



CITY OF WESTFIELD, IN

Plat Committee Meeting Agenda

BOARD OR COMMISSION: Plat Committee Meeting

MEETING DATE: Monday, December 22, 2025 at 11:00 AM

MEETING PLACE: Westfield City Services Center - Main Level Meeting Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF PLAT COMMITTEE

Robert Horkay, President | Advisory Plan Commission Appointed | 1-year term | 1/1/25-12/31/25
Justin Wiley, Vice President | Advisory Plan Commission Appointed | 1-year term | 1/1/25-12/31/25
Hayley Morgan | Advisory Plan Commission Appointed | 1-year term | 1/1/25-12/31/25
Brian Kelly | Advisory Plan Commission Appointed | 1-year term | 1/1/25-12/31/25
Michael Pearce | Advisory Plan Commission Appointed | 1-year term | 1/1/25-12/31/25

Public input can be submitted in 1 of 2 ways:

- Submit comments via email to planners@westfield.in.gov (Include petition number in the subject line.)
- Attend the meeting at Westfield City Services Center for an opportunity to participate and publicly comment on a public hearing.

OPENING OF REGULAR MEETING

Note the presence of a quorum

Announce any changes to Agenda

Approval of Minutes - November 10, 2025

Review Rules of Procedure

ITEMS OF BUSINESS

No items.

PUBLIC HEARING ITEMS

2512-ODP-06 & 2512-SPP-07

199th & Monon Planned Unit Development (PUD) District

Generally located north and adjacent to 199th Street, and west of and adjacent to the Monon Trail.

ODP: Onyx and East, LLC, represented by Nelson & Frankenberger, LLC, requests Overall Development Plan review of a one-hundred and five (105) lot residential subdivision on 35.19 acres +/- in the 199th & Monon Planned Unit Development (PUD) District.

SPP: Onyx and East, LLC, represented by Nelson & Frankenberger, LLC, requests Primary Plat review of a one-hundred and five (105) lot residential subdivision on 35.19 acres +/- in the 199th & Monon Planned Unit Development (PUD) District.

(Planner: Ryan Collingwood - Rcollingwood@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Liaison

Community Development Department

ADJOURNMENT

Adjourn



Petition Number: 2512-ODP-06 & 2512-SPP-07

Project Name: 199th & Monon

Subject Site Location: Generally located north and adjacent to 199th Street, and west of and adjacent to the Monon Trail. ("the Property")

Petitioner: Onyx and East, LLC

Representative: Nelson & Frankenberger, LLC

Requests: Onyx and East, LLC, represented by Nelson & Frankenberger, LLC, requests Overall Development Plan & Primary Plat review of a one-hundred and five (105) lot residential subdivision on 35.19 acres +/- in the 199th & Monon Planned Unit Development (PUD) District.

Current Zoning: 199th & Monon PUD District (Ord. 25-39)

Current Land Use: Vacant

Acreage: 35.19 acres +/-

Staff Reviewer: Ryan Collingwood, Senior Associate Planner

PROCEDURAL

- TAC Meeting 11/18/2025
- Plat Committee Public Hearing (**ODP & SPP**) **12/22/2025**

REVIEW COMMENTS

**** Note:** Public hearing will be in front of the Plat Committee, not the APC. The Plat Committee meets at 11 am in the City Services Building (not City Hall). The case will not be officially docketed until all comments have been addressed.

- Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised secondary plat has been submitted and reviewed.
- The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Overall



Development Plan, Primary Plat, and/or Secondary Plat. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.

- ***PLEASE NOTE that a performance bond is required for all Common Area landscaping (see UDO Article 10.9). Please coordinate with Community Development Staff before sending the Secondary Plat mylars for signing.***
- Abbreviations:
 - WPWD: Westfield Public Works Department
 - HCSO: Hamilton County Surveyor's Office

OVERALL DEVELOPMENT PLAN (ODP) REVIEW STANDARDS [Article 10.7(H) of the UDO]

The Overall Development Plan (ODP) submittal complies.

- 1) Title, scale, north arrow and date.
- 2) Proposed name of the development.
- 3) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and Use of adjacent property.
- 4) Address and legal description of the property.
- 5) Boundary lines of the property including all dimensions.
- 6) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 7) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.



- 8) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
 - 9) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
 - 10) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
 - 11) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
 - 12) Location and dimensions of all existing structures and paved areas.
 - 13) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 14) Location all Floodplain areas within the boundaries of the property.
 - 15) Names of legal ditches and streams on or adjacent to the site.
 - 16) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, stormwater management, electric, gas, telephone and cable.
 - 17) Identify buildings proposed for demolition.
 - 18) Areas of the property reserved for Development Amenities, Open Space and other similar Uses.
 - 19) Use of each Lot and/or building by labeling, including approximate density or size of proposed Uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
 - 20) Label Building Separation and/or Building Setback Lines in relation to Front, Rear and Side Lot Lines.
-



PRIMARY PLAT (SPP) REVIEW STANDARDS [Article 10.13(I) of UDO]

*The **Primary Plat (SPP)** submittal complies.*

- 21) Proposed name of the subdivision.
- 22) Names and addresses of the owner, owners, land surveyor or land planner.
- 23) Title, scale, north point and date.
- 24) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 25) Easements (locations, widths and purposes)
- 26) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 27) Layout of Lots (showing dimensions, numbers and square footage);
- 28) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 29) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 30) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 31) Building setback lines.
- 32) Legend and notes.
- 33) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 34) Other features or conditions which would affect the subdivision favorable or adversely.



- 35) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 36) A statement from County departments, State highway departments, or the Public Works Department concerning Rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 37) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
- 38) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 39) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.

DISTRICT STANDARDS [Ord. 25-39, Section 6.1]

*The plans comply with the **199th & Monon PUD (Ord. 25-39)**.*

STANDARD	Area A	Area B	Area C	COMMENT?
40) Minimum Lot Area	6,250 SF	5,000 SF	3,600 SF	
41) Minimum Lot Frontage	40'	40'	None, but access to R/W req.	
42) Minimum Front Yard Building Setback	15'	15'	*10'	
43) Minimum Side Yard	5'	5'	**0' / 10'	



Building Setback				
44) Minimum Rear Yard Building Setback	15'	15'	5'	
45) Minimum Lot Width	50'	50'	N/A	

**Measured from public R/W adjacent to Cluster Court.*

***Ten (10) feet shall be the required minimum building separation.*

DEVELOPMENT STANDARDS [Ord. 25-39 & Chapter 6 of UDO]

*The plans comply with the **199th & Monon PUD (Ord. 24-45)** & **Chapter 6 of the UDO**.*

46) Ord. 25-39, Section 7.2: Landscaping Standards

a) Street Trees

- i) Article 6.8(J) Street Trees shall apply. However, a minimum spacing requirement of twenty feet (20') shall apply.

b) Lot Landscaping

- i) Article 6.8(K) Minimum Lot Landscaping Requirements shall apply except as modified below:
1. Lots in Area A and Area B shall require a minimum of two (2) trees (shade, evergreen or ornamental) and six (6) shrubs.
 2. Lots in Area C shall require a minimum of one (1) tree (shade, evergreen or ornamental) and six (6) shrubs.
 3. At a minimum, the Established Front Yard of all Lots shall be sodded and the remainder of the Lot shall be seeded.

c) Perimeter Street Frontage Landscaping

- i) Article 6.8(M) Perimeter Street Frontage Landscaping Requirements shall be required along 199th Street.

<u>Ext. Street Plantings</u> per 100 LF (@ ~1,000 LF on 199th Street)	Required	Shown	Deficient
4 Evergreen Trees	40	40	/
3 Shade Trees	30	32	/
3 Ornamental Trees	30	32	/
25 Shrubs	250	282	/

d) Buffer Yards

i) Article 6.8(N) Buffer Yard Requirements shall apply except as modified below.

1. No buffer yard shall be required along the east perimeter of the Real Estate and adjacent to the small strip of real estate along the Monon Trail which small strip is zoned AG-SFI.
2. Tree Preservation shall remain within the Monon Trail property allowing for sidewalk and utility crossings.
3. Existing non-invasive trees and vegetation shall, with best efforts, be preserved during construction within ten (10) feet of the north and west perimeter of the Real Estate - except where removal is necessary to facilitate utility, drainage and access improvements.

47) UDO Article 6.8(E): Preservation and Replacement of Trees

a) Tree Inventory

- i) Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees in accordance with this Article. Tree inventories shall be required for those trees that are required by an ordinance or commitments to be preserved or that are to otherwise be credited pursuant to this Chapter. Tree inventories shall depict locations, sizes, and common names of existing trees and individual shrubs; areas containing dense trees or shrubs; and other natural site features.

b) Tree Preservation Plans

- i) Tree preservation plans shall be submitted with site plans that detail locations, sizes, and common names of preserved trees; individual shrubs; areas of dense tree or shrub concentrations, and other natural features which are to be preserved or removed. No disturbance shall be permitted in the Critical Root Zones of preserved trees. Disturbances include trenching, backfilling, driving or parking equipment, and dumping trash, oil, paint, or other materials detrimental to plant health.

c) Tree Protection

- i) Barriers shall be used to protect trees during site development. Barriers shall be specified on Landscape Plans and shall be placed at or beyond the driplines of trees to be preserved. Such barriers shall remain in place during site construction. No vehicles, machinery, tools, chemicals, construction materials, or temporary soil deposits shall be permitted within such barriers. No notices or other objects shall be nailed or stapled to preserved trees.
- ii) Grading measures or protective devices, such as tree wells, tree walls, or specialized fill and pavement designs, shall be installed when necessary to preserve identified tree specimens.

48) UDO Article 6.8(I): Detention and Retention Areas:

a) Natural Appearances

- i) Detention and Retention Areas shall be landscaped in a manner that replicates the natural form of ponds and shall include shade trees, ornamental trees, evergreens, shrubs, hedges, and/or other plantings (see also Minimum Lot Landscaping Requirements).
- ii) Detention and Retention Areas shall be designed to be natural in appearance, with meandering edges.

DESIGN STANDARDS [Ord. 25-39 & Chapter 8 of UDO]

*The plans comply with the **199th & Monon PUD (Ord. 25-39) & Chapter 8 of the UDO.***

49) Ord. 25-39, Section 9.2: Open Space and Amenity Standards



- a) Article 8.6.C Access: Easements providing access to required Open Space shall be not less than eight (8) feet in width.
- b) Pedestrian Path Network: A network of paths and sidewalks shall be installed as generally depicted on Exhibit B. The final locations are subject to existing easements and final engineering. If paths are prevented from being installed as generally shown, then alternative path locations shall be approved by the Director.
- c) Amenities: The following amenities shall be provided:
 - i) Gathering Areas: Outdoor gathering areas shall be provided in the Greenspace and Court and Courtyard areas as noted on the Concept Plan and detailed as illustrated on Exhibit E. Gathering areas shall include but are not limited to site furniture, landscaping, and specialty pavement as detailed as illustrated on Exhibit E.
 - ii) Community Facilities: For the benefit of residents and Monon Trail users, facilities shall be provided (i.e. bike racks, a bike repair station, seating).

50) Ord 25-39, Section 9.3: Pedestrian Network Standards

- a) Paths shall be constructed as generally illustrated on the Concept Plan. The final locations are subject to existing easements and final engineering. If paths are prevented from being installed as generally shown, then alternative path locations shall be approved by the Director.
- b) The minimum sidewalk width within public right-of-way shall be five (5) feet; all other sidewalk locations shall be a minimum of three (3) feet.
- c) Sidewalks shall not be required on either side of internal private streets.

51) UDO Article 8.7(C): Internal Pedestrian Network Standards

- a) The minimum sidewalk width shall be as indicated in the Thoroughfare Plan or five (5) feet (six (6) feet if immediately abutting the curb), whichever is greater.
- b) Sidewalks shall be required on both sides on internal Streets and internal Private Streets in all developments.
- c) When a proposed development lies between or adjacent to existing developments which have been provided with sidewalks, connecting sidewalks or pathways (which are extensions of the existing sidewalks) shall be constructed.



- d) Connector sidewalks shall be provided from the sidewalk or path adjacent to the Street to the front entrance of all nonresidential structures. Where the sidewalk intersects driving lanes or parking aisles within the Parking Area, then crosswalks and ramps shall be installed in accordance with ADA requirements and such areas shall be delineated (e.g., pavers, stamped, bricked), as determined by the Plan Commission or Director, to reinforce pedestrian safety.

52) UDO Article 8.7(D): Perimeter/External Pedestrian Network Standards

- a) Where a proposed Development Plan or Subdivision abuts an existing Right-of-way, then pedestrian paths, jogging paths, and bicycle paths shall be provided along the perimeter Street(s) or Private Street(s) in accordance with the Thoroughfare Plan. The type of pedestrian facility required shall be as set forth in the Thoroughfare Plan. The County or Public Works Department, as applicable, may waive the requirement for a path along perimeter streets for a Minor Subdivision.
- b) Generally, all required pedestrian facility improvements shall be located within the Right-of-way. Required improvements located outside of the Right-of-way shall be located within an easement approved by the Director or Public Works Department.

DEPARTMENT COMMENTS:

ACTION: Hold a Public Hearing for **2512-ODP-06 & 2512-SPP-07** at the December 22, 2025 Plat Committee meeting, and take action on the item.

The Department recommends approving the petition with the following conditions:

- The approval by Public Works of any Construction Standards waivers, if applicable; and,
- That all necessary approvals be obtained from the Westfield Public Works Department and Hamilton County Surveyor's Office prior to the issuance of an improvement location permit.

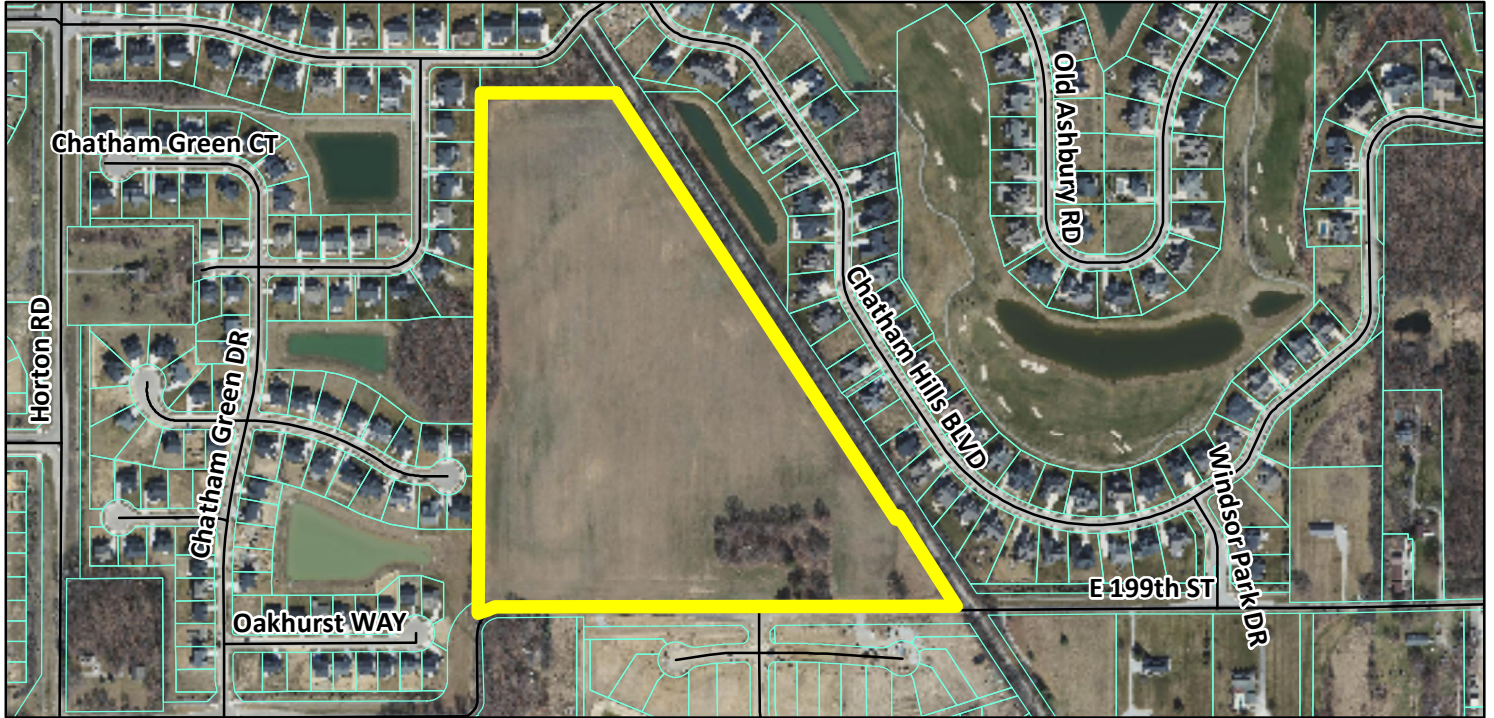
If any Plat Committee member has questions prior to the public hearing, please contact Ryan Collingwood at (317) 741-8857, or by email at rcollingwood@westfield.in.gov.

