



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda_09_20_2021

Monday, September 20, 2021 at 07:00 PM

BOARD OR COMMISSION: Advisory Plan Commission (APC)

MEETING DATE: Monday, September 20, 2021 at 07:00 PM

MEETING PLACE: Westfield City Hall, 130 Penn Street, Westfield, IN 46074

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION

Public input can be submitted in 1 of 2 ways:

- Email to planners@westfield.in.gov
- Show up at Westfield City Hall for an opportunity to participate in this public hearing.
- o Staff will be present to help direct traffic inside the room.

OPENING OF MEETING

Documents: [Viewable online at: https://www.youtube.com/user/CityofWestfieldIN](https://www.youtube.com/user/CityofWestfieldIN)

Note the Presence of a Quorum

Approval of Minutes

September 7, 2021 APC Minutes

Documents: [APC Minutes - September 7, 2021](#)

Update to 2021 Schedule of Meetings

(First November Meeting)

Documents: [2021 Updated Schedule of Meetings](#)

Review APC Rules & Procedures

CONSENT AGENDA

2108-DDP-33

Mule Barn Road Commercial

18519 Mule Barn Road

IMI Real Estate, LLC by American Structurepoint, Inc. requests Detailed Development Plan approval for a concrete batch plant on 10 acres +/- in the proposed Mule Barn Road Commercial PUD District.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Site Plan](#) | [Exhibit 4: Building Elevations](#) | [Exhibit 5: Landscape Plan](#)

2109-DDP-37

Cornerstone Church Parking

730 Pawtucket Dr.

Centennial Bible Church, Inc. by Webster & Garino, LLC requests Detailed Development Plan approval of a 60,000 square foot parking lot expansion on 1.60 acres +/- in LB: Local and Neighborhood Business District.

(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Site Plan](#) | [Exhibit 4: Landscape Plan](#)

ITEMS OF BUSINESS

2109-ODP-22 & 2108-SPP-22

Osborne Trails, Phase II

West side of Horton Road, North of 193rd Street

Lennar Homes of Indiana, Inc. requests Overall Development Plan and Primary Plat review of 192 Lots on 60 acres +/- in the Osborne Trails Phase II PUD District.

(Reviewing Planner: Corrie Meyer - cmeyer@westfield.in.gov)

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Primary Plat](#) | [Exhibit 4: Overall Development Plan](#) | [Exhibit 5: Landscape Plan](#)

PUBLIC HEARING ITEMS

No Public Hearing Items

ITEMS CONTINUED TO A FUTURE MEETING

2008-PUD-09 [CONTINUED]

Northpoint II PUD

North side of SR 38 between Anthony Road and Hinkle Road

Northpoint Owners, LLC by Clark, Quinn, Moses, Scott & Grahn, LLP requests a change of zoning for 183.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Northpoint II PUD District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2101-ZOA-01 [CONTINUED]

Unified Development Ordinance Amendment

Westfield City Council requests approval of an ordinance to amend Article 10.9 of the Westfield-Washington Township Unified Development Ordinance.

(Planner: Kevin Todd - ktodd@westfield.in.gov)

2102-PUD-06 [CONTINUED]

Grand Park Village PUD Amendment IV

South Side of 186th Street, ENE of Kinsey Avenue

D&W Farms, Inc. by Henke Development Group requests an amendment to a 68 acre +/- portion of the Grand Park Village PUD to permit Townhome and Single-Family Detached dwelling units.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

2106-PUD-19 [CONTINUED]

Overlook at Wood Wind PUD

North side of 161st Street, 1/4 mile east of Towne Road

Pulte Homes of Indiana, LLC by Church Church Hittle + Antrim requests a change in zoning for 75 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Overlook at Wood Wind PUD District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2108-ODP-18 & 2108-SPP-18 [CONTINUED]

Highlands Latin School

3810 W 146th Street

Indy Latin Schools requests Overall Development Plan and Primary Plat review of 1 Lot and 1 Block on 30.88 acres +/- in AG-SF1: Agriculture/Single-Family Rural District.

(Planner: Rachel Riemenschneider - rriemenschneider@westfield.in.gov)

2108-PUD-21 [CONTINUED]

Grand Millennium Center PUD Amendment I

North of David Brown Drive, East and West of Westfield Blvd

31/32 Investors by Edgerock Development, LLC requests an Amendment to the Permitted Uses and General Regulations of the Grand Millennium Center PUD District.

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

2108-PUD-22 [CONTINUED]

Urban Apples PUD

18326 Spring Mill Road

Herron Holdings, LLC by Church Church Hittle + Antrim requests a change in zoning for 23.71 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Urban Apples PUD District.

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Community Development Department

ADJOURNMENT



Westfield–Washington Township Advisory Plan Commission (APC) Minutes of the Tuesday, September 7, 2021 Meeting *Presented for approval: September 20, 2021*

The Westfield-Washington Township Advisory Plan Commission met at 7:00 p.m.
on Tuesday September 7, 2021 at Westfield City Hall.

Active Links for this Meeting:

[September 7, 2021 BZA Agenda & Exhibits](#)

[September 7, 2021 YouTube Video](#)

Minutes are also available to be acquired or viewed at the City of Westfield Community Development Department.

OPENING OF MEETING *YouTube Time: 0:09*

ROLL CALL: Noted presence of a quorum.

Commissioners Present In-Person: Kristen Burkman, Matthew Deck, Robert Horkay, Andre Maue, Dave Schmitz Victor McCarty, and Cindy Spoljaric.

Commissioners Present Virtually: None.

Commissioners Absent: Mike Johns and Ginny Kelleher.

City Staff Present in Person: Pam Howard, Senior Planner; and Rachel Riemenschneider, Associate Planner.

City Staff Present Virtually: None.

Legal Counsel Present Virtually: Beth Copeland with Taft Stettinius & Hollister LLP.

APPROVAL OF MINUTES *YouTube Time: 1:07*

- August 16, 2021 APC Minutes.

Motion: Maue motioned to approve the August 16, 2021 APC minutes as presented.

McCarty seconded. Motion passed. Vote 7-0.

REVIEW OF RULES AND PROCEDURES *YouTube Time: 1:59*

Howard reviewed the meeting rules and procedures.

CONSENT AGENDA ITEMS *YouTube Time: 3:19*

2108-DDP-30

Sonic

100 E Spring Mill Pointe Drive

Drive-in of Evansville by Weihe Engineers requests Detailed Development Plan review of a 3,174 square foot drive-in restaurant on 1.2 acres +/- in the Spring Mill Pointe PUD District.

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

Agendas for all City meetings are updated and available at our website.

Website: www.westfield.in.gov | Community Development Department E-mail: community@westfield.in.gov

2108-DDP-31**OrthoIndy**

SE Corner of Austrian Pine Way & SR 32 Approximately

Cornerstone Companies, Inc. by Weihe Engineers requests Detailed Development Plan review for a 15,289 square foot medical facility on 6.38 acres +/- in the Austrian Pine PUD District.

(Planner: Daine Crabtree – dcrabtree@westfield.in.gov)

2108-DDP-35**Star Bank**

North side of SR 32, west of Wheeler Road

Star Financial by Kimley-Horn & Associates Inc. requests Detailed Development Plan approval of a 2,000 square foot +/- bank on 0.54 acres +/- in the Wheeler Landing PUD District.

(Planner: Pam Howard – phoward@westfield.in.gov)

2109-DDP-39**Barker Cabin**

136 Penn Street

The Westfield Washington Historical Society & Museum requests Detailed Development Plan approval to reconstruct a 935.42 square foot log cabin on 0.28 acres +/- in in LB-H: Local Business / Historical District.

(Planner: Pam Howard – phoward@westfield.in.gov)

Motion: McCarty motioned to approve the Consent Agenda as presented.

Schmitz seconded. Motion passed. Vote 7-0.

ITEMS OF BUSINESS *YouTube Time: 3:56***2108-ODP-21 &****Bonterra****2108-SPP-21**

South of SR 32 and 1/4 mile west of Gray Road

YouTube Time: 4:10

M/I Homes of Indiana by Kimley-Horn and Associates requests Overall Development Plan and Primary Plat approval of 138 lots and 2 blocks on 28.77 acres +/- in the Bonterra PUD District.

(Reviewing Planner: Corrie Meyer – cmeyer@westfield.in.gov)

(Presenting Planner: Pam Howard - phoward@westfield.in.gov)

Motion: Schmitz motioned to approve 2108-ODP-21 & 2108 SPP-21 subject to the conditions listed in the Staff Report.

McCarty seconded. Motion passed. Vote 7-0.

2108-PUD-23**Springmill Trails PUD Mixed-Use Amendment**

East of Ditch Road, West of Casey Road

YouTube Time: 7:03

Platinum Properties Management Company, LLC by Nelson & Frankenberger, LLC requests an amendment to the Springmill Trails PUD modifying 10.99 acres +/- to allow for development of for-sale townhomes.

(Planner: Rachel Riemenschneider - rriemenschneider@westfield.in.gov)

Motion: Maue motioned to forward 2108-PUD-23 to the City Council with a favorable recommendation subject to the conditions stated with the motion.

McCarty seconded. Motion passed. Vote 6-1. (Burkman)

Agendas for all City meetings are updated and available at our website.

Website: www.westfield.in.gov | Community Development Department E-mail: community@westfield.in.gov

PUBLIC HEARING ITEMS *YouTube Time: 31:10*

2109-ODP-22 & 2109-SPP-22 **Osborne Trails, Phase II**
West side of Horton Road, North of 193rd Street
[PUBLIC HEARING] Lennar Homes of Indiana, Inc. requests Overall Development Plan and Primary Plat review of 192 Lots on 60 acres +/- in the Osborne Trails Phase II PUD District.
YouTube Time: 31:32 *(Reviewing Planner: Corrie Meyer – cmeyer@westfield.in.gov)*
 (Presenting Planner: Pam Howard - phoward@westfield.in.gov)

Public Hearing for 2109-ODP-22 & 2109-SPP-22 opened at 7:32 p.m.

- One Public Comment.

Public Hearing for 2109-ODP-22 & 2109-SPP-22 closed at 7:41 p.m.

ITEMS CONTINUED TO A FUTURE MEETING

2008-PUD-09 **Northpoint II PUD**
[CONTINUED] *North side of SR 38 between Anthony Road and Hinkle Road*
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[CONTINUED] Westfield City Council requests approval of an ordinance to amend Article 10.9 of the Westfield-Washington Township Unified Development Ordinance.
 (Planner: Kevin Todd - ktodd@westfield.in.gov)

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[CONTINUED] *South Side of 186th Street, ENE of Kinsey Avenue*
 D&W Farms, Inc. by Henke Development Group requests an amendment to a 68 acre +/- portion of the Grand Park Village PUD to permit Townhome and Single-family Detached dwelling units.
 (Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

2106-PUD-19 **Overlook at Wood Wind PUD**
[CONTINUED] *North side of 161st Street, 1/4 mile east of Towne Road*
 Pulte Homes of Indiana, LLC by Church Church Hittle + Antrim requests a change in zoning for 75 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Overlook at Wood Wind PUD District.
 (Planner: Pam Howard - phoward@westfield.in.gov)

2108-ODP-18 & 2108-SPP-18 **Highlands Latin School**
[CONTINUED] *3810 W 146th Street*
 Indy Latin Schools requests Overall Development Plan and Primary Plat review of 1 Lot and 1 Block on 30.88 acres +/- in AG-SF1: Agriculture/Single-family Rural District.
 (Planner: Rachel Riemenschneider - rriemenschneider@westfield.in.gov)

2108-PUD-21
[CONTINUED]

Grand Millennium Center PUD Amendment I

North of David Brown Drive, East and West of Westfield Blvd

31/32 Investors by Edgerock Development, LLC requests an Amendment to the Permitted Uses and General Regulations of the Grand Millennium Center PUD District.

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2108-PUD-22
[CONTINUED]

Urban Apples PUD

18326 Spring Mill Road

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(Planner: Pam Howard - phoward@westfield.in.gov)

REPORTS/COMMENTS *YouTube Time: 52:10*

- Plan Commission Members
- City Council Liaison
- Board of Zoning Appeals Liaison
- Community Development Department

ADJOURNMENT *YouTube Time: 53:48*

McCarty motioned to adjourn the meeting.

Deck seconded.

Motion passed. Vote 7-0.

The meeting adjourned at 7:54 p.m.

Robert Horkay, President

Ginny Kelleher, Vice President

Kevin M. Todd, Secretary

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Website: www.westfield.in.gov | Community Development Department E-mail: community@westfield.in.gov



Petition Number: 209-ODP-22 and 2109-SPP-22

Project Name: Osborne Trails, Phase II

Subject Site Address: West side of Horton Road, North of 193rd Street

Petitioner: Lennar Homes of Indiana, Inc

Representative: Lennar Homes

Request: Overall Development Plan and Primary Plat review of 192 Lots in the Osborne Trails Phase II PUD District.

Current Zoning: [Ordinance 21-23 Osborne Trails Phase II PUD](#), SF4 Residential District

Current Land Use: Agriculture

Exhibits:

1. Staff Report
2. Location Map
3. Primary Plat
4. Overall Development Plan
5. Landscape Plan

Approximate Acreage: 60 +/-

Staff Reviewer: Corrie Meyer, AICP, PLA, Planning Consultant

Staff Presenter: Pam Howard, Senior Planner

Procedural

Approval of an Overall Development Plan and Primary Plat must be granted if the submitted plans demonstrate compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

PRIMARY PLAT STANDARDS (Article 10.12(J) of UDO)

The plans comply.

- 1) Proposed name of subdivision.
- 2) Names and addresses of the owner, owners, land surveyor or land planner.
- 3) Title, scale, north arrow and date.



