East 171st Street  
Westfield, IN 46074  
[westfield.in.gov](http://westfield.in.gov)



**Petition Number:** 2108-ODP-20 & 2108-SPP-20

**Project Name:** Midland South

**Subject Site Address:** Northwest corner of Roosevelt Street and Cherry Street (the "Property")

**Petitioner:** Old Town Companies

**Representative:** Apollo Developers

**Request:** Overall Development Plan & Primary Plat review of 1 Lot on 3.37 acres +/- in the Midland South (PUD) District.

**Current Zoning:** Midland South PUD

**Current Land Use:** Residential

**Approximate Acreage:** 3.37 acres +/-

**Property History:** Midland South PUD ([Ord. 21-07](#), 04/19/2019)  
Detailed Development Plan (2018-DDP-34, *pending*)

**Staff Reviewer:** Rachel Riemenschneider, Associate Planner

**Exhibits:**

1. Staff Report
2. Location Map
3. Overall Development Plan
4. Primary Plat
5. Administrative Determination
6. Public Works Response to Waiver Request

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## **BACKGROUND**

The Property is currently zoned the Midland South PUD District.

Ordinance 21-07, Midland South PUD (2103-PUD-07), was approved at the April 19, 2021, City Council meeting.

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## **PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)**

**The plans comply.**

- 1) Proposed name of subdivision.
- 2) Names and addresses of the owner, owners, land surveyor or land planner.



- 3) Title, scale, north arrow and date.
- 4) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 5) Easements (locations, widths and purposes). (Article 8.3)
- 6) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 7) Layout of Lots (showing dimensions, numbers and square footage). (Article 4.5)
- 8) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 9) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 10) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 11) Building setback lines. (Article 4.14)
- 12) Legend and notes.
- 13) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 14) Other features or conditions which would affect the subdivision favorable or adversely.
- 15) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 16) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 17) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.



- 18) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 19) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.
- 20) Misc.

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### **OVERALL DEVELOPMENT PLAN (Article 10.7 of the UDO)**

#### **The plans comply.**

- 21) Title, scale, north arrow and date.
- 22) Proposed name of the development.
- 23) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 24) Address and legal description of the property.
- 25) Boundary lines of the property including all dimensions.
- 26) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 27) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 28) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers. All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 29) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.



- 30) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 31) Location and dimensions of all existing structures and paved areas.
- 32) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 33) Location of all Floodplain areas within the boundaries of the property.
- 34) Names of legal ditches and streams on or adjacent to the site.
- 35) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 36) Identify buildings proposed for demolition.
- 37) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 38) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

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## **DISTRICT STANDARDS**

**The plans comply with Article 4.9 of the UDO (SFA: Single-family Attached District), and Midland South PUD District (Ord. 21-07).**

- 39) Permitted Uses: The following Uses shall be permitted: Duplex Dwelling, Triplex Dwelling, Quadraplex Dwelling, and Development Amenities.
  - a) All Special Exception Uses and Prohibited Uses shall be prohibited. (Ord. 21-07)
  - b) The following additional uses shall be permitted in the District. (Ord. 21-07)
    - i) Townhouse Dwellings
  - c) Maximum Dwellings:

The total number of Dwellings permitted in the District shall not exceed fifty-six (56). (Ord. 21-07)



40) Minimum Lot Area:	No minimum
41) Minimum Lot Frontage:	No minimum, however all lots shall have vehicular access to a street (via, a public street, private street, alley, or a shared ingress/egress easement). (Ord. 21-07)
42) Minimum Lot Width:	No minimum. (Ord. 21-07)
43) Maximum Lot Coverage:	No maximum. (Ord. 21-07)
44) Minimum Tract Requirement:	No minimum. (Ord. 21-07)
45) Maximum Density:	Sixteen (16) Dwelling Units per acre (Ord. 21-07)
46) Minimum Building Setback Lines:	
a) Front Yard:	5 feet (Ord. 21-07)
b) Side Yard:	5 feet / 10 feet (Ord. 21-07)
c) Side Yard, west property line, buffering Westfield Friends Church:	10 feet with Tree Buffer (Exhibit B). (Ord. 21-07)
d) Rear Yard:	5 feet (Ord. 21-07)
e) Fronting Midland Trace Trail, northern property boundary:	25 feet from edge of trail, 15 feet of which is a landscape buffer (Buffer Yard A requirements). (Ord. 21-07)
47) Maximum Building Height:	35 feet (Ord. 21-07)
48) Minimum Living Area:	1,600 square feet (Ord. 21-07)

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**DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):**

**The plans comply.**

- 49) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 50) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 51) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
  - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
  - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
  - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 52) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

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**DEVELOPMENT STANDARDS (Chapter 6 of UDO, Midland South PUD, Ord. 21-07)**