199th & Monon

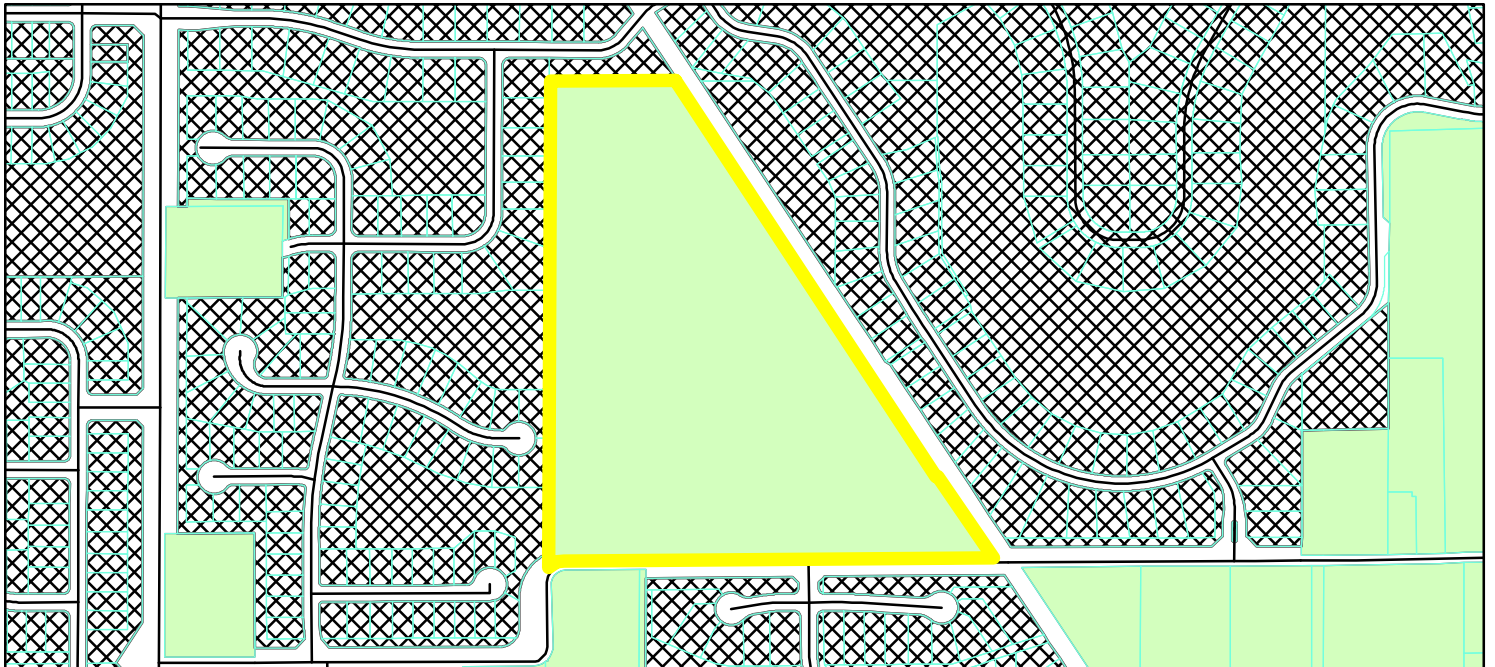
Overall Development Plan & Primary Plat

Aerial Location Map

 Site



Zoning Map



GIS.DBO.PW_Streets
Parcel
Zoning - All
AG-SF1 (Agriculture - Single Family - 1)
PUD (Planned Unit Development)

0 0.075 0.15
Miles



Drawing name: K:\IND\LEA\170535000_04E_199th and Monon-Westfield.MXD Design\GADD\Primery\170535000_CoverSheet.dwg C100 Dec 05, 2025 10:57am by: Jash Koone

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PLANS PREPARED BY:

Indiana Utilities Protection Service

KIMLEY-HORN & ASSOCIATES
500 EAST 96TH STREET, SUITE 300
INDIANAPOLIS, IN 46240
CONTACT: CHAD MAYES
PHONE: (317) 218-9560
EMAIL: CHAD.MAYES@KIMLEY-HORN.COM

Call811

before you dig

DEVELOPMENT STANDARDS			
199TH & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29	36	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	*10'
SIDE YARD	5'	5'	**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2½ STORIES		
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF

*MEASURED FROM PUBLIC RIGHT-OF-WAY ADJACENT TO CLUSTER COURT.
**TEN (10) FEET SHALL BE THE REQUIRED MINIMUM BUILDING SEPARATION.
***ALL LOTS SHALL HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY.



Hydrologic Soil Group				
Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
B1	Brookston silt clay with iron concretions, 0 to 2 percent slopes	B1D	0.7	24.0%
C1A	Crookston silt loam, fine sandy subsoil, 0 to 2 percent slopes	C1D	3.5	8.9%
M1A	Marietta silt loam, 0 to 2 percent slopes	C	20.7	52.0%
M1B2	Marietta silt loam, 2 to 6 percent slopes, wooded	C	5.6	14.2%
Totals for Area of Interest			30.4	100.0%

LEGAL DESCRIPTION

LEGAL DESCRIPTION (RECITED FROM EXHIBIT "A" OF FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FOR TITLE INSURANCE, COMMITMENT NO. 102400680, DATED OCTOBER 7, 2024.)

A PART OF THE LAND DESCRIBED IN INSTRUMENT NUMBER 200300035246, KARL MANDERS, IN THE OFFICE OF THE RECORDER, HAMILTON COUNTY, INDIANA, BEING A PART OF THE EAST HALF OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, LOCATED IN WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, THENCE NORTH 00 DEGREES 08 MINUTES 09 SECONDS EAST (ASSUMED FROM DEED BEARING) 329.15 FEET TO THE NORTHWEST CORNER OF 10 ACRES OFF THE SOUTH END OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE NORTH 00 DEGREES 08 MINUTES 09 SECONDS EAST 992.94 FEET TO THE NORTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, THENCE NORTH 00 DEGREES 03 MINUTES 15 SECONDS EAST 650.61 FEET TO THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 43 MINUTES 43 SECONDS EAST 439.18 FEET TO THE WEST LINE OF REAL ESTATE DESCRIBED IN INSTRUMENT NUMBER 2015028430, CHATHAM HILLS, LLP, BEING A LINE 40.00 FEET SOUTHWEST AND PARALLEL WITH THE CENTERLINE OF THE FORMER MONON RAILROAD; THENCE SOUTH 13 DEGREES 28 MINUTES 32 SECONDS EAST ALONG SAID WEST LINE 1526.28 FEET TO THE NORTHERN CORNER OF LAND CONVEYED TO CITY OF WESTFIELD, KNOWN AS "MONON TRAIL, PHASE 7, PARCEL 19 FEE"; THENCE SOUTH 00 DEGREES 08 MINUTES 39 SECONDS WEST 59.60' TO THE SOUTHERN CORNER THEREOF; THENCE SOUTH 33 DEGREES 29 MINUTES 09 SECONDS EAST ALONG THE WESTERLY LINE THEREOF 374.74 FEET TO A POINT 330 FEET NORTH OF THE SOUTH LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER 2 OF SAID SECTION 23; THENCE SOUTH 89 DEGREES 38 MINUTES 22 SECONDS WEST 186.02 FEET PARALLEL WITH THE SOUTH LINE OF SAID NORTHEAST QUARTER OF THE SOUTHEAST QUARTER TO A POINT ON THE EAST LINE OF THE NORTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 23; THENCE SOUTH 00 DEGREES 10 MINUTES 30 SECONDS WEST 0.85 FEET TO THE NORTHEAST CORNER OF 10 ACRES OFF THE SOUTH END OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE SOUTH 89 DEGREES 38 MINUTES 22 SECONDS WEST 1324.07 FEET TO THE PLACE OF BEGINNING.

MODERNIZED LAND DESCRIPTION (IN AN EFFORT TO UPDATE, MODERNIZE AND TO CORRECT APPARENT ERRORS MADE IN THE ABOVE LEGAL DESCRIPTION TAKEN FROM INSTRUMENT NO. 2018012560, THE FOLLOWING MODERNIZED SURVEY LAND DESCRIPTION HAS BEEN PREPARED.)

A PART OF THE LAND DESCRIBED IN INSTRUMENT NUMBER 200300035246, KARL MANDERS, IN THE OFFICE OF THE RECORDER, HAMILTON COUNTY, INDIANA, BEING A PART OF THE EAST HALF OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, LOCATED IN WASHINGTON TOWNSHIP, HAMILTON COUNTY, INDIANA DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 19 NORTH, RANGE 3 EAST, THENCE NORTH 00 DEGREES 08 MINUTES 59 SECONDS EAST (BEARING SYSTEM BASED UPON INDIANA STATE PLANE, EAST ZONE COORDINATE SYSTEM - NAD 1983) ALONG THE WEST LINE OF SAID QUARTER QUARTER 330.55 FEET TO A 5/8" REBAR WITH YELLOW PLASTIC CAP STAMPED "MILLER SURVEYING" AT THE NORTHWEST CORNER OF 10 ACRES OFF THE SOUTH END OF SAID NORTHWEST QUARTER OF THE SOUTHEAST QUARTER, SAID POINT ALSO BEING THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUING NORTH 00 DEGREES 08 MINUTES 59 SECONDS EAST ALONG THE WEST LINE OF SAID QUARTER QUARTER 992.24 FEET TO THE NORTHWEST CORNER OF SAID SOUTHEAST QUARTER MARKED BY A STONE, THENCE NORTH 00 DEGREES 07 MINUTES 49 SECONDS EAST ALONG THE WEST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 23 A DISTANCE OF 657.98 FEET TO THE NORTHWEST CORNER OF THE SOUTH HALF OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 23; THENCE NORTH 89 DEGREES 50 MINUTES 28 SECONDS EAST 430.84 FEET TO THE WEST LINE OF THE LAND OF CHATHAM HILLS, LLP AS DESCRIBED IN INSTRUMENT NO. 2015028430 IN THE OFFICE OF THE RECORDER OF HAMILTON COUNTY, INDIANA, BEING A LINE 40.00 FEET SOUTHWEST AND PARALLEL WITH THE CENTERLINE OF THE FORMER MONON RAILROAD, WITH SAID WEST LINE ALSO BEING THE WEST LINE OF BLOCK 12 IN CHATHAM HILLS, SECTION 28, AN ADDITION TO WESTFIELD, INDIANA, AS PER PLAT THEREOF RECORDED AS INSTRUMENT NO. 2016051318 AND FILED IN PLAT CABINET 5, SLIDE 561 IN SAID RECORDER'S OFFICE (THE FOLLOWING TWO (2) COURSES ARE DESCRIBED ALONG THE WEST AND EAST LINES OF SAID BLOCK 12); 1) THENCE SOUTH 33 DEGREES 25 MINUTES 38 SECONDS EAST ALONG SAID WEST LINE 1617.52 FEET; 2) THENCE NORTH 00 DEGREES 13 MINUTES 12 SECONDS EAST 16.23 FEET TO THE NORTHWEST CORNER OF THE LAND OF THE CITY OF WESTFIELD, INDIANA KNOWN AS PARCEL 19 FEE, MONON TRAIL, PHASE 7 AS DESCRIBED IN EXHIBIT "A" OF INSTRUMENT NO. 2016000818 IN SAID RECORDER'S OFFICE; THENCE SOUTH 33 DEGREES 30 MINUTES 30 SECONDS EAST ALONG THE WEST LINE OF SAID LAND 366.49 FEET TO THE NORTH LINE OF ABERDEEN, SECTION 2, AN ADDITION TO THE CITY OF WESTFIELD, INDIANA AS PER PLAT THEREOF RECORDED AS INSTRUMENT NO. 2024003399 AND FILED IN PLAT CABINET 6, PAGE 484 IN SAID RECORDER'S OFFICE; THENCE SOUTH 89 DEGREES 32 MINUTES 47 SECONDS WEST ALONG THE NORTH LINE OF SAID PLAT AND THE WESTERLY PROLONGATION THEREOF 1528.40 FEET TO THE POINT OF BEGINNING, CONTAINING 36.93 ACRES, MORE OR LESS.

