



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda_08_17_2020

Monday, August 17, 2020 at 07:00 PM

BOARD OR COMMISSION: Advisory Plan Commission (APC)

MEETING DATE: Monday, August 17, 2020 at 07:00 PM

MEETING PLACE:

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION

To submit a comment for the record on a Public Hearing item, please email planners@westfield.in.gov. Please include Petition name or number in subject line.

OPENING OF MEETING

Documents: [Viewable online at: https://www.youtube.com/user/CityofWestfieldIN](https://www.youtube.com/user/CityofWestfieldIN)

Note the Presence of a Quorum

Approval of Minutes - August 3, 2020

Documents: [APC Minutes - August 3, 2020](#)

Review APC Rules & Procedures

CONSENT AGENDA

2003-DDP-05

CVS

Northeast corner of Grand Park Blvd. and SR 32

TMC Indiana 2, LLC requests Detailed Development Plan approval of a 14,866 square foot pharmacy on 1.38 acres +/- in the Wheeler Landing Planned Unit Development (PUD) District.

(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Site Plan](#) | [Exhibit 4: Landscape Plan](#) | [Exhibit 5: Elevations](#)

ITEMS OF BUSINESS

2008-ODP-12 & 2008-SPP-12

SEP

Southwest Corner of 161st Street and Union Street

Pure Development, Inc. by American Structurepoint requests Overall Development Plan and Primary Plat review of 1 lot on 21.85 acres +/- in the LB: Local and Neighborhood Business District.

(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Overall Development Plan & Primary Plat](#) | [Exhibit 4: Landscape Plan](#)

2008-ODP-13 & 2008-SPP-13

Citizens Westfield

3511 W. 166th Street

Citizens Energy Group requests Overall Development Plan and Primary Plat review of 1 lot on 40.11 acres +/- in the AG-SF1: Agricultural / Single-family Rural District.

(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Overall Development Plan & Primary Plat](#) | [Exhibit 4: Landscape Plan](#)

PUBLIC HEARING ITEMS

2008-SPP-14 [PUBLIC HEARING]

17827 Commerce Drive

17827 Commerce Drive

JCF Commerce, LLC requests Primary Plat review for two (2) lots on 3 acres +/- in the EI: Enclosed Industrial District.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Primary Plat](#) | [Exhibit 4: Approved Site Plan \(2009\)](#)

ITEMS CONTINUED TO A FUTURE MEETING

2006-PUD-05 [CONTINUED]

Urban Vines PUD Amendment I

303 E. 161st St.

Herron Holdings, LLC by Pleasant Cities, LLC requests an amendment to the Development Standards of the Urban Vines PUD District.

(Planner: Jonathan Dorsey - jdorsey@westfield.in.gov)

2007-PUD-07 [PUBLIC HEARING]

Bridgewater PUD Amendment (Culver's)

14631 North Gray Road

K&J Acquisitions, LLC by Church, Church, Hittle, + Antrim requests an amendment to the Bridgewater PUD to accommodate a new Fast Food Restaurant.

(Planner: Pam Howard - poward@westfield.in.gov)

ADJOURNMENT



WESTFIELD-WASHINGTON TOWNSHIP
ADVISORY PLAN COMMISSION

August 17, 2020
2008-SPP-14

Petition Number: 2008-SPP-14

Subject Site Address: 17827 Commerce Drive (the "Property")

Petitioner: JCF Commerce, LLC (the "Petitioner")

Request: The Petitioner requests Primary Plat review for two (2) lots on approximately 3.0 acres +/- in the EI: Enclosed Industrial District

Current Zoning: EI: Enclosed Industrial

Current Land Use: Enclosed Industrial

Approximate Acreage: 3.0 acres +/-

Staff Reviewer: Daine Crabtree, Associate Planner

Exhibits:

1. Staff Report
2. Location Map
3. Primary Plat
4. Approved Site Plan From 2009

HISTORY AND PROCEDURAL

At the March 17, 1997, Board of Zoning Appeals (the "BZA") meeting, the entirety of the real estate that comprises Alpha Tau Business Park (the "Business Park") received Variances of Development Standard so that lots created within could be modified from the Enclosed Industrial lot size requirement of 3 acres to a minimum 1.2 acres. Included with this approval, a condition was added so that the number of lots within Alpha Tau Business Park not exceed eleven (11) lots.

This condition was subsequently amended twice - in May 15, 2000 and August 21, 2000 - so that a twelfth and thirteenth lot were permitted within the Business Park.

A development plan (**0503-SIT-06 & 0503-DP-07**) for the existing structure on the property was approved at the March 28, 2005, APC meeting. A development plan (**0901-SIT-01 & 0901-DP-01**) for an additional building on the property that has not yet been built was approved at the January 20, 2009, APC meeting.

The Petitioner received an amended condition and a variance (docket **#2007-VS-07**) at the August 11, 2020 Board of Zoning Appeals meeting so that a fourteenth lot may be created in the Business Park. This petition also modified the required Minimum Lot Frontage for both the existing lot and the proposed new lot from 70 feet to 66.9 and 46.37 feet respectively, which is shown on the plat. The petitioner wishes that the building approved in 2009 be developed, but on its own lot.



PROJECT OVERVIEW

The 3.0 acre +/- site is located at 17827 Commerce Drive in the Business Park. The entirety of the Alpha Tau Business Park has never been platted as commercial platting was not required when the real estate on which the Business Park began to develop. Additionally, no new lots have been created within the Business Park since the year 2000.

The request is for approval of a Primary Plat for two (2) lots so that the petitioner may record a Secondary Plat and split the Property. The Common Area shown at the far east of the property is accessible via an ingress/egress easement and therefore does not require road frontage.

As there are no additional requests for new development, only a Primary Plat is required.

ZONING DISTRICT STANDARDS (Article 4.24 of the UDO)

The plans comply.

- 1) Permitted uses
- 2) Minimum Tract Requirement: 3 acres (Reduced to 1.2 acres by 97-V-7)
- 3) Minimum Lot Frontage: 70 feet (reduced by 2007-VS-07 to be as shown on the Primary Plat)
- 4) Minimum Building Setback Lines
 - a) Front Yard: 40 feet
 - b) Side Yard: 20 feet
 - c) Rear Yard: 20 feet
- 5) Minimum Lot Width: No Minimum
- 6) 97-V-7 as amended: Permitted 11 lots within Alpha Tau Business Park, two (2) subsequent variances permitted a 12th and 13th lot. Petitioner received an amended condition at the August 11, 2020, BZA meeting to permit a 14th lot within Alpha Tau Business Park

PRIMARY PLAT STANDARDS (Article 10.12(J) of the UDO)

The plans comply.

- 7) Proposed name of subdivision.
- 8) Names and addresses of the owner, owners, land surveyor or land planner.
- 9) Title, scale, north arrow and date.



- 10) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 11) Easements (locations, widths and purposes). (Article 8.3)
- 12) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 13) Layout of Lots (showing dimensions, numbers and square footage). (Article 4.5)
- 14) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 15) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 16) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 17) Building setback lines. (Article 4.11 & Article 5.3(G))
- 18) Legend and notes.
- 19) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 20) Other features or conditions which would affect the subdivision favorable or adversely.
- 21) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 22) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 23) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
- 24) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 25) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.



DEVELOPMENT PLAN (Article 10.7(E) of the UDO)

The plans comply.

- 42) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 43) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 44) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 45) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DEVELOPMENT PLAN (Article 10.7(G) of the UDO)

The plans comply.

- 26) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 27) Address and legal description of the property.
- 28) Boundary lines of the property including all dimensions.
- 29) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.



- 30) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 31) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 32) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 33) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 34) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 35) Location and dimensions of all existing structures and paved areas.
- 36) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 37) Location of all Floodplain areas within the boundaries of the property.
- 38) Names of legal ditches and streams on or adjacent to the site.
- 39) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 40) Identify buildings proposed for demolition.
- 41) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 42) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply.

- 46) Landscaping Standards (Article 6.8)
 - a) Street Trees
 - b) Minimum Lot Landscaping Requirements



- c) External Street Frontage Landscaping
 - d) Buffer Yard Requirements
 - 47) Lot Standards (Article 6.10)
 - 48) Setback Standards (Article 6.16)
 - 49) Vision Clearance Standards (Article 6.19)
 - 50) Yard Standards (Article 6.21)
-

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 51) Block Standards (Article 8.1)
 - 52) Easement Standards (Article 8.3)
 - 53) Monument and Marker Standards (Article 8.5)
 - 54) Open Space and Amenity Standards (Article 8.6)
 - 55) Pedestrian Network Standards (Article 8.7)
 - a) Internal Pedestrian Network Standards
 - b) Perimeter/External Pedestrian Network Standards
 - 56) Storm Water Standards (Article 8.8)
 - 57) Street and Right-of-Way Standards (Article 8.9)
 - 58) Street Light Standards (Article 8.10)
 - 59) Street Sign Standards (Article 8.11)
 - 60) Surety Standards (Article 8.12)
 - 61) Utility Standards (Article 8.13)
-



DEPARTMENT COMMENTS

1. Action: Hold a public hearing at the August 17, 2020, Plan Commission meeting. As the plans are compliant with the UDO and all applicable variances, if neither the public nor the Plan Commission have any concerns and are satisfied with the proposed Overall Development Plan and Primary Plat (2008-SPP-14), the Department recommends approval of the aforementioned items.

2. If any Plan Commission member has questions prior to the public hearing, then please contact Daine Crabtree at (317) 416-2586 or dcrabtree@westfield.in.gov.

Aerial Location Map

Site



Zoning Map



Zoning - All

Zoning

AG-SF1 (Agriculture - Single Family - 1)

EI (Enclosed Industrial)

PUD (Planned Unit Development)



HOLEY MOLEY SAYS

"DIG SAFELY"



"IT'S THE LAW"

CALL 2 WORKING DAYS BEFORE YOU DIG
1-800-382-5544

CALL TOLL FREE

PER INDIANA STATE LAW ICB-1-26,
IT IS AGAINST THE LAW TO EXCAVATE
WITHOUT NOTIFYING THE UNDERGROUND
LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.

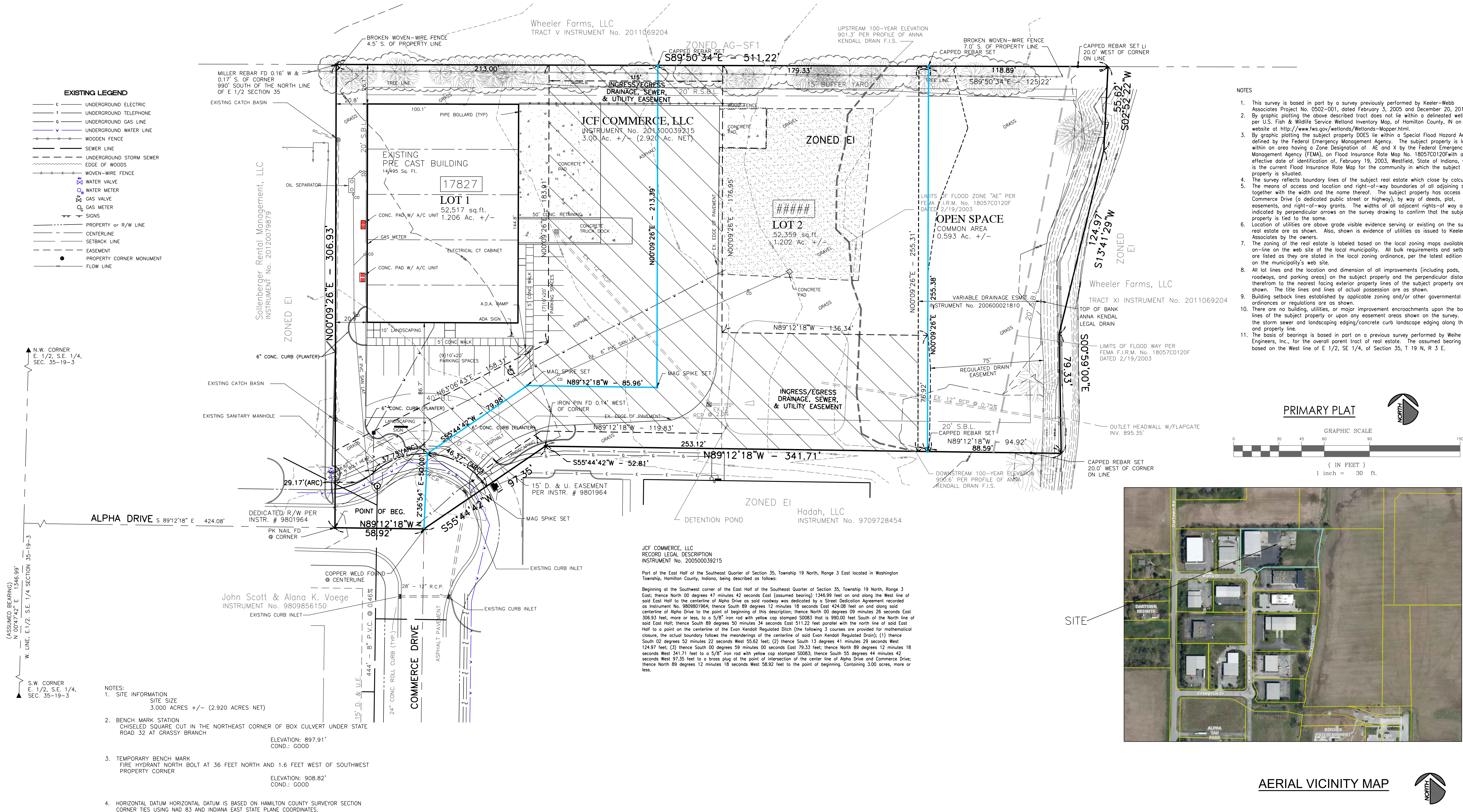
PRIMARY PLAT

FOR:

JCF COMMERCE SUBDIVISION

COMMERCE DRIVE WESTFIELD, INDIANA

Part E $\frac{1}{2}$, SW $\frac{1}{4}$, SECTION 35, T 19 N, R 3 E



ISSUE

DATE

6-24-2020

BIA REVIEW

7-01-2020

PLAT PETITION

7-01-2020

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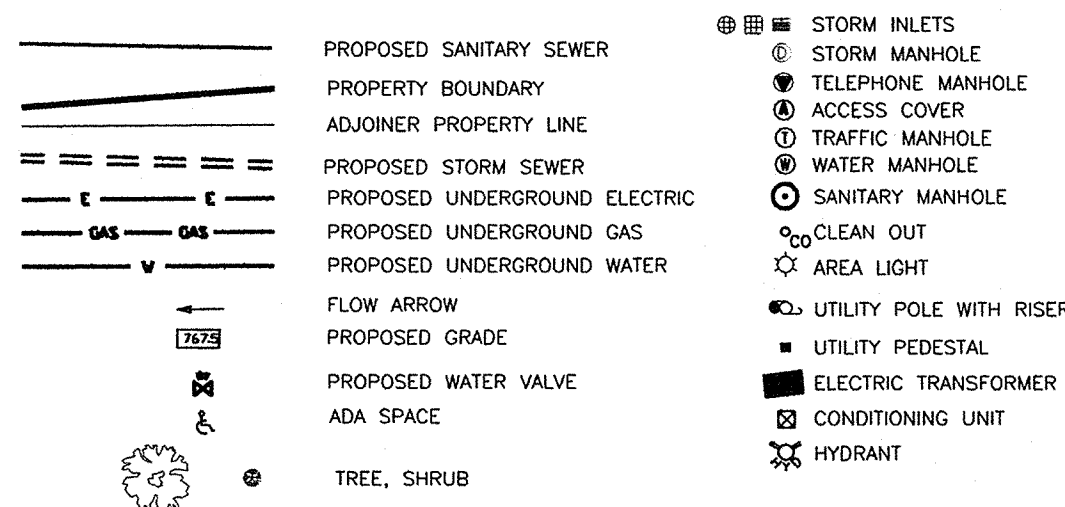
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LOCATION SERVICE TWO (2) WORKING
DAYS BEFORE COMMENCING WORK.
CALL 1-800-369-5544 to schedule
a locate request

PROPOSED LEGEND



ASPHALT PAVEMENT SPECIFICATIONS

The paving contractor shall be responsible for the following:

1. The area to be paved shall be cleared of all rock, debris, roots and vegetation. An approved soil sterilant shall be utilized to prevent the growth of weeds.
2. All soft, yielding or other unsuitable materials encountered during any phase of subgrade construction shall be removed and replaced with suitable material. The replacement material shall fill the unstable area for the entire depth of the compacted subgrade and meet the subgrade compaction requirements. The subgrade shall be shaped to the true lines and grade as shown on the plans.
3. The subgrade shall be compacted to 95% laboratory density as determined by AASHTO Method T-99.
4. The subgrade and finish paving shall be tested by an approved testing company for uniform smoothness, density and grade.
5. Slope pavement 0.75% (MIN.) to insure proper surface drainage.
6. The hot mix asphalt based may be placed directly on the prepared subgrade in one lift for the base course to the required compacted thickness as specified in local street standards.
7. The hot mix asphalt base and surface shall be placed in one lift to the true line and grades as shown on the plans. The paving mixture shall be placed and compacted at a temperature between 250 F. (121 C) and 300 F. (149 C).
8. The paving mixture shall be transported to the job site in clean well-covered trucks with smooth dump beds. The base and surface mixtures are to be placed with self contained, power propelled pavers capable of placing the mix to the required dimensions as shown on the plans.
9. Asphalt grade shall be determined by its ability to satisfactory coat the aggregate, resist rutting and remain stiff during high temperatures and sustain freeze/thaw cycles in addition to the considerations of anticipated weather, mixing process and curing rate.
10. See details on Sheet C5 for pavement cross-sections.
11. All proposed asphalt pavement as shown shall be constructed in compliance with INDOT standard specifications, latest edition.
12. All parking striping and ADA areas shall be marked with a durable nonshrink, white point to be approved by the engineer.

SITE NOTES

1. Site Information was taken from Keeler-Webb Ass., dated 02/03/05. It is the contractor's responsibility to verify existing site conditions prior to starting work.
2. The contractor shall be responsible for obtaining or verifying that all permits and approvals are obtained from the respective city, county, and /or state agencies prior to starting construction.
3. The Plumbing contractor shall consult with the Local Water Company, provide all materials and labor, and pay all costs not borne by the Local Water Company to provide any new water service.
4. The Plumbing contractor shall consult with the Local Gas Company, provide all materials and labor, and pay all costs not borne by the Local Gas Company to provide any new gas service.
5. The Electrical Contractor shall consult with the Local Power Company, provide all materials and labor, and pay all costs and fees not borne by the Local Power Company to provide any new underground electrical service.
6. The Electrical Contractor shall consult with the Local Telephone Company, and shall provide all labor and materials required which are not borne by the Telephone Company to provide any new telephone service.
7. Domestic water lateral service shall be Type 'K' Copper. (or approved equal per local water company).
8. The incoming water service shall be installed with a minimum of 54" of cover.
9. All utility service lines shall be constructed in accordance with all the latest applicable codes and to each utility's and/or city's standards.
10. Use compacted granular fill when utility lines are placed under walks and driveways.
11. Soil borings have not been performed at this time. Pavement design is based on an assumed soil bearing pressure of 1500 p.s.i.
12. Provide sleeves for mechanical work as required.
13. Notify Engineer at least 1 day (24 hours) prior to placing any concrete.
14. Areas between curbing, sidewalks, paving and building shall be filled with 4" of topsoil suitable for landscaping.
15. See sheet C2 for exterior concrete specifications.
16. See this sheet for sanitary sewer lateral specifications and requirements.
17. This structure shall comply with A.D.A. 1991.
18. All edge of pavement radii are 5 feet unless otherwise noted.
19. If active utilities are encountered but not shown on the drawings, the engineer shall be advised before work is continued.
20. Inactive and abandoned utilities encountered in excavating and grading operations shall be reported to the engineer. They shall be removed, plugged or capped as directed by the utility company and the engineer.
21. Contractor to install "Knox-Box" at a location adjacent to front door. Coordinate location, type and style with Westfield Fire Department.

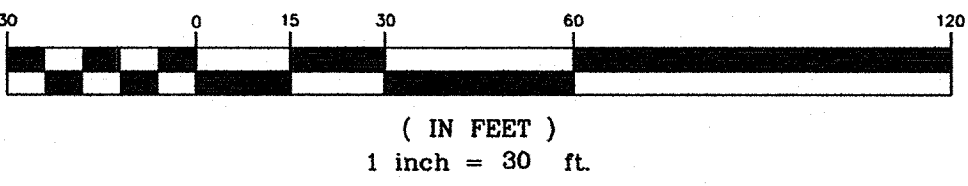
SITE DATA

Zoned	EI
Lot area	3,000 Ac. +/-
New Employee parking	23
(10' x 20' spaces)	
Handicapped parking	1
Proposed parking	24
Building 2 area	11,700 sq. ft.

Minimum Front Yard Setback	40'
Minimum Rear Yard Setback	20'
Minimum Side Yard Setback	20'
Minimum North & East Side buffer Setback	15'

PROPOSED SITE PLAN

GRAPHIC SCALE



DATE	FOR	ISSUE
2-09-05	PRE FILING CONF.	
2-18-05	TAC REVIEW	
3-07-05	H.C.S.O. REVISIONS	
1-04-06	BUILDING 2 REVISIONS	
11-10-08	PARKING/DETENTION	
2-23-08	TAC REVISIONS	

KEELER-WEBB ASSOCIATES
Consulting Engineers-Planners-Surveyors
486 GRADLE DRIVE
CARMEL, INDIANA 46032
E-mail: adehar@keelerwebb.com
PHONE (317) 574-0140
FAX (317) 574-1269



COM-TECH
CONSTRUCTION INC.
TURNKEY CONSTRUCTION FOR THE TELECOMMUNICATIONS INDUSTRY
P.O. BOX 609
WESTFIELD INDIANA 46074

DRAWN BY: ALD
CHECKED BY: ALD
PROJECT No.
0811-010
SHEET No.

C1



Westfield–Washington Township Advisory Plan Commission
Minutes of the August 3, 2020 APC Meeting
Presented for approval: August 17, 2020

**Westfield-Washington Advisory Plan Commission (APC) held a meeting on
Monday, August 3, 2020 scheduled for 7:00 p.m. online via Skype.**

ROLL CALL: Noted presence of a quorum.