- 4) Streets on and adjoining the site of the proposed subdivision, showing the names (which shall not duplicate other names of streets in the community, unless extensions of such streets) and including roadway widths, approximate gradients, types and widths of pavement, curbs, sidewalks, cross-walks, tree plantings and other pertinent data.
- 5) Easements (locations, widths and purposes). (Article 8.3)
- 6) Statement concerning the location and approximate size or capacity of utilities to be installed.
- 7) Layout of Lots (showing dimensions, numbers and square footage). See PUD Standards
- 8) Parcels of land proposed to be dedicated or reserved for schools, parks, playgrounds or other public, semi-public or community purposes.
- 9) Contours at vertical intervals of two (2) feet if the general slope of the site is less than ten percent (10%) and at vertical intervals of five (5) feet if the general slope is greater than ten percent (10%).
- 10) Tract boundary lines showing dimensions, bearings, angles, and references to section, township and range lines or corners.
- 11) Building setback lines. See PUD Standards.
- 12) Legend and notes.
- 13) Drawing indicating the proposed method of drainage for storm sewers and other surface water drainage.
- 14) Other features or conditions which would affect the subdivision favorable or adversely.
- 15) A National Cooperative Soil Survey Map showing the soil limitations based upon the intended usage of the development land.
- 16) A statement from County departments, State highway departments, or the Public Works Department concerning rights-of-way, road improvements, roadside improvements, roadside drainage, entrances, culvert pipes, and other specifications deemed necessary.
- 17) If private sewage systems, then a statement from the County Health Officer whether private septic system can be used on the property.
- 18) If legal drain is involved, then a statement from the County Drainage Board or County Surveyor's Office concerning easements, right-of-way, permits, etc.
- 19) If floodplain is involved, then a statement from the Indiana Department of Natural Resources, Division of Water, concerning construction in floodway, including floodplain high water marks, etc.

OVERALL DEVELOPMENT PLAN (Article 10.7 of the UDO)

The plans comply.

- 20) Title, scale, north arrow and date.
- 21) Proposed name of the development.
- 22) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 23) Address and legal description of the property.
- 24) Boundary lines of the property including all dimensions.
- 25) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 26) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 27) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 28) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 29) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 30) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 31) Location and dimensions of all existing structures and paved areas.
- 32) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 33) Location of all Floodplain areas within the boundaries of the property.
- 34) Names of legal ditches and streams on or adjacent to the site.

- 35) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 36) Identify buildings proposed for demolition.
- 37) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 38) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

DISTRICT STANDARDS

The plans comply with SF4, AND THE OSBORNE TRAILS-PHASE II PUD

39) Single-family Attached District SF4

- A. **Purpose and Intent:** The purpose of this district is to accommodate higher density Single-family Dwellings with available State-approved water and sewer facilities for land with at least one-eighth (1/8) of its perimeter contiguous to the corporate limits of the City.
- B. **Minimum Lot Area:** 9,000 square feet **COMMENT: N/A, SEE PUD**
- C. **Minimum Lot Frontage:** 40 feet **COMMENT: N/A, SEE PUD**
- D. **Minimum Building Lines:** **COMMENT: N/A, SEE PUD**
 1. Front Yard: 25 feet
 2. Side Yard: 8 feet
 3. Rear Yard: 25 feet
- E. **Minimum Lot Width:** 50 feet **COMMENT: N/A, SEE PUD**
- F. **Maximum Building Height:** 25 feet (see also [Article 6.6 Height Standards](#))
- G. **Minimum Living Area (Ground Floor):** **COMMENT: N/A, SEE PUD**
 1. Single-story: 1,000 square feet
 2. Two-story: 750 square feet
 3. Tri-level: 750 square feet (Basement and first level)
 4. Story and one-half: 750 square feet
- H. **Development Plan Review:** Required for Major Subdivisions.

40) Osborne Trails Phase II PUD

- a) Minimum Lot Area 5,850 square feet
- b) Minimum Lot Frontage 35'
- c) Minimum Building Setback Lines

- i) Front Yard 21'
- ii) Side Yard 5'
- iii) Rear Yard 20'
- d) Minimum Lot Width 45'
- e) Maximum Building Height 2 ½ stories
- f) Minimum Living Area (total):
 - i) Single-story 1,200 square feet
 - ii) Two-story 1,800 square feet

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply.

- 41) Architectural Standards (Article 6.3) and Osborne Trails Phase II
- 42) Building Standards (Article 6.4)
- 43) Fence Standards (Article 6.5)
- 44) Height Standards (Article 6.6) SEE PUD STANDARDS
- 45) Landscaping Standards (Article 6.8 and PUD):
 - a) Lot Landscaping: Article 6.8(K) Minimum Lot Landscaping Requirements shall apply except as modified and enhanced below:
 - i) A minimum of ten (10) shrubs will be provided at the foundation of the home in the front yard.
 - b) Front yards must be planted with sod and side and rear yards may be either seeded or sodded. For corner lots, sod must be planted in both "front" yards.
 - c) External Street Frontage Landscaping Requirements: Article 6.8(M) shall apply except as modified below:
 - i) A black "4-board" fence shall be provided along a minimum of sixty-five percent (65%) of the Street Frontage Planting Area of Horton Road.
- 46) Lighting Standards (Article 6.9)
- 47) Lot Standards (Article 6.10) SEE DISTRICT STANDARDS.
- 48) Setback Standards (Article 6.16) SEE DISTRICT STANDARDS.
- 49) Vision Clearance Standards (Article 6.19)
 - a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:
 - i) Forty (40) feet from intersections of Collectors, Private or Local Street.
 - ii) Seventy-five (75) feet from intersections of Expressways or Arterials.
 - b) Yard Standards (Article 6.21)

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 50) Block Standards (Article 8.1) SEE PUD STANDARD
- 51) Easement Standards (Article 8.3)
- 52) Monument and Marker Standards (Article 8.5) WILL BE REVIEWED ON SECONDARY PLAT
- 53) Street and Right-of-Way Standards (Article 8.9) and PUD \
 - a) All Streets within the District shall be designed with a Right-Of-Way of fifty-nine (59') feet with a minimum Street width of thirty-one (31') feet from back of curb to back of curb, with the exception of the frontage road. There shall be an eight (8') feet wide planting strip from back of curb to front edge of sidewalk. Sidewalks shall be five (5') feet in width.
 - b) On-Street Parking. On street parking shall be limited to one side of the street. No parking signs shall be installed to indicate which side of the street is prohibited.
- 54) Street Sign Standards (Article 8.11) and PUD. The developer will be responsible for the cost of, and the placement of all street signage as required by the City.
- 55) Utilities. All utilities within the District will be trenched and located behind the curb. This commitment is subject to the approval by the utilities that will serve the community. Private utilities shall be placed in the utility easements and shall not be within the public Right-Of-Way.
- 56) Pedestrian Network Standards (Article 8.7)
- 57) Storm Water Standards (Article 8.8)
- 58) Street Light Standards (Article 8.10)
 - a) General: The Developer shall install, or cause to be installed, street lights at all intersections, development entrances, and along internal Streets as required by the provisions of this Article. The Plan Commission may direct street lights at other locations if in its discretion it determines is necessary to provide vehicular or pedestrian safety.
 - b) Street Lights at Intersections: The Developer shall propose a lighting design that provides the minimum amount of light necessary for vehicular and pedestrian safety at all intersections within the development, consistent with the City's Construction Standards (see *Article 7.3 Principles and Standards of Design*) and the public utility providing such lighting. The Public Works Department may reduce the number of intersections required to have street lighting. Under no circumstances shall the major intersections (involving Collectors or Arterials) within the development be waived.
 - c) Lighting between Intersections: Unless street lights have been provided at the lesser of either mid-Block or every fifteen (15) lots, a dusk-to-dawn light that operates on a photo cell shall be installed on each home site. This lighting shall be maintained by the Property Owner in perpetuity.
- 59) Surety Standards (Article 8.12)
- 60) Utility Standards (Article 8.13)

DEPARTMENT COMMENTS

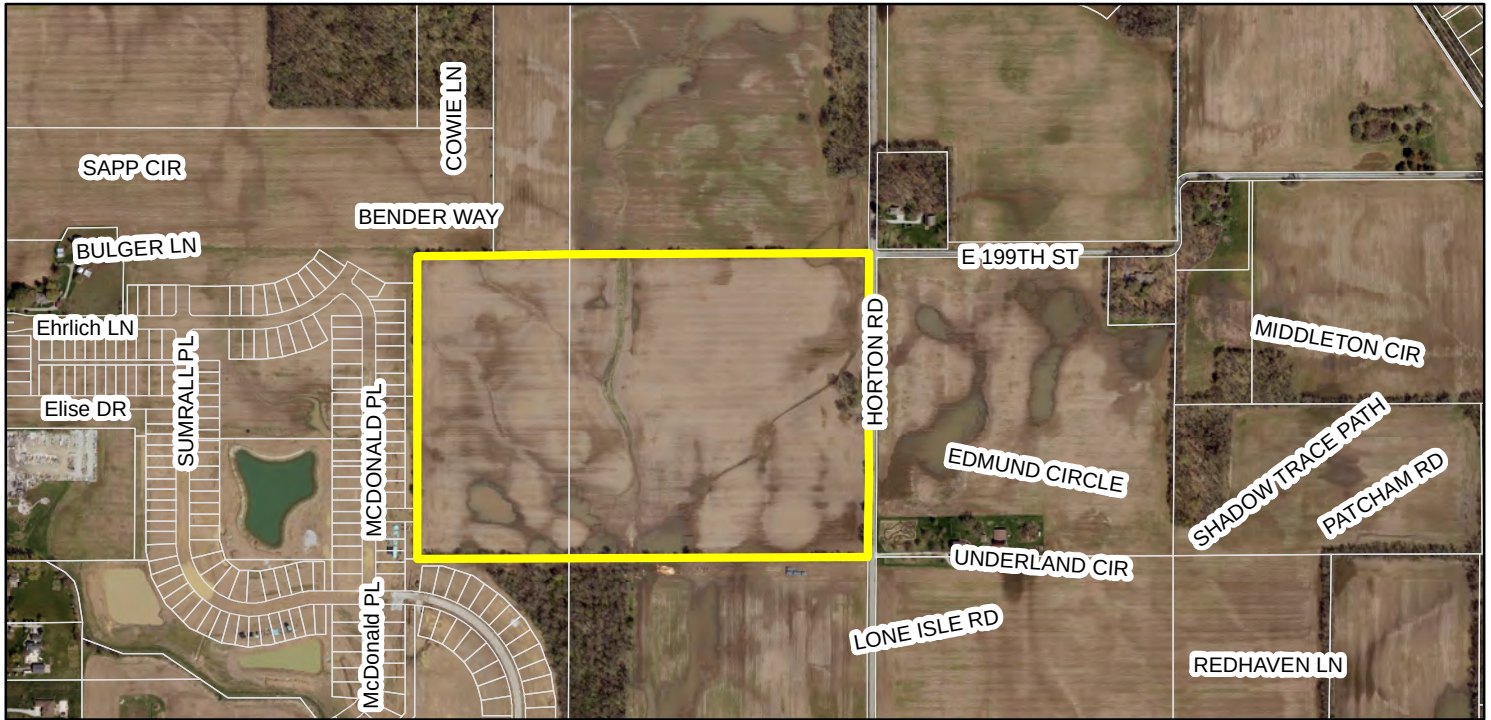
1. **Action: Recommend approval at the September 20, 2021, Plan Commission meeting.**
2. If any Plan Commission member has questions prior to the public hearing, then please contact Corrie Meyer at 317-660-1762 or cmeyer@westfield.in.gov.



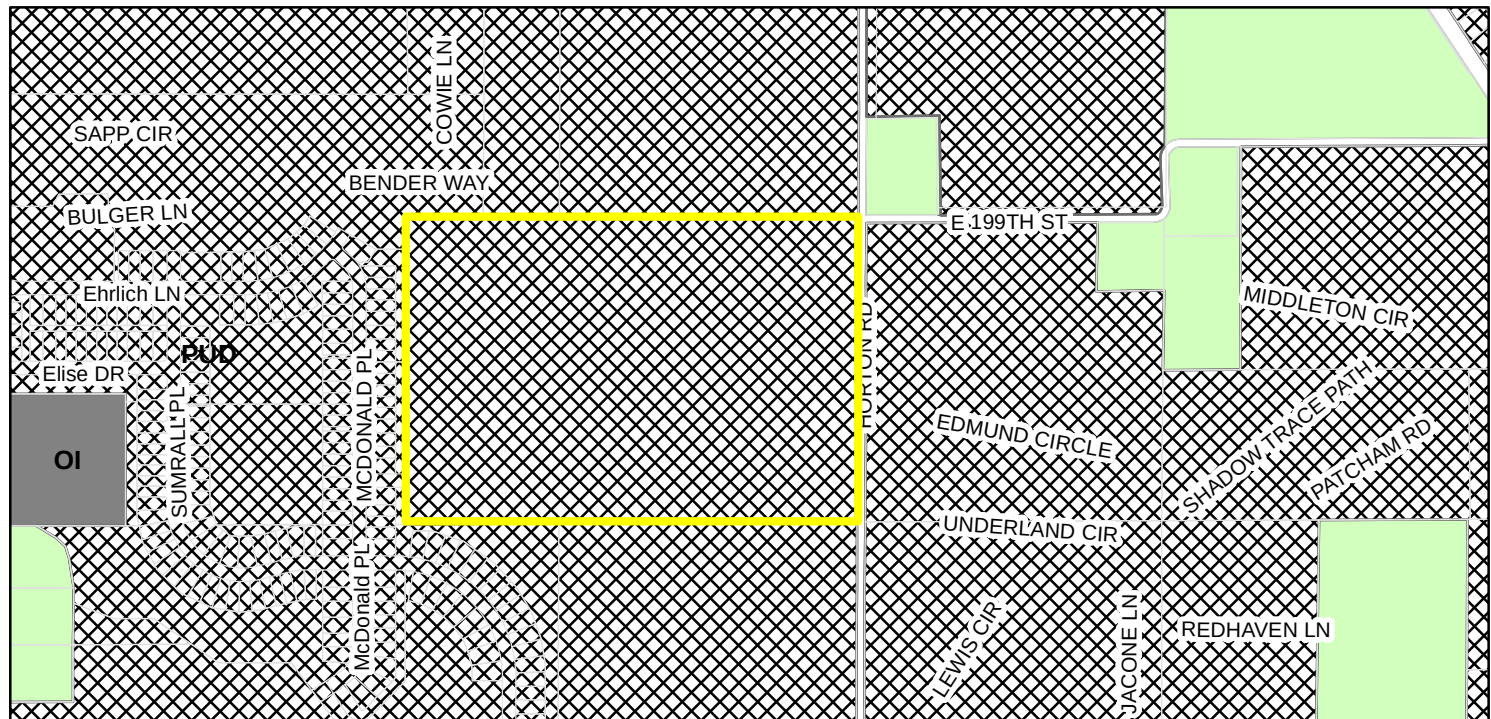
Property Location Map
Osborne Trails Phase II
2109-ODP-22 & 2109-SPP-22