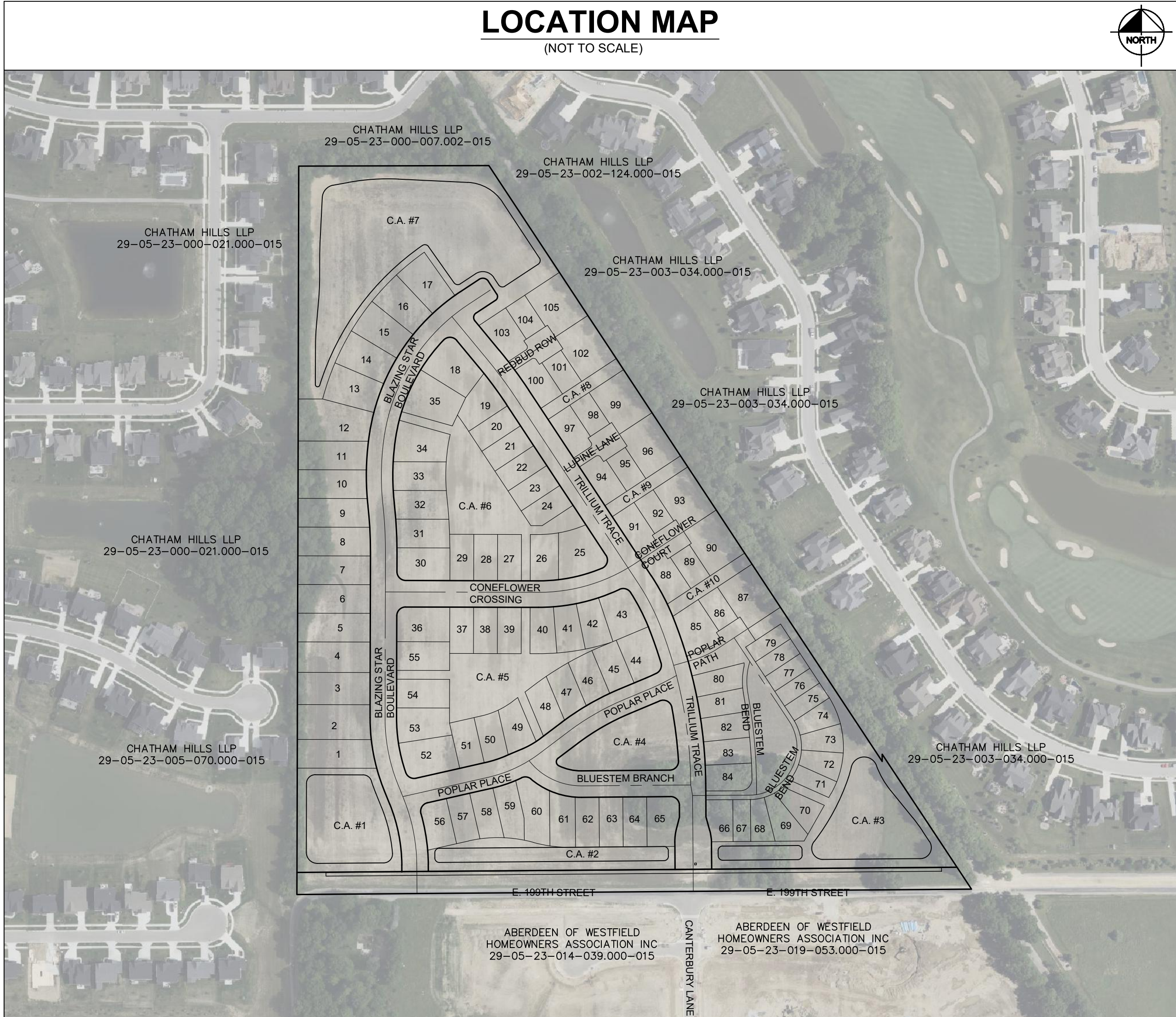
199TH & MONON

WESTFIELD, INDIANA

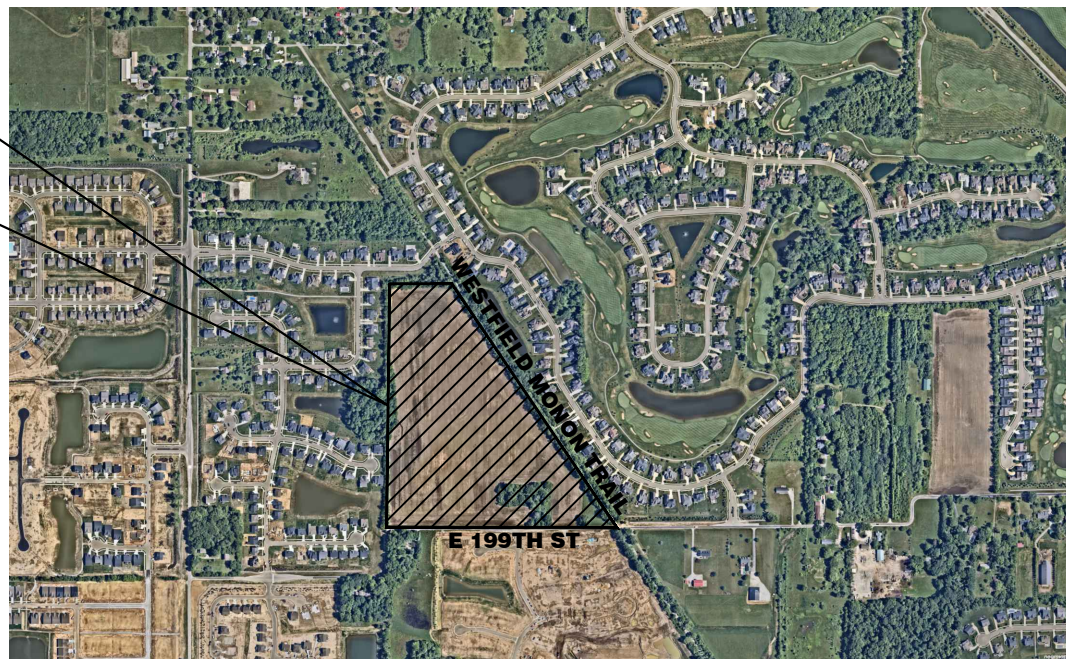
PRIMARY PLAT

199TH & MONON PUD DISTRICT

NW CORNER OF 199TH AND MONON TRAIL



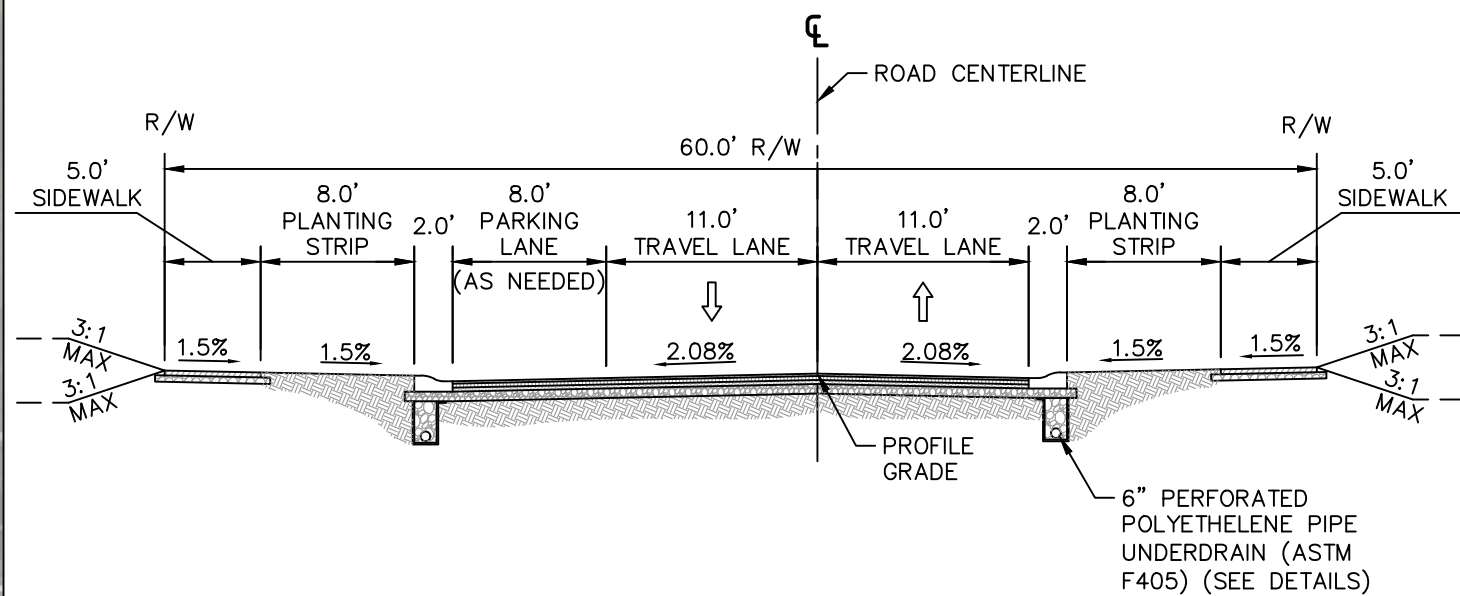
PROJECT LOCATION



VICINITY MAP
(N.T.S.)

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C100	COVER SHEET
C101	EXISTING CONDITIONS
C201	PRIMARY PLAT
C202	PRIMARY PLAT
C203	PRIMARY PLAT
C301	DEVELOPMENT PLAN
C302	DEVELOPMENT PLAN
C303	DEVELOPMENT PLAN
L200	PLANTING PLAN
L201	PLANTING PLAN
L202	PLANTING PLAN
L203	PLANTING PLAN
L204	PLANTING PLAN
L205	PLANTING PLAN



NOTES:

- THE CURB & GUTTER SHALL BE TYPE I OR TYPE II AS SHOWN ON THE CURB & GUTTER STANDARD SHEETS. TYPE II CURB & GUTTER SHALL BE USED ADJACENT TO, AND IN, NON-RESIDENTIAL OR MULTI-FAMILY RESIDENTIAL AREAS AND ON ENTRANCES OF RESIDENTIAL DEVELOPMENT ALONG THOROUGHFARES.
- FOR CURB AND GUTTER DETAIL, SEE FIGURE 2500-008
- 8'-0" TREE BUFFERS ARE REQUIRED FOR ALL LOCAL STREETS. REFER TO THE CITY OF WESTFIELD STREET TREE PLANTING SPECIFICATIONS FOR ADDITIONAL DETAILS. FOR APPROVED SPECIES, SEE MASTER TREE LIST.

TYPICAL CROSS SECTION: LOCAL STREET (MODIFIED)
(NOT TO SCALE)

STREETS (PUBLIC)

NAME	LENGTH (LF#)
BLAZING STAR BLVD	1471
TRILLIUM TRACE	1457
CONEFLOWER CROSSING	560
POPLAR PLACE	686
BLUESTEM BRANCH	384

ALLEYS (PRIVATE)

NAME	LENGTH (LF#)
CONEFLOWER COURT	148
BLUESTEM BEND	891
POPLAR PATH	187
LUPINE LANE	148
REDBUD ROW	151

PROJECT INFORMATION

35.19 ACRES	
105 LOTS	2.98 LOTS/ACRE
DESIGN SPEED LIMIT	25 MPH
POSTED SPEED LIMIT	20 MPH
TOTAL C.A.	10.53 AC±
LAKE AREA	2.85 AC±
USEABLE OPEN SPACE	10.53 AC± (29.92%)
ESTIMATED DISTURBED AREA	35.19 AC±

MINIMUM OPEN SPACE REQUIRED = 15.0%

OPEN SPACE PROVIDED

OPEN SPACE AREA = 10.53 AC.
TOTAL ACREAGE = 35.19 AC. =29.92%

UTILITY AND GOVERNING AGENCY CONTACTS

SERVICE / JURISDICTION	COMPANY / DEPT.	ADDRESS	PHONE NUMBER	CONTACT
SANITARY SEWER & WATER	CITIZENS WATER AND WASTEWATER OF WESTFIELD, LLC	2150 DR. MARTIN LUTHER KING JR. ST., INDIANAPOLIS, IN 46202	(317) 927-4351	BRAD HOSTETLER
GAS	CITIZENS GAS OF WESTFIELD	220 N. MERIDIAN ST., INDIANAPOLIS, IN 46202	(317) 927-4684	RICHARD MILLER JR.
HIGHWAY DEPARTMENT	HAMILTON COUNTY	1700 S. 10TH ST., NOBLESVILLE, IN 46060	(317) 773-7770	DAVE LUCAS
ELECTRIC	DUKE ENERGY - NOBLESVILLE OFFICE	21225 RIVERWOOD AVE., NOBLESVILLE, IN 46082	(317) 776-5331	BILL OLDDHAM
COMMUNICATIONS	COMCAST CABLE	5330 E. 65TH ST., INDIANAPOLIS, IN 46220	(317) 952-1161	EARL SMALL JR.
PUBLIC WORKS	CITY OF WESTFIELD	2706 E. 171ST ST., WESTFIELD, IN 46074	(317) 804-3147	JOHN RANKIN
ECONOMIC & COMMUNITY DEVELOPMENT DEPARTMENT	CITY OF WESTFIELD	2728 E. 171ST ST., WESTFIELD, IN 46074	(317) 804-3170	JENLL FAIRMAN
FIRE DEPARTMENT	WESTFIELD FIRE DEPARTMENT	17001 DITCH RD., WESTFIELD, IN 46074	(317) 804-3307	JAMES ROBERTS
WESTFIELD GIS	CITY OF WESTFIELD		(317) 379-1171	LEANE HEBER

PROJECT TEAM

ROLE	COMPANY	ADDRESS	PHONE NUMBER	CONTACT
DEVELOPER/OWNER	ONYX & EAST URBAN BUILDS	460 VIRGINIA AVE., INDIANAPOLIS, IN 46203	(317) 559-0169	NICK VOJVODICH
CIVIL ENGINEER	KIMLEY-HORN & ASSOCIATES, INC.	500 E. 96TH ST., STE 300, INDIANAPOLIS, IN 46240	(317) 218-9560	CHAD MAYES, PE
LANDSCAPE ARCHITECT	ANDERSON BOHLANDER	1054 VIRGINIA AVE., STE 210, INDIANAPOLIS, IN 46203	(317) 319-2264	JOSH ANDERSON, PLA
LAND SURVEYOR	HAHN SURVEYING GROUP, INC.	8925 N. MERIDIAN ST., STE. 120, INDIANAPOLIS, IN 46280	(317) 846-0840	RICHARD O'BRIAN, PLS

TAC RESUBMITTAL	11/26/25	JDK
TAC RESUBMITTAL	12/05/25	JDK
REVISIONS		
DATE		BY
No.		

KimleyHorn

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500 EAST 96TH STREET, SUITE 300,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

AS NOTED
DESIGNED BY: JDK
DRAWN BY: JDK
CHECKED BY: CSM



COVER SHEET

199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE:
10/31/2025
KHA PROJECT NO.
170535000
SHEET NUMBER

C100

Drawing name: K:\IND_LEV\170535000_0&E_199th and Monon_Westfield_IN\2_Design\CAD\Primary\170535000_ExistingConditions.dwg C101 Dec 05, 2025 10:58am by: Josh Kone
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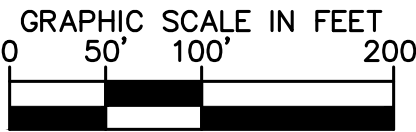
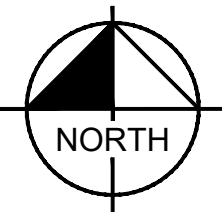
199TH & MONON

WESTFIELD, INDIANA

PRIMARY PLAT

Indiana Utilities Protection Service

Call 811
before you dig



DEVELOPMENT STANDARDS

199TH & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29	36	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	*10'
SIDE YARD	5'	5'	**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2½ STORIES		
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF

*MEASURED FROM PUBLIC RIGHT-OF-WAY ADJACENT TO CLUSTER COURT.
**TEN (10) FEET SHALL BE THE REQUIRED MINIMUM BUILDING SEPARATION.
***ALL LOTS SHALL HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY.

NOTES

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
2. ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLANS.
3. PROPOSED SANITARY FORCE MAINS THROUGHOUT THE SITE WILL BE 4" MAXIMUM. INDIVIDUAL LOTS TO EACH HAVE E-ONE DHO71-93 GRINDER PUMPS.
4. PROPOSED STORM PIPES WILL RANGE FROM 12"-42".
5. PROPOSED WATER MAIN THROUGHOUT THE SITE WILL RANGE FROM 8"-12"

NOTES

1. ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
2. STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
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TAC RESUBMITTAL	11/26/25	JDK
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REVISIONS	DATE	BY
No.		

Kimley-Horn

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500 EAST 96TH STREET, SUITE 300,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

SCALE:	AS NOTED
DESIGNED BY:	JDK
DRAWN BY:	JDK
CHECKED BY:	CSM



ONYX+EAST
URBAN BUILDS

EXISTING
CONDITIONS

199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE:
10/31/2025

KHA PROJECT NO.
170535000

SHEET NUMBER

C101

Drawing name: K:\IND_LEV\170535000_08E_199th and Monon_Westfield_IN\2 Design\CADD\PrimaryPlat\170535000_PrimaryPlat.dwg C201 Dec 05, 2025 10:56am by: Josh Koone
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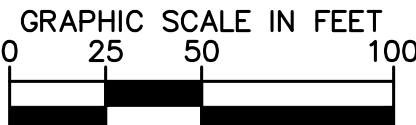
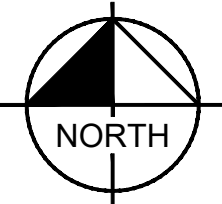
199TH & MONON

WESTFIELD, INDIANA

PRIMARY PLAT

Indiana Utilities Protection Service

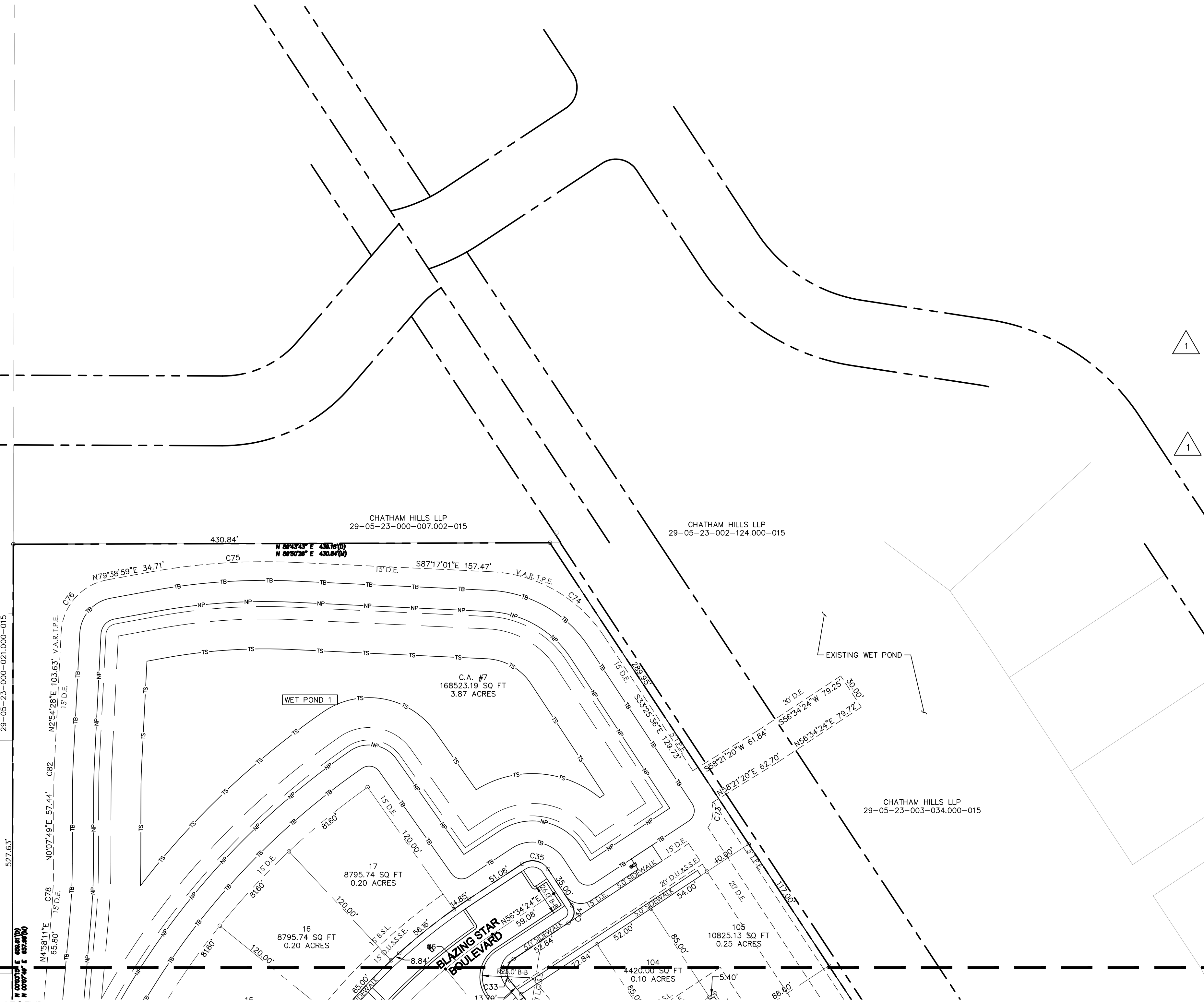
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CENTERLINE CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C1	410.00'	154.05'	N11°13'03"W	153.14'	21°31'40"	77.94'
C2	400.00'	154.50'	N10°54'53"W	153.55'	22°07'52"	78.23'
C3	1000.00'	111.36'	N3°02'26"W	111.31'	6°22'50"	55.74'
C4	600.00'	154.42'	N1°08'32"E	154.00'	14°44'46"	77.64'
C5	436.00'	318.75'	N29°27'33"E	311.70'	41°53'16"	166.87'
C6	436.00'	46.95'	N53°29'17"E	46.93'	6°10'13"	23.50'
C7	1000.00'	40.89'	N38°25'32"W	40.89'	2°20'34"	20.45'
C8	1000.00'	66.80'	N35°20'25"W	66.79'	3°49'39"	33.41'
C9	500.00'	102.76'	N27°32'19"W	102.58'	11°46'33"	51.56'
C10	1000.00'	98.79'	N18°49'14"W	98.75'	5°39'37"	49.44'
C11	1000.00'	23.88'	N15°18'23"W	23.88'	1°22'05"	11.94'
C12	1000.00'	247.29'	N7°32'17"W	246.66'	14°10'07"	124.28'
C13	300.00'	99.15'	N67°47'23"E	98.69'	18°56'07"	50.03'
C14	300.00'	28.45'	N55°36'17"E	28.44'	5°26'04"	14.24'
C15	574.00'	143.96'	N60°04'21"E	143.58'	14°22'12"	72.36'
C16	500.00'	67.12'	N63°24'42"E	67.07'	7°41'30"	33.61'
C17	150.00'	136.53'	S64°22'44"E	131.86'	52°08'57"	73.40'
C18	107.00'	117.60'	N1°56'25"W	111.77'	62°58'23"	65.54'
C19	396.00'	192.79'	N76°12'10"E	190.89'	27°53'39"	98.35'
C20	396.00'	20.06'	N60°48'15"E	20.06'	2°54'11"	10.03'
C21	396.00'	19.21'	N57°57'47"E	19.21'	2°46'45"	9.61'
C22	200.00'	60.86'	S65°17'29"W	60.63'	17°26'10"	30.67'
C23	107.00'	15.56'	N85°22'46"E	15.55'	8°20'03"	7.80'
C24	107.00'	96.49'	N55°22'46"E	93.25'	51°39'57"	51.80'
C26	1149.00'	178.11'	N4°53'40"W	177.93'	8°52'54"	89.24'
C27	150.00'	70.00'	N4°02'04"E	69.37'	26°44'23"	35.65'