Members Present: Kristen Burkman, Randy Graham, Robert Horkay, Mike Johns, Ginny Kelleher, Andre Maue, Victor McCarty, Dave Schmitz, and Cindy Spoljaric.

Members Absent:

City Staff Present: Kevin Todd, Director; Pam Howard, Senior Planner; Caleb Ernest, Associate Planner; Jonathan Dorsey, Associate Planner; and Brian Zaiger, City Attorney with Krieg DeVault.

APPROVAL OF MINUTES

Motion: McCarty motioned to approve the July 20, 2020 meeting minutes as written.
Maue seconded. Motion passed. Vote 9-0.

REVIEW OF RULES AND PROCEDURES

Howard reviewed the modified public meeting rules and procedures.

CONSENT AGENDA ITEMS

- 2007-DDP-15 Family Express**
1477 Chatham Commons Boulevard
Weihe Engineers by Family Express Corporation requests Detailed Development Plan approval of a 5,000 square foot convenience and fuel facility on 1.38 acres +/- in the Chatham Commons PUD District.
(Planner: Caleb Ernest ▪ cernest@westfield.in.gov)
- 2007-DDP-16 Menards Warehouse Addition**
2150 E Greyhound Pass
Menard, Inc. requests Detailed Development Plan review of a 32,267 square foot warehouse addition on 13.05 acres +/- in the SB-PD: Special Business / Planned Development District.
(Planner: Jonathan Dorsey ▪ jdorsey@westfield.in.gov)

Horkay motioned to approve the Consent Agenda.
Johns seconded. Motion passed. Vote 9-0.

PUBLIC HEARING ITEMS

- 2008-ODP-12 & SEP**
2008-SPP-12 Southwest Corner of 161st Street and Union Street
[PUBLIC HEARING] Pure Development, Inc. by American Structurepoint requests Overall Development Plan and Primary Plat review of 1 lot on 21.85 acres +/- in the LB: Local and Neighborhood Business District.
(Planner: Caleb Ernest ▪ cernest@westfield.in.gov)

Ernest overviewed this request for an Overall Development Plan and Primary Plat review. He said that Staff had received no public comments.

Brad Schrage with American Structurepoint, on behalf of the Petitioner, summarized the details of this project. He spoke about the layout of the building, access to Union Street, possible right-in/right-out access along 161st Street, the retention of trees and parking.

Public Hearing for 2008-ODP-12 & 2008-SPP-12 opened at 7:09 p.m.

No public comments.

Public Hearing for 2008-ODP-12 & 2008-SPP-12 closed at 7:11 p.m.

Kelleher said it was a beautiful site and will be a great place to work.

Burkman asked Staff about the timing of the Roundabout at 161st and Union

- John Nail, City Engineer, responded that it is currently in design and Right of Way acquisition, with construction planned for the fall of 2021. He said to construct the roundabout there would be an approximately 60-day road closure. He said the construction of the roundabout should coincide with construction of the SEP project.

Maue is glad to see how the layout nestles in the site, and that it looks like a well thought out and well laid out project.

McCarty said he agreed with comments made by Kelleher and Maue.

Spoljaric asked about the variances

- Ernest responded that the variances were approved last month. He said he would send copies of the variance to the APC members.

ITEMS OF BUSINESS

Plan Commission Order 20-02 Order of the Westfield-Washington Township Advisory Plan Commission determining that the Amending Declaratory Resolution for the Southside Economic Development Area approved and adopted by the Westfield Redevelopment Commission conforms to the Comprehensive Plan and approving the Amending Declaratory Resolution.

Zaiger explained this Plan Commission Order.

No APC comments.

Horkay motioned to Plan Commission Order 20-02 as presented
Kelleher seconded. Motion passed. Vote 9-0.

Schmitz and McCarty left the meeting at this time.

PUBLIC HEARING ITEMS

**2008-ODP-13 &
2008-SPP-13
[PUBLIC HEARING]**

Citizens Westfield

3511 W. 166th Street

Citizens Energy Group requests Overall Development Plan and Primary Plat review of 1 lot on 40.11 acres +/- in the AG-SF1: Agricultural / Single-family Rural District.

(Planner: Caleb Ernest ▪ cernest@westfield.in.gov)

Agendas for all City meetings are updated and available at our website.

Website: <http://www.westfield.in.gov> | Community Development Department E-mail: community@westfield.in.gov

Ernest overviewed this request for an Overall Development Plan and Primary Plat review. He said that Staff had received no public comments.

Tyler Comstock with American Structurepoint, on behalf of the Petitioner, summarized this project. He explained that, due to a proposed project, the property needed an updated plat and development plan.

Public Hearing for 2008-ODP-13 & 2008-SPP-13 opened at 7:22 p.m.

No public comments.

Public Hearing for 2008-ODP-13 & 2008-SPP-13 closed at 7:24 p.m.

Kelleher said she was glad to see that the berm and landscaping will be replaced.

ITEMS CONTINUED TO A FUTURE MEETING

2006-PUD-05

Urban Vines PUD Amendment I

303 E. 161st St.

Herron Holdings, LLC by Pleasant Cities, LLC requests an amendment to the Development Standards of the Urban Vines PUD District.

(Planner: Jonathan Dorsey ▪ jdorsey@westfield.in.gov)

2007-PUD-07

Bridgewater PUD Amendment (Culver's)

14631 North Gray Road

K&J Acquisitions, LLC by Church, Church, Hittle, + Antrim requests an amendment to the Bridgewater PUD to accommodate a new Fast Food Restaurant.

(Planner: Pam Howard ▪ phoward@westfield.in.gov)

REPORTS/COMMENTS

- Plan Commission Members
- City Council Liaison
- Board of Zoning Appeals Liaison
- Community Development Department
 - Kevin Todd announced that Jonathan Dorsey was leaving the Community Development Staff and thanked him for all his work.

ADJOURNMENT

Motion: Adjourn Meeting

Motion: Graham; Second: Kelleher. Motion passed.

Vote: 7-0. Meeting adjourned at 7:27 p.m.

Randell Graham, President

Ginny Kelleher, Vice President

Kevin M. Todd, Secretary



Petition Number: 2003-DDP-05

Project Name: CVS (Wheeler Landing)

Subject Site Address: Northeast corner of Grand Park Blvd. and SR 32

Petitioner: TMC Indiana 2, LLC

Representative: TMC Indiana 2, LLC

Request: Detailed Development Plan review of a 14,866 square foot pharmacy on 1.38 acres +/- in the Wheeler Landing Planned Unit Development (PUD) District.

Current Zoning: Wheeler Landing PUD

Current Land Use: Vacant

Approximate Acreage: 1.38 +/-

Property History: Wheeler Landing PUD District (Ord. 18-04, 09/25/18)
Wheeler Landing PUD Amendment I (Ord. 19-37, 09/11/19)
Overall Development Plan & Primary Plat (1909-ODP-16 & 1909-SPP-16, 09/16/19)
Secondary Plat, *pending* (2003-SFP-17)

Staff Reviewer: Caleb Ernest, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised primary plat and overall development plan have been submitted and reviewed.

- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
 - 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.***
 - 5) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office
-

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.

- 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 15) Location and dimensions of all existing structures and paved areas.
- 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 17) Location of all Floodplain areas within the boundaries of the property.
- 18) Names of legal ditches and streams on or adjacent to the site.
- 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 20) Identify buildings proposed for demolition.
- 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

- 23) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 24) Compliance with all applicable provisions of any Overlay District in which the real estate is located.

- 25) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 26) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

The plans comply with Article 4.16 (GB District) and Wheeler Landing PUD District (Ord. 18-04 and Wheeler Landing PUD Amendment I (Ord. 19-37).

27) Area II:

- a) Minimum Front Yard Setback: 10 Feet
- b) Minimum Side Yard Setback (internal to District): 0 Feet
- c) Minimum Side Yard Setback (abutting District perimeter): 0 Feet
- d) Maximum Building Height: 75 Feet
- e) Minimum Distance Between Buildings: 15 Feet

28) GB: General Business District:

- a) Minimum Lot Area: No Minimum
- b) Minimum Lot Frontage: 80 Feet
- c) Minimum Rear Yard Setback: 20 Feet

d) Minimum Lot Width:

No Minimum

OVERLAY DISTRICT:

The plans comply with Article 5 of the UDO and Wheeler Landing PUD (Ord. 18-04 and 19-37).

29) State Highway 32 Overlay District (Sec. 7, Ord. 18-04):

- a) The Minimum Gross Floor Area shall be four thousand (4000) square feet.
- b) The Minimum Gross Floor Area shall also include the square footage of all pergolas, hardscaped outdoor seating and amenities up to one thousand (1000) square feet.

30) State Highway 32 Overlay District (UDO):

- a) General Design Theme Standards: Architectural variation is encouraged. These architectural requirements are intended to provide consistent architectural quality among buildings and other improvements within the corridor. All structures shall be thoughtfully designed in a manner that visually and functionally complements the existing topography.
- b) Building Elevations:
 - i) All Building Façades shall have a defined base or foundation, a middle or modulated wall, and a top formed by a pitched roof or articulated, three-dimensional cornice as illustrated in FIGURE 5.3(3): BUILDING MODULATION.
 - ii) Building Façades, which are ninety (90) feet or greater in length, shall be designed with offsets (projecting or recessed) at intervals of not greater than sixty (60) feet. Buildings less than ten thousand (10,000) square feet in Gross Floor Area shall be designed with offsets at interval of not greater than forty (40) feet. Offsets shall extend the entire vertical plane of the Building Façade and shall be a minimum depth of four (4) feet and a minimum aggregate length of twenty percent (20%) of the horizontal plane of the overall Building Façade. The offset may be met with setbacks of the Building Façade and/or with architectural elements (i.e., arcades, columns, ribs, piers, and pilasters), if such architectural elements meet the minimum offset requirements of this requirement.
 - iii) Buildings shall be constructed with the same building material quality and level of architectural detail on all Building Façades (e.g., 360 degree architecture).

iv) Openings:

- (1) Design elements of the Building Façade shall be organized such that openings (including windows, doors, loading berths, faux windows and architectural or painted elements resembling openings) line up horizontally and vertically with other openings, as illustrated in FIGURE 5.3(5): DESIGN BALANCE.
- (2) Openings in a Building Façade shall be arranged in a balanced, relatively uniform fashion (see FIGURE 5.3(6): BALANCE OF OPENINGS).
- (3) Exceptions may be permitted if openings are organized in an aesthetically pleasing manner and constitute an essential artistic design element appropriate for the building type, scale, orientation, location and site.

v) Gutters and Downspouts: Shall be visually integrated with the architectural style of the structure. The color of gutters and downspouts shall be selected to complement or to be consistent with the building materials.

vi) Roof:

(1) Flat Roofs:

- (a) Flat roofs are permitted if edged by a parapet wall with an articulated, three-dimensional cornice as illustrated in FIGURE 5.3(9): ARTICULATED CORNICE.
- (b) Parapet walls shall be fully integrated into the architectural design of the building to create seamless design transitions between the main building mass and roof-mounted architectural elements (which may include screening elements for roof-mounted equipment).
- (c) Modulation or variation of the roofs and/or roof lines shall be required in order to eliminate the appearance of box-shaped buildings. Buildings shall comply with at least one of the following:
 - (i) A building with a flat roof shall have varying roof height sections, as illustrated in FIGURE 5.3(10): FLAT ROOF VARIATION. A varied roof section shall have a minimum roof height difference of five (5) feet from an adjacent roof section. The maximum horizontal roof line length without variation shall be sixty percent (60%) of the total length of the Building Façade's roof line.

- (ii) A roof line modulation shall include a vertical change in the visible roof line of at least four (4) feet, with a minimum aggregate modulation length of forty percent (40%) of each Building Façade, as illustrated in FIGURE 5.3(11): FLAT ROOF - ROOF LINE MODULATION. The maximum horizontal roof line length without modulation shall be sixty (60) feet, or forty (40) feet for Buildings with a Gross Floor Area less than ten thousand (10,000) square feet.
 - (2) Dormers and cupolas shall be designed with appropriate details, proportion and style consistent with the overall building composition and roofed with symmetrical gable, hip or barrel roofs (see FIGURE 5.3(12): DORMERS AND CUPOLAS).
 - (3) All visible vents, attic ventilators, turbines, flues and other visible roof penetrations shall be: (a) painted to match the color of the roof or flat black; and (b) oriented to minimize their visibility from adjacent Lots and Streets.
- c) Main Entrances:
- i) All buildings shall be designed with a main entrance and at least two (2) window openings associated with the main entrance.
 - ii) Building entrances shall be clearly defined and articulated by multiple architectural elements such as lintels, pediments, pilasters, columns, awnings, porticos and other design elements appropriate to the architectural style and details of the building as a whole.
 - iii) The location, orientation, proportion and style of doors shall complement the style of the building.
- d) Windows:
- i) All window designs shall be compatible with the style, materials, color, details and proportion of the building. The number of window panes, the number of window openings, window trim and other architectural design elements designed to accent the windows shall be consistent with and complementary to the architectural style of the building (see FIGURE 5.3(14): WINDOW DESIGNS).
 - ii) Window trim and other architecture design elements designed to accent the windows shall be required for all windows. Acceptable design elements include shutters, keystones, masonry arches, awnings, decorative stone frames, masonry rowlock frames, as illustrated in FIGURE 5.3(15): WINDOW ACCENTS, or other such trim or

design elements as approved by the Plan Commission or Director (see FIGURE 5.3(15): WINDOW ACCENTS).

e) Awnings:

- i) Fixed or retractable awnings are permitted if they complement the building's architectural style, material, colors and details, as illustrated in FIGURE 5.3(16): AWNINGS.
- ii) Awnings shall be made of a nonreflective material.
- iii) All awnings shall be kept in good repair.
- iv) Awnings used to comply with the architectural design requirements of this Article shall not be removed unless the Building Façade would otherwise comply with such architectural design requirements without such awnings.

f) Drive-thrus:

- i) This section shall apply to: (i) Lots adjacent to the State Highway 32 right-of-way line or the Trail Corridor, as defined herein; and (ii) Lots where the Lot Line may not abut the State Highway 32 right-of-way line or Trail Corridor, but where the Lot is located in a manner that no significant structures can reasonably be constructed between the Lot and the State Highway 32 right-of-way line or Trail Corridor.
- (1) Drive-thru windows and lanes shall not be permitted in between the State Highway 32 right-of-way line or the Trail Corridor and the Building Façade nearest to said right-of-way line (e.g., Established Front Yard) or Trail Corridor.

g) Building Materials:

- i) Masonry Materials shall be the preferred and primary exterior building material used on buildings within the corridor.
- ii) Masonry Materials shall be used to create a wainscot or brickwrap effect around buildings.
- iii) A minimum of sixty percent (60%) of each Building Façade, exclusive of windows (including faux windows and glazing), doors and loading berths, shall be covered with Masonry Materials.

- iv) No more than twenty-five percent (25%) of each Building Façade, exclusive of windows (including faux windows and glazing), doors and loading berths, may be covered with metal, Fiber Cement Siding, Polymeric Cladding, E.I.F.S., stucco, or vinyl exterior building materials.
 - v) In order to create an aesthetically pleasing appearance and to create an appearance of high-quality, visually interesting architecture, increased and enhanced use of Masonry Material and other architectural ornamentation shall be required around building entrances and on Building Façades visible from State Highway 32.
- h) Trail Corridor Requirement:
- i) Trail Corridor Design Standards:
 - (1) Article 5.3(K) Trail Corridor Requirement (Sec. 3, Ord. 19-37): Shall apply; however, Article 5.3(K)(4)(a) Trail Corridor Design Standards; Trail Corridor Width shall be modified to a minimum width of ten (10) feet. The Existing Improvements in Area II as shown on the Concept Plan within the Trail Corridor are hereby deemed to satisfy the requirements of Article 5.3(K)(5) Trail Corridor Plantings.
 - (2) Alternative Transportation Trail Design: The trail improvements shall be installed in substantial compliance with FIGURE 5.3(18): TRAIL CORRIDOR DESIGN and shall be a minimum of eight (8) feet in width and constructed of asphalt material in compliance with the City's Construction Standards (see also Article 7.3 Principles and Standards of Design). Construction of the trail with a meandering design is encouraged.
 - (3) Inter-connectivity: All developments along State Highway 32 shall provide for alternative transportation inter-connectivity between neighboring uses, developments and the Trail Corridor in order to encourage and facilitate alternative transportation movements without directly accessing State Highway 32. Cross access easements and connections to the alternative transportation trail referenced above shall be appropriately provided to ensure continued alternative transportation access and connectivity between and through uses along the Trail Corridor (see also Article 8.3 Easement Standards).
-

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply as applicable to a Detailed Development Plan.

31) Accessory use and Building Standards (Article 6.1):

a) Accessory Buildings (Sec. 8, Ord. 18-04):

- i) Shall apply; however, Article 6.1(H)(2) Screening of Receptacles and Loading Areas shall be modified to permit enclosures within Area I and Area II to be located within the Established Front Yard along Tournament Trail or any parcel in any Area with three (3) or more Front Yards.

b) Screening of Receptacles and Loading Areas:

- i) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES.
- ii) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal. Pedestrian access openings shall be substantially similar to those illustrated in FIGURE 6.1(3): DUMPSTER MAN-DOORS.
- iii) Enclosures, which include swinging, moveable doors, shall be kept closed at all times when said doors are not in active use.
- iv) Landscaping shall be provided around enclosures in accordance with *Article 6.8 Landscaping Standards*.

32) Architectural Standards (Article 6.3)

a) Architectural Standards (Sec. 8, Ord. 18-04):

- i) The Architectural Design Requirements of the 32 Overlay shall apply to all other uses in the District. Architectural character examples are attached hereto as Exhibit C and are intended to generally and conceptually illustrate an application of the development requirements and elements of the anticipated character of the District. Architectural character examples are general and preliminary in nature and are not intended to delineate exactly what will be built and developed. The architectural character examples establish a benchmark for the architecture and design of the buildings.

33) Building Standards (Article 6.4)

34) Fence Standards (Article 6.5)

35) Height Standards (Article 6.6)

36) Home Business Standards (Article 6.7)

37) Landscaping Standards (Article 6.8)

a) General Landscaping Design Standards:

i) Placement:

(1) Minimum Distance from Sidewalk and Curb: Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.

b) Minimum Lot Landscaping Requirements:

c) Foundation Plantings:

i) Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Facades, fences, and other barriers to create a softening effect.

ii) Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet (Single-family Dwelling and Duplex Dwelling buildings are exempt from this requirement).

iii) Plantings shall be located within fifteen (15) feet of the Building Facade, fence or other barrier being softened, and shall occur within planting beds at least eight (8) in width.

d) External Street Frontage Landscaping Requirements:

i) A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any non-residential development. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental and twenty-five (25) shrubs per one hundred (100) lineal feet. This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-way.

e) Buffer Yard Requirements:

f) Parking Area Landscaping:

i) Interior Parking Area Landscaping:

- (1) Minimum Area Required: A minimum landscape area of Parking Areas shall be set aside for Parking Area islands in accordance with the following:

Number of Parking Spaces	% of Parking Area to be Islands
0 to 4	0%
5 to 24	5%
25 to 49	7.5%
50 or more	10%

(2) Interior Parking Area Islands:

- (a) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred (100) percent of every island shall be covered with permitted Groundcover material to achieve complete coverage.

ii) Perimeter Parking Area Landscaping:

- (1) If adjacent Lots have vehicular cross-access and/or shared parking, in accordance with Article 6.14(G)(1), then the shared Lot Line shall not require Perimeter Parking Area Landscaping (Article 6.8(O)(2)). (Sec. 8, Ord. 18-04)
- (2) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
- (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.
- (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.
- (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

38) Lighting Standards (Article 6.9)

- a) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]

39) Lot Standards (Article 6.10)

40) Outside Storage and Display (Article 6.12)

41) Outdoor Café and Eating Areas (Article 6.13)

42) Parking and Loading Standards (Article 6.14)

a) Stacking Requirements for Drive-Through Facilities:

i) General Requirements:

- (1) Drive-through lanes and required stacking spaces shall not interfere with parking space maneuvering aisles, parking drive aisles, loading spaces, internal site circulation, designated fire lanes or points of ingress and egress.
- (2) Drive-through lanes and stacking spaces shall be designed to prevent vehicles from stacking in the Right-of-way.
- (3) No stacking space may occupy any portion of a Right-of-way.
- (4) A stacking space does not constitute a Parking Space.
- (5) All drive-through and stacking lanes shall be delineated with pavement markings or otherwise distinctly delineated, as approved by the Department.

ii) Minimum Size:

- (1) A stacking space shall be a minimum of eight (8) feet by twenty (20) feet with direct forward access to a service window or station of a drive-through facility.

iii) By-Pass Lane:

- (1) A minimum eight (8) foot wide lane parallel to a drive-through lane shall be provided around the drive-through facility to allow vehicles to exit the drive-through lane and circumvent the stacking lane. This lane may be part of the site's overall circulation plan.

iv) Minimum Number of Spaces: The minimum number of required stacking spaces shall be as follows, which shall exclude the position at the service window but may include spaces between the service window and any ordering position:

- (1) Financial institutions: pharmacies, Takeout and Deli-style Restaurant with drive-through: 3 stacking spaces per service window

- v) Reduction in Number of Spaces: If an Applicant demonstrates that strict compliance with the minimum number of stacking spaces is impracticable or would result in a less desirable site design, then the Department may approve a reduction of the stacking requirement. If determined by the Director, then demonstration by a qualified traffic engineer that a reduction in the stacking requirements is appropriate for the proposed use given the use's proposed intensity or the site's context may be required.

b) Off-Street Parking:

- i) Professional and General Service Offices:

- (1) One (1) space per each three hundred (300) square feet of assignable office area.

c) Bicycle Parking:

- i) Number of Spaces:

- (1) A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.

43) Performance Standards (Article 6.15)

44) Setback Standards (Article 6.16)

45) Sign Standards (Article 6.17)

46) Vision Clearance Standards (Article 6.19)

- a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:

- i) Forty (40) feet from intersections of Collectors, Private or Local Street.

- ii) Seventy-five (75) feet from intersections of Expressways or Arterials.