Aerial Location Map



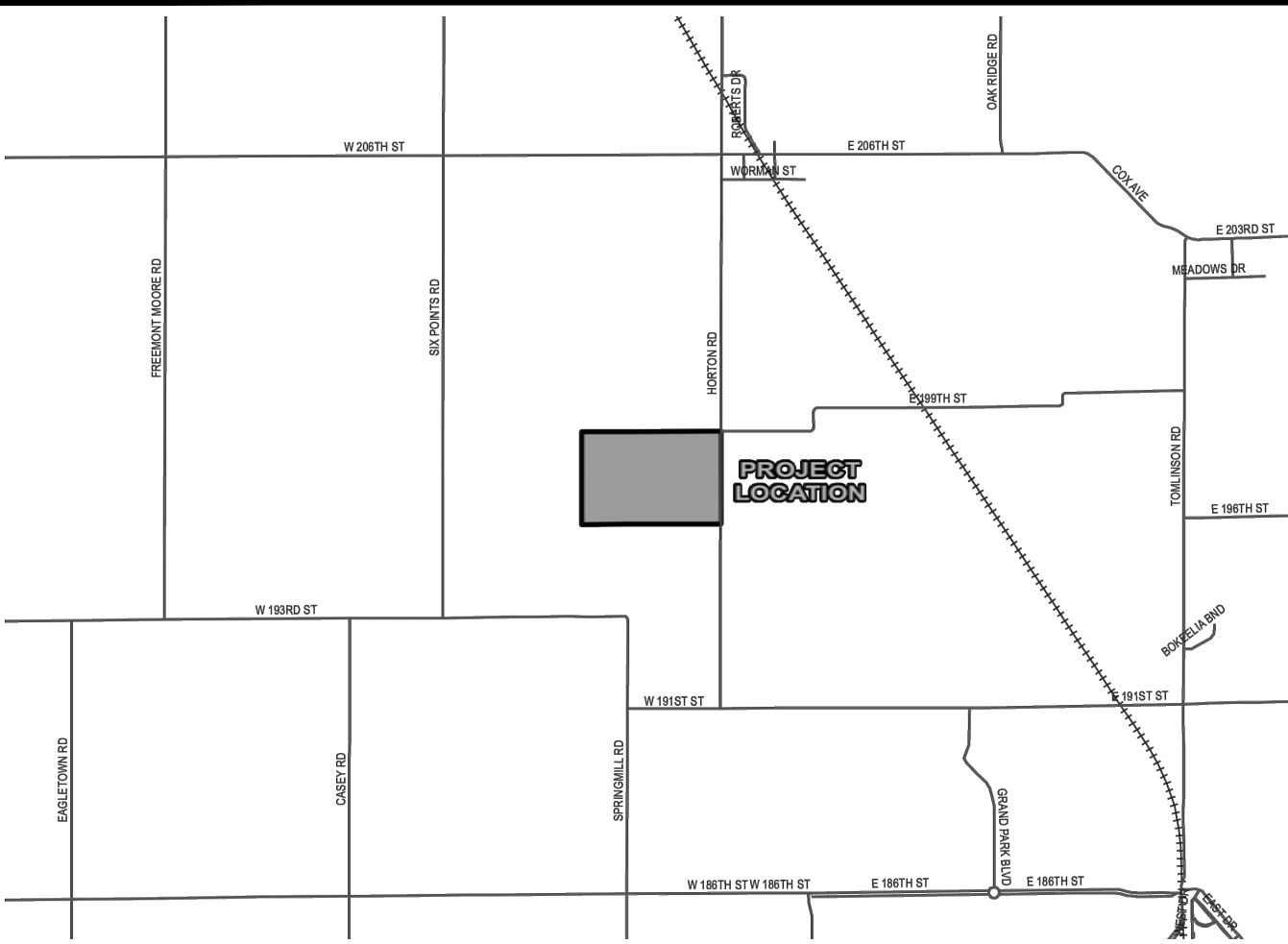
Zoning Map



Zoning

- AG-SF1 (Agriculture - Single Family - 1)
- OI (Open Industrial)
- PUD (Planned Unit Development)

File Name: W:\Lennar\2020-277-S Lennar- Bonas Property\Design\CAD\Plans\Primary Plat\20277_PP_Cover.dwg, Layout: C1.0 Plot Date: Sep 10, 2021 Plot Time: 3:29pm By: keichhorn



LOCATION MAP
SCALE 1" = 1/2 MILE

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM
TECHNICAL ADVISORY COMMITTEE MEMBERS

CITY OF WESTFIELD		
Westfield Community Development Department (P) 2728 East 171st Street Westfield, Indiana 46074 (317) 804-3170 community@westfield.in.gov	Westfield Fire Department (P) 17535 Dartown Road Westfield, Indiana 46074 Fire Marshal/Division Chief Jim Roberts (317) 804-3307 jroberts@westfield.in.gov	Westfield G.I.S. (for addressing) 2706 East 171st Street Westfield, Indiana 46074 Leane Heiber (317) 804-3001 lheber@westfield.in.gov
	Westfield Public Works Department Plan Review, Pre-Construction, Stormwater & Mass Grading (C) (P) 2706 East 171st Street Westfield, Indiana 46074 John Rankin (317) 804-3147 jrankin@westfield.in.gov	
SCHOOL CORPORATION	STATE OF INDIANA	HAMILTON COUNTY
Westfield-Washington School Corp. 1145 East 181st Street Westfield, Indiana 46074 Joe Montaloni (317) 867-8045 montaloni@wvs.k12.in.us	Indiana Department of Transportation (INDOT) Tipton Sub-District 2152 West State Road 28 Tipton, Indiana 46072 Sandra Landrum (317) 402-1823 (cell) (765) 675-7402 x-6 slandrum@indot.in.gov	Hamilton County Soil and Water Conservation 1717 Pleasant St, Suite 100 Noblesville, IN 46060 Dave Bradway (317) 773-2181 david.bradway@hamiltoncounty.in.gov
HAMILTON COUNTY	HAMILTON COUNTY	HAMILTON COUNTY
Hamilton County Surveyor's Office (H) One Hamilton County Square, Suite 188 Noblesville, Indiana 46060 Samuel Clark (317) 776-8485 samuel.clark@hamiltoncounty.in.gov	Hamilton County Highway Department 1700 S. 10th Street Noblesville, Indiana 46060 Dave Lucas (317) 773-7770 dave.lucas@hamiltoncounty.in.gov	Hamilton County Health Department 18080 Foundation Drive, Suite A Noblesville, Indiana 46060 Larry Beard (317) 776-8500 larry.beard@hamiltoncounty.in.gov
SERVICE PROVIDERS		
Citizens Westfield (for water & sanitary sewer) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Mitch House (317) 917-5294 mhouse@citizensenergygroup.com	Citizens Gas of Westfield (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Richard Miller, Jr. Construction Field Coordinator (317) 927-4684 rmiller@citizensenergygroup.com	Citizens Energy Group (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Chris L. Kehl (317) 927-4538 ckehl@citizensenergygroup.com
(H) = agencies/departments that require hardcopies of plans; otherwise electronic copies of plans suffice. (C) = denotes agencies/departments that require CAD files of plans. (P) = PDF		

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM
TECHNICAL ADVISORY COMMITTEE MEMBERS

SERVICE PROVIDERS (CONT.)		
Duke Energy (Noblesville Office) (C) 100 South Hill Creek Road Noblesville, Indiana 46062 JD Cox (317) 776-5350 / (317) 349-3740 (cell) jd.cox@duke-energy.com	Duke Energy (Carmel Office) (H) (C) 18475 Southpark Drive Westfield, Indiana 46074 Please contact JD Cox (317) 776-5350 / (317) 349-3740 (cell) jd.cox@duke-energy.com	Duke Energy: Asset Protection (H) (C) W5500 / 2727 Central Avenue Columbus, Indiana 47201 Ryan Daugherty (812) 375-2021 ryan.daugherty@duke-energy.com
Panhandle Eastern Pipeline Company 9371 Zionville Road Indianapolis, Indiana 46268 Troy Nackle (317) 733-3213 troynackle@energytransfer.com Mark Wood (317) 733-3223 mark.wood@energytransfer.com	Indiana Gas / Vectren (P) (C) P.O. Box 1700 Noblesville, Indiana 46061 Chad Miller (317) 776-5590 cmiller@vectren.com	Comcast Cable 5330 East 65th Street Indianapolis, Indiana 46220 Earl Small, Jr. (317) 982-2161 Earl.Small@cable.comcast.com
Spectrum 3030 Roosevelt Avenue Noblesville, Indiana 46218 Matt Filson (317) 713-3899 / (317) 618-2822 (cell) mfilson@filsoncharters.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	AT&T 240 North Meridian Street Indianapolis, Indiana 46204 Wendy Noble (317) 610-5440 / (317) 403-6673 (cell) wnoble@att.com
Marathon Pipeline LLC 10722 East County Road 300 North Indianapolis, Indiana 46234 Brian Phillips (317) 291-9460 brphillips@marathonpetroleum.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	Zayo Group 5300 East 65th Street Indianapolis, Indiana 46220 Waylon Higgins (765) 341-1199 inlv_relo@zayo.com
MetroNet (C) 12415 Old Meridian Street Carmel, Indiana 46032 Marc Hill (317) 670-7995 Marc.Hill@metronetinc.com		

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(P) = PDF

WESTFIELD COMMUNITY DEVELOPMENT DEPARTMENT | 2728 EAST 171ST STREET, WESTFIELD, INDIANA 46074 08.26.2021

OSBORNE TRAILS - PHASE II OVERALL PRIMARY PLAT PLAN

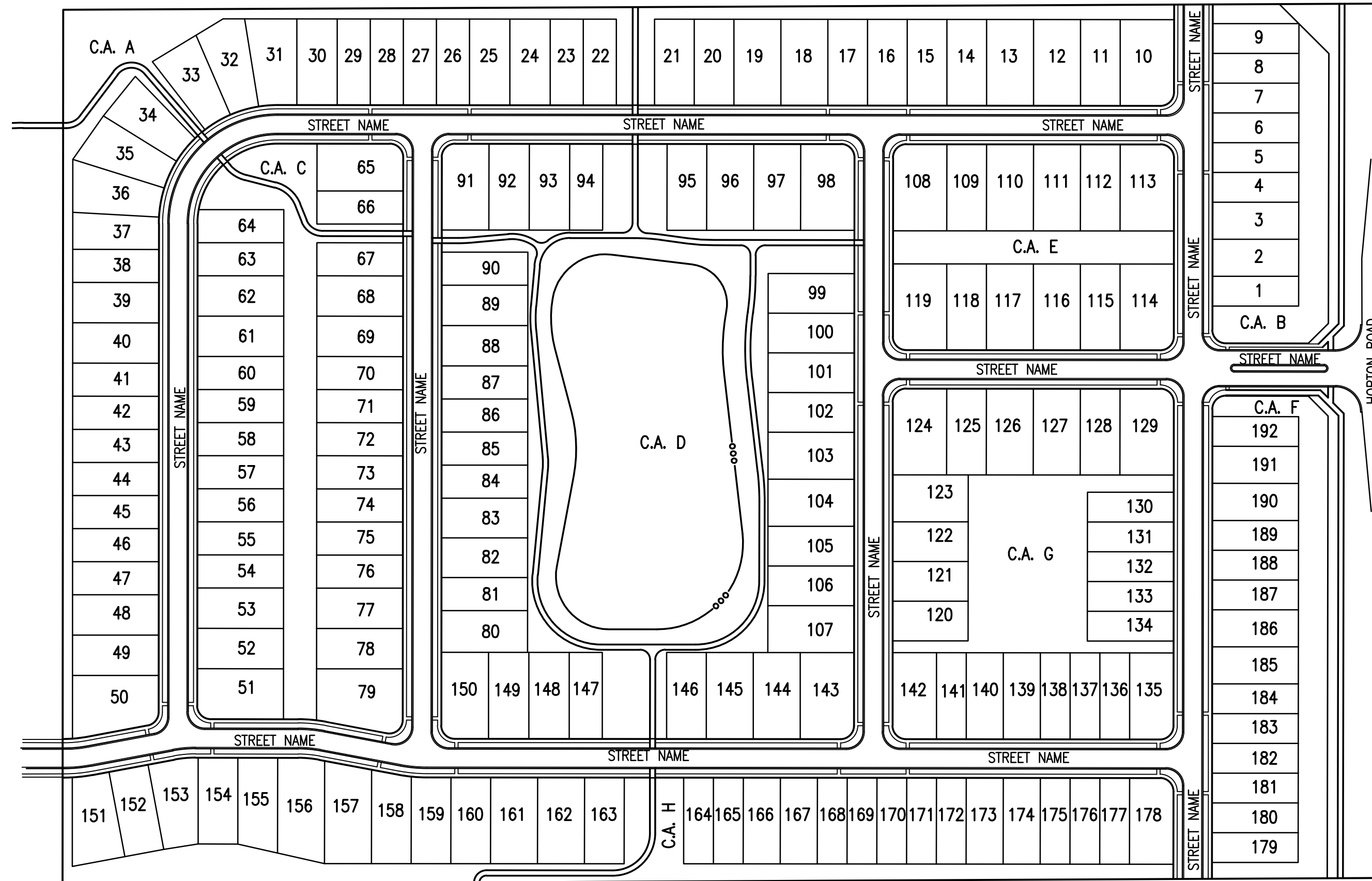
Lennar Homes of Indiana, Inc.