EASEMENT CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C56	25.00'	39.27"	N44°32'47"E	35.36'	90°00'00"	25.00'
C57	485.00'	163.49'	S28°23'28"W	162.72'	19°18'50"	82.53'
C58	40.00'	23.08'	N16°58'51"W	22.76'	33°03'17"	11.87'
C60	415.00'	40.00'	N36°16'11"W	39.99'	5°31'21"	20.02'
C61	185.00'	60.37'	N29°40'54"W	60.11'	18°41'54"	30.46'
C64	25.00'	39.27"	S45°27'13"E	35.36'	90°00'00"	25.00'
C68	25.00'	39.27"	S44°32'47"W	35.36'	90°00'00"	25.00'
C71	44.88'	115.31'	S86°03'51"W	86.11'	147°12'24"	152.52'
C72	200.00'	22.85'	S15°43'59"W	22.83'	6°32'42"	11.44'
C73	25.00'	20.81'	S9°09'07"W	20.21'	47°41'11"	11.05'
C74	115.00'	108.10'	S60°21'19"E	104.16'	53°51'25"	58.41'
C75	515.00'	117.45'	N86°10'59"E	117.19'	13°04'00"	58.98'
C76	45.00'	60.27'	N41°16'43"E	55.87'	76°44'31"	35.63'
C77	58.37'	10.05'	N4°34'04"E	10.04'	9°51'59"	5.04'
C78	485.00'	40.96'	N2°33'00"E	40.95'	4°50'22"	20.49'
C79	515.00'	43.50'	N2°33'00"E	43.49'	4°50'22"	21.76'
C80	58.34'	10.05'	N5°23'30"W	10.04'	9°52'15"	5.04'

PROPERTY CURVE TABLE						
CURVE	RADIUS	LENGTH	CHORD BEARING	CHORD	DELTA	TANGENT
C28	20.00'	32.50'	N30°42'19"E	29.04'	93°06'15"	21.11'
C29	20.00'	29.17'	S60°57'53"E	26.65'	83°33'20"	17.87'
C30	20.00'	31.42'	S45°08'59"W	28.28'	90°00'00"	20.00'
C31	20.00'	31.42'	N44°51'01"W	28.28'	90°00'00"	20.00'
C32	20.00'	33.78'	S87°59'02"E	29.91'	96°46'25"	22.52'
C33	12.00'	20.14'	S8°29'17"W	17.86'	96°10'13"	13.37'
C34	10.00'	15.71'	S11°34'24"W	14.14'	90°00'00"	10.00'
C35	15.00'	23.56'	S78°25'36"E	21.21'	90°00'00"	15.00'
C36	20.00'	35.16'	S16°56'29"W	30.81'	100°44'11"	24.15'
C38	20.00'	28.78'	N73°51'57"W	26.36'	82°26'56"	17.52'
C39	20.00'	35.99'	N62°12'36"W	31.33'	103°05'47"	25.19'
C40	20.00'	31.42'	N45°27'13"W	28.28'	90°00'00"	20.00'
C41	115.00'	30.11'	N7°02'47"E	30.02'	15°00'00"	15.14'
C42	115.00'	26.57'	S8°50'05"E	26.51'	13°14'16"	13.34'
C43	115.00'	3.54'	S1°20'05"E	3.54'	1°45'44"	1.77'
C44	20.00'	32.48'	N43°01'43"E	29.02'	93°02'08"	21.09'
C45	10.00'	20.46'	S5°43'03"E	17.07'	117°12'36"	16.39'
C46	20.00'	22.90'	N82°42'30"W	21.67'	65°36'21"	12.89'
C47	27.00'	9.37'	S1°50'40"W	9.32'	19°52'46"	4.73'
C48	300.00'	25.62'	N79°42'15"E	25.61'	4°53'36"	12.82'
C49	300.00'	54.93'	N87°23'48"E	54.86'	10°29'29"	27.54'
C50	300.00'	46.08'	S82°57'28"E	46.03'	8°47'59"	23.08'
C51	300.00'	21.27'	S76°31'37"E	21.26'	4°03'42"	10.64'
C52	300.00'	38.27'	S78°09'01"E	38.24'	7°18'30"	19.16'
C53	300.00'	45.29'	S86°07'44"E	45.24'	8°38'57"	22.69'
C83	8.00'	12.57'	N11°34'24"E	11.31'	90°00'00"	8.00'
C84	8.00'	12.57'	N78°25'36"W	11.31'	90°00'00"	8.00'
C85	8.00'	12.57'	N11°34'24"E	11.31'	90°00'00"	8.00'
C86	8.00'	12.57'	N78°25'36"W	11.31'	90°00'00"	8.00'
C87	8.00'	12.57'	N11°34'24"E	11.31'	90°00'00"	8.00'
C88	8.00'	12.57'	N78°25'36"W	11.31'	90°00'00"	8.00'
C89	8.00'	12.57'	N11°34'24"E	11.31'	90°00'00"	8.00'
C90	27.00'	42.64'	S44°18'04"W	38.35'	90°29'26"	27.23'
C91	20.00'	28.21'	N23°37'31"E	25.93'	80°49'09"	17.03'
C92	195.00'	11.93'	N54°40'20"E	11.92'	3°30'14"	5.96'
C93	195.00'	36.27'	N61°45'11"E	36.22'	10°39'28"	18.19'



LEGEND	
21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.S.E.	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
S.S.&U.E.	SANITARY SEWER & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
U.E.	UTILITY EASEMENT
C.A.	COMMON AREA
L.O.S.E.	LINE OF SIGHT EASEMENT
T.P.E.	TREE PRESERVATION EASEMENT
P.A.E.	PEDESTRIAN ACCESS EASEMENT

DEVELOPMENT STANDARDS			
199TH & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29	36	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	110'
SIDE YARD	5'	5'	**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT		2½ STORIES	
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
*MEASURED FROM PUBLIC RIGHT-OF-WAY ADJACENT TO CLUSTER COURT.			
**TEN (10) FEET SHALL BE THE REQUIRED MINIMUM BUILDING SEPARATION.			
***ALL LOTS SHALL HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY.			

- ### NOTES
- THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
 - ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLANS.
 - PROPOSED SANITARY FORCE MAINS THROUGHOUT THE SITE WILL BE 4" MAXIMUM. INDIVIDUAL LOTS TO EACH HAVE E-ONE DH071-93 GRINDER PUMPS.
 - PROPOSED STORM PIPES WILL RANGE FROM 12"-42".
 - PROPOSED WATER MAIN THROUGHOUT THE SITE WILL RANGE FROM 8"-12"

- ### NOTES
- ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
 - STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
 - THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.

JDK	11/26/25
JDK	12/05/25
TAC RESUBMITTAL	
TAC RESUBMITTAL	
No.	
REVISIONS	
DATE	
BY	

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500 EAST 96TH STREET, SUITE 300,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

AS NOTED
DESIGNED BY: JDK
DRAWN BY: JDK
CHECKED BY: CSM

CHAD STEVEN
REGISTERED PROFESSIONAL ENGINEER
NOT APPROVED FOR CONSTRUCTION
12/05/25

ONXX+EAST
URBAN BUILDS

PRIMARY PLAT

199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE:
10/31/2025
KHA PROJECT NO.
170535000
SHEET NUMBER
C201

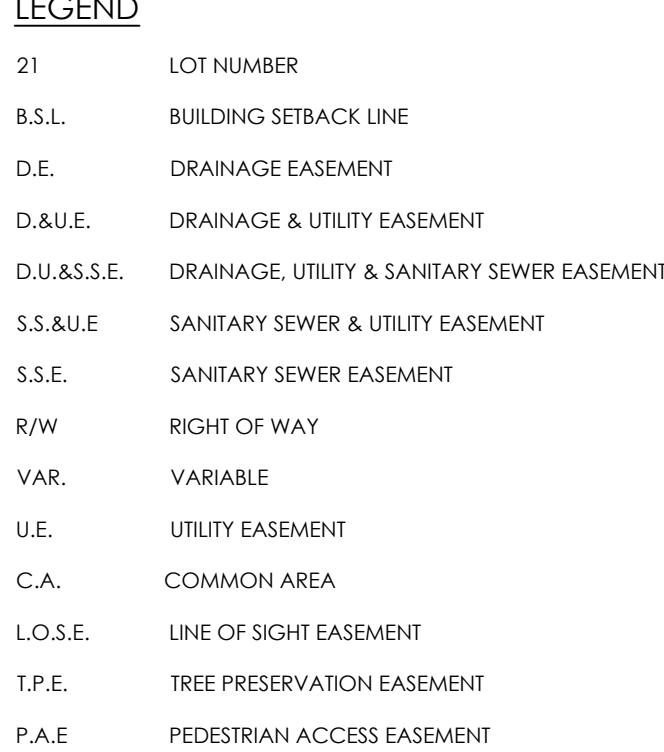
Indiana Utilities Protection Service

Call 811

before you dig

GRAPHIC SCALE IN FEET

0 25 50 100



DEVELOPMENT STANDARDS			
1997H & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29	36	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	**10'
SIDE YARD	5'		**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2 1/2 STORIES		
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF

NOTES

- ## NOTES

1. ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
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199TH & MONON 0 E. 199TH ST., WESTFIELD, IN 46069	PRIMARY PLAT		 <i>Chad Steven Horn</i>	SCALE: AS NOTED DESIGNED BY: JOK DRAWN BY: JOK CHECKED BY: CSM	Kimley»Horn ©2025 KIMLEY-HORN AND ASSOCIATES, INC. 500 EAST 96TH STREET, SUITE 300, INDIANAPOLIS, IN 46260 PHONE: 317-218-4560 WWW.KIMLEY-HORN.COM	△ TAC RESUBMITTAL △ TAC RESUBMITTAL	11/26/25 12/05/25	JDK JDK
ORIGINAL ISSUE: 10/31/2025	KHA PROJECT NO. 170535000	SHEET NUMBER C202						

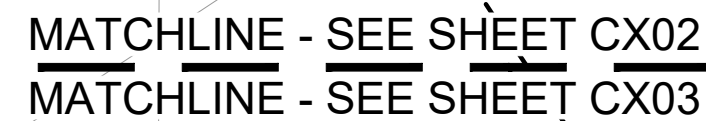
Indiana Utilities Protection Service

Call 811

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GRAPHIC SCALE IN FEET

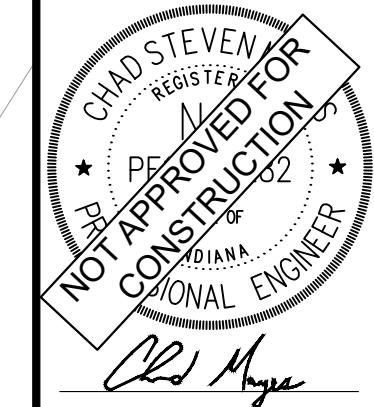
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△	TAC RESUBMITTAL	11/26/25	JDK
△	TAC RESUBMITTAL	12/05/25	JDK
No.	REVISIONS	DATE	BY

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INDIANAPOLIS, IN 46240
PHONE: 317-218-9560
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DESIGNED BY:	JDK
DRAWN BY:	JDK
CHECKED BY:	CSM



ONYX+EAST
URBAN BUILDS

PRIMARY PLAT

199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE: 10/31/2025
KHA PROJECT NO. 170535000
SHEET NUMBER

C203

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Drawing name: K:\NOV\25\702525000_006_18910 and Morgan, Wetfield, N.Y. Design\CADD\Prime\Prim61a1702525000.dwg C203
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21	LOT NUMBER
B.S.I.	BUILDING SETBACK LINE
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.S.E.	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
S.S.&U.E.	SANITARY SEWER & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
U.E.	UTILITY EASEMENT
C.A.	COMMON AREA
L.O.S.E.	LINE OF SIGHT EASEMENT
T.P.E.	TREE PRESERVATION EASEMENT
P.A.E.	PEDESTRIAN ACCESS EASEMENT

DEVELOPMENT STANDARDS			
199TH & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29'	36'	40'
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	**10'
SIDE YARD	5'	5'	**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2 ½ STORIES		
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF

***ALL LOTS SHALL HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY.

1. THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
2. ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLANS.
3. PROPOSED SANITARY FORCE MAINS THROUGHOUT THE SITE WILL BE 4" MAXIMUM. INDIVIDUAL LOTS TO EACH HAVE E-ONE DHO71-93 GRINDER PUMPS.
4. PROPOSED STORM PIPES WILL RANGE FROM 12"-42".
5. PROPOSED WATER MAIN THROUGHOUT THE SITE WILL RANGE FROM 8"-12"

1. ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
2. STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.