47) Yard Standards (Article 6.21)

48) Public Art (Sec. 8, Ord. 18-04):

- a) Public Art: Public Art shall be permitted and may be included as part of a Development Plan. Public Art shall be displayed in a location that is visually accessible to the public and shall not be a sign as regulated under the Ordinance or the Unified Development Ordinance. Any Development Plan encompassing an area larger than ten (10) acres is required to have a public art component. Public Art components may be murals, mosaics, sculptures, fountains or water features, or any other variety.

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 49) Block Standards (Article 8.1)
 - 50) Easement Standards (Article 8.3)
 - 51) Monument and Marker Standards (Article 8.5)
 - 52) Open Space and Amenity Standards (Article 8.6)
 - 53) Pedestrian Network Standards (Article 8.7)
 - 54) Storm Water Standards (Article 8.8)
 - 55) Street and Right-of-Way Standards (Article 8.9)
 - 56) Surety Standards (Article 8.12)
 - 57) Utility Standards (Article 8.13)
-



DEPARTMENT COMMENTS

- 1) **The Detailed Development Plan complies with the applicable zoning ordinances.**
- 2) **ACTION: Approve Detailed Development Plan (2003-DDP-05) with the following condition:**
 - a. **All necessary approvals be obtained from the Westfield Public Works Department and Hamilton County Surveyor's Office prior to the issuance of an Improvement Location Permit.**
- 3) If any APC member has questions prior to the meeting, then please contact Caleb Ernest at 317.519.8630 or cernest@westfield.in.gov.

Aerial Location Map

 Site



Zoning Map

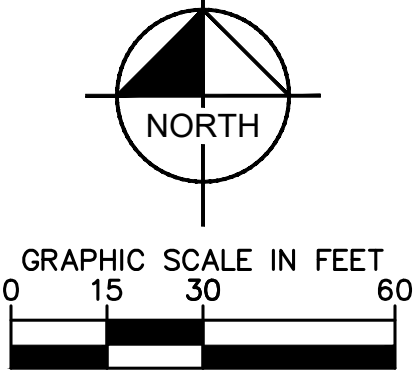


Zoning

-  GB (General Business)
-  AG-SF1 (Agriculture - Single Family - 1)
-  PUD (Planned Unit Development)
-  EI (Enclosed Industrial)

Drawing name: K:\IND_LDEV\170120001\TM Crowley_CVS-Wheeler Landing_Westfield_IN\2 Design\CADD\PlanSheets\C3.0 - SITE PLAN.dwg C3.0 Jun 25, 2020 11:04am by: Dakota Medland
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

Indiana Utilities Protection Service



KEY NOTES

- 6" CONCRETE CURB
- TYPE II CONCRETE CURB & GUTTER
- CONCRETE SIDEWALK
- ACCESSIBLE PAVEMENT MARKINGS
- ACCESSIBLE PARKING SIGN
- ADA ACCESSIBLE RAMP
- 4" WIDE PAINTED WHITE SOLID LINE
- DIRECTIONAL PAVEMENT MARKINGS
- CONNECT TO EXISTING PAVEMENT/SIDEWALK/CURB
- 24" WIDE STOP BAR
- STOP SIGN, TYP. (MUTCD R1-1)
- PRECAST CONCRETE WHEEL STOP
- COMBINED CURB AND WALK
- DUMPSTER ENCLOSURE WITH FENCE (REFER TO ARCH. PLANS)
- TRANSFORMER PAD
- CONCRETE LIP AND GUTTER
- BIKE RACK
- CONCRETE COLLAR
- CROSSWALK STRIPING (REFER TO MUTCD FOR DETAILS)
- MONUMENT SIGN
- MODULAR BLOCK RETAINING WALL
- CONCRETE SIDEWALK FLUSH WITH PAVEMENT
- CURB TAPER
- CURB TURNOUT TO INLET
- "RIGHT TURN ONLY" SIGN
- "DO NOT ENTER" SIGN

PARKING SUMMARY

STANDARD PARKING SPACES PROVIDED	=	49	SPACES
ACCESSIBLE PARKING SPACES REQUIRED	=	4	SPACES
ACCESSIBLE PARKING SPACES PROVIDED	=	4	SPACES
TOTAL PARKING SPACES PROVIDED	=	53	SPACES
TOTAL BICYCLE PARKING SPACES PROVIDED	=	4	SPACES

PAVING AND CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION *SEE ARCHITECTURAL PLANS FOR SCOURING PATTERN
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION *SEE ARCHITECTURAL PLANS FOR SCOURING PATTERN
	RIGHT OF WAY PAVEMENT (INDOT) SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	PERIMETER TRAIL SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD CONCRETE CURB
	CONCRETE DEPRESSED CURB

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)
HORIZONTAL DATUM: NAD83/2011 (INDIANA EAST)
VERTICAL DATUM: NAVD88
SBM #1: CUT "X", W BOLT OF FH, SW CORNER SR 32 & WHEELER RD.
ELEVATION=901.09
SBM #2 CUT "X", W BOLT OF TSP, SE COR SR 32 & GRAND PARK BLVD.
ELEVATION=899.69

NOTE: ALL INFRASTRUCTURE SHOWN ALONG AND INCLUDING GRAND PARK BLVD. AND TOURNAMENT TRAIL ARE PROPOSED IMPROVEMENTS SHOWN FOR REFERENCE BY OTHERS AND MAY NOT BE COMPLETE BEFORE THE COMMENCEMENT OF CONSTRUCTION FOR THE PROPOSED PROJECT. CONTRACTOR TO FIELD VERIFY ACTUAL FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION.



14,866 SFT LR SIDE
CORNER ENTRY

STORE NUMBER: 11411

SR 32 & (PROPOSED GRAND PARK BLVD.)
WESTFIELD, IN (HAMILTON COUNTY)

PROJECT TYPE: NEW STORE
DEAL TYPE: FFS

CS PROJECT NUMBER: 128099

ENGINEER:

Kimley»Horn

CONSULTANT:

KIMLEY-HORN
AND ASSOCIATES, INC.
250 E. 96TH ST.,
SUITE 580
INDIANAPOLIS, IN 46240
TEL: (317) 218-9560
CONTACT: ANDY TAYLOR

DEVELOPER:

TMC INDIANA 2, LLC
501 PENNSYLVANIA PKWY,
SUITE 160
INDIANAPOLIS, IN 46280
TEL: (317) 819-0123
CONTACT: AJ BARBATO

SEAL:



REVISIONS:

CITY COMMENTS 06/24/2020 DAM

DRAWING BY: KJL

DATE: JANUARY 31, 2020

JOB NUMBER: 170120001

TITLE:

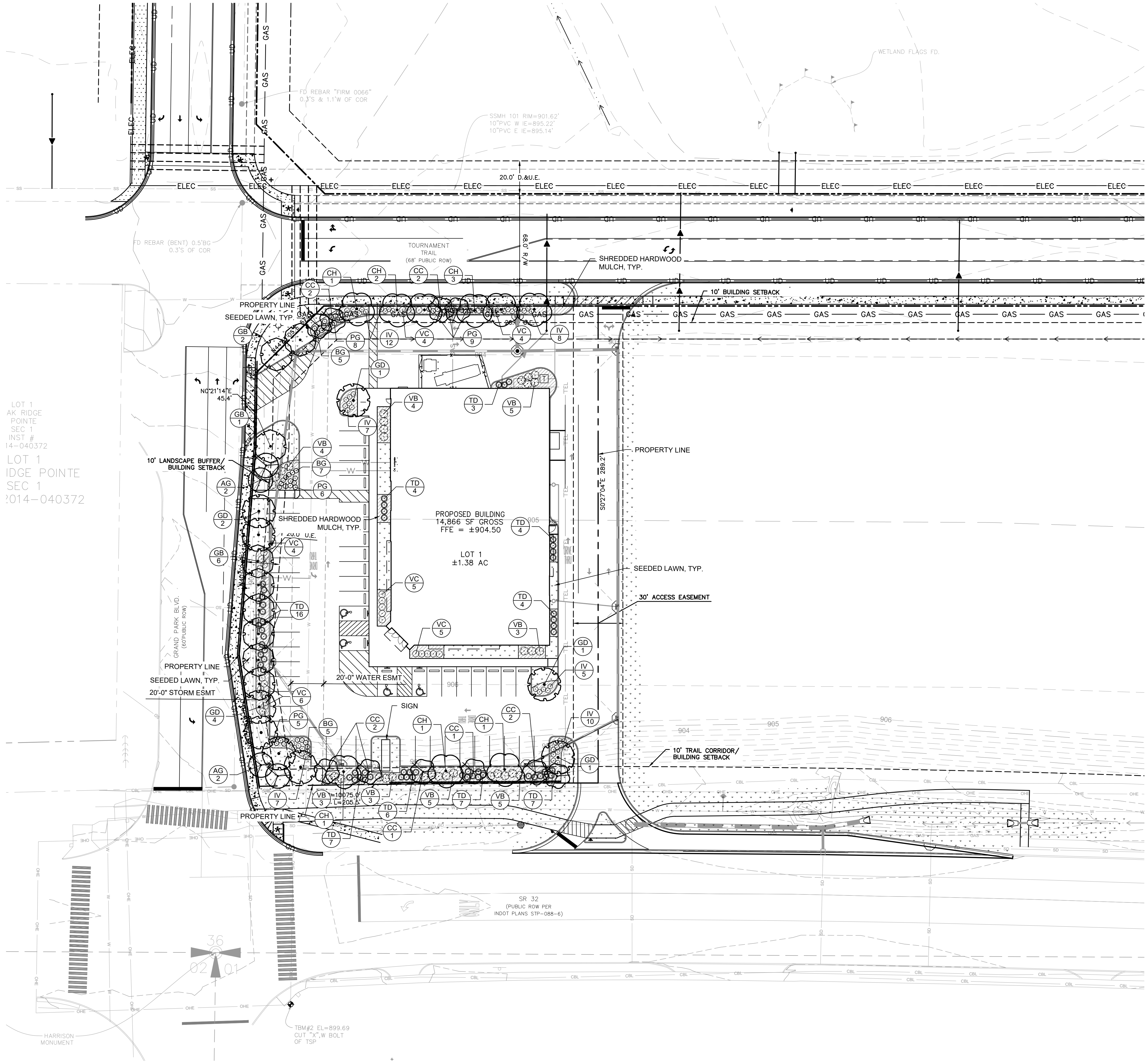
SITE PLAN

SHEET NUMBER:

C3.0

COMMENTS:

Drawing name: K:\IND_LEV\170120001_TM Crowley_CVS-Wetland_Landing_Westfield_IL\2 Design\CADD\PlanSheets\L1.0 - LANDSCAPE PLAN.dwg L1.0 Jun 25, 2020 11:10am by: DakotaMedard
This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



CVS
pharmacy™
14,866 SFT LR SIDE
CORNER ENTRY

STORE NUMBER: 11411
SR 32 & (PROPOSED GRAND PARK BLVD.)
WESTFIELD, IN (HAMILTON COUNTY)
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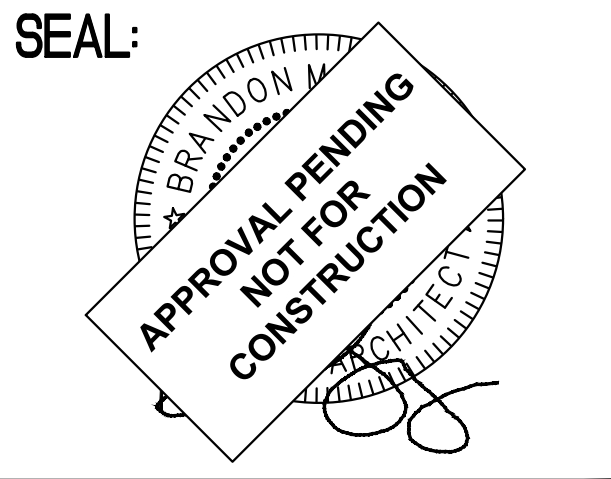
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REVISIONS:

CITY COMMENTS 06/24/2020 DAM
DRAWING BY: MCD
DATE: JANUARY 31, 2020
JOB NUMBER: 170120001
TITLE:

LANDSCAPE PLAN

SHEET NUMBER:
L1.0
COMMENTS:

NOTE: ALL INFRASTRUCTURE SHOWN ALONG AND INCLUDING GRAND PARK BLVD. AND TOURNAMENT TRAIL ARE PROPOSED IMPROVEMENTS SHOWN FOR REFERENCE BY OTHERS AND MAY NOT BE COMPLETE BEFORE THE COMMENCEMENT OF CONSTRUCTION FOR THE PROPOSED PROJECT. CONTRACTOR TO FIELD VERIFY ACTUAL FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION.

Drawing name: K: IWD_L1DEV170120001_TM Crowley_CVS-Waterer Landing_Westfield_IL1.1 Jun 25, 2020 11:10am by: DakotaMedford
This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

ORDINANCE CHART		
ZONING: PUD		
REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LOT LANDSCAPING 10 shade trees + 10 evergreen or ornamental trees + 25 shrubs per acre - All other landscape plantings required may be credited toward minimum lot landscaping at a 1:1 ratio, with the exception of Street Trees	1.4 acres 1.4(10) = 14 shade trees 1.4(10) = 14 evergreen or ornamental trees 1.4(25) = 35 shrubs	26 shade trees 19 evergreen or ornamental trees 220 shrubs
FOUNDATION PLANTING - Front Building Facade = 1 ornamental tree or shrub per 12 LF of facade - Foundation plantings required approx. every 40 LF along long expanses (over 80 LF) of building facade	- West (Front Facade) = 156 LF 156 / 12 = 13 ornamental trees or shrubs - North (Front Facade) = 156 LF 96 / 12 = 8 ornamental trees or shrubs - East (Rear Facade) = 156 LF Plantings approx. every 40 LF - South (Front Facade) = 156 LF 96 / 12 = 8 ornamental trees or shrubs	- West (Front Facade) = 13 shrubs - North (Front Facade) = 8 shrubs - East (Rear Facade) = Plantings approx. every 40 LF - South (Front Facade) = 8 shrubs
EXTERNAL STREET FRONTAGE 3 shade or evergreen trees + 2 ornamental trees + 25 shrubs per 100 LF - Requirement may be credited toward parking area landscaping if parking area landscaping is within 20 feet of ROW	- Tournament Trail (North) = 150 LF (150 / 100)*3 = 6 shade trees or evergreen trees (150 / 100)*2 = 3 ornamental trees (150 / 100)*25 = 38 shrubs - Grand Park Blvd (West) = 308 LF (308 / 100)*3 = 13 shade trees or evergreen trees (308 / 100)*2 = 7 ornamental trees (308 / 100)*25 = 77 shrubs - SR 32(South) = 190 LF (190 / 100)*3 = 6 shade trees or evergreen trees (190 / 100)*2 = 4 ornamental trees (190 / 100)*25 = 48 shrubs	- Tournament Trail (North) = 6 shade trees 3 ornamental trees 38 shrubs - Grand Park Blvd (West) = 13 shade trees 7 ornamental trees 77 shrubs - SR 32 (South) = 6 shade trees 4 ornamental trees 48 shrubs
PARKING LOT INTERIOR 50 or more spaces = 10% interior landscape area - Parking area islands shall include at least 1 tree + 4 shrubs per island 100% of landscape area shall be covered by permitted groundcover	(16,280 SF)*0.1 = 1,628 SF interior landscape 4 islands = 4 trees + 16 shrubs 100% of landscape area shall be covered by permitted groundcover	1,643 SF > 1,628 SF 4 trees + 16 shrubs 100% of landscape area shall be covered by permitted groundcover
PARKING LOT PERIMETER 1 tree per 30 LF + 1 shrub per 3 LF; minimum 5 feet in width	- Grand Park Blvd (West) = 145 LF 145 / 30 = 5 trees 145 / 3 = 49 shrubs - SR 32 (South) = 145 LF 145 / 30 = 5 trees 145 / 3 = 49 shrubs	- Grand Park Blvd (West) = 145 LF External street frontage requirement credited toward parking lot perimeter requirement per Section 6.8.M.2 of the Westfield UDO - SR 32 (South) = 145 LF SR 32 Trail Corridor requirement credited toward parking lot perimeter tree quantities per Section 5.3.K.c of the Westfield UDO 49 shrubs

PLANT SCHEDULE

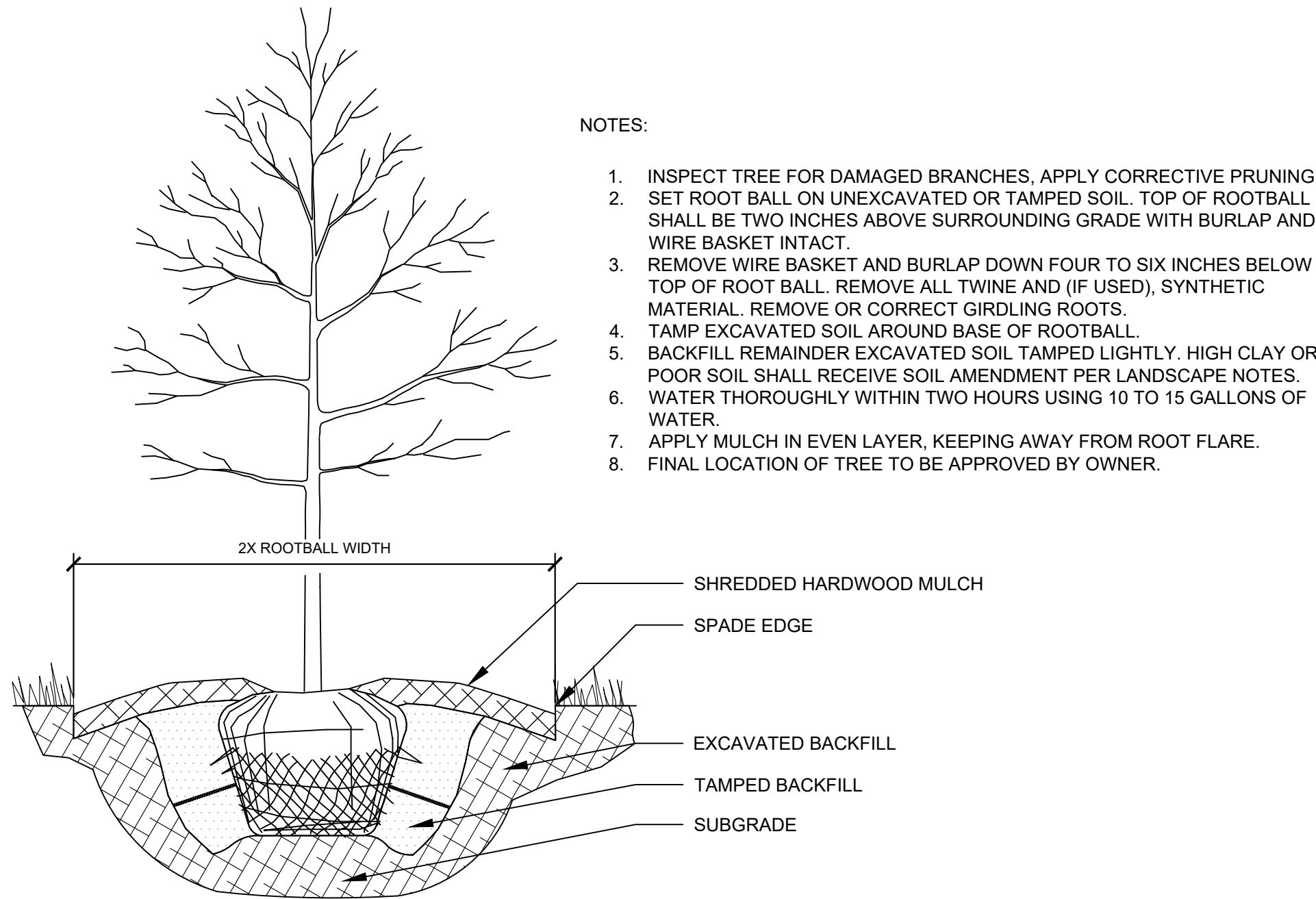
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
CH	9	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B & B	2" CAL MIN	8" HT MIN
GB	9	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY GINKGO	B & B	2" CAL MIN	8" HT MIN
GD	9	GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	B & B	2" CAL MIN	8" HT MIN
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
AG	4	AMELANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	B & B	2" CAL MIN	---
CC	10	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	B & B	2" CAL MIN	---
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
BG	17	BUXUS X 'GREEN VELVET'	GREEN VELVET BOXWOOD	---	SEE PLAN	18" HT MIN
IV	49	ITEA VIRGINICA 'LITTLE HENRY' TM	LITTLE HENRY VIRGINIA SWEETSPIRE	---	SEE PLAN	18" HT MIN
PG	28	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER POTENTILLA	---	SEE PLAN	18" HT MIN
TD	58	TAXUS X MEDIA 'DENSIFORMIS'	DENSE YEW	---	SEE PLAN	18" HT MIN
VB	32	VIBURNUM X 'BURKWOODII'	BURKWOOD VIBURNUM	---	SEE PLAN	24" HT MIN
VC	28	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	---	SEE PLAN	24" HT MIN

LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND PLANTING.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO A 6" DEPTH BELOW FINISHED GRADE IN TURF AREAS AND A 12" DEPTH IN PLANTING AREAS.
- PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SEED LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED MIXES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY LANDSCAPE CONTRACTOR DURING WARRANTY PERIOD IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.