CONTACT: Tony Bagato
11555 N. Meridian Street, Suite 400
Carmel, Indiana 46032
(317) 659-3200
Email: tony.bagato@lennar.com

AS-SURVEYED LAND DESCRIPTION

The East Half of the Southeast Quarter of the Southeast Quarter of Section 22, and the Southwest Quarter of the Southwest Quarter of Section 23, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 21500017, HWC Engineering Job Number 2020-277-S, dated March 10, 2021, more particularly described as follows:

BEGINNING at the southeast corner of said Southwest Quarter of said Section 23, marked by a mag nail with washer stamped "CRIPE 0055"; thence North 00 degrees 06 minutes 21 seconds East (assumed bearing per Osborne Trails, Section 1, per plat recorded in Plat Cabinet 5, Slide 1052 as Instrument Number 2019051344 in the Office of the Recorder of Hamilton County, Indiana) along the east line of said Southwest Quarter of said Southwest Quarter a distance of 1321.70 feet to the northeast corner of said Quarter-Quarter Section; thence South 89 degrees 43 minutes 45 seconds West along the north line of said Quarter-Quarter Section a distance of 1326.42 feet to the northwest corner thereof, marked by a 5/8-inch rebar with cap stamped "MILLER S0083"; thence South 89 degrees 44 minutes 37 seconds West along the north line of said East Half of said Southeast Quarter of said Southeast Quarter of said Section 22 a distance of 661.87 feet to a corner of Osborne Trails, Section 3, per plat recorded in Plat Cabinet 6, Slide 45 as Instrument Number 2021004908 in said Recorder's Office, said corner marked by a 5/8-inch rebar with cap stamped "S&A FIRM 0008"; thence South 00 degrees 02 minutes 47 seconds West along an east line of said Osborne Trails, Section 3 and an east line of said Osborne Trails, Section 1 a distance of 1322.09 feet to the southeast corner of Common Area #6 in said Osborne Trails, Section 1, marked by a 5/8-inch rebar with cap stamped "S&A FIRM 0008"; thence North 89 degrees 43 minutes 26 seconds East along a north line of said Osborne Trails, Section 1 a distance of 661.94 feet to the southwest corner of said Southwest Quarter of said Section 23, marked by a stone; thence North 89 degrees 43 minutes 18 seconds East along the south line of said Southwest Quarter of said Southwest Quarter of said Section 23 a distance of 1324.98 feet to the POINT OF BEGINNING, containing 60.314 acres, more or less.



SITE MAP
SCALE: 1" = 150'



SOILS MAP
NOT TO SCALE

SOILS LEGEND

Br Brookstone silty clay loam, 0 to 2 percent slopes
CrA Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes

PRIMARY PLAT SHEET SET

SHEET LIST TABLE

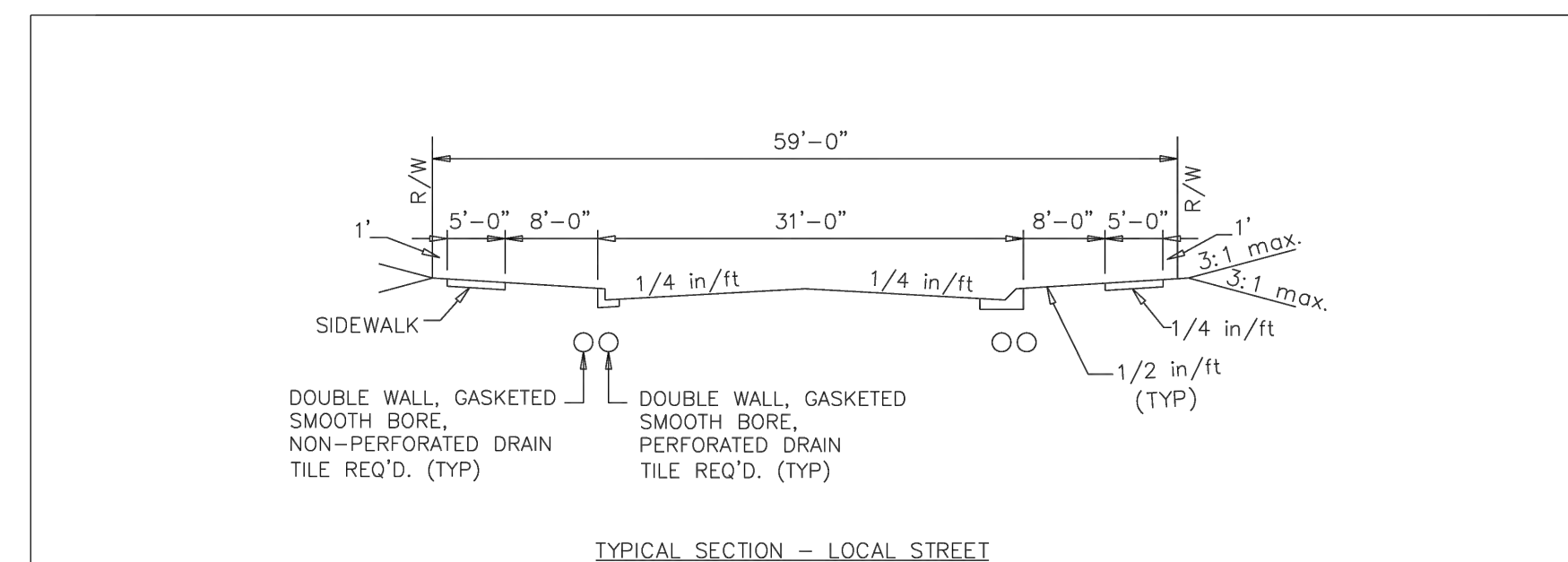
Sheet Title	Sheet Description
C1.0	COVER
C1.1	OVERALL SITE PLAN
C1.2-C1.5	OVERALL PRIMARY PLAT PLAN

The presence of a City of Westfield review and acceptance stamp on plans does not relieve the Contractor or Developer from compliance of the "City of Westfield construction Standards, latest edition". This review only designates that the general conformance with design and specifications have been met. Field changes may become necessary in order to comply with the detailed City of Westfield Specifications.

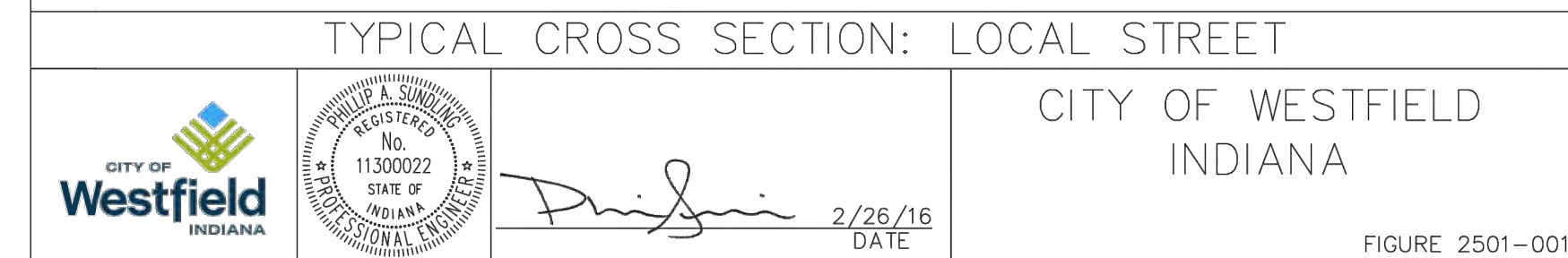
FLOOD HAZARD STATEMENT:

THE ACCURACY OF THE FLOOD HAZARD INFORMATION SHOWN OR IDENTIFIED HEREON IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAP. THE WITHIN DESCRIBED TRACT OF LAND LIES WITHIN FLOOD HAZARD ZONE X (UNSHADED) AS SAID TRACT PLOTS BY SCALE ON COMMUNITY PANEL NUMBER 180080 C0110 G (MAP NUMBER 18057C0110G) OF THE FLOOD INSURANCE RATE MAPS FOR HAMILTON COUNTY, INDIANA (MAPS DATED NOVEMBER 19, 2014).

All Contractors Shall Review City Of Westfield Standards And Specifications Prior To Bidding On This Project. Additional Specifications, Not Included In This Set Of Plans, May Be Required. <http://www.westfield.in.gov/egov/apps/document/center.egov?view=item;id=50>



- NOTES:
- The curb & gutter shall be Type I or Type II as shown on the Curb & Gutter standard sheets. Type II curb & gutter shall be used adjacent to, and in, non-residential or multi-family residential areas and on entrances of residential development along thoroughfares.
 - For curb and gutter detail, see Figure 2500-008
 - 8'-0" tree buffers are required for all local streets. Refer to the City of Westfield street tree planting specifications for additional details. For approved species, see Master Tree List.



PREPARED BY:
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
CONTACT: KYLE EICHHORN
P: 317-981-1249
E: keichhorn@hwcengineering.com

DEVELOPMENT STANDARDS

BANAS PROPERTY
ZONING: OSBORNE TRAILS - PHASE 2 PUD DISTRICT
LOTS: 192

MINIMUM LOT AREA: 5,850 S.F.
MINIMUM LOT FRONTAGE: 35'
MINIMUM BUILDING SETBACK LINES:
• FRONT YARD 21'
• SIDE YARD 5'
• REAR YARD 20'
MINIMUM LOT WIDTH: 45'
MAXIMUM BUILDING HEIGHT: 2 1/2 STORIES
MINIMUM LIVING AREA (TOTAL): 1,200 S.F.
• SINGLE-STORY 1,800 S.F.
• TWO-STORY



Call 811 or 800-382-5544 Before you Dig!

REVISIONS

DATE	DESCRIPTION	BY



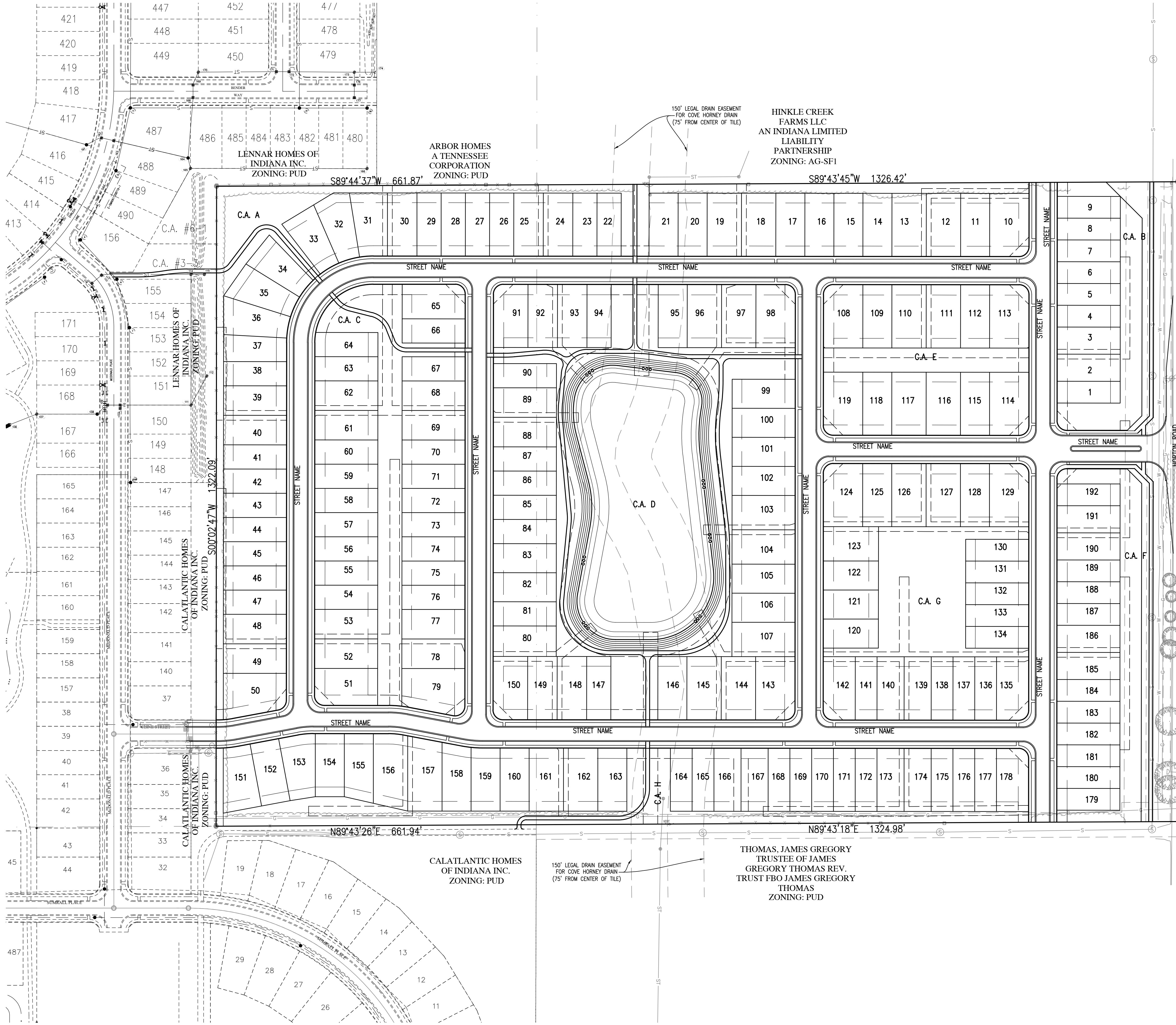
OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA

COVER



DRAWN BY
BP
CHECKED BY
KE
DATE
JULY 30, 2021
SCALE
AS SHOWN
SHEET
JOB NUMBER
2021-277-S

C1.0
COVER



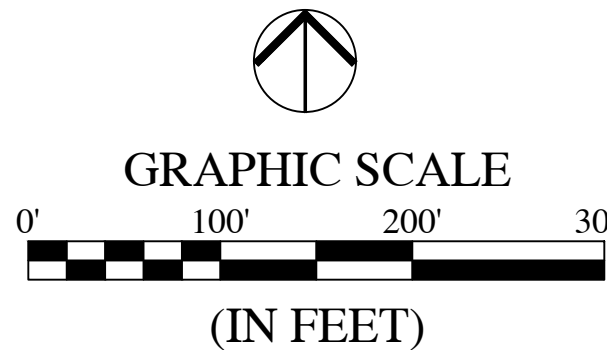
SMITH, DENNIS & TERINA J
19903 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