STORM INSET
1"=100'

SANITARY INSET

 $1''=20$

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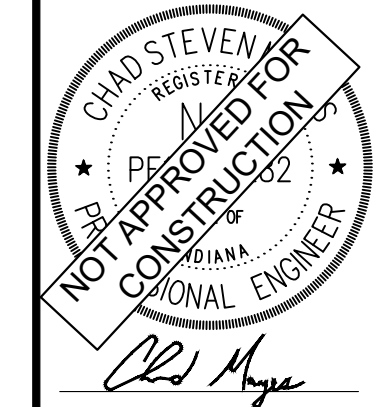
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0 25 50 100

△	TAC RESUBMITTAL	11/26/25	JDK
△	TAC RESUBMITTAL	12/05/25	JDK
No.	REVISIONS	DATE	BY

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DRAWN BY:	JDK
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DEVELOPMENT PLAN

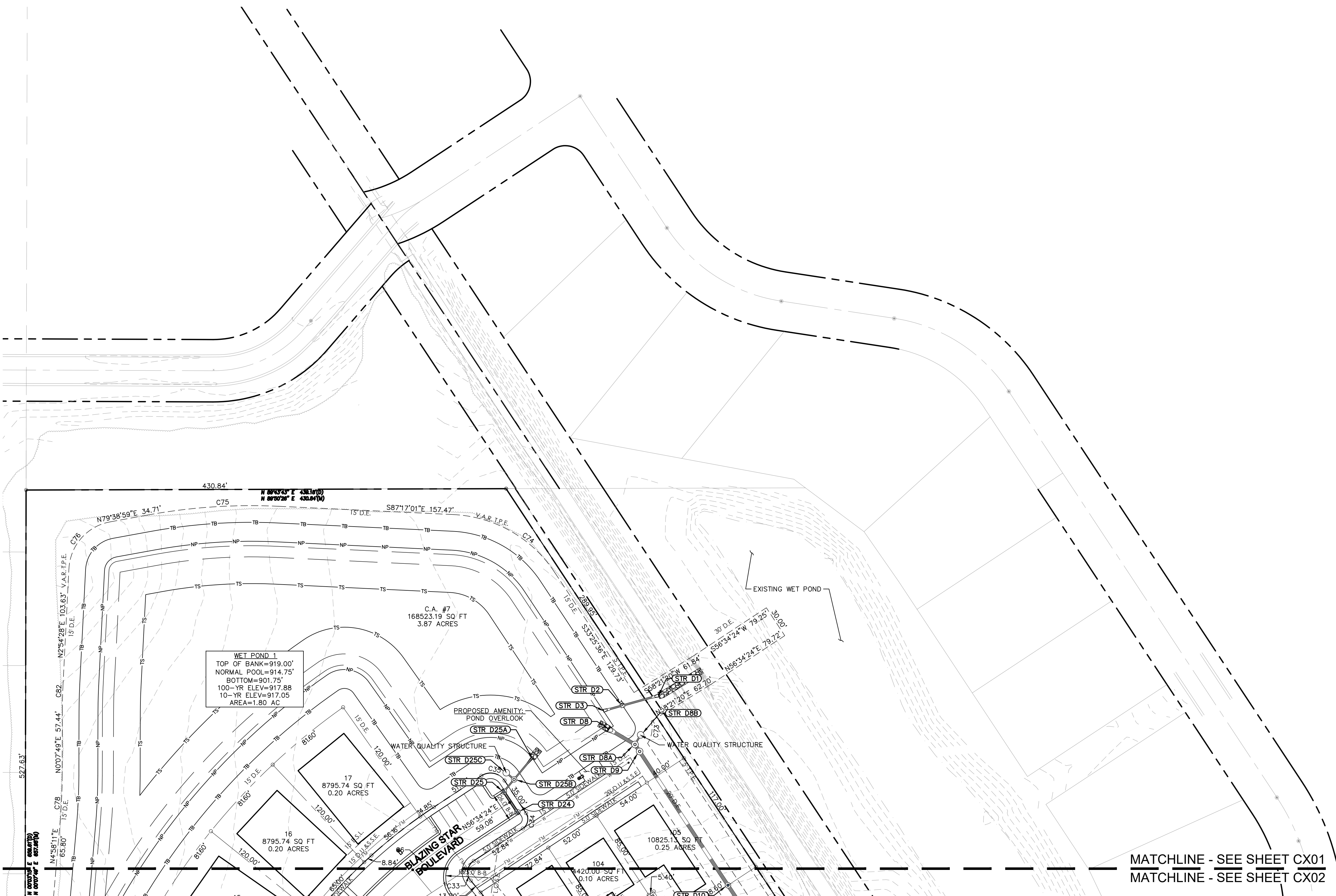
199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE: 10/31/2025
KHA PROJECT NO. 170535000

SHEET NUMBER

C301

Drawing name: K:\NOV_DESA\72535000_DES_199th and Mason_Westfield_INA_2 Design\CAAD\Primer\Primer.dwg Date: 05/10/2025 By: Jom-Hoern
 Drawing title: 72535000_DES_199th and Mason_Westfield_INA_2 Design\CAAD\Primer\Primer.dwg Date: 05/10/2025 By: Jom-Hoern
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LEGEND		DEVELOPMENT STANDARDS			
21.	LOT NUMBER				
B.S.L.	BUILDING SETBACK LINE				
D.E.	DRAINAGE EASEMENT				
D.&U.E.	DRAINAGE & UTILITY EASEMENT				
D.U.&S.S.E.	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT				
S.S.&U.E.	SANITARY SEWER & UTILITY EASEMENT				
S.S.E.	SANITARY SEWER EASEMENT				
R/W	RIGHT OF WAY				
VAR.	VARIABLE				
U.E.	UTILITY EASEMENT				
C.A.	COMMON AREA				
L.O.S.E.	LINE OF SIGHT EASEMENT				
T.P.E.	TREE PRESERVATION EASEMENT				
P.P.E.	PEDESTRIAN ACCESS EASEMENT				

NOTES	
1.	THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
2.	ALL PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND SUBJECT TO CHANGE DURING CONSTRUCTION PLANS.
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Drawing name: K:\IND\DEV\170535000_04E_199th & Monon_Westfield_IN\2 Design\CADD\Primary\170535000_DevelopmentPlan.dwg C302 Dec 05, 2023 10:59am by Jean Korne
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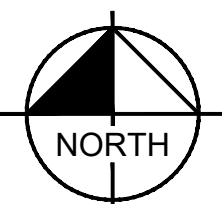
199TH & MONON

WESTFIELD, INDIANA

PRIMARY PLAT

Indiana Utilities Protection Service

Call 811
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GRAPHIC SCALE IN FEET
0 25 50 100

LEGEND

- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY MANHOLE
- PROPOSED FIRE HYDRANT ASSEMBLY
- EXISTING CONTOUR
- EXISTING SANITARY SEWER
- EXISTING STORM SEWER
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED GRADE
- PROPOSED CONTOUR
- PROPOSED WATER LINE
- PROPOSED SWALE
- PROPOSED 5' SIDEWALK (BY HOME BUILDER)
(DEVELOPER SHALL INSTALL SIDEWALKS
ALONG ALL COMMON AREAS)
- ADA RAMP TO BE INSTALLED
- RIP-RAP
- LOT NUMBER
SQUARE FOOTAGE
ACREAGE
- SPECIALTY PAVERS

MATCHLINE - SEE SHEET CX01
MATCHLINE - SEE SHEET CX02

MATCHLINE - SEE SHEET CX02
MATCHLINE - SEE SHEET CX03

DEVELOPMENT STANDARDS

199TH & MONON PUD			
ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS:	29	36	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	10'
SIDE YARD	5'	5'	**0' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2 1/2 STORIES		
MINIMUM LIVING AREA (TOTAL)			
ONE STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF
TWO STORY DWELLINGS	2,400 SF	1,800 SF	1,800 SF

*MEASURED FROM PUBLIC RIGHT-OF-WAY ADJACENT TO CLUSTER COURT.
**TEN (10) FEET SHALL BE THE REQUIRED MINIMUM BUILDING SEPARATION.
***ALL LOTS SHALL HAVE ACCESS TO A PUBLIC RIGHT-OF-WAY.

NOTES

- THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.
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- STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
- THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.

DEVELOPMENT
PLAN

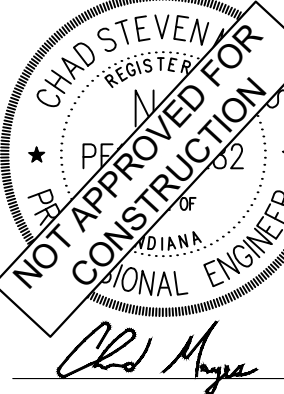
199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE:
10/31/2025
KHA PROJECT NO.
170535000

SHEET NUMBER
C302

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WWW.KIMLEY-HORN.COM

SCALE:
AS NOTED
DESIGNED BY: JJK
DRAWN BY: JJK
CHECKED BY: CSM



ONYX+EAST
URBAN BUILDS

199TH & MONON

WESTFIELD, INDIANA

PRIMARY PLAT

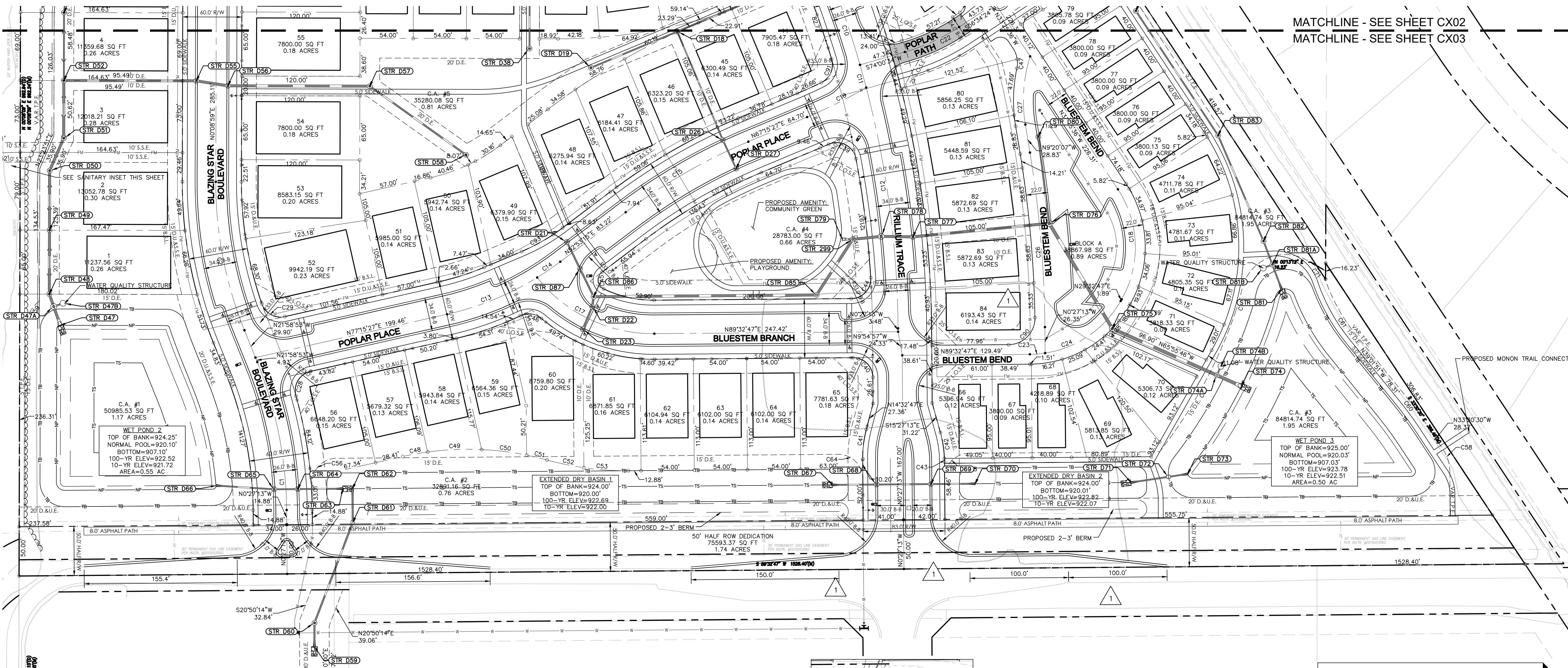
Indiana Utilities Protection Service

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GRAPHIC SCALE IN FEET
0 25 50 100

MATCHLINE - SEE SHEET CX02
MATCHLINE - SEE SHEET CX03

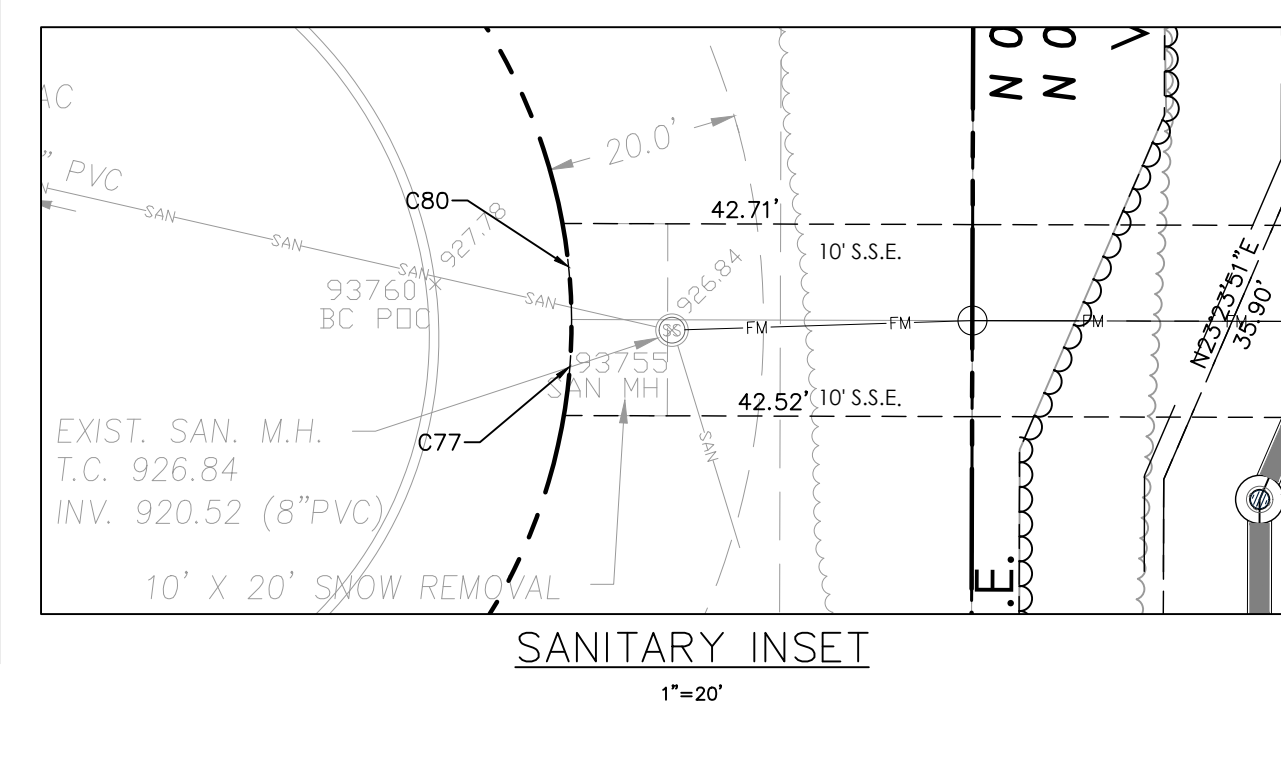
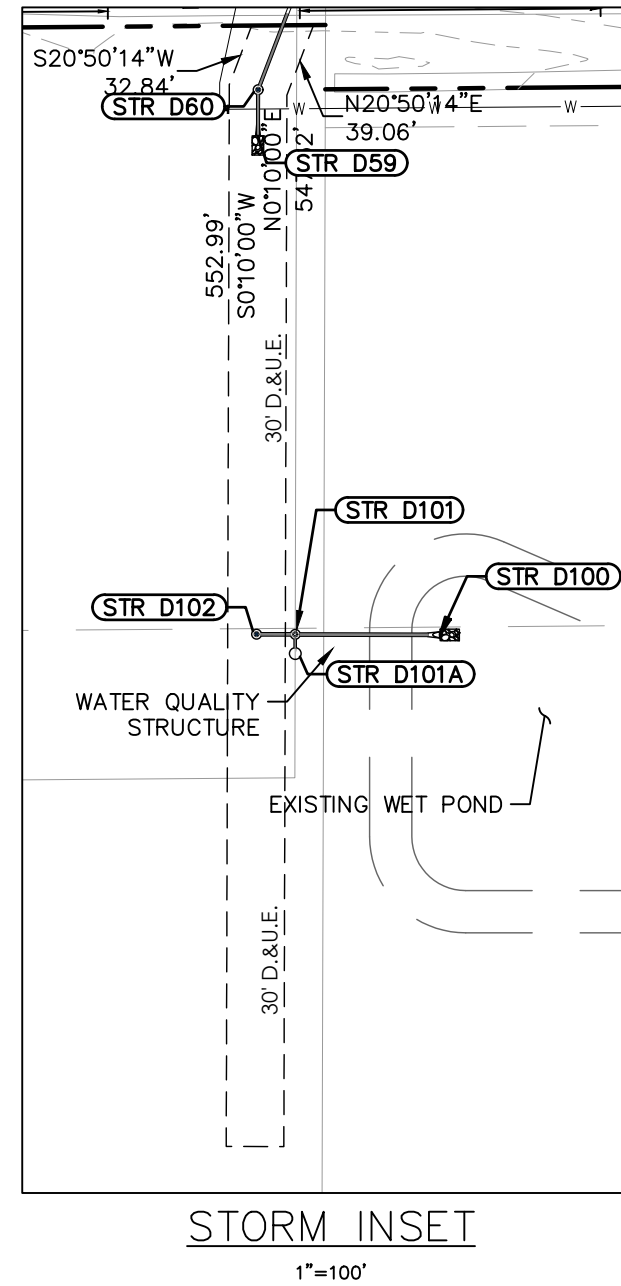


21	LOT NUMBER
B.S.L.	BUILDING SETBACK LINE
D.E.	DRAINAGE EASEMENT
D.&U.E.	DRAINAGE & UTILITY EASEMENT
D.U.&S.S.E.	DRAINAGE, UTILITY & SANITARY SEWER EASEMENT
S.S.&U.E.	SANITARY SEWER & UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
R/W	RIGHT OF WAY
VAR.	VARIABLE
U.E.	UTILITY EASEMENT
C.A.	COMMON AREA
L.O.S.E.	LINE OF SIGHT EASEMENT
T.P.E.	TREE PRESERVATION EASEMENT
P.P.E.	PEDESTRIAN ACCESS EASEMENT