Indiana Utilities Protection Service

Call 811
before you dig

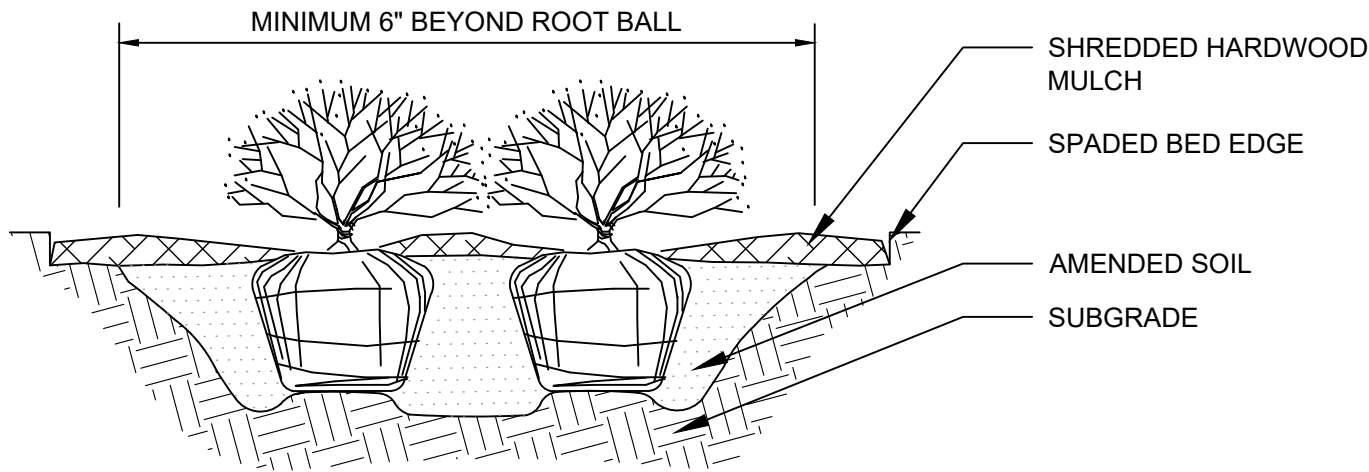


NOTES:

- INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
- SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
- REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
- TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
- BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
- WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
- FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.

1 TREE PLANTING

NTS



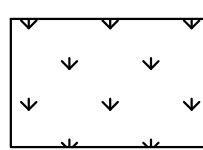
NOTES:

- APPLY CORRECTIVE PRUNING.
- SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
- REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
- REMOVE OR CORRECT GIRDLING ROOTS.
- PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
- APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

2 SHRUB PLANTING

NTS

SEEDING LEGEND



PERMANENT SEEDING
AMERITURF FRONTRUNNER BLEND TALL
FESCUE; APPLY AT A RATE OF 350 LBS/ACRE
(8LBS/1000 SQFT)

NOTE:
IRRIGATION TO BE INCLUDED AS
DESIGN-BUILD; CONTRACTOR TO
RECEIVE OWNER'S APPROVAL
BEFORE INSTALLATION.

NOTE: ALL INFRASTRUCTURE SHOWN ALONG AND INCLUDING GRAND PARK BLVD. AND TOURNAMENT TRAIL ARE PROPOSED IMPROVEMENTS SHOWN FOR REFERENCE BY OTHERS AND MAY NOT BE COMPLETE BEFORE THE COMMENCEMENT OF CONSTRUCTION FOR THE PROPOSED PROJECT. CONTRACTOR TO FIELD VERIFY ACTUAL FIELD CONDITIONS PRIOR TO STARTING CONSTRUCTION.

CVS
pharmacy™
14,866 SFT LR SIDE
CORNER ENTRY

STORE NUMBER: 11411

SR 32 & (PROPOSED GRAND PARK BLVD.)
WESTFIELD, IN (HAMILTON COUNTY)

PROJECT TYPE: NEW STORE
DEAL TYPE: FFS

CS PROJECT NUMBER: 128099

ENGINEER:

Kimley»Horn

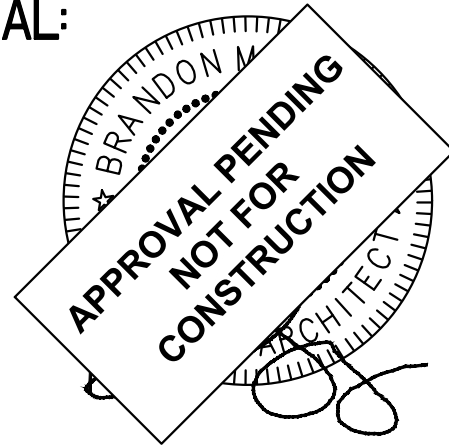
CONSULTANT:

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TEL: (317) 819—0123
CONTACT: AJ BARBATO

SEAL:



REVISIONS:

△ CITY COMMENTS 06/24/2020 DAM

DRAWING BY: MCD

DATE: JANUARY 31, 2020

JOB NUMBER: 170120001

TITLE:

**LANDSCAPE
DETAILS**

SHEET NUMBER:

L1.1

COMMENTS:



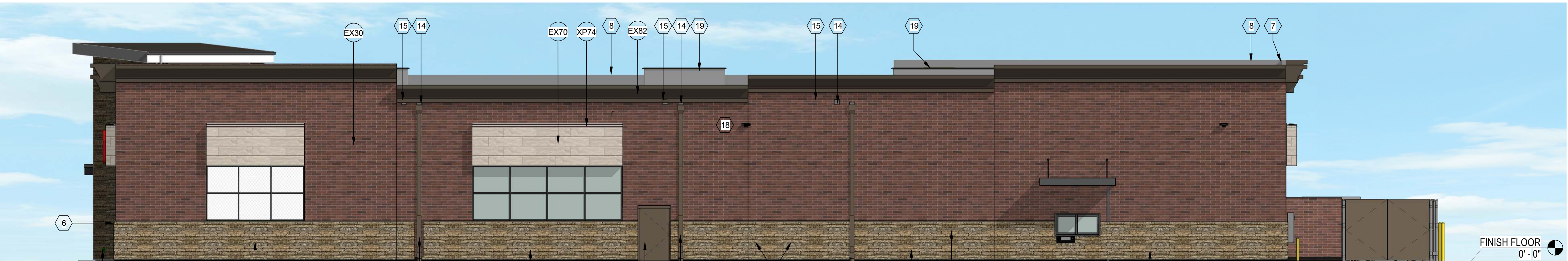
1 SOUTH ELEVATION (STATE ROAD 32)
D1 1/8" = 1'-0"



2 WEST ELEVATION (GRAND PARK BLVD.)
D1 1/8" = 1'-0"



3 NORTH ELEVATION (TOURNAMENT TRAIL)
D1 1/8" = 1'-0"



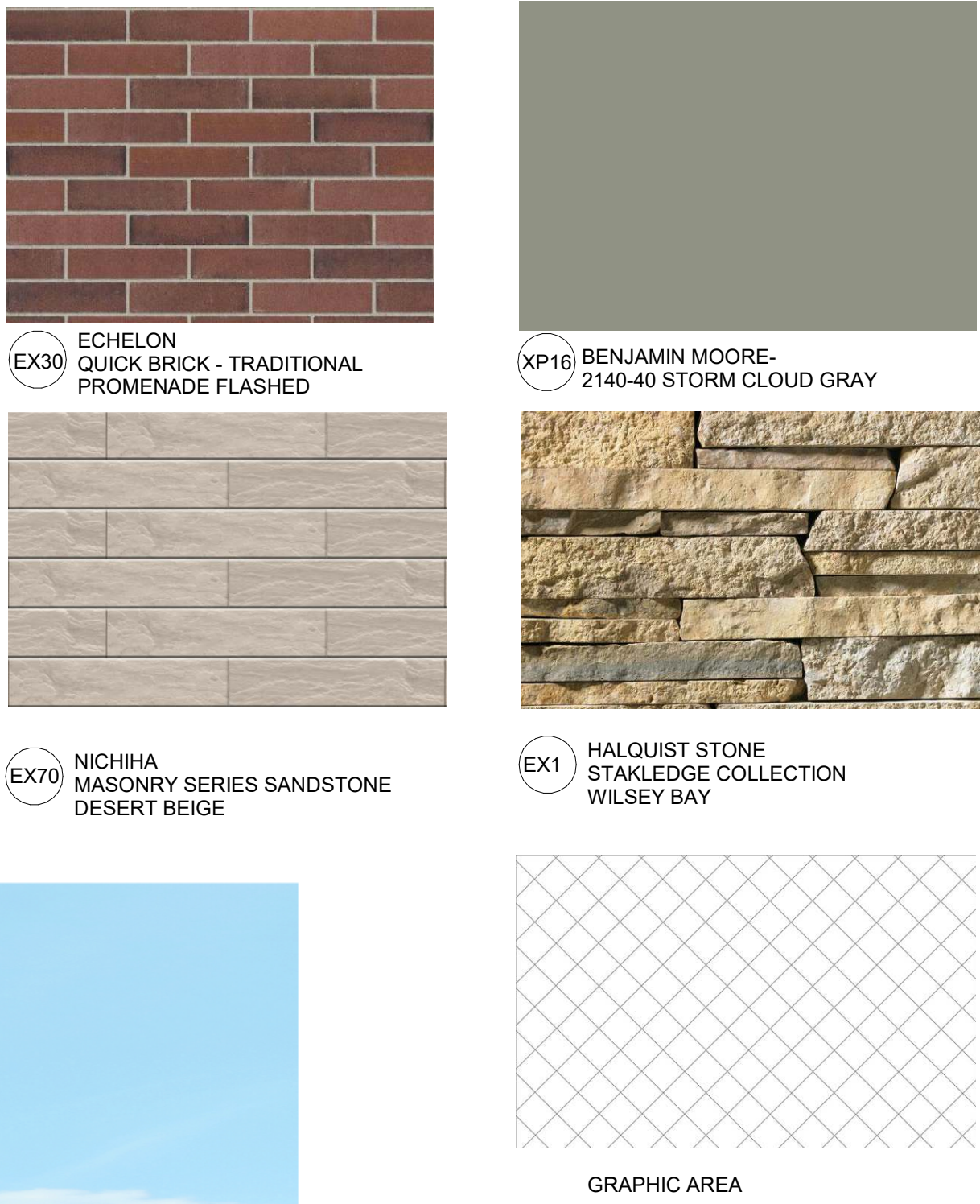
4 EAST ELEVATION
D1 1/8" = 1'-0"

EXTERIOR MATERIAL SCHEDULE			
Material: Mark	Material: Manufacturer	Material: Description	Sealant : Color
EX1	HALQUIST STONE	STAKLEDGE COLLECTION, WILSEY BAY, HEIGHTS: 3/4" - 3", LENGTHS: RANDOM	
EX5	RE: SPECIFICATIONS	ALUMINUM WITH DARK BRONZE ANODIZED COAT	
EX30	ECHELON	QUICK BRICK - TRADITIONAL, RUNNING BOND, COLOR: PROMENADE FLASHED, SIZE: 8"W X 16"L X 4"H	
EX41	CITYSCAPES	VERTICAL ACRYLICAP LOUVER, COLOR: SLATE GRAY, TOP TRIM: BAND, COLOR: SLATE GRAY	
EX70	NICHIHA	MASONRY SERIES; SANDSTONE, COLOR: DESERT BEIGE, SIZE: 18"H X 5'-11 1/2"	
EX82	CORNICE DETAIL	SURFACE MOUNTED, ROUGH CEDAR TIMBER, EXTERIOR WOOD STAIN - SW3542 - CHARWOOD	
XC1	PAC-CLAD	PREFINISHED ALUMINUM COPING COLOR: DARK BRONZE	
XC2	PAC-CLAD	PREFINISHED ALUMINUM COPING COLOR: SIERRA TAN	
XC3	PAC-CLAD	PREFINISHED ALUMINUM COPING COLOR: BONE WHITE	
XP1	BENJAMIN MOORE	PAINT, BM 1001 (4B) NORTH CREEK BROWN, FINISH: SATIN	
XP4	SHERWIN WILLIAMS	PAINT, SW 7731 SAN ANTONIO SAGE, FINISH: SATIN	
XP12	BENJAMIN MOORE	PAINT, HC-190 BLACK, FINISH: SATIN	

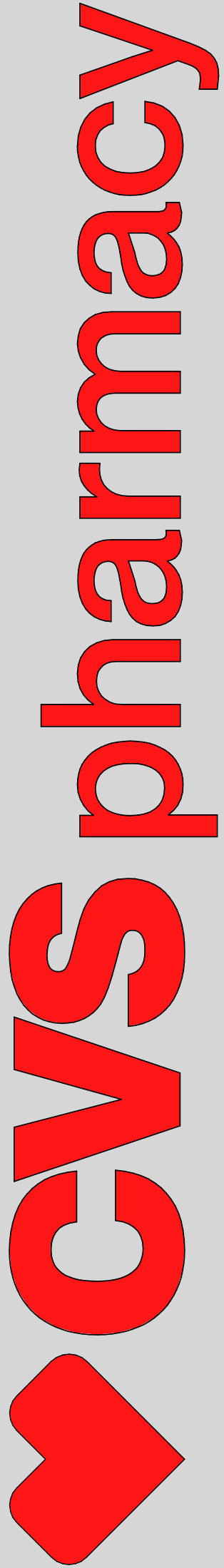
EXTERIOR KEYED NOTES	
#	Notes
1	ILLUMINATED SIGNAGE CENTERED VERTICALLY IN CANOPY
2	ILLUMINATED ANCILLARY SIGN
3	SMOOTH "GREY" CMU BLOCK TO BE USED BEHIND FIBER CEMENT PANEL SYSTEM, TYP.
4	SPACE SMOOTH PANEL JOINTS AS SHOWN IN ELEVATION TO MINIMIZE MATERIAL WASTE, REFER TO WALL SECTIONS FOR VERTICAL PANEL JOINT DETAIL, TYP.
5	SIAMESE CONNECTION
6	FIBER CEMENTITIOUS FACTORY CORNER BY MANUFACTURER
7	RETURN MATERIAL @ ENDS OF PARAPETS, TYP.
8	PARAPET BEYOND
9	ROOF LINE
10	LIGHT FIXTURE, RE: ELEC
11	STORE HOURS PLAQUE
12	KNOX BOX - WHERE REQUIRED BY JURISDICTION, PURCHASED FROM LOCAL FIRE DEPARTMENT. MOUNT PER FIRE DEPARTMENT REQUIREMENTS ON WALL ADJACENT TO ENTRANCE
13	MIN. 6" HIGH ADDRESS SIGN ON CONTRASTING BACKGROUND (CONFIRM HEIGHT, LOCATION AND QUANTITY WITH LOCAL FIRE MARSHAL)
14	DOWNSPOUT & GUARD, RE: DOWNSPOUT GUARD AND C.O. DETAIL
15	OVERFLOW SCUPPER
16	DOWNSPOUT NOZZLE
17	DRIVE THRU DOWNSPOUT
18	EXTERIOR WALL PACK LIGHT, RE: ELEC
19	LINE OF RTU BEYOND
20	COMPACTOR ENCLOSURE
21	ELECTRIC METERING CABINET, RE: ELEC
22	GAS METER LOCATION, RE: PLUMBING
23	COMPACTOR CHUTE DOOR - COORDINATE WITH COMPACTOR MANUFACTURER
24	BOLLARD, STEEL PIPE W/ PLSTIC OSHA YELLOW SLEEVE PLACE OVER IT IT. RE: SPECIFICATIONS
25	RAIN HOOD
27	HOSE BIB
28	PAINT J-BOX TO MATCH

GENERAL NOTES:
THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL BY DEVELOPMENT SERVICES.
ALL MECHANICAL UNITS SHALL BE SCREENED FROM PUBLIC AS REQUIRED BY THE ZONING ORDINANCE.
ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY DEVELOPMENT SERVICES.
ROOF ACCESS SHALL BE PROVIDED INTERNALLY.

EXTERIOR MATERIAL LEGEND



CVS11411 WESTFIELD, IN
14K_LR BUMPOUT DRIVE-THRU PROTOTYPE - STANDARD





Petition Number: 2008-ODP-12 & 2008-SPP-12
Project Name: SEP
Subject Site Address: Southeast Corner of 161st Street and US 31 (the “Property”)
Petitioner: Pure Development, Inc.
Representative: American Structurepoint
Request: Overall Development Plan & Primary Plat review of 1 lot on 21.85 acres +/- in the LB: Local and Neighborhood Business District.
Current Zoning: LB District
Current Land Use: Vacant
Approximate Acreage: 21.85 acres +/-
Property History: Detailed Development Plan (2008-DDP-20, *pending*)
Secondary Plat (2008-SFP-48, *pending*)
Variance of Development Standard ([2007-VS-16](#), 07/14/20)
Staff Reviewer: Caleb Ernest, Associate Planner

BACKGROUND

The Property is currently zoned the LB District.

A Detailed Development Plan (2008-DDP-20) and Secondary Plat (2008-SFP-48) are currently *pending* approval. A Variance of Development Standard ([2007-VS-16](#)) was submitted in June of 2020 and was approved by the Board of Zoning Appeals at its [July 14, 2020](#), meeting.

The comments contained herein are in review of the filed Overall Development Plan and Primary Plat scheduled for the July 21, 2020, Technical Advisory Committee meeting.

PROCEDURAL

Approval of an Overall Development Plan and Primary Plat must be granted if the submitted plans demonstrate compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.



The petition was reviewed by the Technical Advisory Committee at its July 21, 2020, meeting. This petition has been properly noticed for a public hearing at the Plan Commission's August 3, 2020, meeting.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised secondary plat has been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
- 4) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office

PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)

The plans comply.

- 5) Proposed name of subdivision.
- 6) Names and addresses of the owner, owners, land surveyor or land planner.
- 7) Title, scale, north arrow and date.
- 8) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 9) Easements (locations, widths and purposes). (Article 8.3)
- 10) Statement concerning the location and approximate size or capacity of utilities to be installed.



- 11) Layout of Lots (showing dimensions, numbers and square footage). (Article 4.5)
 - 12) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
 - 13) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
 - 14) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
 - 15) Building setback lines. (Article 4.14)
 - 16) Legend and notes.
 - 17) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
 - 18) Other features or conditions which would affect the subdivision favorable or adversely.
 - 19) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
 - 20) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
 - 21) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
 - 22) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
 - 23) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.
 - 24) Misc.
-



OVERALL DEVELOPMENT PLAN (Article 10.7 of the UDO)

The plans comply.

- 25) Title, scale, north arrow and date.
- 26) Proposed name of the development.
- 27) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 28) Address and legal description of the property.
- 29) Boundary lines of the property including all dimensions.
- 30) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 31) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 32) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 33) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 34) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 35) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 36) Location and dimensions of all existing structures and paved areas.
- 37) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 38) Location of all Floodplain areas within the boundaries of the property.



- 39) Names of legal ditches and streams on or adjacent to the site.
 - 40) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 41) Identify buildings proposed for demolition.
 - 42) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 43) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
-

DISTRICT STANDARDS

The plans comply with Article 4.14 (LB District).

- 44) Minimum Lot Area: No minimum
- 45) Minimum Lot Frontage: 50 feet
- 46) Minimum Building Setback Line:
 - a) Front Yard: 60 feet
 - b) Side Yard: 15 feet
 - c) Rear Yard: 20 feet
- 47) Maximum Building Height: 45 feet
- 48) Project Perimeter Setback: No structure shall be erected above the projected 1:3 Proximity Slope Line.
- 49) Building Size Requirements:
 - a) Minimum Business Size: 800 square feet
 - b) Maximum Business Size: 30,000 square feet*



Comment*: Variance of Development Standard (2007-VS-16) permits Maximum Business Size of no greater than 75,000 SF. Compliant.

- c) Maximum Aggregate of all

Buildings (within a single development): 90,000 square feet

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

Development Plans comply.

50) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.

51) Compliance with all applicable provisions of any Overlay District in which the real estate is located.

- a) US Highway 31 Overlay District:

- i) Minimum Lot Size: Except as otherwise provided, 217,800 square feet.

1. If a Lot was recorded prior to November 1, 1989, and said Lot does not contain the minimum area required by this Ordinance for Lots in the US31 Overlay, the, notwithstanding the minimum Lot Size requirements for Lots in the US31 Overlay, said Lot ("Undersize Lot") may be used for any use permitted in the US31 Overlay provided:

(a) At the time of recordation of the Undersized Lot or on the record date, the Undersize Lot met the requirements for minimum Lot Size then in effect for a Lot in the underlying Zoning District.

(b) The Property Owner of the Undersize Lot does not own any adjoining vacant Lot (not separated by a Street, Right-of-way or easement) which, if combined with the Undersized Lot, would create a Lot which conforms to the minimum Lot Size requirements of this Article.

(c) All other applicable regulations of the US31 Overlay can be met.

- ii) Height and Area Requirements:



1. Maximum Building Height: The maximum height shall not exceed fifty percent (50%) of the depth of the Front Yard. For purposes of this computation, where access to the Lot is by a Frontage Road or which is between the Lot and U.S. 31, the width of such Frontage Road shall be added to the depth of the Front Yard.
2. Minimum Building Height: 14 feet, to the highest point of the roof for a building with a flat roof; 23 feet to the lowest eaves for a building with a gable, hip or gambrel roof.
3. Minimum Front Yard:
 - (a) US Highway 31: 90 feet
 - (b) All others: 60 feet
 - (c) Determination of Front Yard: For purposes of applying the requirements of this Article, the front yard of each Lot in the US31 Overlay, including any Corner Lot, shall be deemed to be any Lot Line of the Lot which abuts the Right-of-way of US Highway 31 or any other Street or highway. Private Parking Areas may be located in the Front Yard so long as the nearest curb of any such Parking Area is not less than twenty (25) feet distant from the Principal Building(s).
4. Minimum Side Yard: 45 feet
5. Minimum Rear Yard: 45 feet
6. Minimum Aggregate of Side Yard: 90 feet
7. Minimum Lot Width: Shall be equal to or exceed one-half (0.5) the depth of the Lot.
 - (a) If a Lot was recorded prior to November 1, 1989, and said Lot does not meet the minimum Lot Width requirement for Lots in the US31 Overlay, then, notwithstanding the minimum Lot Width requirements for Lots in the US31 Overlay, said Lot may be used for any use permitted in the US31 Overlay provided:
 - (i) At the time of recordation of said Lot or the record date, said Lot met the requirements for minimum Lot Width then in effect for the underlying Zoning Districts.