E 199TH STREET
(PUBLIC ROADWAY)

HORTON ROAD
(PUBLIC ROADWAY)

CHATHAM HILLS LL
19601 HORTON ROAI
WESTFIELD, IN 4607
ZONING: AG-SF1

CHATHAM HILLS LLP
WESTFIELD, IN 46074
ZONING: AG-SF1



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	---	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	TREE LINE	---

ABBREVIATIONS:

C.A.	- COMMON AREA
25	- LOT NUMBER

AS-SURVEYED LAND DESCRIPTION

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ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY



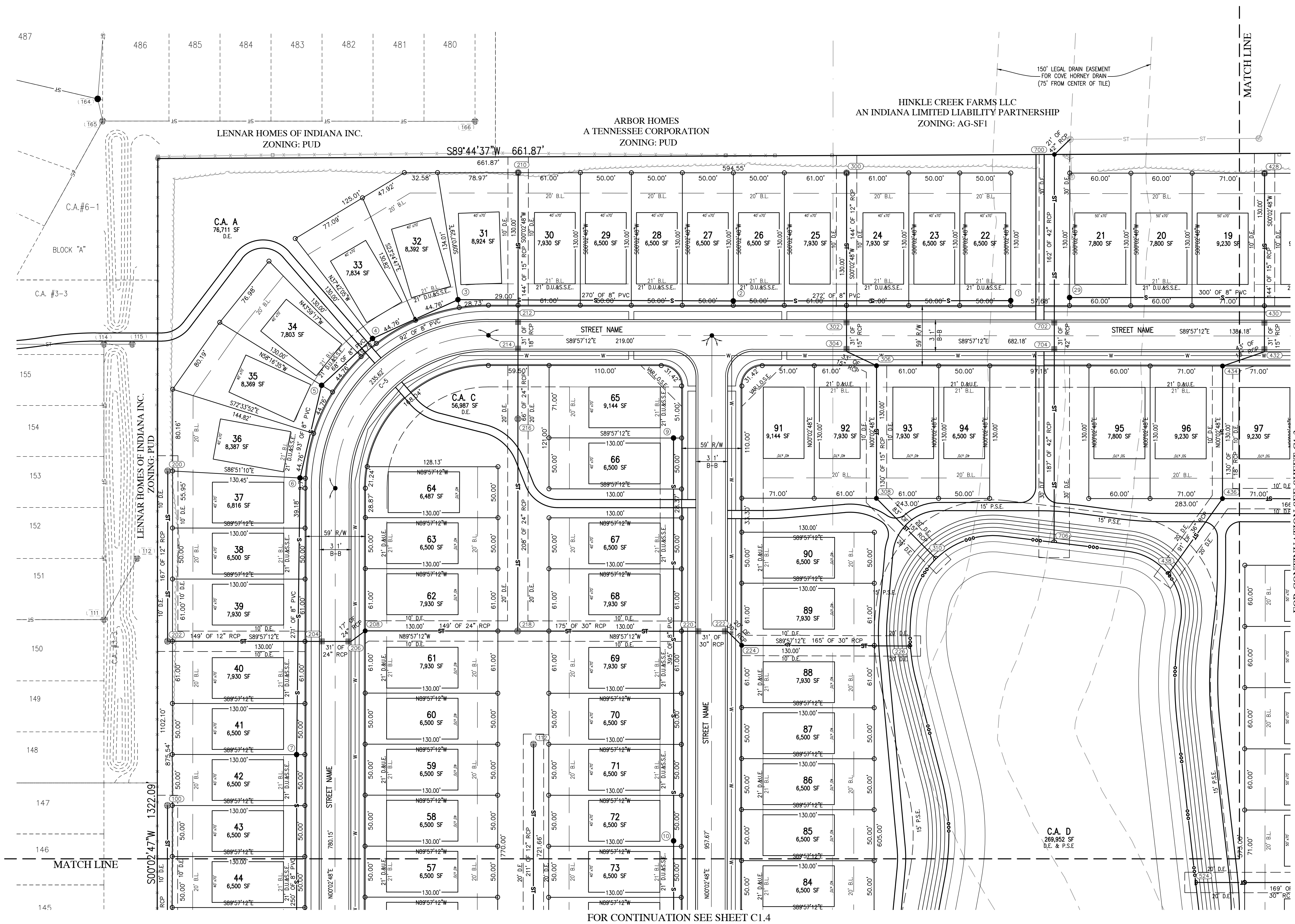
OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL SITE PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY BP	JOB NUMBER 2021-277-S
CHECKED BY KE	
DATE JULY 30, 2021	
SCALE AS SHOWN	
SHEET	

C1.1

OVERALL SITE PLAN



ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

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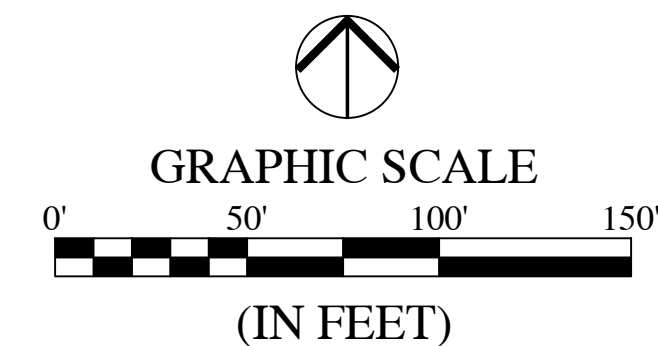
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Call 811 or 800-382-5544 Before you Dig!



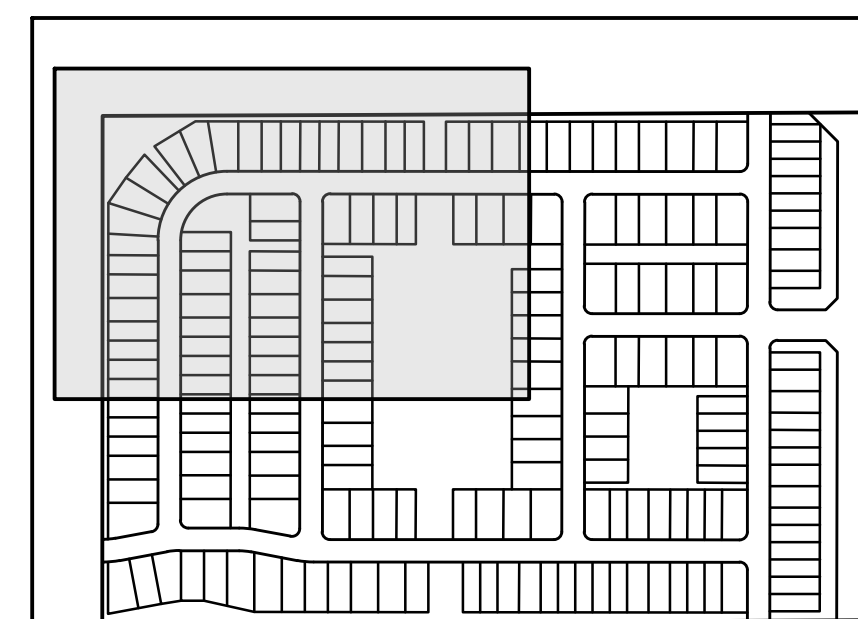
LEGEND:

EXISTING		PROPOSED
	RIGHT-OF-WAY LINE	
	EASEMENT LINE	
	SETBACK LINE	
	CENTERLINE	
	SWALE / FLOWLINE	
	SUBSURFACE DRAIN	
	SANITARY SEWER	
	STORM SEWER	
	STORM CULVERT	
	WATER MAIN	
	CONTOUR, MAJOR	
	CONTOUR, MINOR	
	FENCE	
	TREE LINE	
	SANITARY MANHOLE	
	STORM MANHOLE	
	STORM INLET	
	STORM END SECTION	
	FIRE HYDRANT	
	FLOW ARROW	
	STREET LIGHT	
	6' x 6' VEHICLE BARRIER POST	

ABBREVIATIONS:

BC	- BACK OF CURB
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FL	- FLOW LINE
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D.U.&S.E.	- DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
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P.A.E.	- PEDESTRIAN ACCESS EASEMENT
ESMT.	- EASEMENT
25	- LOT NUMBER
B.S.L.	- BUILDING SETBACK LINE
S.F.	- SQUARE FEET
R/W	- PUBLIC RIGHT-OF-WAY

Curve Table					
Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	36.89'	200.00'	36.84'	N84°42'55"E	10°34'10"
C-2	10.33'	200.00'	10.32'	S80°54'34"W	2°57'29"
C-3	37.06'	200.00'	37.00'	N84°38'43"W	10°36'58"
C-4	29.90'	200.00'	29.88'	S83°37'15"E	8°34'02"
C-5	235.62'	150.00'	212.13'	N45°02'48"E	90°00'00"



KEYMAP
SCALE: 1" = 500'

REVISIONS

[illegible]

**OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL PRIMARY PLAT PLAN**

OVERALL PRIMARY PLAT PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY BP	JOB NUMBER 2021-277-S
CHECKED BY KE	
DATE JULY 30, 2021	
SCALE AS SHOWN	
SHEET	

C1.2

OVERALL PRIMARY PLAT
PLAN



KNOW WHAT'S BELOW.
CALL BEFORE YOU DIG.
Call 811 or 800-382-5544 Before you Dig!



GRAPHIC SCALE

0' 50' 100' 150'

(IN FEET)

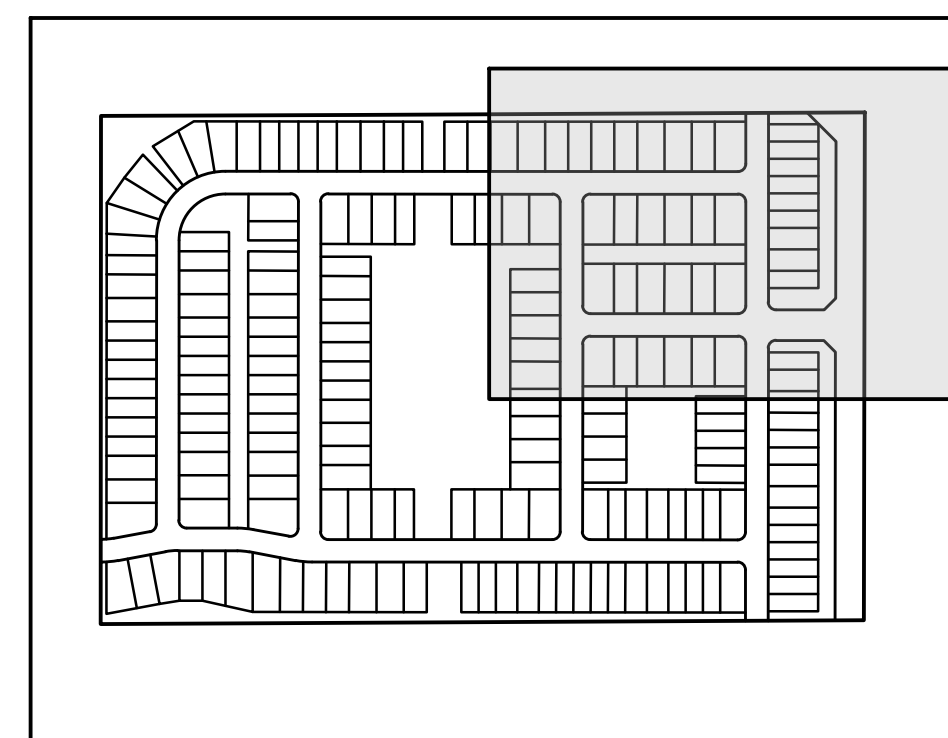
LEGEND:

EXISTING		RIGHT-OF-WAY LINE		PROPOSED
		EASEMENT LINE		
		SETBACK LINE		
		CENTERLINE		
		SWALE / FLOWLINE		
		SUBSURFACE DRAIN		
		SANITARY SEWER		
		STORM SEWER		
		STORM CULVERT		
		WATER MAIN		
		CONTOUR, MAJOR		
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		STORM MANHOLE		
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		STORM END SECTION		
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		FLOW ARROW		
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KEYMAP
SCALE: 1" = 500'

SMITH, DENNIS & TERINA J
19903 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

E 199TH STREET
(PUBLIC ROADWAY)

HORTON ROAD
(PUBLIC ROADWAY)

1321.70'

— MATCH LINE —

FOR CONTINUATION SEE SHEET C1.5

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

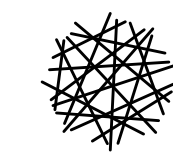
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REVISIONS

[illegible]