DEVELOPMENT STANDARDS			
199TH & MONON PUD ZONING: PUD ORDINANCE 25-39 ADOPTED SEPTEMBER 11, 2025			
STANDARD	AREA "A"	AREA "B"	AREA "C"
LOTS	29	38	40
MIN. LOT AREA	6,250 SF	5,000 SF	3,600 SF
MIN. LOT FRONTAGE	40'	40'	***NONE
MINIMUM BUILDING SETBACK LINES			
FRONT YARD	15'	15'	10'
SIDE YARD	5'	5'	10' / 10'
REAR YARD	15'	15'	5'
MIN. LOT WIDTH	50'	50'	N/A
MAX. BUILDING HEIGHT	2 1/2 STORIES		
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NOTES	
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2.	STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
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LEGEND	
	PROPOSED STORM STRUCTURES
	PROPOSED SANITARY MANHOLE
	PROPOSED FIRE HYDRANT ASSEMBLY
	EXISTING CONTOUR
	EXISTING SANITARY SEWER
	EXISTING STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER
	PROPOSED GRADE
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED SWALE
	PROPOSED 5' SIDEWALK (BY HOME BUILDER) (DEVELOPER SHALL INSTALL SIDEWALKS ALONG ALL COMMON AREAS)
	ADA RAMP TO BE INSTALLED
	RIP-RAP
	LOT NUMBER SQUARE FOOTAGE ACREAGE
	SPECIALTY PAVERS

199TH & MONON
0 E. 199TH ST.,
WESTFIELD, IN
46069

ORIGINAL ISSUE:
10/31/2025
KHA PROJECT NO.
170535000
SHEET NUMBER
C303

Kimley-Horn
DESIGNED BY: JJK
DRAWN BY: JJK
CHECKED BY: CSM

ONX+EAST
URBAN BUILDS

CHAD STEVEN
REGISTERED PROFESSIONAL ENGINEER
NOT APPROVED FOR CONSTRUCTION

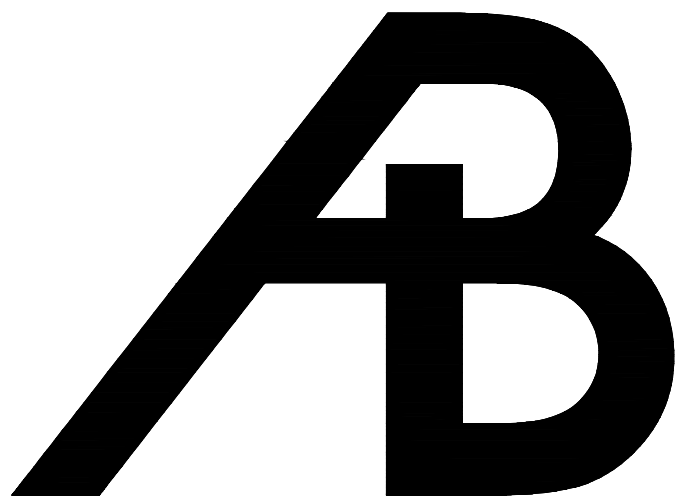
AS NOTED
DESIGNED BY: JJK
DRAWN BY: JJK
CHECKED BY: CSM

SCALE:
DESIGNED BY: JJK
DRAWN BY: JJK
CHECKED BY: CSM

TAC RESUBMITTAL
TAC RESUBMITTAL

REVISIONS
DATE
BY

Drawing name: K:\IND\170535000_046_199th and Monon_Westfield_IN\2 Design\CADD\PrimaryPlat\170535000_DevelopmentPlan.dwg C303 Dec 05, 2025 11:52am by: John Koore
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ANDERSON + BOHLANDER, LLC

1054 Virginia Ave, Suite 210
Indianapolis, Indiana 46203
www.andersonbohlander.com

PREPARED FOR

Onyx and East

460 Virginia Avenue
Indianapolis, IN 46203

PROJECT

199th & Monon

Westfield, Indiana

PLANTING REQUIREMENTS

STREET TREES		
1 Tree per 50' average in 8' tree lawn provided		
EXTERNAL STREET FRONTAGE		
3 Shade Trees, 4 Evergreen Trees, 3 Ornamental Trees & 25 Shrubs per 100LF Required (1,495' of Frontage)		
Plant Type	Required Qty.	Provided Qty.
Shade Tree	45	45
Ornamental Tree	45	45
Evergreen Tree	60	60
Shrub	374	374
External Street Frontage landscaping not needed for screening has been distributed throughout common areas to enhance site character		
MINIMUM LOT LANDSCAPING REQUIREMENTS		
10 Shade or Ornamental Trees per 1 Acre of Common Area/Open Space (10.07 Ac. Open Space)		
Plant Type	Required Qty.	Provided Qty.
Shade/Ornamental Tree	101	101+

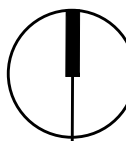
NOTES - PLANTING PLAN

- Contractor shall import and distribute soil for all planting areas to average depth of 12" to achieve the grades as shown on the plans.
- Turf limit line is approximate. Sod to limits of grading and construction related disturbance. Contractor responsible for restoration of any unauthorized disruption outside of designated construction area.
- Contractor responsible for erosion control in all seeded and/or sodded areas. All disturbed areas are to be protected within 24 hours. Do not disturb more area than can be completed and protected within 24 hours.
- Temporary fencing shall be installed around the lawn areas if the project is opened to the public before the lawn is established.
- All existing trees within the project limits determined to be interfering with construction activity to be pruned by a certified arborist as directed by the Landscape Architect.
- The General Contractor shall be responsible for replacing any existing trees that the Landscape Architect determines to have been damaged during construction, at no additional cost.
- All bed lines are to be spade cut to a minimum depth of 3 inches unless otherwise shown on the plans. Curved bedlines are to be smooth and not segmented. Refer to Planting Bed Edge Condition, Detail 03, Sheet L205.
- Contractor to restore 3" of shredded hardwood mulch to all areas of construction disturbance within existing landscape beds. Contractor to remove and dispose of all debris, stones and dirt clods 1" or larger.
- Plants and other materials are quantified and summarized for the convenience of the Owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn and specified. No additional payments will be made for materials required to complete the work as drawn and specified.
- Refer to specifications for additional conditions, standards and notes.
- Contractor responsible for initial planting of annuals in all planter pot locations. Plants to be seasonally appropriate to time of planting. Submit plant selection for review by Landscape Architect.
- See Sheet L205 for Plant List.
- All street trees are to match current City of Westfield Master Tree List.
- All street trees shall be located no closer than 4' to any pavement. Driveway offsets to be coordinated at time of construction.
- Trees shall be located a minimum of 10' offset from storm sewer lines and structures.

SHEET TITLE

PLANTING PLAN -OVERALL

NORTH



SCALE : **1" = 100'-0"**



SHEET NUMBER

L200

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PREPARED FOR

Onyx and East
460 Virginia Avenue
Indianapolis, IN 46203

PROJECT

199th & Monon

Westfield, Indiana

Overall Development Plan
10/31/2025

DRAWN BY:
DMM/ORB
CHECKED BY:
JDA

REVISIONS		
No.	Date	Issue
01	11.26.2025	TAC Resubmittal
02	12.05.2025	TAC Resubmittal 2

SHEET TITLE

PLANTING PLAN

NORTH

SCALE : 1" = 40'-0"

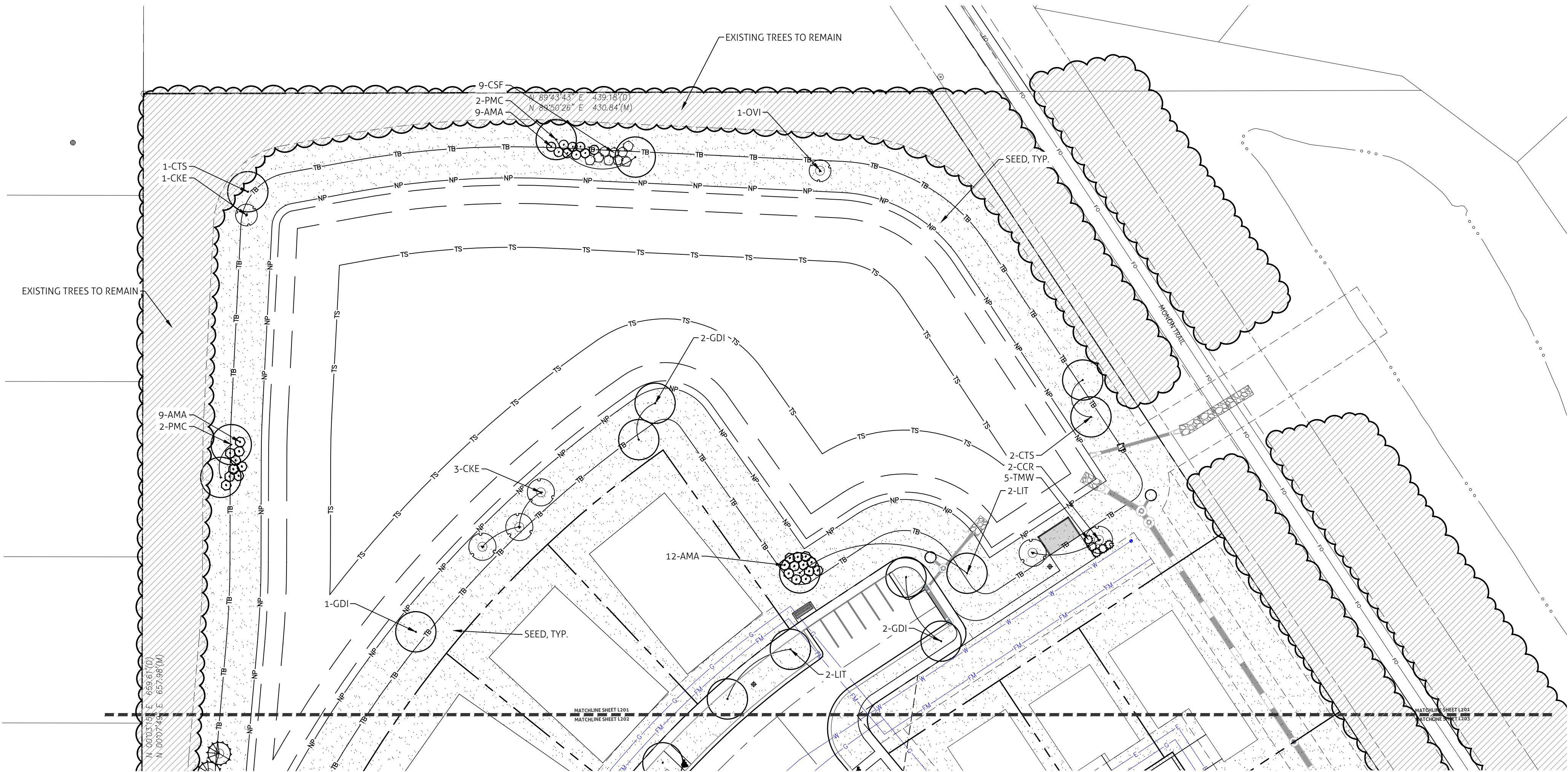
20'-0"

40'-0"

80'-0"

SHEET NUMBER

L201



LEGEND

Canopy tree,
typical

Ornamental
tree, typical

Bioswale seed
mix, typical

Existing trees to
remain, typical

Evergreen tree,
typical

Shrubs, typical

Turf Grass - Seed

PREPARED FOR
Onyx and East
460 Virginia Avenue
Indianapolis, IN 46203

PROJECT
199th & Monon

Westfield, Indiana

Overall Development Plan
10/31/2025

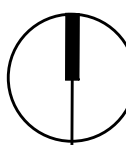
DRAWN BY:
DMM/ORB
CHECKED BY:
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REVISIONS		
No.	Date	Issue
01	11.26.2025	TAC Resubmittal
02	12.05.2025	TAC Resubmittal 2

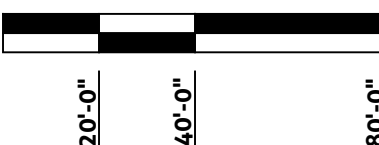
SHEET TITLE

PLANTING PLAN

NORTH



SCALE: 1" = 40'-0"

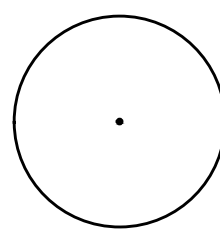


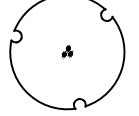
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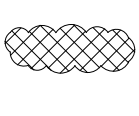
L202

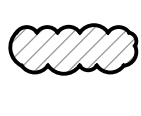
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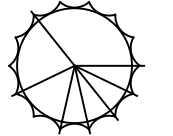
LEGEND

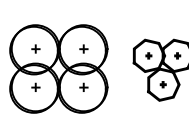
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Canopy tree, typical
- 