- (ii) The Property Owner of said Lot does not own any adjoining vacant Lot (not separated by a Street, Right-of-way or interfering easement) which, if combined with said Lot, would create a Lot which conforms to the minimum Lot Width requirements of this Article.
 - (iii) All other applicable regulations of the US31 Overlay can be met.
- 8. Minimum Aggregate Gross Floor Area: Multi-family, Commercial/ Business and Industrial uses: 15,000 square feet (excluding Basement).
- 9. Lot Coverage:
 - (a) If all buildings on the Lot contain an aggregate Gross Floor Area of less than 25,000 square feet, then thirty-five percent (35%) of the Lot.
 - (b) If all buildings on the Lot contain an aggregate Gross Floor Area of between 25,000 square feet and 74,999 square feet, then forty-five percent (45%) of the Lot.
 - (c) If all buildings on the Lot contain an aggregate Gross Floor Area of between 75,000 square feet and 150,000 square feet, then fifty-five percent (55%) of the Lot.
 - (d) If all buildings on the Lot contain an aggregate Gross Floor Area in excess of 150,000 square feet, sixty-five percent (65%) of the Lot.
- iii) Loading Berth Requirements: Shall be as specified in the underlying Zoning District, except that no loading or unloading berth or bay may be visible from US Highway 31; elsewhere in the development, such bays shall be completely screened by landscaping or other screening.
- iv) Landscaping: That portion of the Front Yard between the Front Lot Line and a line which is thirty (30) feet ("Greenbelt Distance") from and parallel to the Front Lot Line shall be landscaped in accordance with Article 6.8 Landscaping Standards and shall be unoccupied except by steps, walks, terraces, access driveways, lamp posts, signs and other similar structures (excluding a private Parking Area) permitted by this Ordinance to be placed in a Front Yard. Where access to the Lot is by way of a Frontage Road which is between the Lot and the US Highway 31, then the Greenbelt Distance shall be reduced by one-half (0.5) of the width of such Frontage Road; provided, however, that the Greenbelt Distance shall in no event be less than fifteen (15) feet. Inclusive of this landscaped portion of the Front Yard, a minimum of twenty percent (20%) of the Lot surface area shall be landscaped.

- v) Outside Storage of Refuse: No outside, unenclosed storage of refuse shall be permitted on any Lot. All refuse shall be contained in completely enclosed facilities; no refuse containers or enclosures shall be visible from US Highway 31.
 - vi) Utility Screening: All heating, ventilating, communication and like equipment for any facility shall be completely screened from view in a manner that is homogenous with the balance of the building.
 - vii) Architecture: In addition to any provisions that apply to the underlying Zoning District, the architectural plan of any building proposed to be built in the US31 Overlay must exhibit pleasing scale and proportion and demonstrate compatibility with other buildings and structures in the same and adjacent developments. A minimum of three (3) materials shall be used for building exteriors, and must include stone or brick. Buildings shall be designed with a minimum of eight (8) external corners to eliminate box buildings. Sloped roofs of one hundred (100) feet or more must include a gable, dormer or other change in roof plane.
- 52) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 53) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply, as applicable to a Primary Plat and Overall Development Plan.

54) Architectural Standards (Article 6.3)

55) Building Standards (Article 6.4)



56) Fence Standards (Article 6.5)

57) Height Standards (Article 6.6)

58) Landscaping Standards (Article 6.8)

a) Preservation and Replacement of Trees:

- i) Tree Inventory: Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees in accordance with this Article. Tree inventories shall be required for those trees that are required by an ordinance or commitments to be preserved or that are to otherwise be credited pursuant to this Chapter. Tree inventories shall depict locations, sizes, and common names of existing trees and individual shrubs; areas containing dense trees or shrubs; and other natural site features.
- ii) Tree Preservation Plans: Tree preservation plans shall be submitted with site plans that detail locations, sizes, and common names of preserved trees; individual shrubs; areas of dense tree or shrub concentrations, and other natural features which are to be preserved or removed. No disturbance shall be permitted in the Critical Root Zones of preserved trees. Disturbances include trenching, backfilling, driving or parking equipment, and dumping trash, oil, paint, or other materials detrimental to plant health.
- iii) Tree Preservation Easement: A tree preservation easement (see Article 8.3 Easement Standards) shall be required for trees identified for preservation and that are not otherwise protected by a landscape easement.

b) Street Trees:

c) Minimum Lot Landscaping Requirements:

d) Foundation Plantings:

e) External Street Frontage Landscaping Requirements:

f) Buffer Yard Requirements:

g) Parking Area Landscaping:

59) Lighting Standards (Article 6.9)

60) Lot Standards (Article 6.10)



- 61) Outside Storage and Display (Article 6.12)
 - 62) Outdoor Café and Eating Areas (Article 6.13)
 - 63) Parking and Loading Standards (Article 6.14)
 - 64) Setback Standards (Article 6.16)
 - 65) Sign Standards (Article 6.17)
 - 66) Vision Clearance Standards (Article 6.19)
 - 67) Yard Standards (Article 6.21)
-

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 68) Block Standards (Article 8.1)
- 69) Easement Standards (Article 8.3)
 - a) Tree Preservation Easement: When a Secondary Plat is being recorded and an easement is required or proposed for tree preservation, then an Applicant shall record an easement, or an Applicant may forego a separate easement instrument in favor of bringing an easement certificate on the plat, of which shall include:
 - i) Tree Preservation Easement Certificate: There are shown on this instrument an area(s) designated as 'Tree Preservation Easements' or abbreviated as 'T.P.E.'. Such easement(s) shall be regulated and maintained in accordance with the following:
 - ii) Permitted Activities: The following activities shall be permitted: (a) Removal of invasive species (e.g., bush honeysuckle), where appropriate, including the use of professionals to apply herbicides or identify and remove such invasive species; (b) Removal of an overabundance of combustible material (e.g., dead, fallen trees, and leaves); (c) Removal of vines growing on and up a tree; (d) Removal of hazardous, exotic and invasive species and/or dead, hazardous and at risk trees; (e) Planting of native trees; (f) Removal of trees directed to be removed by municipal, County, State or federal agencies or departments or by a public utility; (g) Installation of minor improvements such as identification signs; provided such are designed and installed in

a manner that does not remove or damage any trees to the greatest extent possible; and (h) Installation, mowing, and maintenance of access easements, paved or unpaved trails, or utility and drainage improvements; provided, however, that any such improvements and easements shall be as narrow or small as reasonably possible with no blanket easements.

- iii) Prohibited Activities: The following activities shall be prohibited: (a) Mowing any portion of existing, naturally vegetated areas; (b) Dumping of leaves or other debris; (c) Seeding, including grass seed, prairie mix seed, sod or the planting of any type of vegetable garden; (d) The construction of permanent structural improvements including, but not limited to: pools, sheds, garages, fences, playground equipment, tree houses, fire pits, and other permanent or semi-permanent structures; and (e) Active recreational activities that adversely impact the natural characteristics of the preservation area, including, but not limited to the placement of playground equipment, paving for basketball or tennis courts or swimming pools.
- iv) Required Activities: The following shall be required: (a) All maintenance activity shall be completed in accordance with industry standards using the latest ANSI Z133.1 and A-300 approved practices and methods; (b) Signs identifying a "Tree Preservation Area" shall be posted every one-thousand (1,000) feet near the perimeter of all Tree Preservation Easements. Such signs shall state "Natural Preservation Area. No mowing or spraying. Restricted Area."; and (c) Any person or entity causing damage or destruction or that violates the provisions of this easement shall be responsible to replace removed or damaged trees with trees (a minimum of three (3) inches in caliper) of an equivalent caliper to the removed or damaged vegetation, and to return the damaged areas of the easement to its original natural state.

70) Monument and Marker Standards (Article 8.5)

71) Open Space and Amenity Standards (Article 8.6)

72) Pedestrian Network Standards (Article 8.7)

73) Storm Water Standards (Article 8.8)

74) Street and Right-of-Way Standards (Article 8.9)

75) Street Light Standards (Article 8.10)

76) Street Sign Standards (Article 8.11)

77) Surety Standards (Article 8.12)



78) Utility Standards (Article 8.13)

DEPARTMENT COMMENTS

- 1) **Action: 2008-ODP-12 (Overall Development Plan) & 2008-SPP-12 (Primary Plat) comply with the UDO. The Department recommends approving the petition with the following condition:**
 - a. **All necessary approvals be obtained from the Westfield Public Works Department and the Hamilton County Surveyor's Office prior to the issuance of an Improvement Location Permit.**
- 2) If any Plan Commission member has questions prior to the public hearings, then please contact Caleb Ernest at 317-519-8630 or cernest@westfield.in.gov.



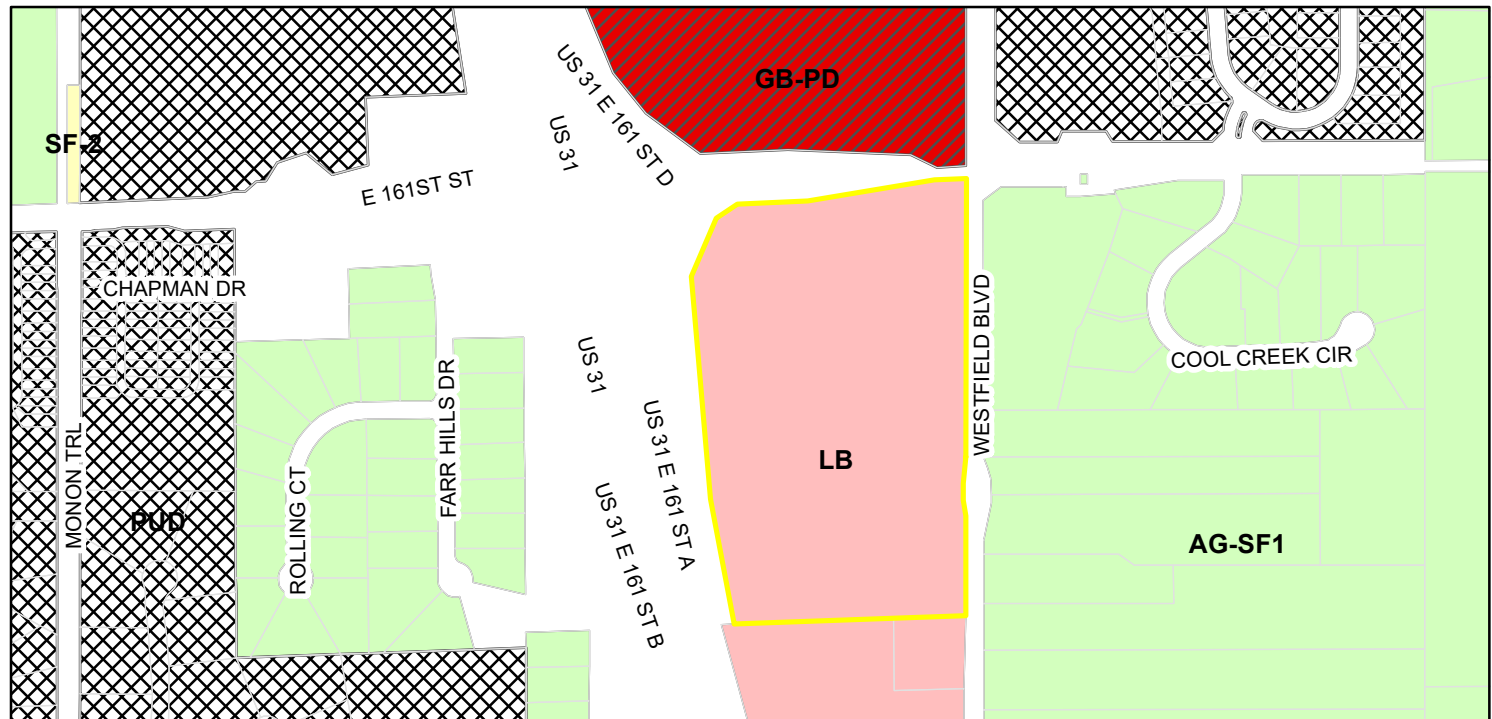
Property Location Map
SEP
Overall Development Plan & Primary Plat
2008-ODP-12 & 2008-SPP-12



Aerial Location Map



Zoning Map



Zoning

AG-SF1 (Agriculture - Single Family - 1)

GB-PD (General Business - Planned Development)

LB (Local Business)

PUD (Planned Unit Development)

SF-2 (Single Family - 2)

OVERALL DEVELOPMENT PLAN

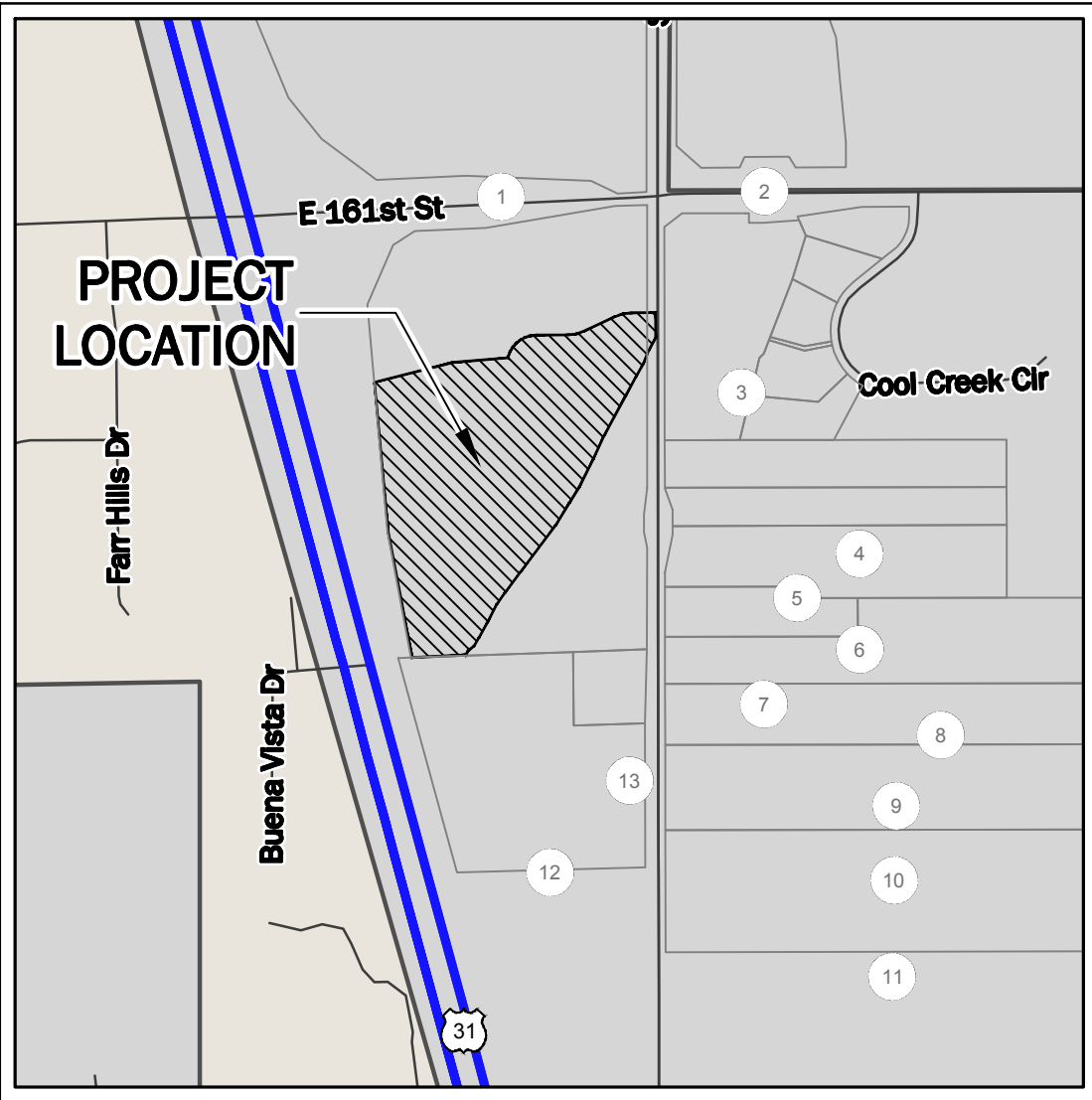
SEP SUBDIVISION
16080 WESTFIELD BLVD, CARMEL, IN 46032

ADJACENT ZONING
GB-PD

NE Cor. SE 1/4
Sec. 12, T18N, R3E, 2nd PM
Harrison Monument Found
(P.O.B. Subject Parcel)



0' 80' 160'
SCALE: 1"=80'



VICINITY MAP

NOT TO SCALE



ADJACENT ZONING
AG - SF1

ADJACENT ZONING
AG - SF1

ADJACENT ZONING - LB

ADJACENT ZONING - LB

LEGAL DESCRIPTION

Part of the East Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East in Hamilton County, Indiana, being more particularly described as follows:
Beginning at the Northeast corner of the Southeast Quarter of said Section; running thence South on and along the East line thereof 1255.05 feet (1262.25 feet by deed); thence West 847.61 feet to a point in the center line of new U.S. Highway No. 31; thence in a Northwesterly direction on and along said center line 1291.70 feet to a point on the North line of said East One-Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East; thence East on and along the North line of said East Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East 1178.20 feet to the place of beginning.

Excepting therefrom the following:
Commencing at the Northeast corner of said Quarter; thence South 00 degrees 00 minutes 00 seconds West (assumed bearing) along the East line of said Quarter 745.52 feet to the Point of Beginning of this description; thence continuing South 00 degrees 00 minutes 00 seconds West along said East line 300.00 feet to a point; thence South 90 degrees 00 minutes 00 seconds West 16.50 feet to a point; thence North 10 degrees 28 minutes 52 seconds West 101.70 feet to a point; thence North 00 degrees 00 minutes 00 seconds East 50.00 feet to a point; thence North 7 degrees 01 minute 52 seconds East 151.14 feet to a point; thence North 90 degrees 00 minutes 00 seconds East 16.50 feet to the Point of Beginning and containing 0.188 acres, more or less.

Also excepting therefrom the following:
Part of the Southeast Quarter of Section 12, Township 18 North, Range 3 East in Washington Township, Hamilton County, Indiana, and being that part of the grantors' land lying within the right of way lines depicted on the attached Right of Way Parcel Plat, marked Exhibit 'B', described as follows: Beginning at the Northeast corner of said quarter section; thence South 0 degrees 14 minutes 56 seconds East 19.46 feet along the east line of said quarter section; thence South 87 degrees 54 minutes 07 seconds West 112.16 feet to point - 738' on said plat; thence South 80 degrees 25 minutes 57 seconds West 367.05 feet to point - 737' on said plat; thence South 87 degrees 26 minutes 14 seconds West 200.00 feet to point - 736' on said plat; thence South 58 degrees 48 minutes 10 seconds West 71.81 feet to point - 735' on said plat; thence South 23 degrees 23 minutes 52 seconds West 181.80 feet to point - 734' on said plat; thence South 5 degrees 01 minute 59 seconds East 637.45 feet to point - 733' on said plat; thence South 10 degrees 35 minutes 24 seconds East 360.38 feet to the south line of said grantors' land; thence South 87 degrees 32 minutes 34 seconds West 65.54 feet along said line to the east boundary of U.S. 31; thence North 15 degrees 10 minutes 51 seconds West 952.85 feet along said boundary; thence North 10 degrees 16 minutes 56 seconds West 175.64 feet along said boundary; thence North 48 degrees 07 minutes 07 seconds East 212.98 feet along said boundary to the south boundary of 161st Street; thence North 0 degrees 16 minutes 35 seconds West 14.23 feet to the North line of said quarter section; thence North 87 degrees 33 minutes 40 seconds East 877.61 feet along said line to the point of beginning, containing 5.038 acres more or less, inclusive of the presently existing right of way for 161st Street which contains 0.339 acres more or less.

TOGETHER with the permanent extinguishment of all rights and easements of ingress and egress to, from, and across the limited access facility (to be known as U.S. 31 and as Project 0701215), to and from the grantors' abutting lands, along the lines described as follows: Beginning at point 737' on said plat; thence along the 200.00-foot course, the 71.81-foot course, the 181.80-foot course, the 637.45-foot course, the 360.38-foot course and the eastern 35.62 feet of the 65.54-foot course and terminating on the south line of said grantors' land; this restriction shall be a covenant running with the land and shall be binding on all successors in title to the said abutting lands.

EXISTING LEGEND

- Curb Inlet
- Fire Hydrant
- Inlet
- Mailbox
- Light Pole
- Right Of Way Monument
- Sign
- Sanitary Manhole
- Temporary Bench Mark
- Test Hole
- Telephone Handhole
- Telephone Pedestal
- Traffic Pole
- Water Manhole
- Water Valve
- Overhead Traffic Line
- Buried Water Line

SITE LEGEND

- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- ASPHALT PATH
- TREE PRESERVATION EASEMENT

SITE DATA TABLE

SITE ZONING:	LB
PROJECT AREA:	20.85± ACRES
BUILDING AREA - FOOTPRINT:	23,025 SF
BUILDING AREA - TOTAL:	70,000 SF
SITE IMPERVIOUS AREA:	4.45± ACRES
NUMBER OF LOTS:	1
LOT 1 AREA:	908,225± SFT
STANDARD PARKING (9.5'x18')	194
ADA PARKING PROVIDED:	6
(INCLUDES 6 VAN ACCESSIBLE)	
TOTAL PROPOSED PARKING:	200
FUTURE PARKING (9.5' x 18')	83

ADJACENT LAND ZONING
North: GB - PD
East: AG - SF1
South: LB
West: US 31

- NOTES:
- All utility appliances are to be screened.
 - All street trees are to match the current City of Westfield Master Tree List.
 - There shall be no trees within 10 feet of any storm sewer including SSD.
 - Street Trees shall not be within 4 feet of any pavement.