HWC
ENGINEERING

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY
www.hwcengineering.com

**OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL PRIMARY PLAT PLAN**

PRELIMINARY

11400758
NOT FOR CONSTRUCTION

Kristofer K. Eickhaus

DRAWN BY

DP	
CHECKED	

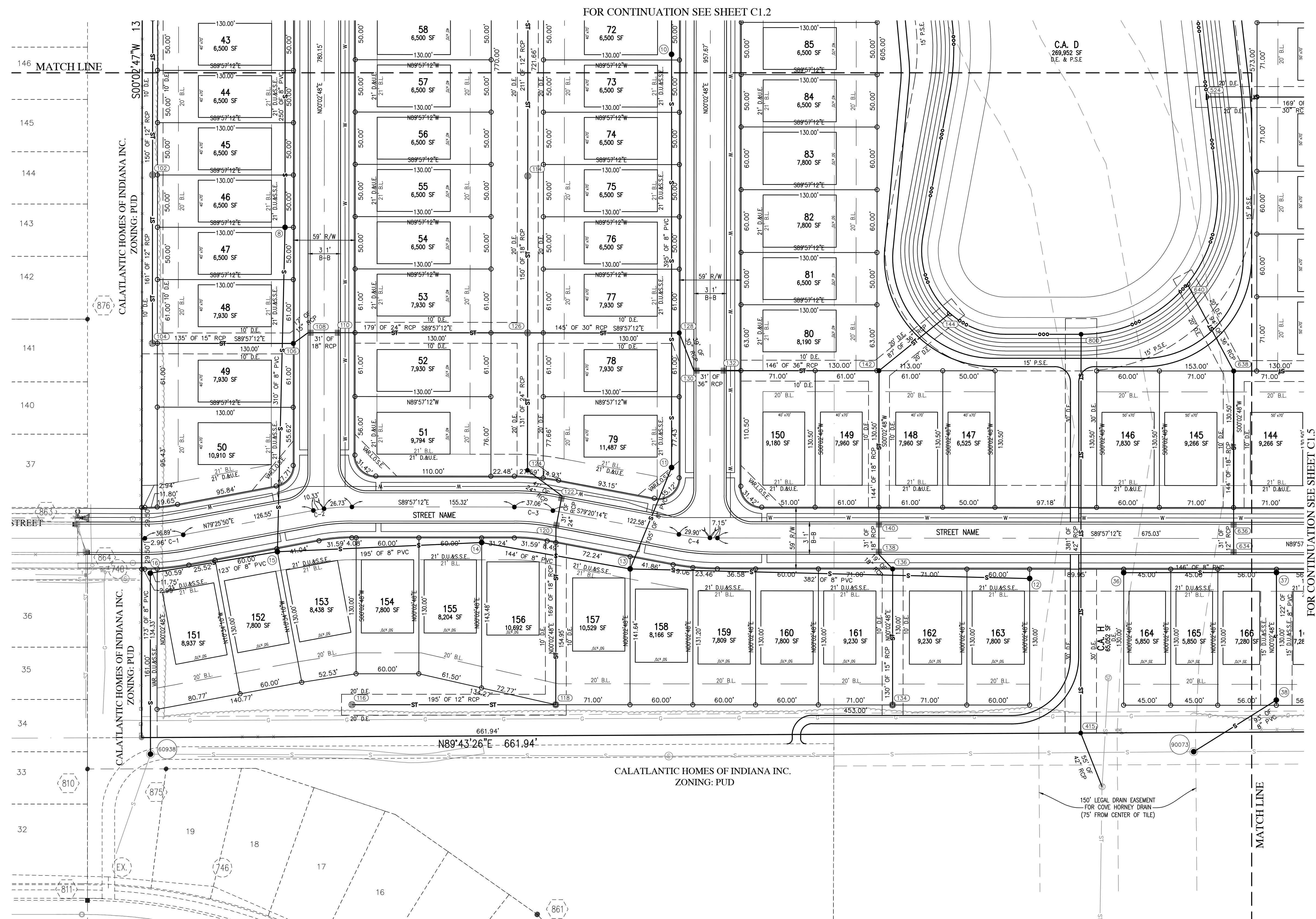
DATE

SCALE

AS SHOWN
SHEET

C1.3

OVERALL PRIMARY PLAT
PLAN



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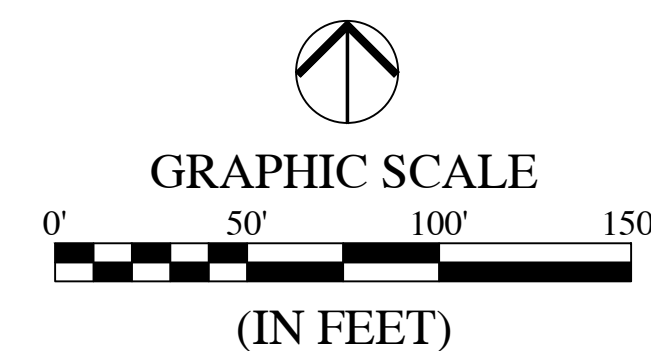
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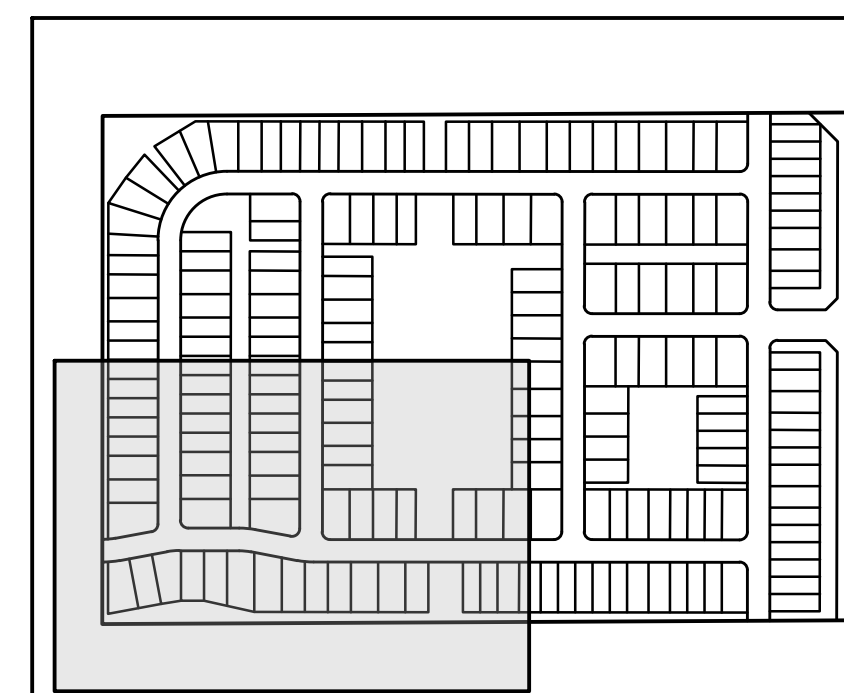
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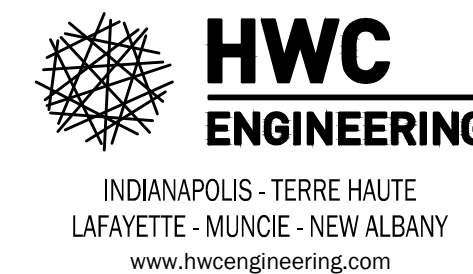
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OVERALL PRIMARY PLAT PLAN**

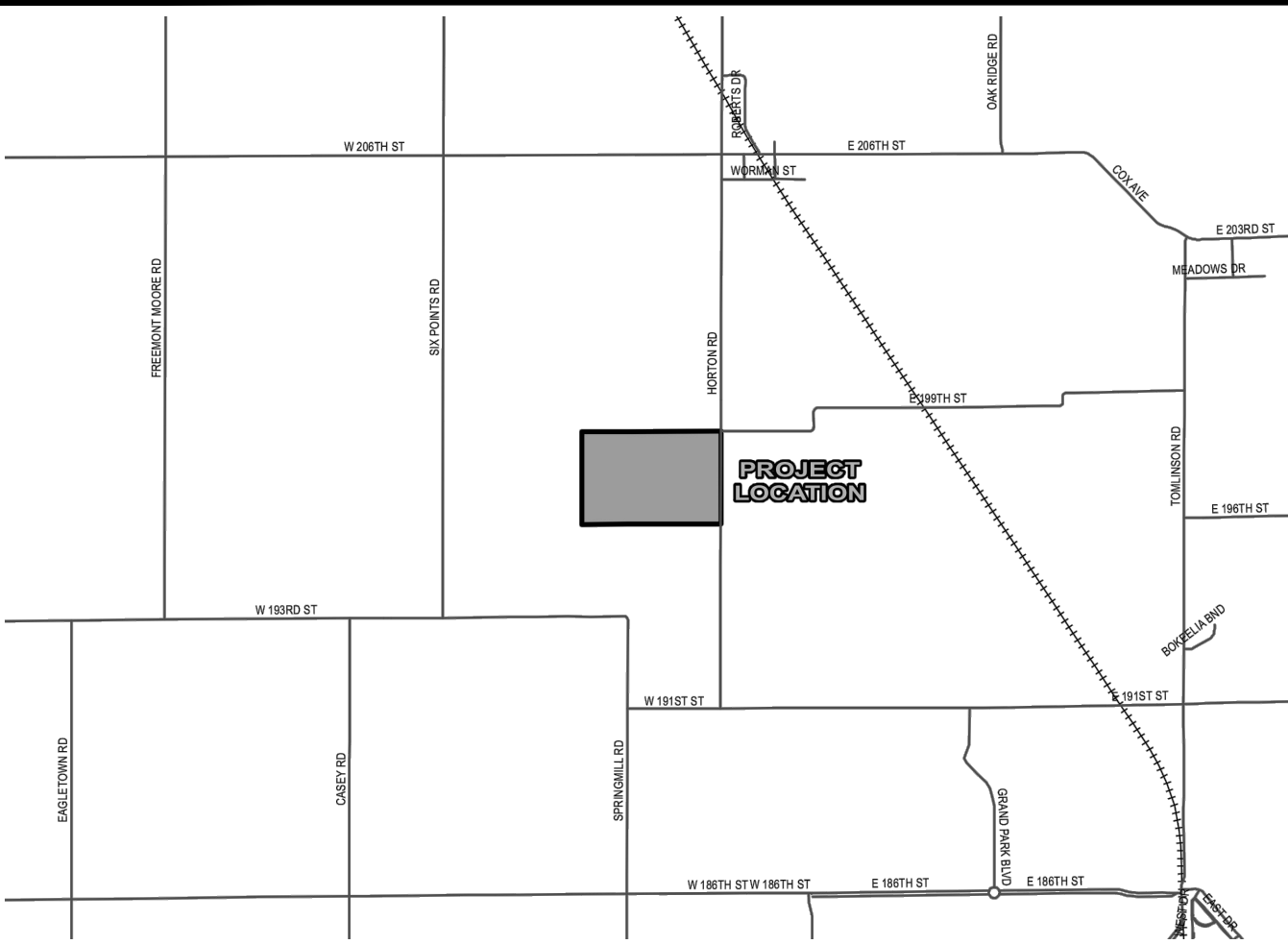
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 No. 11400758
 NOT FOR CONSTRUCTION

DRAWN BY BP		JOB NUMBER 2021-277-S
CHECKED BY KE		
DATE JULY 30, 2021		
SCALE AS SHOWN		
SHEET		

C1.4

OVERALL PRIMARY PLAT
PLAN

File Name: W:\Lennar\2020-277-S Lennar- Bonas Property\Design\CAD\Plans\Development\20277_DP_Cover.dwg, Layout: C1.0 Plot Date: Sep. 10, 2021 Plot Time: 3:41pm By: keichhorn



LOCATION MAP
SCALE 1" = 1/2 MILE

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM
TECHNICAL ADVISORY COMMITTEE MEMBERS

CITY OF WESTFIELD		
Westfield Community Development Department (P) 1345 East 181st Street Westfield, Indiana 46074 (317) 804-3170 community@westfield.in.gov	Westfield Fire Department (P) 17535 Dartown Road Westfield, Indiana 46074 Fire Marshal/Division Chief Jim Roberts (317) 804-3307 jroberts@westfield.in.gov	Westfield G.I.S. (for addressing) 2706 East 171st Street Westfield, Indiana 46074 Leane Heiber (317) 804-3001 lheiber@westfield.in.gov
SCHOOL CORPORATION	STATE OF INDIANA	HAMILTON COUNTY
Westfield-Washington School Corp. 1145 East 181st Street Westfield, Indiana 46074 Joe Montaloni (317) 867-8045 montaloni@wvs.k12.in.us	Indiana Department of Transportation 2152 West State Road 28 Tipton, Indiana 46072 Sandra Landrum (317) 402-1823 (cell) (765) 675-7402 x-6 slandrums@indot.in.gov	Hamilton County Soil and Water Conservation 2127 Pleasant St. Suite 100 Noblesville, IN 46060 Dave Bradway (317) 773-2181 dbradway@hamiltoncounty.in.gov
HAMILTON COUNTY	HAMILTON COUNTY	HAMILTON COUNTY
Hamilton County Surveyor's Office (H) One Hamilton County Square, Suite 188 Noblesville, Indiana 46060 Samuel Clark (317) 776-8495 samuel.clark@hamiltoncounty.in.gov	Hamilton County Highway Department 1700 S. 10th Street Noblesville, Indiana 46060 Dave Lucas (317) 773-7770 david.lucas@hamiltoncounty.in.gov	Hamilton County Health Department 18030 Foundation Drive, Suite A Noblesville, Indiana 46060 Larry Beard (317) 776-8500 larry.beard@hamiltoncounty.in.gov
SERVICE PROVIDERS		
Citizens Westfield (for water & sanitary sewer) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Mitch House (317) 917-5294 mhouse@citizensenergygroup.com	Citizens Gas of Westfield (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Richard Miller, Jr. Construction Field Coordinator (317) 927-4684 rmiller@citizensenergygroup.com	Citizens Energy Group (C) 2150 Dr. Martin Luther King Drive Indianapolis, Indiana 46202 Chris L. Kehl (317) 927-4538 ckehl@citizensenergygroup.com

(H) = agencies/departments that require hardcopies of plans; otherwise electronic copies of plans suffice.
(C) = denotes agencies/departments that require CAD files of plans.
(P) = PDF

WESTFIELD-WASHINGTON TOWNSHIP APPLICATION FORM
TECHNICAL ADVISORY COMMITTEE MEMBERS

SERVICE PROVIDERS (CONT.)		
Duke Energy (Noblesville Office) (C) 100 South Mill Creek Road Noblesville, Indiana 46062 JD Cox (317) 776-5350 / (317) 349-3740 (cell) jd.cox@duke-energy.com	Duke Energy (Carmel Office) (H) (C) 18475 Southpark Drive Westfield, Indiana 46074 Please contact JD Cox (317) 776-5350 / (317) 349-3740 (cell) jd.cox@duke-energy.com	Duke Energy Asset Protection (H) (C) W5500 / 2727 Central Avenue Columbus, Indiana 47201 Ryan Daugherty (812) 375-2021 ryan.daugherty@duke-energy.com
Panhandle Eastern Pipeline Company 9371 Zionville Road Indianapolis, Indiana 46268 Troy Yackel (317) 733-3213 troy.yackel@energytransfer.com Mark Wood (317) 733-3223 mark.wood@energytransfer.com	Indiana Gas / Vectren (P) (C) P.O. Box 1700 Noblesville, Indiana 46061 Chad Miller (317) 776-5590 cmiller@vectren.com	Comcast Cable 5330 East 65th Street Indianapolis, Indiana 46220 Earl Small, Jr. (317) 982-2161 Earl.Small@cable.comcast.com
Spectrum 3030 Roosevelt Avenue Indianapolis, Indiana 46218 Matt Filson (317) 713-3899 / (317) 618-2822 (cell) mfilson@filson.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	AT&T 240 North Meridian Street Indianapolis, Indiana 46204 Wendy Noble (317) 610-5440 / (317) 403-6673 (cell) wnoble@att.com
Marathon Pipeline LLC 10722 East County Road 300 North Indianapolis, Indiana 46234 Brian Phillips (317) 291-9460 brphillips@marathonpetroleum.com	Frontier Communication 20905 Hague Road Noblesville, Indiana 46060 Steve Costlow (317) 984-9010 steve.costlow@ftr.com	Zayo Group 5300 East 65th Street Indianapolis, Indiana 46220 Waylon Higgins (765) 341-1199 info@zayo.com
MetroNet (C) 12415 Old Meridian Street Carmel, Indiana 46032 Marc Hill (317) 670-7995 Marc.Hill@metronetinc.com		

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WESTFIELD COMMUNITY DEVELOPMENT DEPARTMENT | 2728 EAST 171ST STREET, WESTFIELD, INDIANA 46074 06.25.2021

OSBORNE TRAILS - PHASE II OVERALL DEVELOPMENT PLAN

Lennar Homes of Indiana, Inc.