Ornamental tree, typical
- 

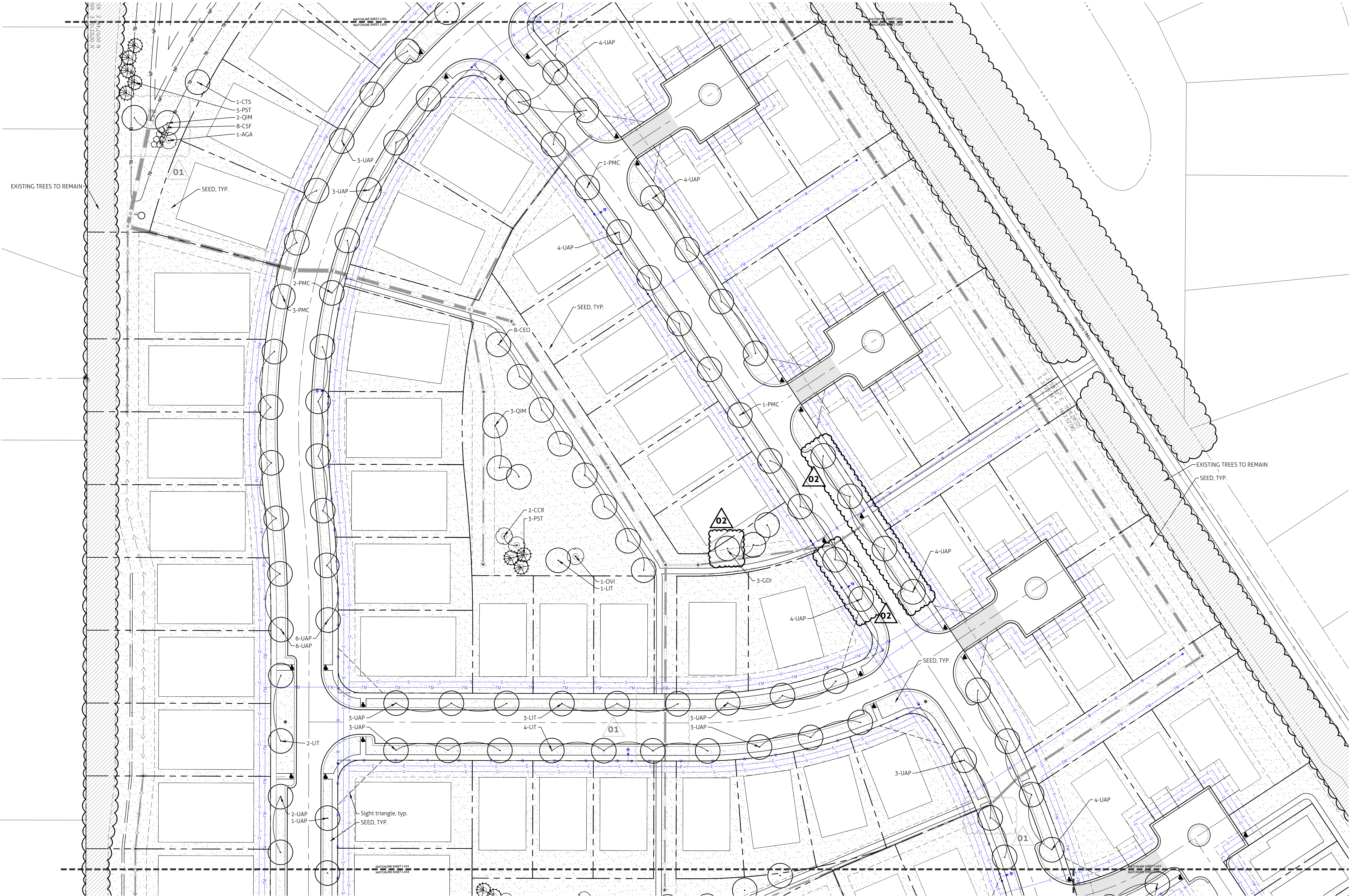
Bioswale seed mix, typical
- 

Existing trees to remain, typical
- 

Evergreen tree, typical
- 

Shrubs, typical
- 

Turf Grass - Seed



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460 Virginia Avenue
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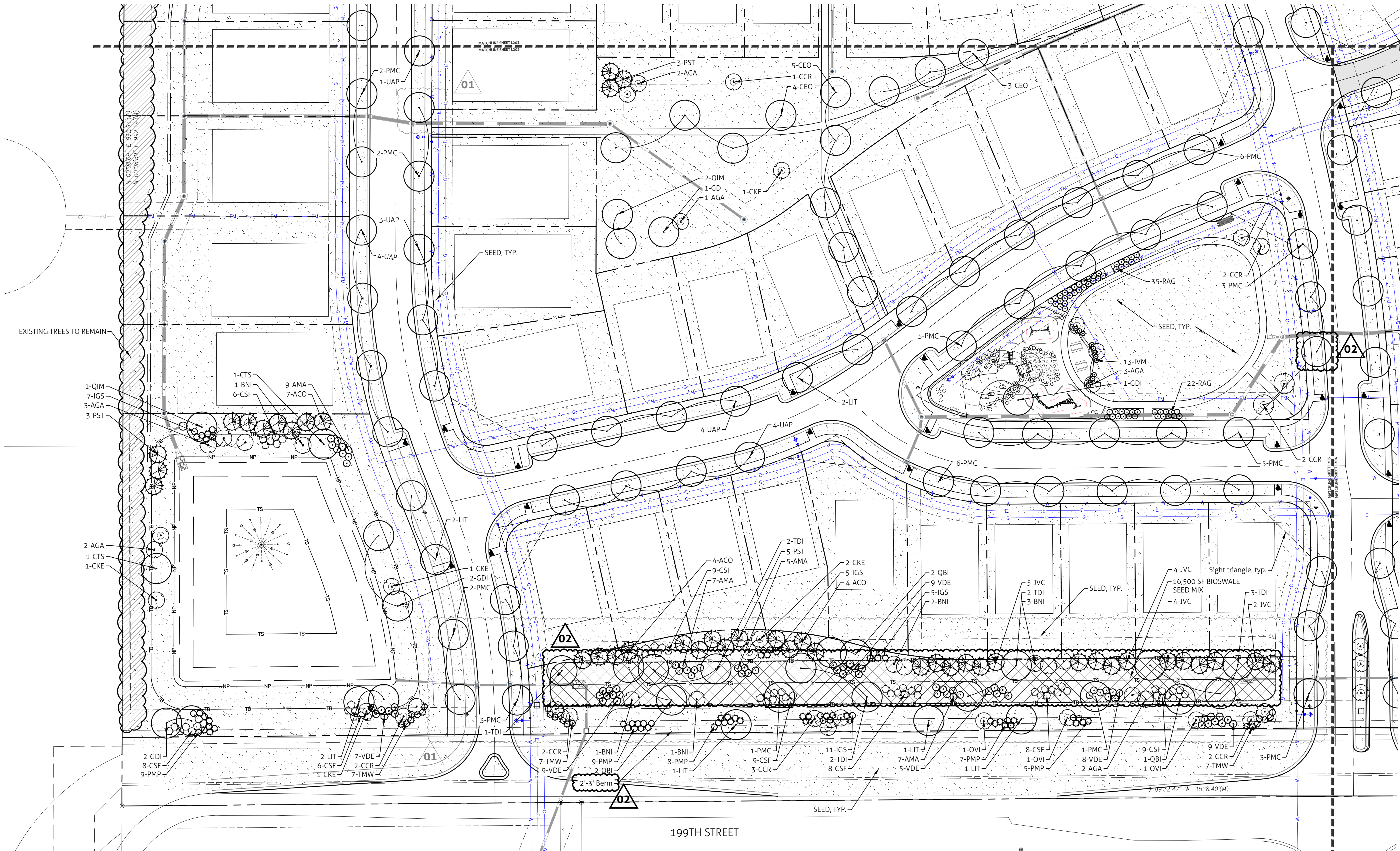
PROJECT
199th & Monon

Westfield, Indiana

Overall Development Plan
10/31/2025

DRAWN BY:
DMM/ORB
CHECKED BY:
JDA

REVISIONS		
No.	Date	Issue
01	11.26.2025	TAC Resubmittal
02	12.05.2025	TAC Resubmittal 2

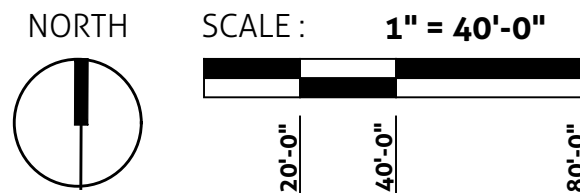


LEGEND

- Canopy tree, typical
- Ornamental tree, typical
- Bioswale seed mix, typical
- Existing trees to remain, typical
- Evergreen tree, typical
- Shrubs, typical
- Turf Grass - Seed

SHEET TITLE

PLANTING PLAN



SHEET NUMBER

L203

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Onyx and East
460 Virginia Avenue
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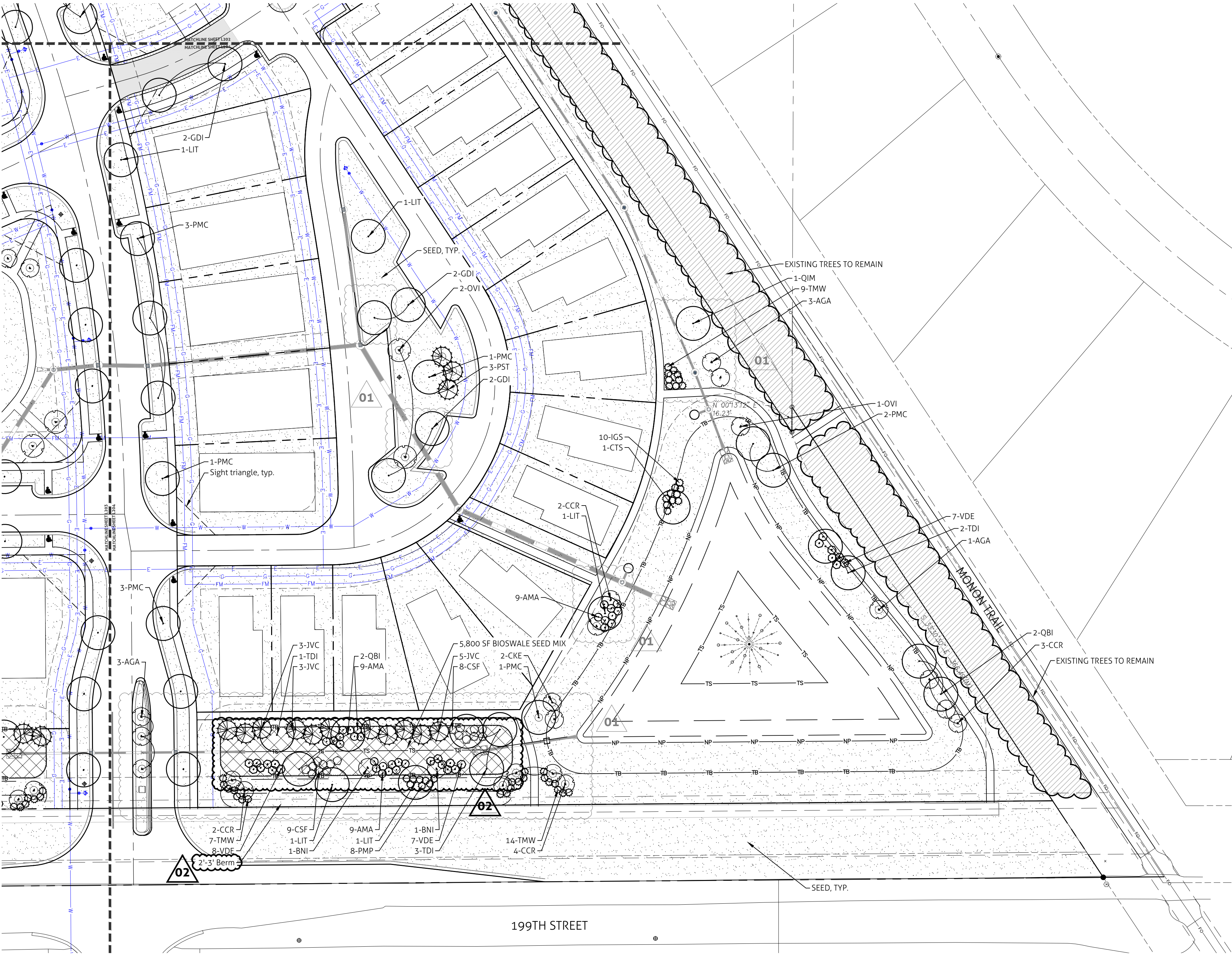
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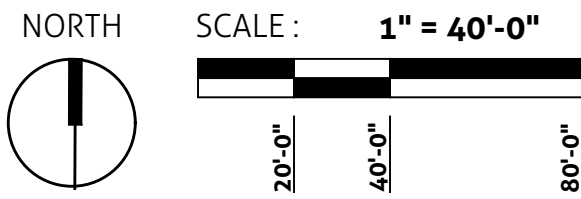


LEGEND

- Canopy tree, typical
- Ornamental tree, typical
- Bioswale seed mix, typical
- Existing trees to remain, typical
- Evergreen tree, typical
- Shrubs, typical
- Turf Grass - Seed

SHEET TITLE

PLANTING PLAN

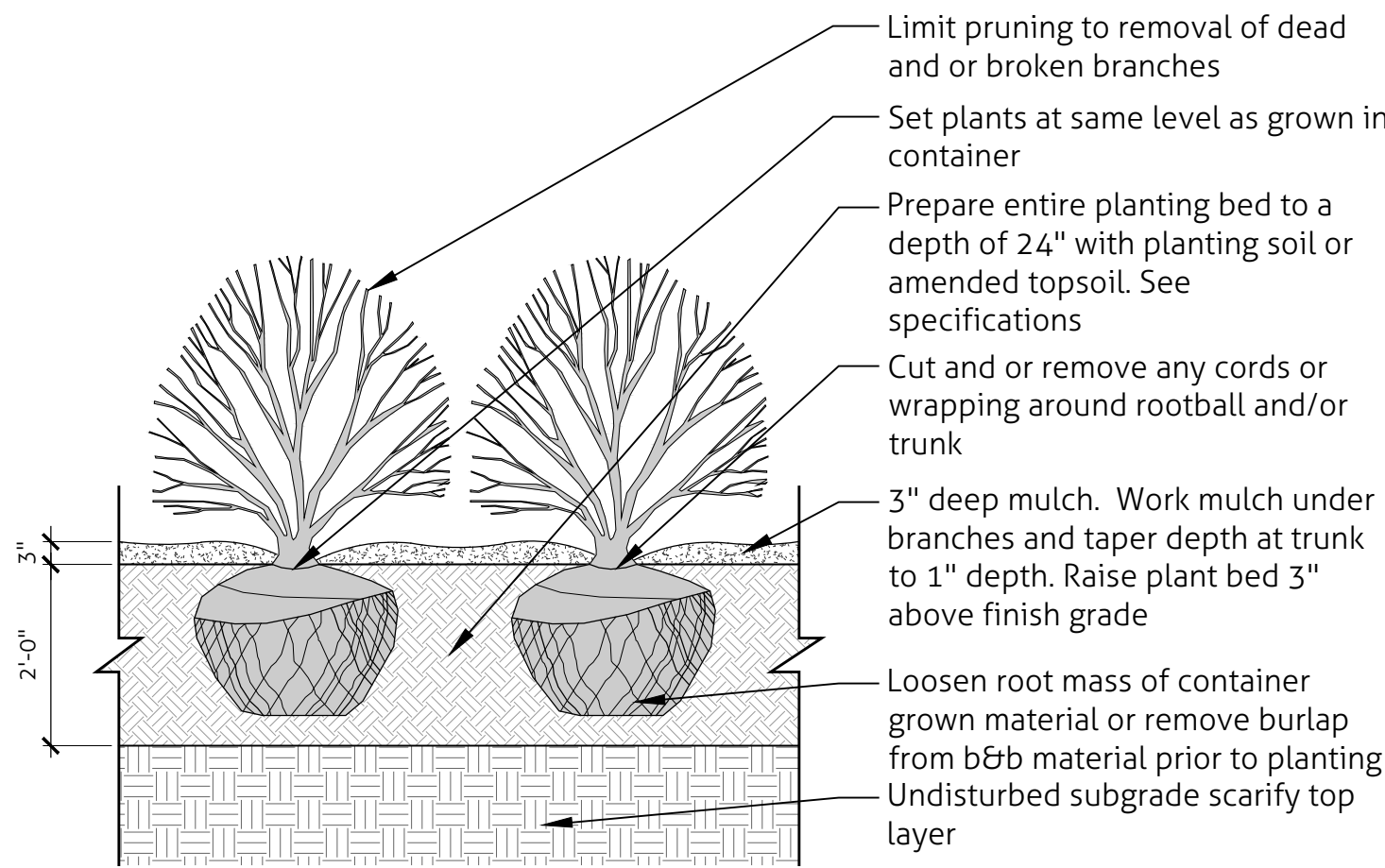
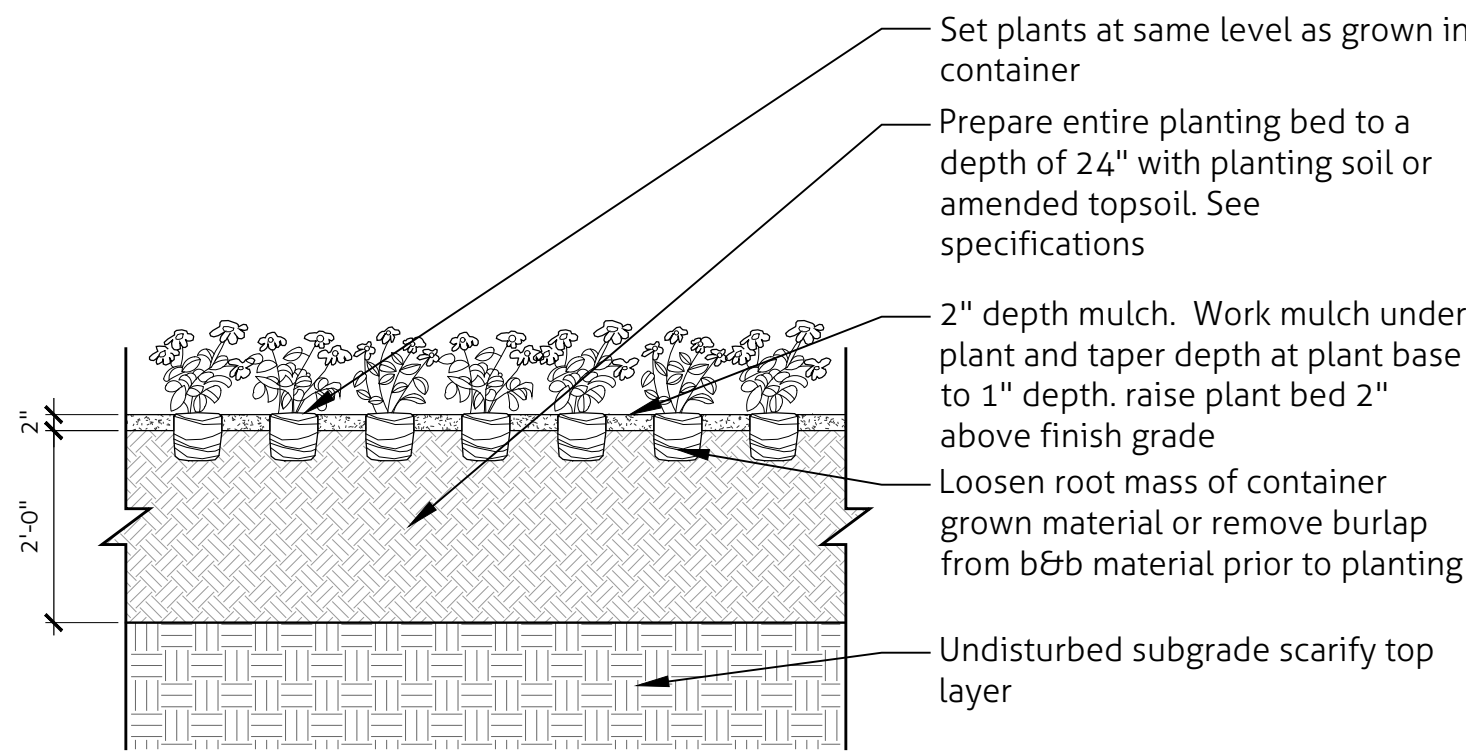