!! CAUTION !!
THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.
CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

OVERALL DEVELOPMENT PLAN

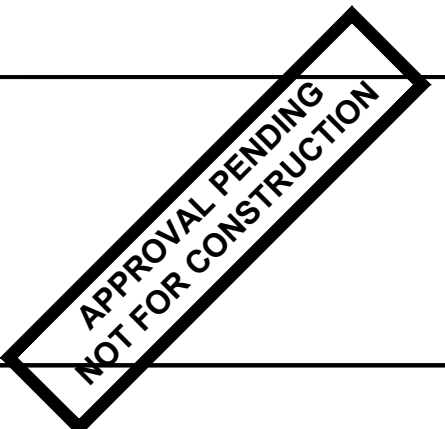
Corporate HQ
Westfield, IN | 07 August 2020

2020015

DRAWING FILE: P:\2020\002820 Drawings\Civil\Exhibits\2020-08-11 - Overall Development Plan\2020-00282 CE C200 OSP.dwg

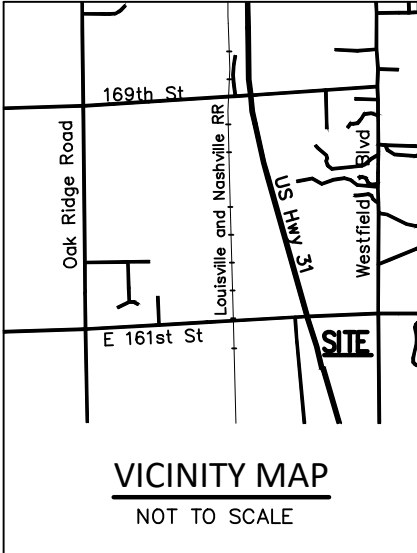
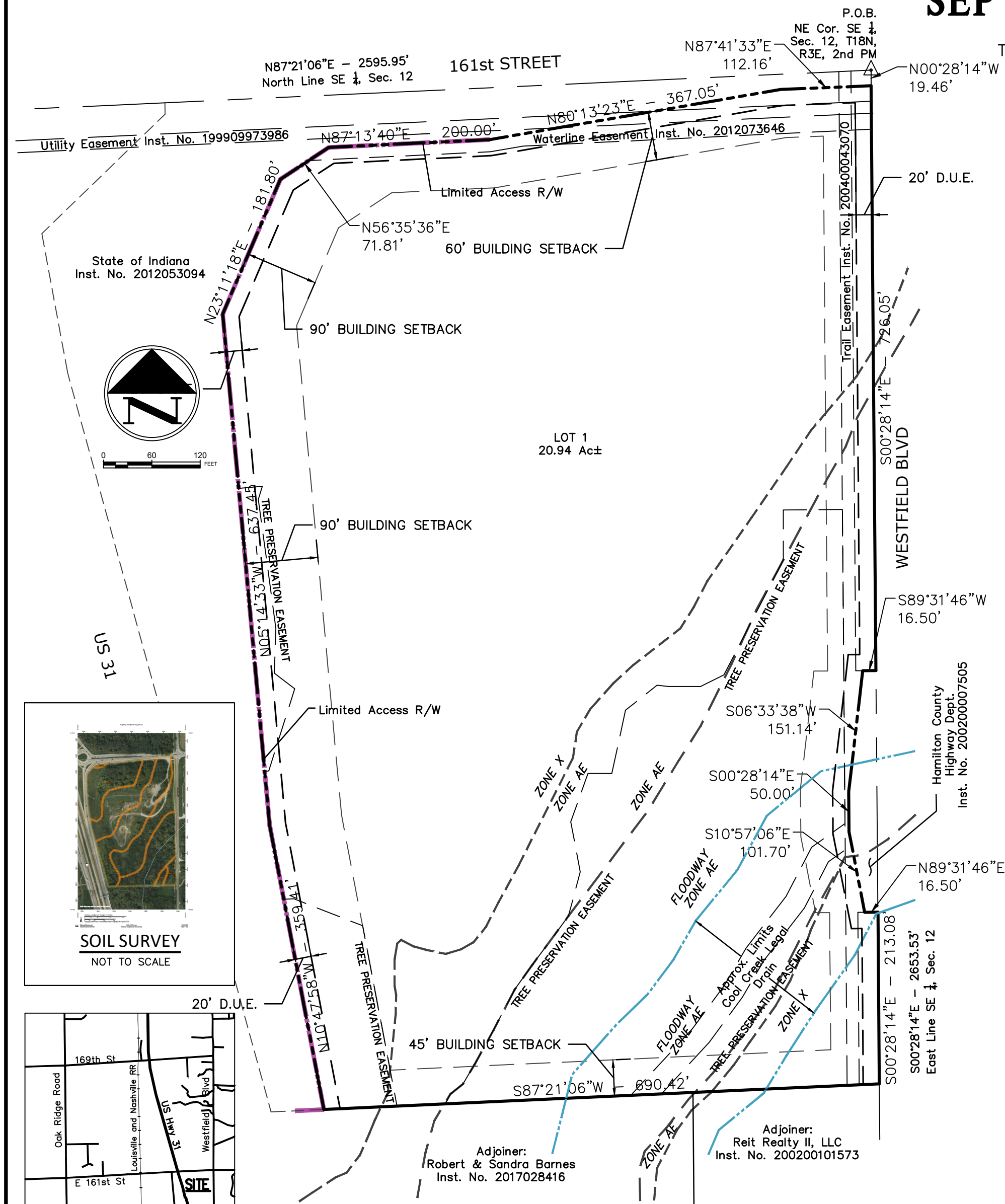
EDITED BY: INHORGAN

PLOT DATE: 8/12/2020 9:40 AM
PLOT SCALE: 1"=80'



SEP SUBDIVISION-PRIMARY PLAT

PART OF THE S.E. ¼ OF SECTION 12
T18N, R3E, CITY OF WESTFIELD, HAMILTON COUNTY, INDIANA



OWNER:
161st & 31 Associates, LLP

DEVELOPER:
Pure Development
815 E. 65th Street
Indianapolis, IN 46220

LAND SURVEYOR:
Tracy L. McGill
American Structurepoint, INC.
9025 River Road, Suite 200
Indianapolis, IN 46240
317-547-5580
tmcgill@structurepoint.com

- NOTES:
- All street trees are to match the current City of Westfield Master Tree List.
 - There shall be no trees within 10 of any storm sewer including SSD.
 - Street Trees shall not be within 4 feet of any pavement

LOT TABLE	
NUMBER OF LOTS:	1
SF OF LOT:	±912,146 SF

I, Tracy L. McGill affirm under penalties for perjury, that I have taken reasonable care to redact each Social Security number in this document, unless required by law.

LAND DESCRIPTION
Part of the East Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East in Hamilton County, Indiana, being more particularly described as follows:
Beginning at the Northeast corner of the Southeast Quarter of said Section; running thence South on and along the East line thereof 1255.05 feet (1262.25 feet by deed); thence West 847.61 feet to a point in the center line of new U.S. Highway No. 31; thence in a Northwesterly direction on and along said center line 1291.70 feet to a point on the North line of said East One-Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East; thence East on and along the North line of said East Half of the Southeast Quarter of Section 12, Township 18 North, Range 3 East 1178.20 feet to the place of beginning.

Excepting therefrom the following:
Commencing at the Northeast corner of said Quarter; thence South 00 degrees 00 minutes 00 seconds West (assumed bearing) along the East line of said Quarter 745.52 feet to the Point of Beginning of this description; thence continuing South 00 degrees 00 minutes 00 seconds West along said East line 300.00 feet to a point; thence South 90 degrees 00 minutes 00 seconds West 16.50 feet to a point; thence North 10 degrees 28 minutes 52 seconds West 101.70 feet to a point; thence North 00 degrees 00 minutes 00 seconds East 50.00 feet to a point; thence North 7 degrees 01 minute 52 seconds East 151.14 feet to a point; thence North 90 degrees 00 minutes 00 seconds East 16.50 feet to the Point of Beginning and containing 0.188 acres, more or less.

Also excepting therefrom the following:
Part of the Southeast Quarter of Section 12, Township 18 North, Range 3 East in Washington Township, Hamilton County, Indiana, and being that part of the grantors' land lying within the right of way lines depicted on the attached Right of Way Parcel Plat, marked Exhibit "B", described as follows: Beginning at the Northeast corner of said quarter section; thence South 0 degrees 14 minutes 56 seconds East 19.46 feet along the east line of said quarter section; thence South 87 degrees 54 minutes 07 seconds West 112.16 feet to point "738" on said plat; thence South 80 degrees 25 minutes 57 seconds West 367.05 feet to point "737" on said plat; thence South 87 degrees 26 minutes 14 seconds West 200.00 feet to point "736" on said plat; thence South 56 degrees 48 minutes 10 seconds West 71.81 feet to point "735" on said plat; thence South 23 degrees 23 minutes 52 seconds West 181.80 feet to point "734" on said plat; thence South 5 degrees 01 minute 59 seconds East 637.45 feet to point "733" on said plat; thence South 10 degrees 35 minutes 24 seconds East 360.38 feet to the south line of said grantors' land; thence South 87 degrees 32 minutes 34 seconds West 65.54 feet along said line to the east boundary of U.S. 31; thence North 15 degrees 10 minutes 51 seconds West 952.95 feet along said boundary; thence North 10 degrees 16 minutes 56 seconds West 175.64 feet along said boundary; thence North 46 degrees 07 minutes 07 seconds East 212.98 feet along said boundary to the south boundary of 161st Street; thence North 0 degrees 16 minutes 35 seconds West 14.23 feet to the North line of said quarter section; thence North 87 degrees 33 minutes 40 seconds East 877.61 feet along said line to the point of beginning, containing 5.038 acres more or less, inclusive of the presently existing right of way for 161st Street which contains 0.339 acres more or less.

TOGETHER with the permanent extinguishment of all rights and easements of ingress and egress to, from, and across the limited access facility (to be known as U.S. 31 and as Project 0710215), to and from the grantors' abutting lands, along the lines described as follows: Beginning at point "737" on said plat; thence along the 200.00-foot course, the 71.81-foot course, the 181.80-foot course, the 637.45-foot course, the 360.38-foot course and the eastern 35.82 feet of the 65.54-foot course and terminating on the south line of said grantors' land. This restriction shall be a covenant running with the land and shall be binding on all successors in title to the said abutting lands.

THE ABOVE PARCEL ALSO DESCRIBED AS FOLLOWS:
A part of the Southeast Quarter of Section 12, Township 18 North, Range 3 East, Hamilton County, Indiana, described as follows: Commencing at the northeast corner of said quarter section: thence South 0 degrees 28 minutes 14 seconds East 19.46 feet along the east line of said quarter section to the point of beginning of this description:

thence continuing along said east line, South 0 degrees 28 minutes 14 seconds East 726.05 feet to the northeast corner of that 0.188 acre parcel described in the Warranty Deed recorded as Instrument Number 200200007505; thence along the boundary of said 0.188 acre parcel the following five (5) courses: 1) South 89 degrees 31 minutes 46 seconds West 16.50 feet; 2) South 6 degrees 33 minutes 38 seconds West 151.14 feet; 3) South 0 degrees 28 minutes 14 seconds East 50.00 feet; 4) South 10 degrees 57 minutes 6 seconds East 101.70 feet; 5) North 89 degrees 31 minutes 46 seconds East 16.50 feet to the east line of said quarter section; thence South 0 degrees 28 minutes 14 seconds East 213.08 feet to the southeast corner of that parcel of land described in the Quitclaim Deed recorded as Instrument Number 2012044611; thence South 87 degrees 21 minutes 6 seconds West 690.42 feet along said parcel to an eastern boundary of that 5.038 acre parcel described in the Warranty Deed recorded as Instrument Number 2012053094; thence along the boundary of said 5.038 acre parcel the following seven (7) courses: 1) North 10 degrees 47 minutes 58 seconds West 359.41 feet; 2) North 5 degrees 14 minutes 33 seconds West 637.45 feet; 3) North 23 degrees 11 minutes 18 seconds East 181.80 feet; 4) North 56 degrees 35 minutes 36 seconds East 71.81 feet; 5) North 87 degrees 13 minutes 40 seconds East 200.00 feet; 6) North 80 degrees 13 minutes 23 seconds East 367.05 feet; 7) North 87 degrees 41 minutes 33 seconds East 112.16 feet to the point of beginning and containing 20.942 acres, more or less.



AMERICAN
STRUCTUREPOINT
INC.

SHEET 1 of 1

9025 River Road, Suite 200
INDIANAPOLIS, IN 46240
TEL 317.547.5580 FAX 317.543.0270
www.structurepoint.com

DATE: 08/07/2020



Petition Number: 2008-ODP-13 & 2008-SPP-13
Project Name: Citizens Storage Building
Subject Site Address: 3511 W. 166th Street (the “Property”)
Petitioner: Citizens Energy Group
Representative: Citizens Energy Group
Request: Overall Development Plan & Primary Plat review of 1 lot on 40.11 acres +/- in the AG-SF1: Agriculture / Single-family Rural District.
Current Zoning: AG-SF1 District
Current Land Use: Utilities
Approximate Acreage: 40.11 acres +/-
Property History: 07-IAD-001-380 (Industrial Addition, 2007)
Ordinance 14-04 (Annexation, 2014)
Detailed Development Plan (2006-DDP-12, *pending*)
Secondary Plat (2008-SFP-43, *pending*)
Variance of Development Standard ([2008-VS-18](#))
Staff Reviewer: Caleb Ernest, Associate Planner

BACKGROUND

The Property is currently zoned the AG-SF1 District.

In 2007, an Improvement Location Permit was submitted and approved for an industrial addition (07-IAD-001-380). In April of 2014 the Property was annexed into the City of Westfield (Ord. 14-04). Detailed Development Plan (2006-DDP-12) and Secondary Plat (2008-SFP-43) are currently being reviewed for compliance. A Variance of Development Standard ([2008-VS-18](#)) to reduce the Minimum Lot Frontage and to bring the site into full compliance was approved at the August 11, 2020, Board of Zoning Appeals Meeting.

The comments contained herein are in review of the filed Overall Development Plan and Primary Plat scheduled for the July 21, 2020, Technical Advisory Committee meeting.

PROCEDURAL



Approval of an Overall Development Plan and Primary Plat must be granted if the submitted plans demonstrate compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

The petition was reviewed by the Technical Advisory Committee at its July 21, 2020, meeting. This petition has been properly noticed for a public hearing at the Plan Commission's August 3, 2020, meeting.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised secondary plat has been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
- 4) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office

PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)

The plans comply.

- 5) Proposed name of subdivision.
- 6) Names and addresses of the owner, owners, land surveyor or land planner.
- 7) Title, scale, north arrow and date.
- 8) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.



- 9) Easements (locations, widths and purposes). (Article 8.3)
- 10) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 11) Layout of Lots (showing dimensions, numbers and square footage). (Article 4.5)
- 12) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 13) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 14) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 15) Building setback lines. (Article 4.23 & Article 5.3(G))
- 16) Legend and notes.
- 17) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 18) Other features or conditions which would affect the subdivision favorable or adversely.
- 19) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 20) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 21) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
- 22) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 23) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.



24) Misc.

OVERALL DEVELOPMENT PLAN (Article 10.7 of the UDO)

The plans comply.

25) Title, scale, north arrow and date.

26) Proposed name of the development.

27) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.

28) Address and legal description of the property.

29) Boundary lines of the property including all dimensions.

30) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.

31) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.

32) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.

33) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.

34) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.

35) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.

36) Location and dimensions of all existing structures and paved areas.



- 37) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 38) Location of all Floodplain areas within the boundaries of the property.
 - 39) Names of legal ditches and streams on or adjacent to the site.
 - 40) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 41) Identify buildings proposed for demolition.
 - 42) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 43) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
-

DISTRICT STANDARDS

The plans comply with Article 4.2 (AG-SF1 District), except for those items identified as outstanding below.

- 44) Minimum Lot Area: Three (3) acres
- 45) Minimum Lot Frontage: 50 feet*

Comment: Variance of Development Standard (2008-VS-18) approved at August 11, 2020, Board of Zoning Appeals meeting, reduced the Minimum Lot Frontage.

- 46) Minimum Building Setback Line:
 - a) Front Yard:
 - i) Expressways/Arterials: 100 feet
 - ii) On all other Streets: 80 feet
 - b) Side and Rear Yard: 30 feet



- 47) Minimum Lot Width: 100 feet
- 48) Maximum Building Height: Two and one-half (2 ½) stories
- 49) Minimum Living Area (Ground Floor):
- a) Single-story: 1,350 square feet
 - b) All others: 800 square feet
-

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

Development Plans comply.

- 50) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 51) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 52) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 53) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.
-



DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply, as applicable to a Primary Plat and Overall Development Plan.

54) Architectural Standards (Article 6.3)

55) Building Standards (Article 6.4)

56) Fence Standards (Article 6.5)

57) Height Standards (Article 6.6)

58) Landscaping Standards (Article 6.8)

- a) Preservation and Replacement of Trees:
- b) Minimum Lot Landscaping Requirements:
- c) Foundation Plantings:
- d) External Street Frontage Landscaping Requirements:
- e) Buffer Yard Requirements:
- f) Parking Area Landscaping:

59) Lighting Standards (Article 6.9)

60) Lot Standards (Article 6.10)

61) Setback Standards (Article 6.16)

62) Vision Clearance Standards (Article 6.19)

63) Yard Standards (Article 6.21)



DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 64) Block Standards (Article 8.1)
- 65) Easement Standards (Article 8.3)
- 66) Monument and Marker Standards (Article 8.5)
- 67) Open Space and Amenity Standards (Article 8.6)
- 68) Pedestrian Network Standards (Article 8.7)
- 69) Storm Water Standards (Article 8.8)
- 70) Street and Right-of-Way Standards (Article 8.9)
- 71) Street Light Standards (Article 8.10)
- 72) Street Sign Standards (Article 8.11)
- 73) Surety Standards (Article 8.12)
- 74) Utility Standards (Article 8.13)

DEPARTMENT COMMENTS

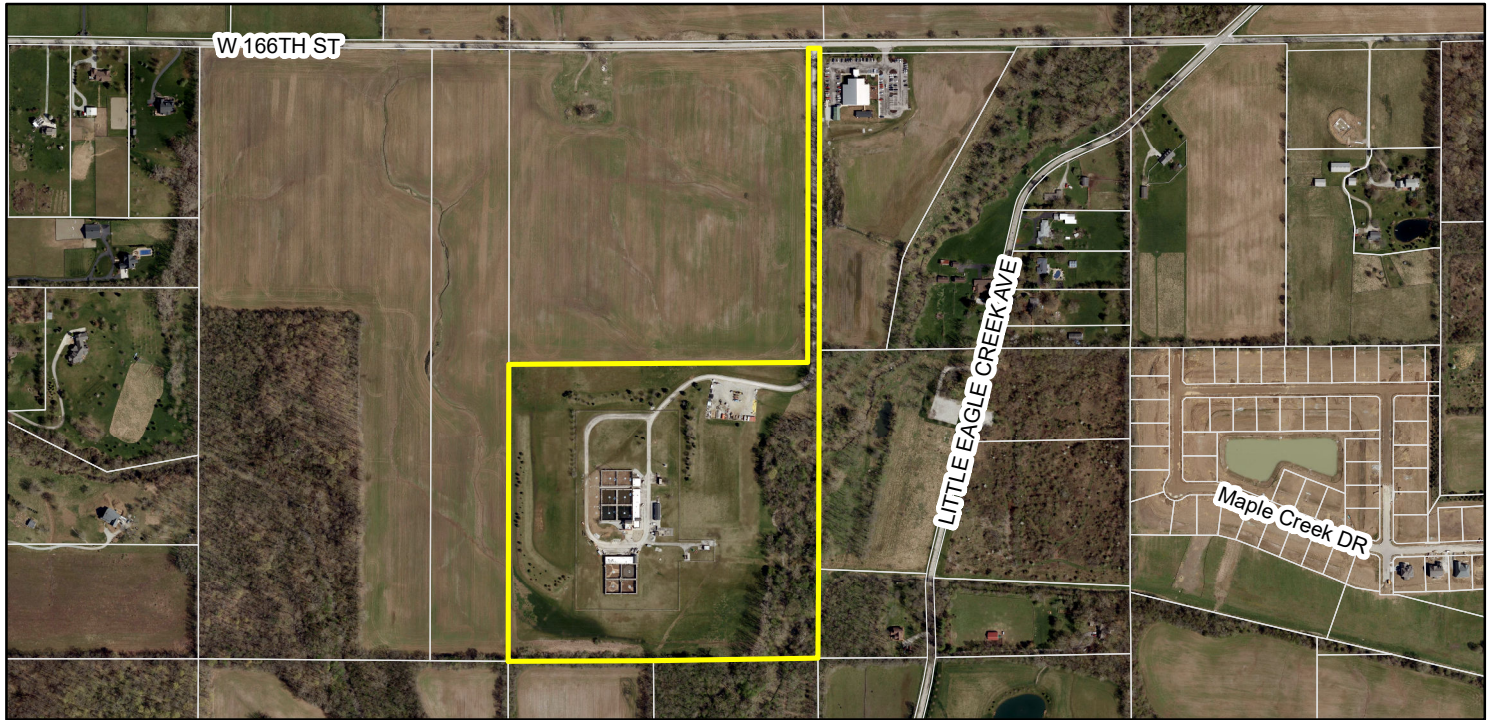
- 1) **Action: 2008-ODP-13 (Overall Development Plan) & 2008-SPP-13 (Primary Plat) comply with the UDO. The Department recommends approving the petition with the following condition:**
 - a. **All necessary approvals be obtained from the Westfield Public Works Department and the Hamilton County Surveyor's Office prior to the issuance of an Improvement Location Permit.**
- 2) If any Plan Commission member has questions prior to the public hearings, then please contact Caleb Ernest at 317-519-8630 or cernest@westfield.in.gov.