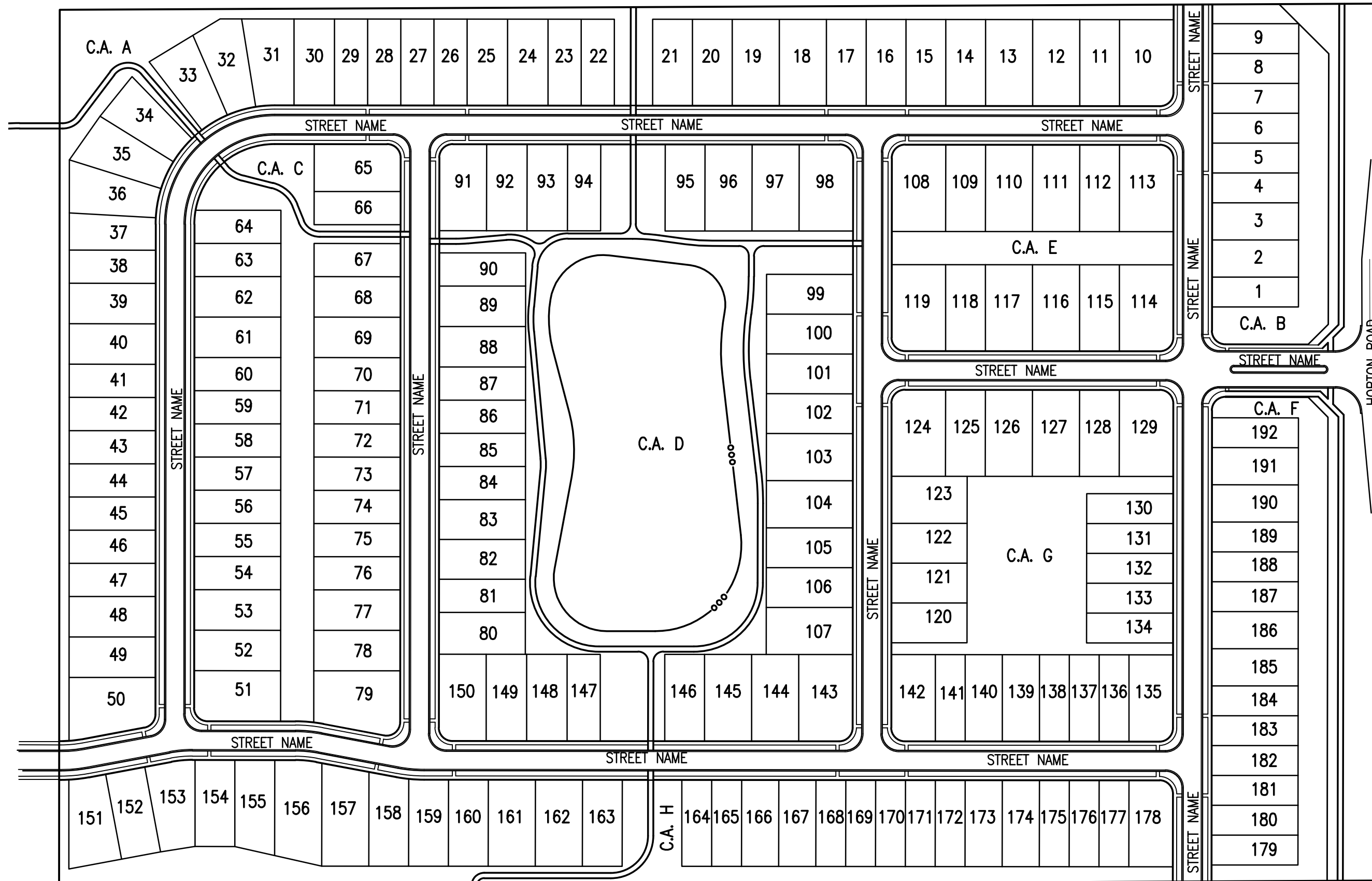
CONTACT: Tony Bagato
11555 N. Meridian Street, Suite 400
Carmel, Indiana 46032
(317) 659-3200

Email: tony.bagato@lennar.com

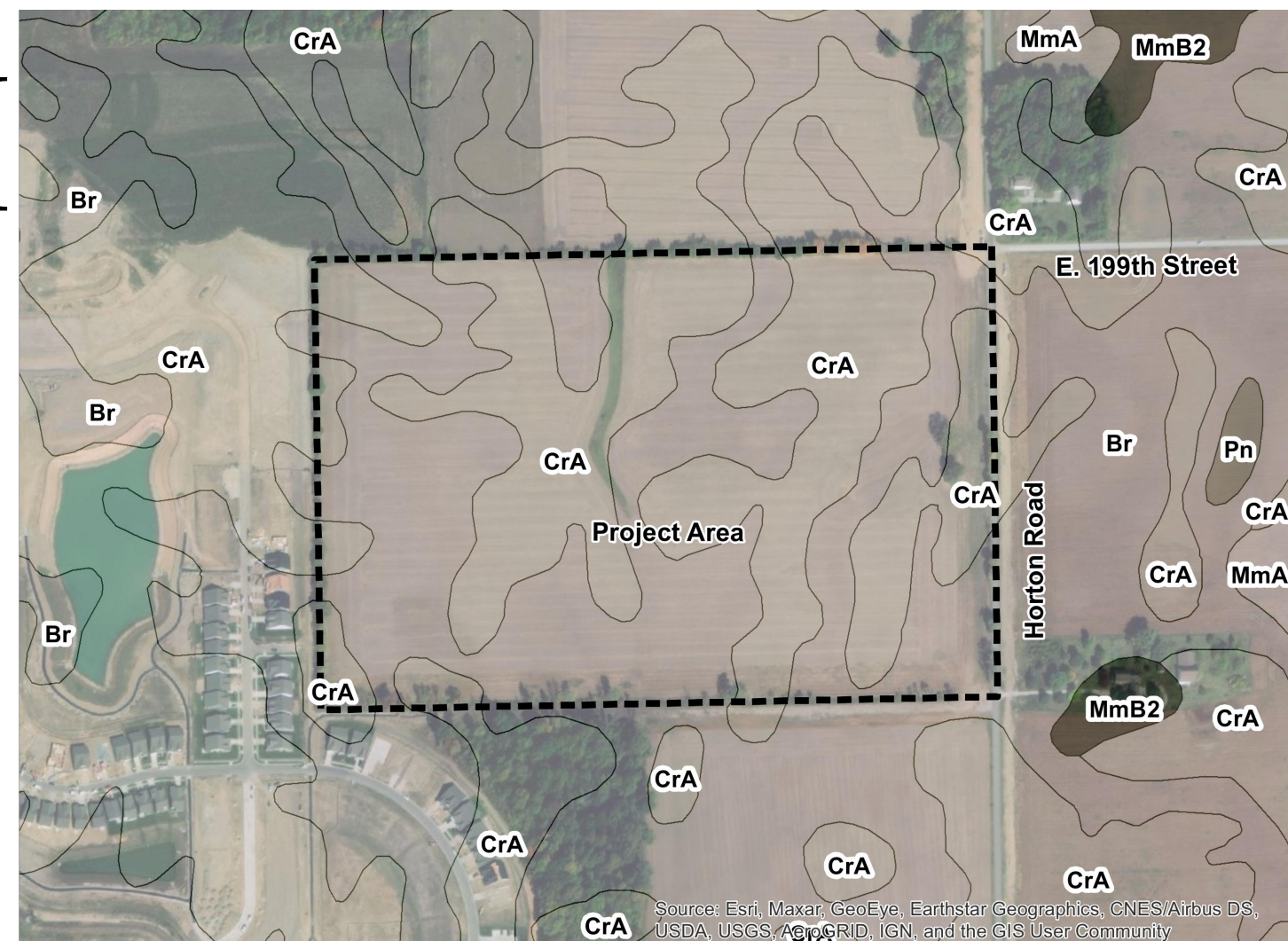
AS-SURVEYED LAND DESCRIPTION

The East Half of the Southeast Quarter of the Southeast Quarter of Section 22, and the Southwest Quarter of the Southwest Quarter of Section 23, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judt, Professional Surveyor Number 21500017, HWC Engineering Job Number 2020-277-S, dated March 10, 2021, more particularly described as follows:

BEGINNING at the southeast corner of said Southwest Quarter of said Southwest Quarter of said Section 23, marked by a mag nail with washer stamped "CRPE 0055"; thence North 00 degrees 06 minutes 21 seconds East (assumed bearing per Osborne Trails, Section 1, per plat recorded in Plat Cabinet 5, Slide 1052 as Instrument Number 2019051344 in the Office of the Recorder of Hamilton County, Indiana) along the east line of said Southwest Quarter of said Southwest Quarter a distance of 1321.70 feet to the northeast corner of said Quarter-Quarter Section; thence South 89 degrees 43 minutes 45 seconds West along the north line of said Quarter-Quarter Section a distance of 1326.42 feet to the northwest corner thereof, marked by a 5/8-inch rebar with cap stamped "MILLER S0083"; thence South 89 degrees 44 minutes 37 seconds West along the north line of said East Half of said Southeast Quarter of said Southeast Quarter of said Section 22 a distance of 661.87 feet to a corner of Osborne Trails, Section 3, per plat recorded in Plat Cabinet 6, Slide 45 as Instrument Number 2021004908 in said Recorder's Office, said corner marked by a 5/8-inch rebar with cap stamped "S&A FIRM 0008"; thence South 00 degrees 02 minutes 47 seconds West along an east line of said Osborne Trails, Section 3 and an east line of said Osborne Trails, Section 1 a distance of 1322.09 feet to the southeast corner of Common Area #6 in said Osborne Trails, Section 1, marked by a 5/8-inch rebar with cap stamped "S&A FIRM 0008"; thence North 89 degrees 43 minutes 28 seconds East along a north line of said Osborne Trails, Section 1 a distance of 661.94 feet to the southwest corner of said Southwest Quarter of said Section 23, marked by a stone; thence North 89 degrees 43 minutes 18 seconds East along the south line of said Southwest Quarter of said Southwest Quarter of said Section 23 a distance of 1324.98 feet to the POINT OF BEGINNING, containing 60.314 acres, more or less.



SITE MAP
SCALE: 1" = 150'



SOILS MAP
NOT TO SCALE

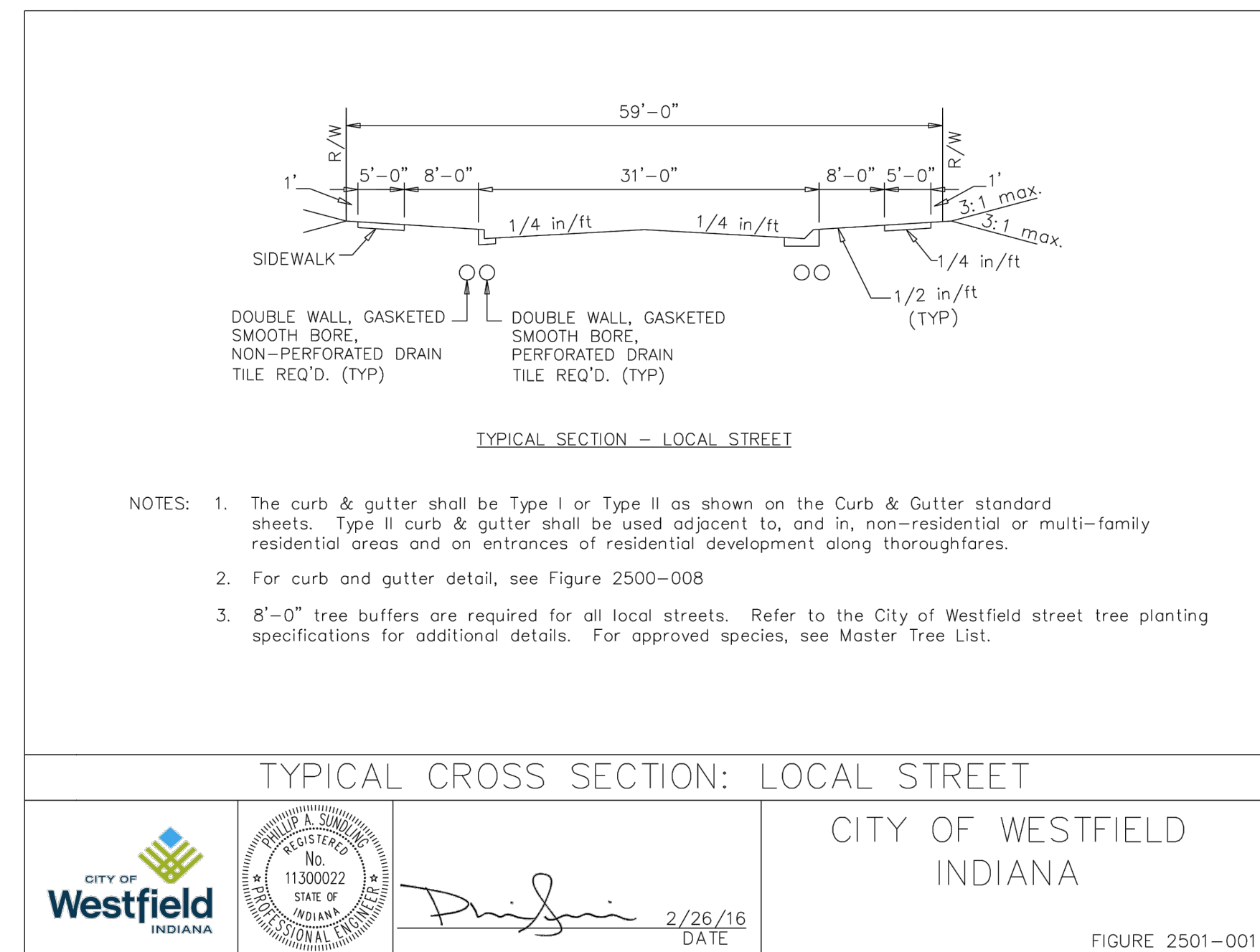
SOILS LEGEND

Br Brookstone silty clay loam, 0 to 2 percent slopes
CrA Crosby silt loam, fine-loamy subsoil, 0 to 2 percent slopes