**The plans comply.**

- 53) Accessory Use and Building Standards (Article 6.1)
- 54) Architectural Standards (Article 6.3)
  - a) Character Exhibit: The “Character Exhibit”, attached hereto as Exhibit C, is hereby incorporated to capture the intended architecture of townhouses to be constructed. It is not the intent to limit the architecture shown in the Character Exhibit, but to establish a benchmark for quality, vision, and appearance of architecture within the development. The Department shall determine whether a structure is consistent with the established



benchmark and complies with the standards of this Ordinance. The Department's decision may be appealed to the Plan Commission. (Ord. 21-07)

- b) Streetscape Diversity (Article 6.3(C)(2)): Shall not apply. (Ord. 21-07)
- c) Building Material (Article 6.3(C)(3)): Shall apply, however, vinyl and aluminum siding shall not be a permitted exterior building material, except gutters, soffits, soffit trim, and other similar building components. (Ord. 21-07)
- d) Garage in the SFA District (Article 6.3(C)(4)): All Dwelling Units shall have a minimum two (2) car attached garage. (Ord. 21-07)

#### 55) Building Standards (Article 6.4)

- a) Multi-family Residential Uses: More than one (1) Principal Building used for residential purposes, and its Accessory Buildings, shall be permitted on a Lot in a Multi-family District.

#### 56) Fence Standards (Article 6.5)

#### 57) Height Standards (Article 6.6)

#### 58) Landscaping Standards (Article 6.8)

- a) Landscaping Standards (Article 6.8(J)): Shall apply, unless otherwise approved by the Director or Department of Public Works. (Ord. 21-07)
- b) Foundation Plantings (Article 6.8(L)(1)): Shall not apply. (Ord. 21-07)
- c) External Street Frontage Landscaping Requirements (Article 6.8(M)): Shall not apply. (Ord. 21-07)
- d) Buffer Yard Requirements (Article 6.8(N)): Shall not apply. (Ord. 21-07)

#### 59) Lighting Standards (Article 6.9)

#### 60) Lot Standards (Article 6.10)

#### 61) Outside Storage and Display (Article 6.12)

#### 62) Outdoor Café and Eating Areas (Article 6.13)



63) Parking and Loading Standards (Article 6.14)

64) Setback Standards (Article 6.16)

65) Sign Standards (Article 6.17)

66) Vision Clearance Standards (Article 6.19)

- a) Vision Clearance (Article 6.19(A)(1) and Article 6.19(A)(4): Ten (10) feet from intersections of Collectors, Private, or Local Streets. (Ord. 21-07)

67) Yard Standards (Article 6.21)

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### **DESIGN STANDARDS (Chapter 8 of UDO and Ord. 21-07)**

**The plans comply if the requested waiver is granted.**

68) Block Standards (Article 8.1)

69) Easement Standards (Article 8.3)

70) Monument and Marker Standards (Article 8.5)

71) Open Space and Amenity Standards (Article 8.6)

- a) Shall not apply. (Ord. 21-07)

72) Pedestrian Network Standards (Article 8.7)

- a) Internal Pedestrian Network Standards:

- i) The minimum sidewalk width shall be as indicated in the Thoroughfare Plan or five (5) feet (six (6) feet if immediately abutting the curb), whichever is greater.
- ii) Sidewalks shall be required on both sides on internal Streets and internal Private Streets in all developments.

**Comment: A waiver is being requested to permit sidewalks on only one side of the internal street. The City Engineer has approved the waiver. The standard requested to be waived is below:**



**UDO Article 8.7(C)(2) Pedestrian Network Standards; Internal Pedestrian Network Standards: Sidewalks shall be required on both sides on internal Streets and internal Private Streets in all developments.**

73) Storm Water Standards (Article 8.8)

74) Street and Right-of-Way Standards (Article 8.9)

- a) The District shall comply with the requirements of the Thoroughfare Plan unless otherwise agreed to by the Department of Public Works. (Ord. 21-07)

75) Street Light Standards (Article 8.10)

76) Street Sign Standards (Article 8.11)

77) Surety Standards (Article 8.12)

78) Utility Standards (Article 8.13)

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**DEPARTMENT COMMENTS**

- 1) **Action:** The Department recommends approval of the requested subdivision control waivers (UDO Article 8.7(C)(2)) with the following findings (Article 7.3(C)):
  - a. The proposed development represents an innovative use of site design, site access design, site circulation design, building orientation, building materials, and landscaping which will enhance the use or value of area properties.
  - b. The proposed development will not be injurious to the public health, safety, morals or general welfare of the community.
  - c. The strict application of the Ordinance standards will result in a development of the real estate which is undesirable when compared with the proposed development.
  - d. The proposed development is consistent with and compatible with other development located in the area.
  - e. The proposed development is consistent with the intent and purpose of the Comprehensive Plan.
- 2) **Action:** 2108-ODP-20 & 2108-SPP-20 comply with the Midland South PUD and the UDO except as otherwise noted herein with regard to the petitioner's requested waiver. If the Plan Commission has approved the requested waiver, then the Department recommends approving the petition with the following condition:



WESTFIELD-WASHINGTON  
ADVISORY PLAN COMMISSION

August 16, 2021  
2108-ODP-20 & 2108-SPP-20

- a) All necessary approvals be obtained from the Westfield Public Works Department and Hamilton County Surveyor's Office prior to the issuance of an improvement location permit.
- 3) If the waiver request is not approved, then the plans do not comply with the applicable zoning ordinances. If this occurs, then the Department recommends continuing the petition to the next Plan Commission meeting to allow the petitioner an opportunity to revise their plans to bring them into compliance.
- 4) If any Plan Commission member has questions, please contact Rachel Riemenschneider at 463-231-6649 or [rriemenschneider@westfield.in.gov](mailto:rriemenschneider@westfield.in.gov).



- |                                                                                     |                  |                                                                                     |                         |
|-------------------------------------------------------------------------------------|------------------|-------------------------------------------------------------------------------------|-------------------------|
|  | Air Conditioner  |  | Sanitary Manhole        |
|  | Bush             |  | Stand Pipe              |
|  | Clean Out        |  | Spigot                  |
|  | Combination Pole |  | Stump                   |
|  | Down Spout       |  | Telephone Handhole      |
|  | Electric Box     |  | Telephone Pole          |
|  | Fire Alarm Box   |  | Telephone Pedestal      |
|  | Fire Hydrant     |  | Tree                    |
|  | Gas Meter        |  | Water Meter             |
|  | Gas Valve        |  | Water Valve             |
|  | Guy Wire         |  | Overhead Electric Line  |
|  | Inlet            |  | Buried Fiber Optic Line |
|  | Lid              |  | Buried Gas Line         |
|  | Mailbox          |  | Overhead Telephone Line |
|  | Pine             |  | Buried Water Line       |

## SITE LEGEND

- |                                                                                     |                               |
|-------------------------------------------------------------------------------------|-------------------------------|
|  | LIGHT DUTY ASPHALT PAVEMENT   |
|  | HEAVY DUTY ASPHALT PAVEMENT   |
|  | RIGHT OF WAY ASPHALT PAVEMENT |
|  | CONCRETE PAVEMENT             |

## SITE DATA TABLE

SITE ZONING:	PUD
PROJECT AREA:	3.37± ACRES
	146,818 SF
BUILDING AREA:	52,864 SF
SITE IMPERVIOUS AREA:	2.59± ACRES
PARALLEL PARKING (8'x24'):	22
TOTAL PROPOSED PARKING:	22

## LEGAL DESCRIPTION

Part of the Northwest Quarter of Section 6, Township 18 North, Range 4 East of the 2nd Principal Meridian, Washington County, Indiana, containing the following described parcel: Commence at the southeast corner of said quarter section; thence North 0 degrees 31 minutes 56 seconds West [bearings based upon Indiana Geospatial Data] 317.05 feet to the west line of said quarter section; thence North 89 degrees 28 minutes 4 seconds East 251.25 feet, more or less, to the southwest corner of said quarter section; thence North 89 degrees 28 minutes 4 seconds recorded as Instrument Number 9313865, said corner being the point of beginning of this description;

thence North 89 degrees 28 minutes 4 seconds West 317.05 feet (320 feet per Quitclaim Deed) to the northwest corner of said parcel; thence North 89 degrees 30 minutes 28 seconds East 504.87 feet along the north line of said quarter section to the northeast corner of said quarter section; thence North 89 degrees 30 minutes 28 seconds recorded as Instrument Number 200300101970; thence North 89 degrees 30 minutes 28 seconds East 316.70 feet along the east line of said 0.535 acre parcel and a southerly extension thereof to the southeast corner of said quarter section; thence North 89 degrees 28 minutes 4 seconds recorded as Instrument Number 2020035685, thence South 89 degrees 28 minutes 4 seconds West 505.36 feet to the point of beginning and containing 3.674 acres, more or less.

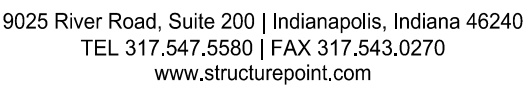
GENERAL NOTES

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS
3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.

**!! CAUTION !!**

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE  
"811" OR 1-800-382-5544  
- INDIANA UNDERGROUND



**MIDLAND SOUTH**  
**Roosevelt Street and**  
**Cherry Street**

## Westfield, Indiana

**APPROVAL PENDING  
NOT FOR CONSTRUCTION**

**CERTIFIED BY**

## ISSUANCE INDEX

DATE:

07/02/2021

**PROJECT PHASE:**

**ISSUE FOR PERMIT**

## REVISION SCHEDULE

[illegible]

Project Number 2020.02105

# OVERALL DEVELOPMENT PLAN

# C300