SHEET NUMBER

L204

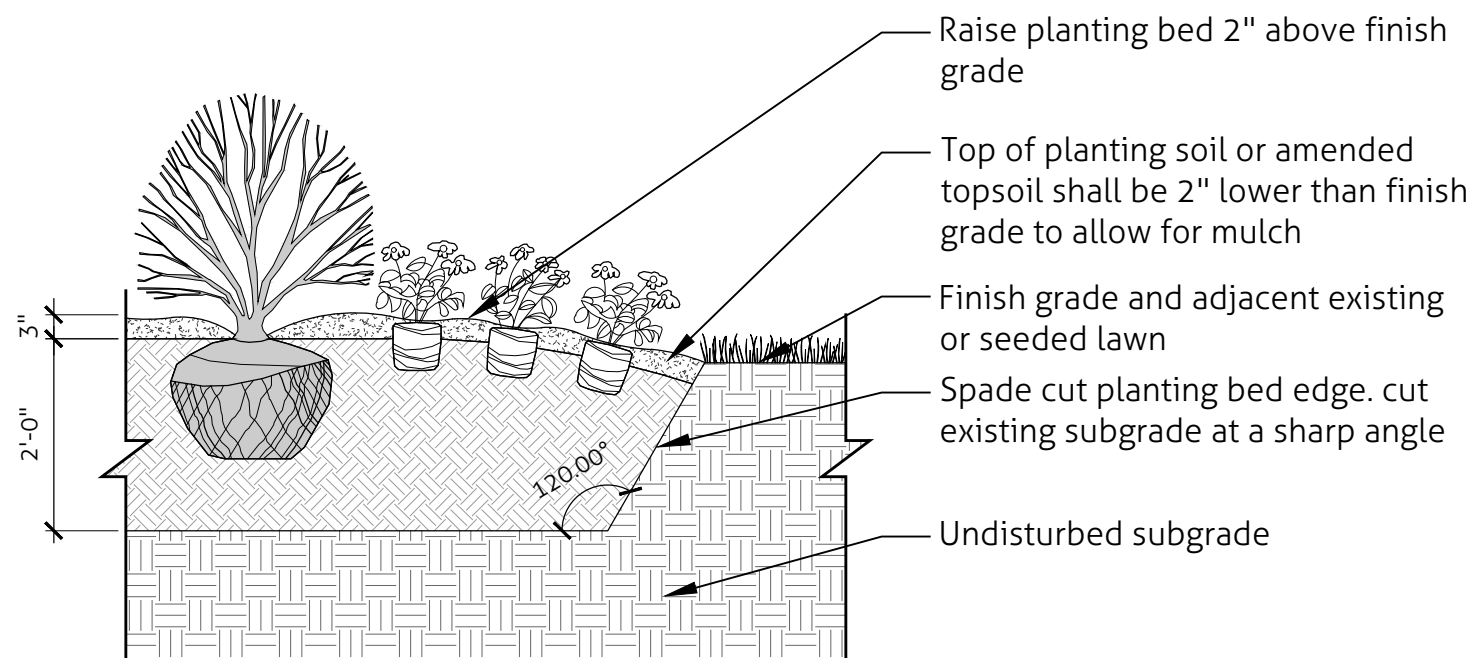
01 | Section - Perennial and Groundcover Planting

Scale: 1/2" = 1'-0"



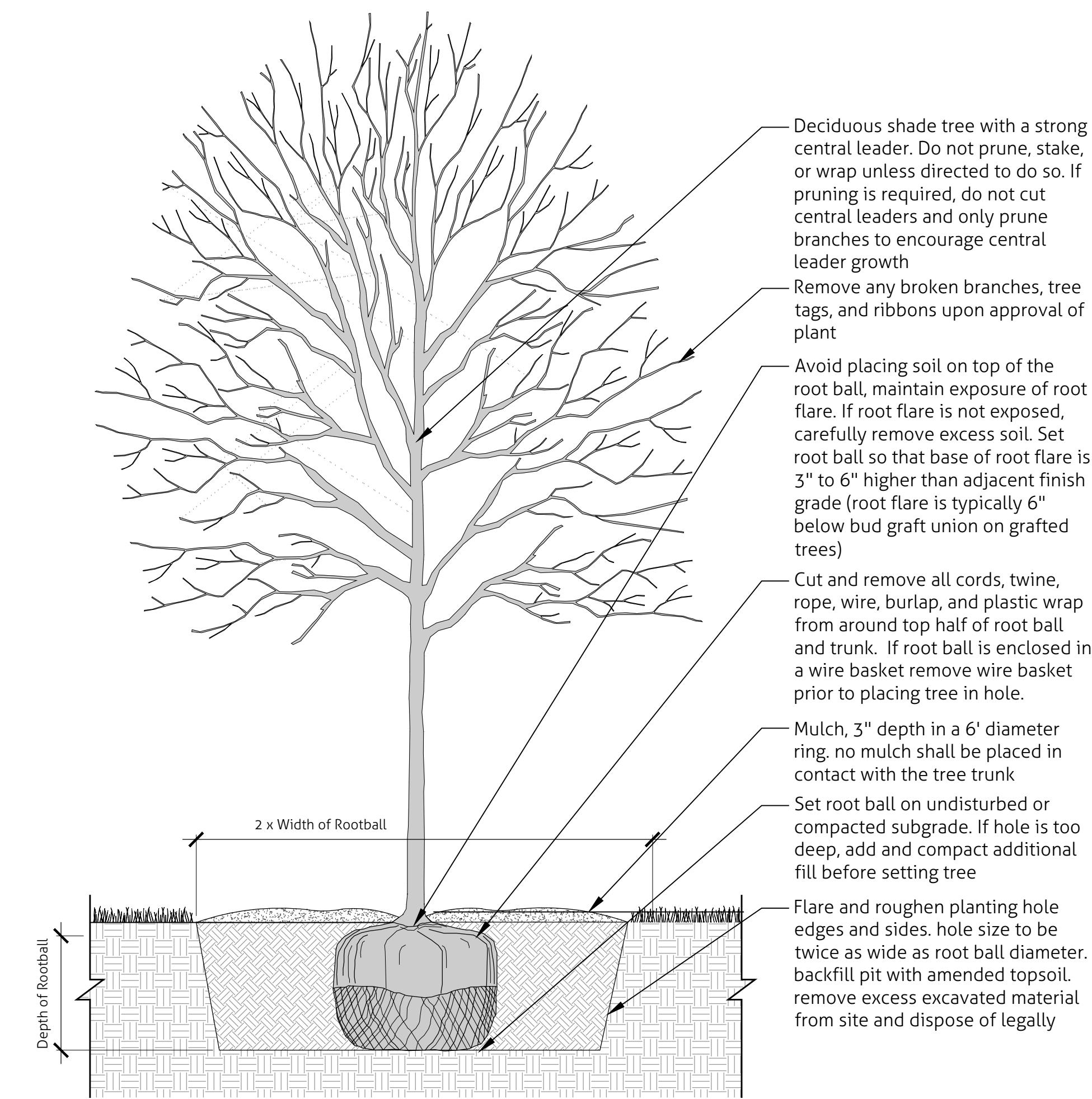
02 | Section - Shrub Planting

Scale: 1/2" = 1'-0"



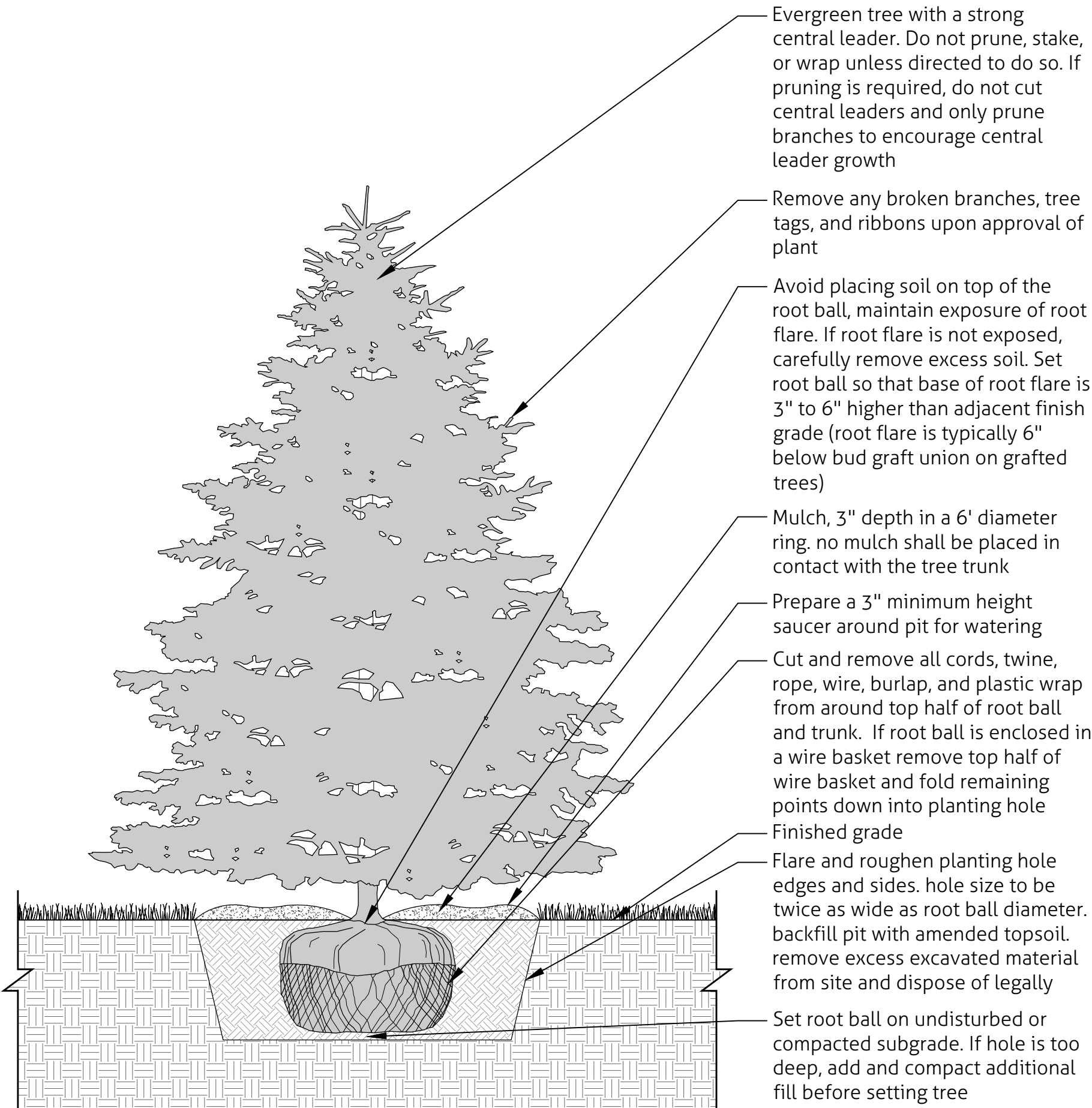
03 | Section - Planting Bed Edge Condition

Scale: 1/2" = 1'-0"



04 | Section - Deciduous Tree Planting

Scale: 1/2" = 1'-0"



05 | Section - Evergreen Tree Planting

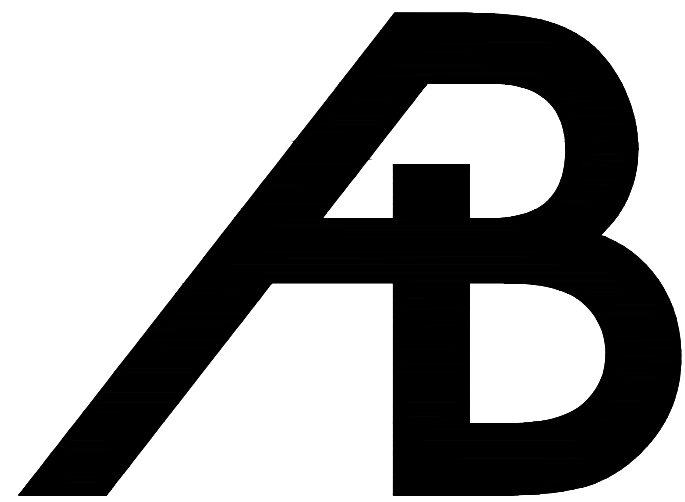
Scale: 1/2" = 1'-0"

PLANT SCHEDULE

STREET TREES						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
GDI	4	Gymnocladus dioicus 'Espresso'	Espresso Coffeetree	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
LIT	16	Liriodendron tulipifera	Tulip Tree	3" CAL	AS SHOWN	6' Clear Trunk, Min. 12' Tall
PMC	51	Platanus x acerifolia 'Morton Circle'	Exclamation London Planetree	3" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
UAP	76	Ulmus americana 'Princeton'	Princeton Elm	3" CAL	AS SHOWN	6' Clear Trunk, Min. 12' Tall
COMMON AREA CANOPY TREES						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
CEO	20	Celtis occidentalis	Hackberry	2.5" CAL	AS SHOWN	6' Clear Trunk, Min. 12' Tall
CTS	7	Catalpa speciosa	Northern Catalpa	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
GDI	16	Gymnocladus dioicus 'Espresso'	Espresso Coffeetree	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
LIT	33	Liriodendron tulipifera	Tulip Tree	3" CAL	AS SHOWN	6' Clear Trunk, Min. 12' Tall
PMC	11	Platanus x acerifolia 'Morton Circle'	Exclamation London Planetree	3" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
QBI	9	Quercus bicolor	Swamp White Oak	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
QIM	15	Quercus imbricaria	Shingle Oak	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 10' Tall
TDI	16	Taxodium distichum	Bald Cypress	2.5" CAL	AS SHOWN	5' Clear Trunk, Min. 12' Tall
EVERGREEN TREES						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
ACO	15	Abies concolor	White Fir	6" TALL	AS SHOWN	Full to Base
JVC	27	Juniperus virginiana 'Canaert'	Canaerti Juniper	6" TALL	AS SHOWN	Full to Base
PST	22	Pinus Strobus	Eastern White Pine	6" TALL	AS SHOWN	Full to Base
UNDERSTORY TREES						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
AGA	23	Amelanchier x grandifolia 'Autumn Blaze'	Autumn Blaze Serviceberry	2" CAL	AS SHOWN	4' Clear Trunk
BNI	10	Betula nigra	River Birch	2" CAL	AS SHOWN	Min. 3 Trunk Clump, Min. 8' Tall
CCR	39	Cercis canadensis	Eastern Redbud	2" CAL	AS SHOWN	Min. 3 Trunk Clump, Min. 8' Tall
CKE	12	Cladrastris kentukea	Yellowwood	2" CAL	AS SHOWN	4' Clear Trunk
OVI	8	Ostrya virginiana	American Hophornbeam	2" CAL	AS SHOWN	4' Clear Trunk
SHRUBS						
KEY	QTY	SCIENTIFIC NAME	COMMON NAME	SIZE	SPACING	REMARKS
AMA	72	Aronia melanocarpa 'Autumn Magi'	Autumn Magic Chokeberry	24" TALL	5' O.C.	Full to Base, Min. 24" Tall
CSF	107	Cornus stolonifera 'Farrow'	Arctic Fire Redtwig Dogwood	24" TALL	5' O.C.	Full to Base, Min. 24" Tall
IVM	13	Itea virginia 'Merlot'	Merlot Sweetspire	18" TALL	36" O.C.	Full to Base, Min. 18" Tall
IGS	38	Ilex glabra 'Shamrock'	Shamrock Inkberry	24" TALL	4' O.C.	Full to Base, Min. 24" Tall
PMP	46	Pinus mugo var. Pumilo	Dwarf Mugo Pine	18" TALL	4' O.C.	Full to Base, Min. 18" Tall
RAG	57	Rhus aromatica 'Gro-low'	Gro-Low Sumac	18" TALL	4' O.C.	Full to Base, Min. 18" Tall
TMW	56	Taxus x media 'Wardii'	Ward's Yew	24" TALL	5' O.C.	Full to Base, Min. 24" Tall
VDE	82	Viburnum dentatum var. deamii 'Glitters & Glows'	Glitters & Glows Viburnum	24" TALL	5' O.C.	Full to Base, Min. 24" Tall
NOTES						
F.T.B. = Full to Base						
Contractor to perform their own quantity takeoffs from landscape plans. In the event that there is a discrepancy between quantities represented on the plans and in the plant schedule, quantities represented on the plans shall take precedence.						

BIOSWALE SEED MIX

SEED MIX BASIS OF DESIGN
MANUFACTURER: Spence Restoration Nursery
MIX: Bioswale Seed Mix
INTALL: Install per manufacturer's specifications
QTY: 22,300 sf



1054 Virginia Ave, Suite 210
Indianapolis, Indiana 46203
www.andersonbohlander.com

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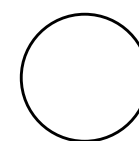
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02 12.05.2025 TAC Resubmittal 2

SHEET TITLE

PLANTING DETAILS

NORTH SCALE:



SHEET NUMBER

L205

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