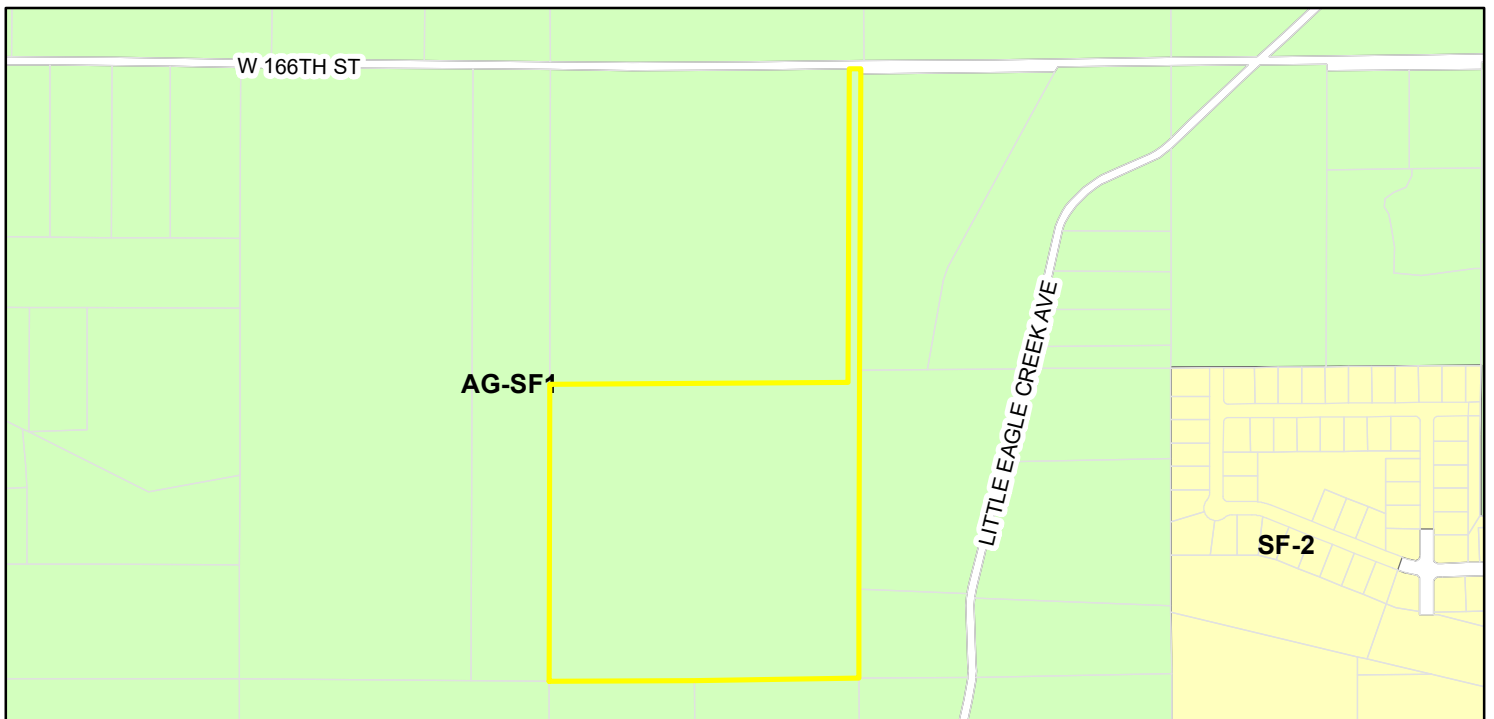
Property Location Map
Citizens Westfield
2008-ODP-13 & 2008-SPP-13



Aerial Location Map

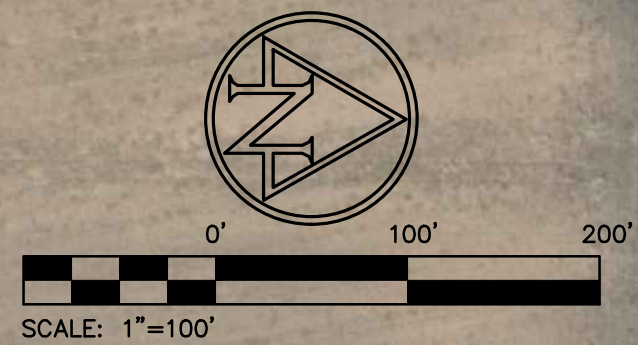
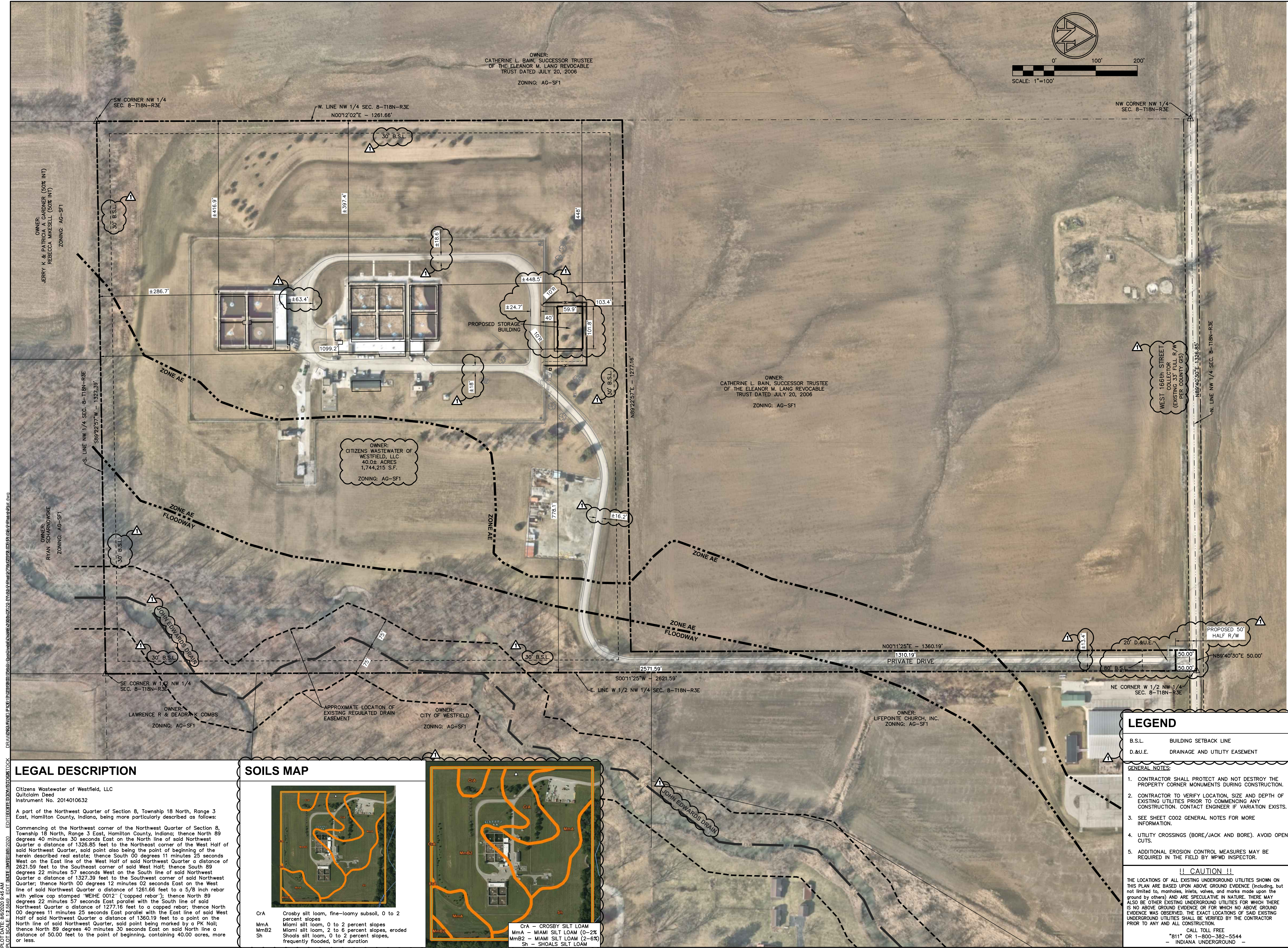


Zoning Map



Zoning

- AG-SF1 (Agriculture - Single Family - 1)
- SF-2 (Single Family - 2)

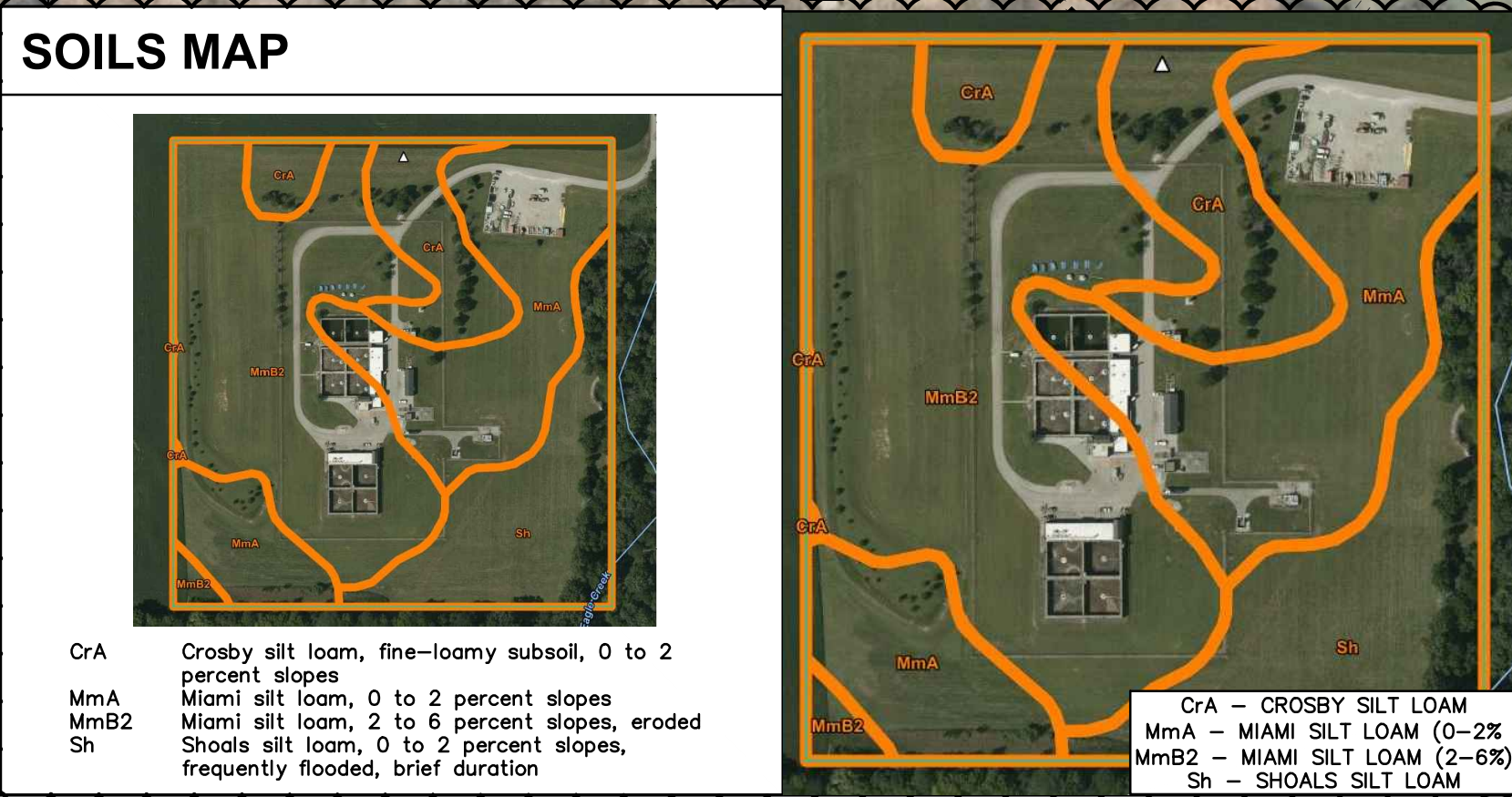


LEGAL DESCRIPTION

Citizens Wastewater of Westfield, LLC
Quitclaim Deed
Instrument No. 2014010632

A part of the Northwest Quarter of Section 8, Township 18 North, Range 3 East, Hamilton County, Indiana, being more particularly described as follows:

Commencing at the Northwest corner of the Northwest Quarter of Section 8, Township 18 North, Range 3 East, Hamilton County, Indiana; thence North 89 degrees 40 minutes 30 seconds East on the North line of said Northwest Quarter a distance of 1326.85 feet to the Northeast corner of the West Half of said Northwest Quarter, said point also being the point of beginning of the herein described real estate; thence South 00 degrees 11 minutes 25 seconds West on the East line of the West Half of said Northwest Quarter a distance of 2621.59 feet to the Southeast corner of said West Half; thence South 89 degrees 22 minutes 57 seconds West on the South line of said Northwest Quarter a distance of 1327.39 feet to the Southwest corner of said Northwest Quarter; thence North 00 degrees 12 minutes 02 seconds East on the West line of said Northwest Quarter a distance of 1261.66 feet to a 5/8 inch rebar with yellow cap stamped "WCHS 0012" (capped rebar); thence North 89 degrees 22 minutes 57 seconds East parallel with the South line of said Northwest Quarter a distance of 1277.16 feet to a capped rebar; thence North 00 degrees 11 minutes 25 seconds East parallel with the East line of said West Half of said Northwest Quarter a distance of 1360.19 feet to a point on the North line of said Northwest Quarter, said point being marked by a PK Nail; thence North 89 degrees 40 minutes 30 seconds East on said North line a distance of 50.00 feet to the point of beginning, containing 40.00 acres, more or less.



LEGEND

B.S.L. BUILDING SETBACK LINE
D.&U.E. DRAINAGE AND UTILITY EASEMENT

GENERAL NOTES:

- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
- CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.
- UTILITY CROSSINGS (BORE/JACK AND BORE). AVOID OPEN CUTS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY WPMV INSPECTOR.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

Architect
Mitsch Design
200 S. Rangeline Road
Suite 226
Carmel, Indiana 46032
317.573.2222

Owner
Citizens Wastewater of Westfield
2020 N. Meridian Street
Indianapolis, Indiana 46202
317.693.8808
Jason Dillon
jdillon@citizensenergygroup.com

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CONTACT: TYLER COMSTOCK
PHONE: 317-547-5580
EMAIL: TCOMSTOCK@STRUCTUREPOINT.COM

CITIZENS TREATMENT FACILITY

3511 W. 166th Street
Westfield, Indiana 46074

CERTIFIED BY
Tyler M. Comstock

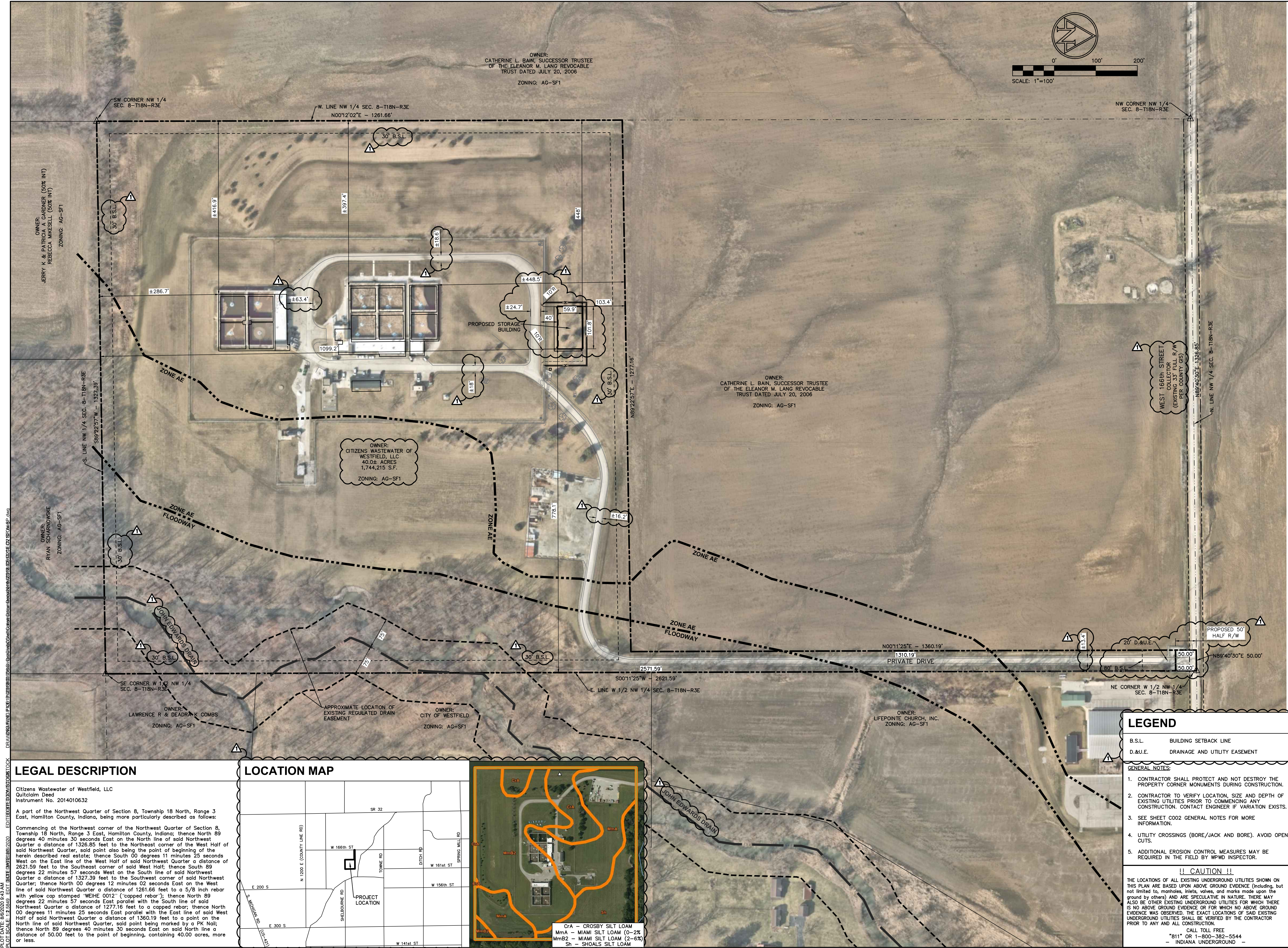
ISSUANCE INDEX		
DATE:	07/21/2020	
PROJECT PHASE:	CONSTRUCTION DOCUMENTS	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	City Comments	07/22/20

Project Number 2019.00958

PRIMARY PLAT

SPP



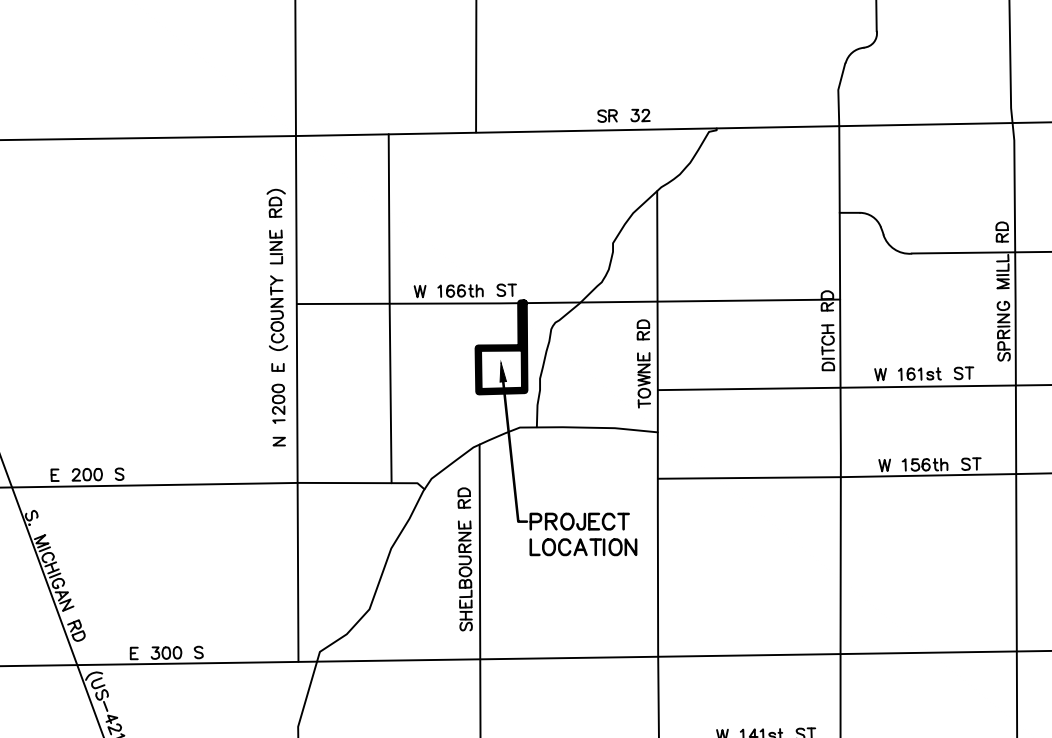
LEGAL DESCRIPTION

Citizens Wastewater of Westfield, LLC
Quitclaim Deed
Instrument No. 2014010632

A part of the Northwest Quarter of Section 8, Township 18 North, Range 3 East, Hamilton County, Indiana, being more particularly described as follows:

Commencing at the Northwest corner of the Northwest Quarter of Section 8, Township 18 North, Range 3 East, Hamilton County, Indiana; thence North 89 degrees 40 minutes 30 seconds East on the North line of said Northwest Quarter a distance of 1326.85 feet to the Northeast corner of the West Half of said Northwest Quarter, said point also being the point of beginning of the herein described real estate; thence South 00 degrees 11 minutes 25 seconds West on the East line of the West Half of said Northwest Quarter a distance of 2621.59 feet to the Southeast corner of said West Half; thence South 89 degrees 22 minutes 57 seconds West on the South line of said Northwest Quarter a distance of 1327.39 feet to the Southwest corner of said Northwest Quarter; thence North 00 degrees 12 minutes 02 seconds East on the West line of said Northwest Quarter a distance of 1261.66 feet to a 5/8 inch rebar with yellow cap stamped "WCHC 0012" ("capped rebar"); thence North 89 degrees 22 minutes 57 seconds East parallel with the South line of said Northwest Quarter a distance of 1277.16 feet to a capped rebar; thence North 00 degrees 11 minutes 25 seconds East parallel with the East line of said West Half of said Northwest Quarter a distance of 1360.19 feet to a point on the North line of said Northwest Quarter, said point being marked by a PK Nail; thence North 89 degrees 40 minutes 30 seconds East on said North line a distance of 50.00 feet to the point of beginning, containing 40.00 acres, more or less.

LOCATION MAP



LEGEND

- B.S.L. BUILDING SETBACK LINE
- D.&U.E. DRAINAGE AND UTILITY EASEMENT

GENERAL NOTES:

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- SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.
- UTILITY CROSSINGS (BORE/JACK AND BORE). AVOID OPEN CUTS.
- ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY WPWD INSPECTOR.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
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- INDIANA UNDERGROUND -

Architect
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200 S. Rangeline Road
Suite 226
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317.573.2222

Owner
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EMAIL: TCOMSTOCK@STRUCTUREPOINT.COM

CITIZENS TREATMENT FACILITY

3511 W. 166th Street
Westfield, Indiana 46074

TYLER M. COMSTOCK
REGISTERED
No. 11500688
STATE OF INDIANA
PROFESSIONAL ENGINEER

T.M. Comstock
CERTIFIED BY

ISSUANCE INDEX		
DATE:	07/21/2020	
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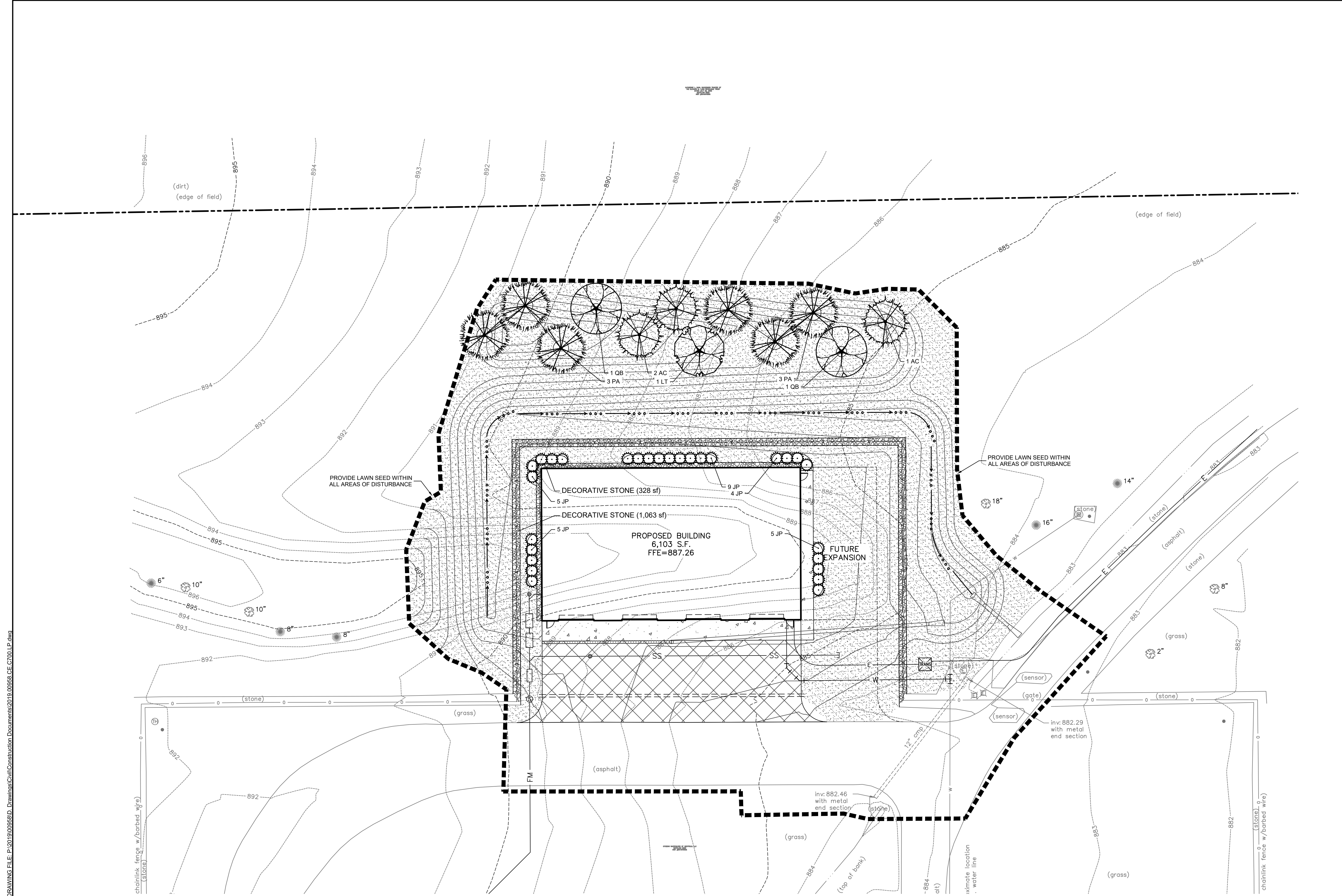
REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	City Comments	07/22/20

Project Number 2019.00958

OVERALL DEVELOPMENT PLAN

C210

DRAWING FILE: P:\001000058D - Drawings\Civil\Construction Documents\019 00958.CEE.C700.LP.dwg
EDIT DATE: 6/22/2020
PLOT DATE: 6/30/2020 2:24 PM
PLOT SCALE: 1:2.8849



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AC	3	Abies concolor / White Fir	B&B	6" Height	As Shown
LT	1	Liriodendron tulipifera / Tulip Tree	B&B	2" Cal.	As Shown
PA	6	Picea abies / Norway Spruce	B&B	6" Height	As Shown
QB	2	Quercus bicolor / Swamp White Oak	B&B	2" Cal.	As Shown
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
JP	28	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfitzer Juniper	CONT	3 GAL	5' O.C.

CONCEPT PLANT SCHEDULE

LAWN SEED- SUN AND PARTIAL SHADE MIX See general notes for additional lawn seed mixes and installation requirements.	22,528 sf
Festuca arundinacea / Tall Turf-Type Fescue	18,022 sf
Poa pratensis / Kentucky Bluegrass	4,506 sf
DECORATIVE STONE Decorative stone to match existing. Install over weed barrier fabric. Beds to be lined with 3/8" steel edging adjacent to turf.	1,391 sf

SITE LEGEND

	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STONE

ORDINANCE NOTES:

MECHANICAL / SERVICE / LOADING SCREENING:
Loading areas, docks, and maintenance areas shall be screened from residential uses or R.O.W.

MINIMUM LOT LANDSCAPING REQUIREMENTS
(Not required for AG/SF-1 Use)

FOUNDATION PLANTINGS:
1 Shrubs/Ornamental Tree per 12 LN FT of building façade

NORTH: 101.8 LN FT
REQUIRED: (8.5) Shrubs/Trees
PROVIDED: (9) Shrubs

EAST: 59.9 LN FT
REQUIRED: (4.9) Shrubs/Trees
PROVIDED: (5) Shrubs

SOUTH: 101.8 LN FT
REQUIRED: (8.5) Shrubs/Trees
PROVIDED: (9) Shrubs

WEST: 59.9 LN FT
REQUIRED: (4.9) Shrubs/Trees
PROVIDED: (5) Shrubs

BUFFERYARD REQUIREMENTS:
("AG-SF1" adjacent to "AG-SF1" requires no bufferyard planting)

PARKING REQUIREMENTS:
(No parking is provided in the new development, and no further requirements need to be met within the site.)

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
- A MINIMUM OF 4" OF TOPSOIL (± TOPSOIL ± MULCH AND SOIL CONDITIONER) SHALL BE PLACED ON ALL AREAS TO BE SEED, SODDED AND PLANTED. PLANTING SOIL MIX SHALL BE FREE FROM SUBSOIL, VEGETATION, WEEDS OR ANY EXTRANEOUS OR DELETERIOUS MATERIALS LARGER THAN 1". REMOVE ANY UNSUITABLE AND EXCESS TOPSOIL, AS DETERMINED BY SOILS ENGINEER, FROM THE SITE. FURNISH ANY ADDITIONAL TOPSOIL NEEDED AT NO ADDITIONAL COST. ADDED TOPSOIL SHALL BE INCORPORATED INTO EXISTING SOIL.
- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
- ALL PLANTING BEDS SHALL HAVE A 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. ALL PLANTING BEDS SHALL HAVE PRE-EMERGENT HERBICIDE APPLIED AS PER MANUFACTURERS RECOMMENDATION, AFTER INSTALLATION IS COMPLETE.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOODEN STAKE INDICATING VARIETY AND SIZE OF TREE.
- NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTORS OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERYMEN.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION AND AS DIRECTED BY OWNER.
- ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- ALL DISTURBED LAWN AREAS SHALL BE HYDRO-SEEDDED OR SODDED AS SHOWN PER THE LANDSCAPE AND EROSION CONTROL PLANS.
- LAWN AND SOD AREAS ARE TO BE GRADED UNIFORMLY WITHOUT ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE PRIOR TO ANY HYDRO-SEED OR SOD WORK.
- ALL LAWN IS TO BE A BLEND PER THE PLANT SCHEDULE. HYDRO-SEED AREAS ARE TO HAVE 0% NOXIOUS WEED AND FREE OF DISEASE.
- PROTECT LAWN SEEDDED AREAS WITH STRAW MULCH. SPREAD MULCH UNIFORMLY AT A MINIMUM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1 1/2 INCHES IN LOOSE THICKNESS OVER SEEDDED AREAS.

LANDSCAPE LEGEND

	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	MULCH BED/ TREE RING (DOUBLE-SHREDDED HARDWOOD BARK MULCH)
	DECORATIVE STONE (MATCH EXISTING)
	SPADE EDGE, SEE DETAIL ON SHEET C710

Architect
Mitsch Design
200 S. Rangeline Road
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Carmel, Indiana 46032
317.573.2222

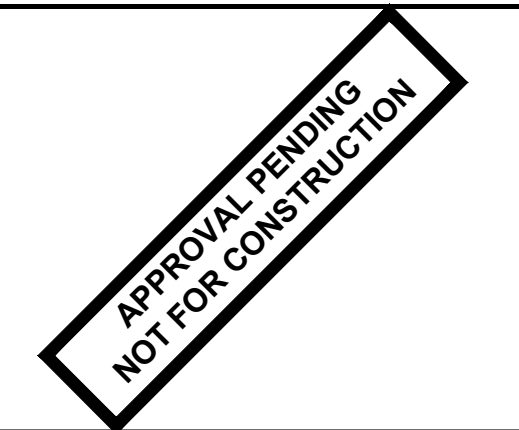
Owner
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CITIZENS WESTFIELD STORAGE BUILDING

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Westfield, Indiana 46074



CERTIFIED BY

ISSUANCE INDEX		
DATE:	05/01/2020	
PROJECT PHASE:	CONSTRUCTION DOCUMENTS	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TAC Review	06/02/20
2	Storm Sewer Review	06/30/20

Project Number 2019.00958

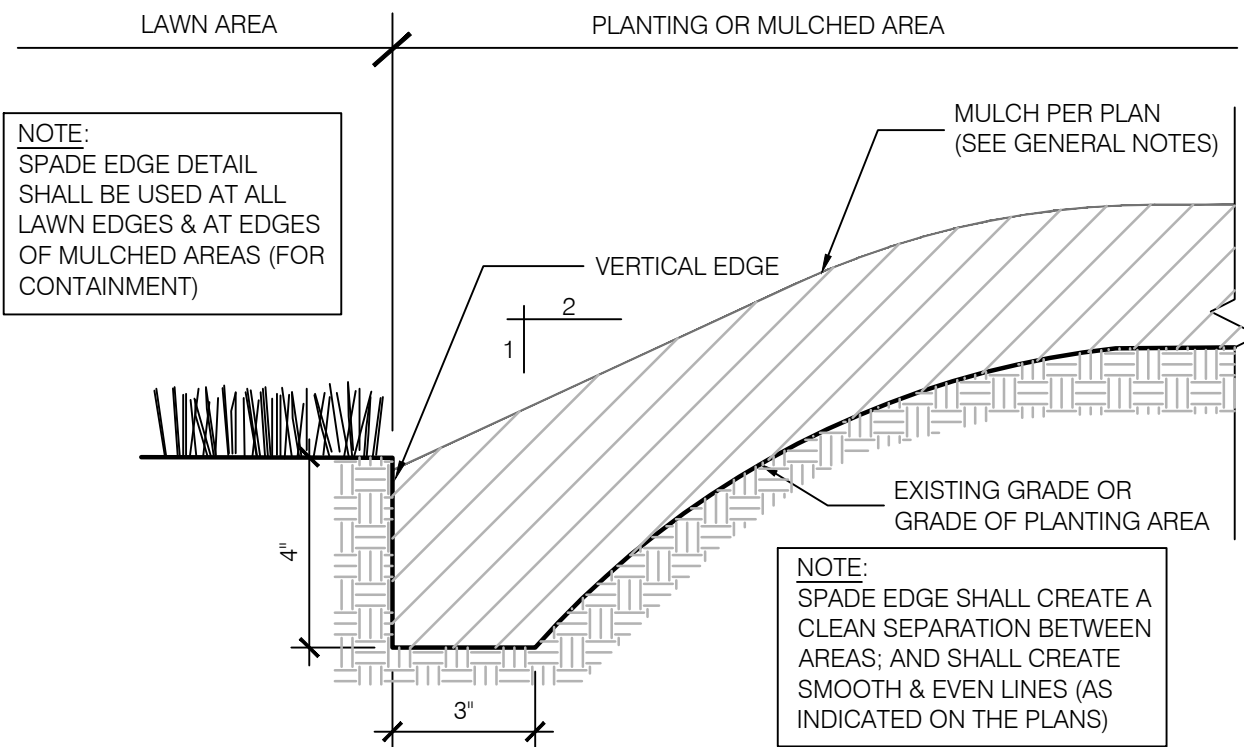
LANDSCAPE PLAN

C700

PLOT DATE: 6/9/2020 2:24 PM
PLOT SCALE: 1/2"=8'-0"
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EDIT DATE: 6/2/2020
EDITED BY: TCOMSTOCK

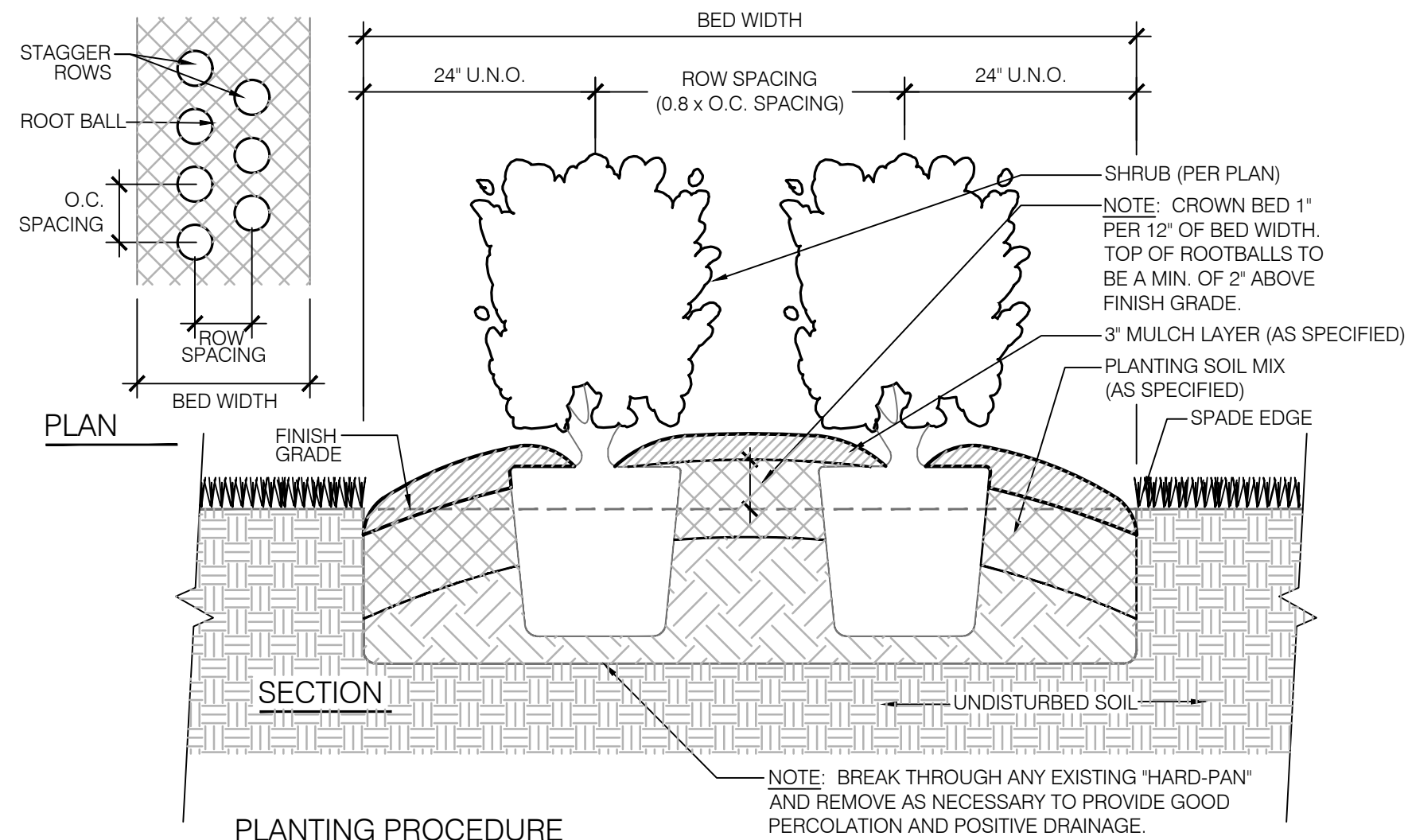
03 SPADE EDGE DETAIL

C710 SCALE: NTS



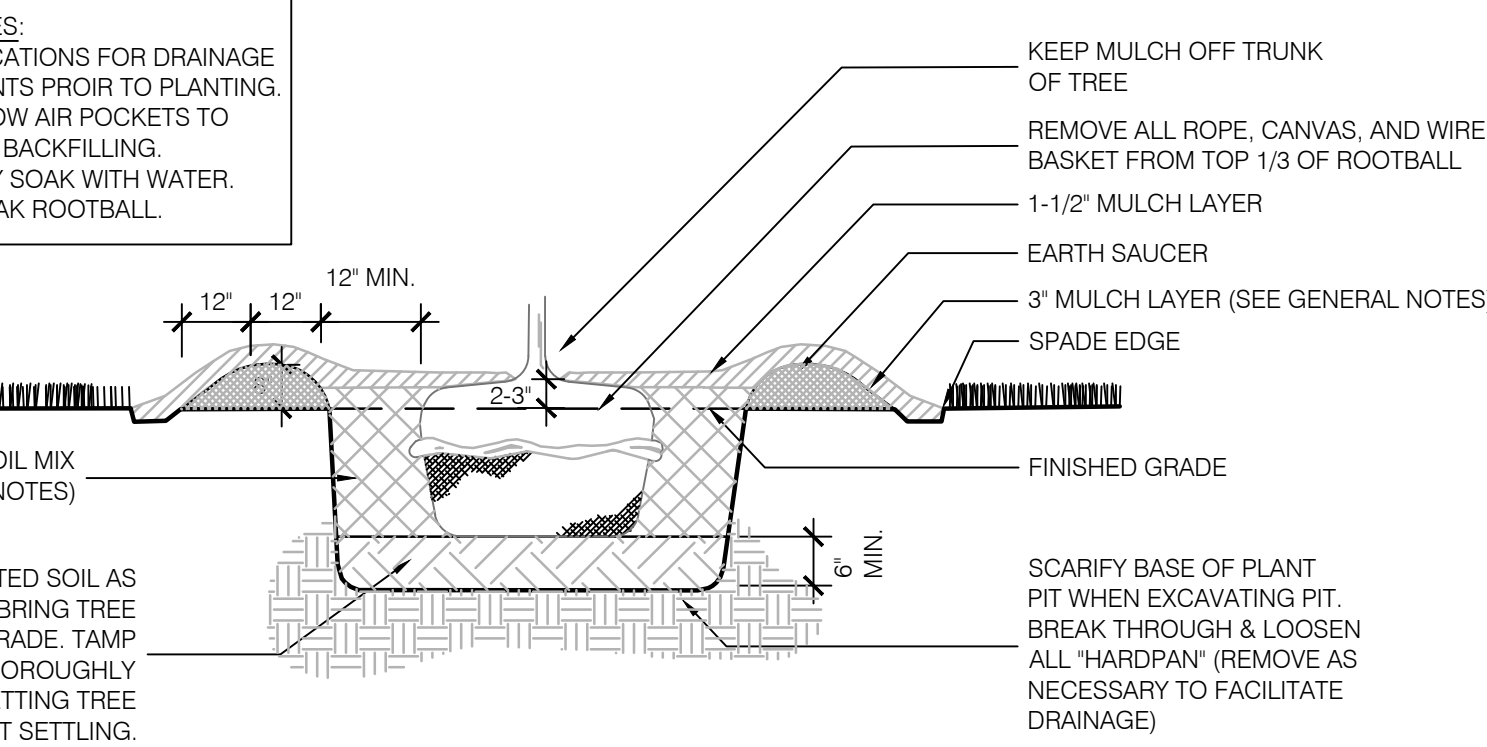
02 SHRUB PLANTING DETAIL

C710 SCALE: NTS



PLANTING PROCEDURE

- LAYOUT BED AND OUTLINE WITH SPADE EDGE. PLACE SOIL FROM SPADE EDGE WITHIN BED.
- ROTTILL BED TO A 12" MIN. DEPTH OR AS REQUIRED FOR SPECIFIED SHRUBS. REMOVE EXISTING SOIL AS REQUIRED. SPREAD 6" MIN. LAYER OF PLANTING SOIL MIX OVER BED. ROTTILL PLANTING SOIL MIX INTO TOP OF BED.
- INSTALL PLANTS, MULCH AND WATER THOROUGHLY. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.



PLANTING PROCEDURE

- EXCAVATE ROOTBALL PIT
- ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
- BACKFILL WITH SOIL MIX & "WATER IN"
- COMPLETE BACKFILLING, CONSTRUCT SAUCER, SPADE EDGE & ADD MULCH
- STAKE & GUY SECURELY (AS REQUIRED)

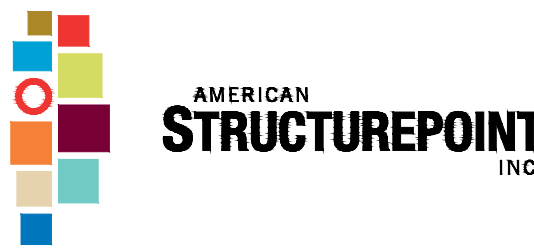
01 TREE PLANTING DETAIL

C710 SCALE: NTS

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Owner
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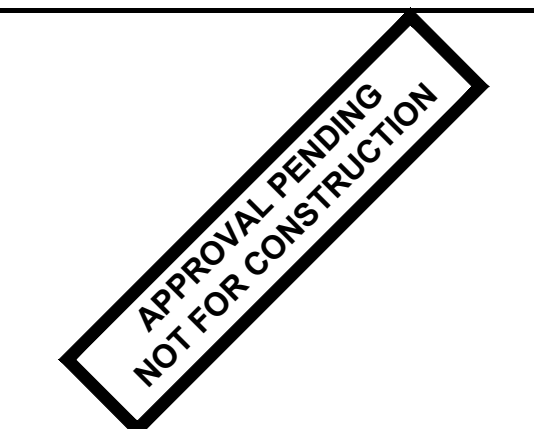


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LANDSCAPE DETAILS

C710



Sheet No:
L300