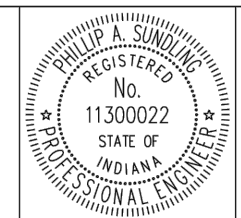
DEVELOPMENT SHEET SET SHEET LIST TABLE

Sheet Title	Sheet Description
C1.0	COVER
C1.1	OVERALL SITE PLAN
C1.2-C1.5	DEVELOPMENT PLAN
C2.0	OVERALL OPEN SPACE PLAN
C3.0	EXISTING CONDITIONS & DEMOLITION PLAN
L1.0	OVERALL LANDSCAPE PLAN
L1.1-L1.4	LANDSCAPE PLAN

The presence of a City of Westfield review and acceptance stamp on plans does not relieve the Contractor or Developer from compliance of the "City of Westfield construction Standards, latest edition". This review only designates that the general conformance with design and specifications have been met. Field changes may become necessary in order to comply with the detailed City of Westfield Specifications.



- NOTES:
- The curb & gutter shall be Type I or Type II as shown on the Curb & Gutter standard sheet's. Type II curb & gutter shall be used adjacent to, and in, non-residential or multi-family residential areas and on entrances of residential development along thoroughfares.
 - For curb and gutter detail, see Figure 2500-008
 - 8'-0" tree buffers are required for all local streets. Refer to the City of Westfield street tree planting specifications for additional details. For approved species, see Master Tree List.



CITY OF WESTFIELD
INDIANA
DATE 2/26/16

FIGURE 2501-001

PREPARED BY:
HWC ENGINEERING
135 N. PENNSYLVANIA ST., SUITE 2800
INDIANAPOLIS, IN 46204
CONTACT: KYLE EICHORN
P: 317-981-1249
E: keichhorn@hwcengineering.com

DEVELOPMENT STANDARDS

BANAS PROPERTY
ZONING: OSBORNE TRAILS - PHASE 2 PUD DISTRICT
LOTS: 192

MINIMUM LOT AREA: 5,850 S.F.
MINIMUM LOT FRONTPAGE: 35'
MINIMUM BUILDING SETBACK LINES:
• FRONT YARD 21'
• SIDE YARD 5'
• REAR YARD 20'
MINIMUM LOT WIDTH: 45'
MAXIMUM BUILDING HEIGHT: 2 1/2 STORIES
MINIMUM LIVING AREA (TOTAL): 1,200 S.F.
• SINGLE-STORY 1,800 S.F.
• TWO-STORY



Call 811 or 800-382-5544 Before you Dig!

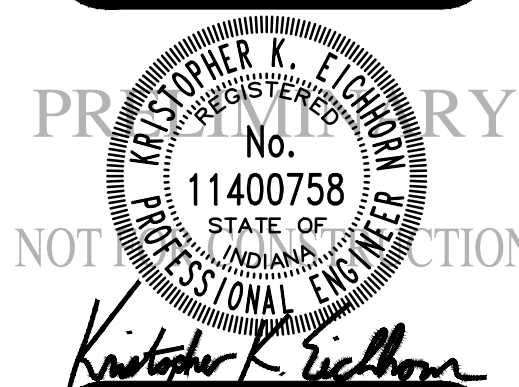
REVISIONS

DATE	DESCRIPTION	BY



OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA

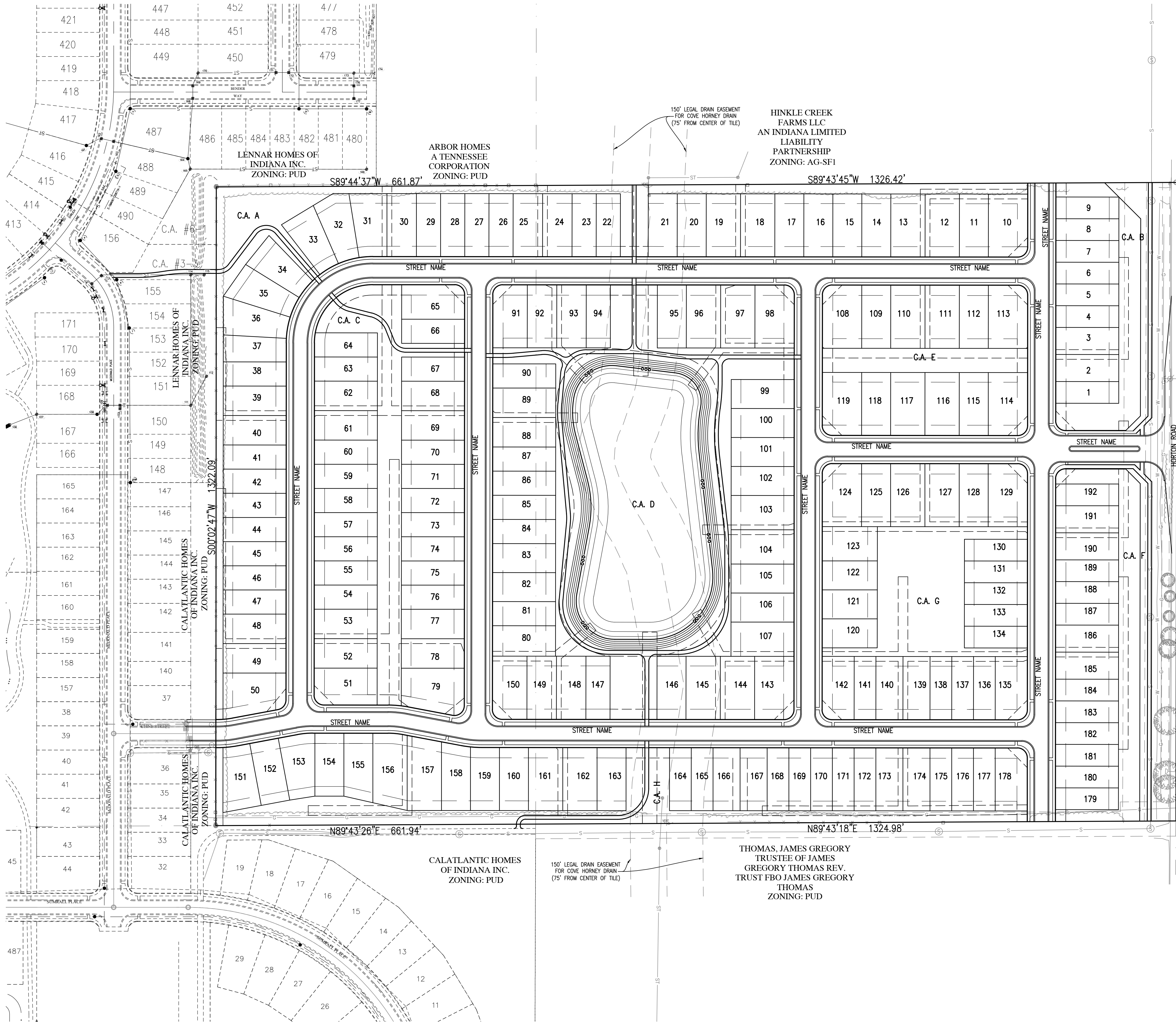
COVER



DRAWN BY
BP
CHECKED BY
KE
DATE
JULY 30, 2021
SCALE
AS SHOWN
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C1.0
COVER

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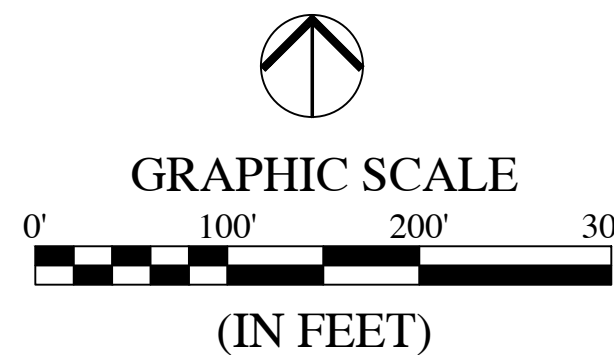
SMITH, DENNIS & TERINA J
19903 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

E 199TH STREET
(PUBLIC ROADWAY)

HORTON ROAD
(PUBLIC ROADWAY)

CHATHAM HILLS LL
19601 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

CHATHAM HILLS LLP
WESTFIELD, IN 46074
ZONING: AG-SF1



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	---	---
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	TREE LINE	---

ABBREVIATIONS:

C.A.	- COMMON AREA
25	- LOT NUMBER

AS-SURVEYED LAND DESCRIPTION

The East Half of the Southwest Quarter of the Southeast Quarter of Section 22, and the Southwest Quarter of the Southwest Quarter of Section 23, all in Township 19 North, Range 3 East of the Second Principal Meridian, Washington Township, Hamilton County, Indiana, based upon a survey prepared by Michael G. Judd, Professional Surveyor Number 21500017, HWC Engineering Job Number 2020-277-S, dated March 10, 2021, more particularly described as follows:

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ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY



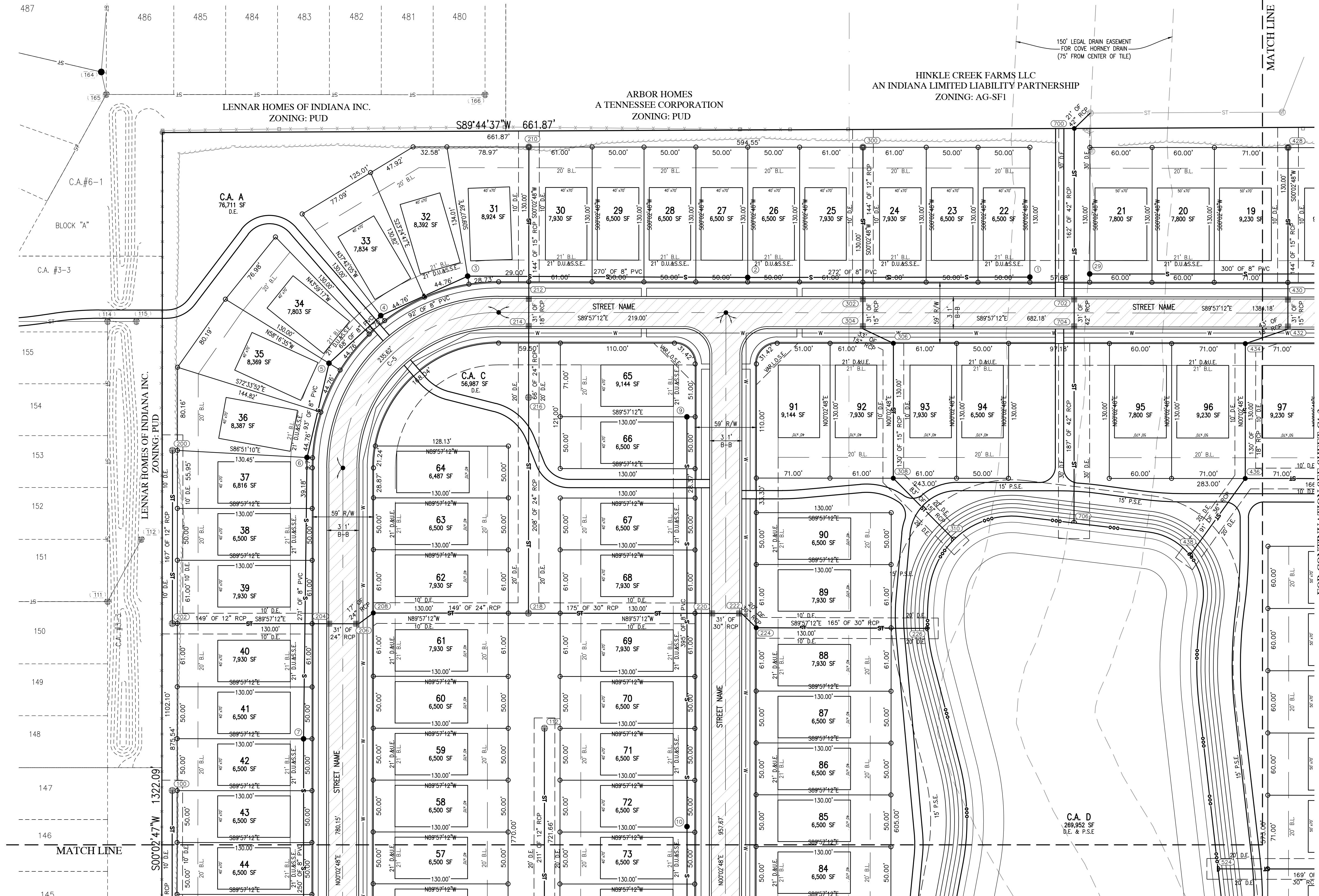
OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL SITE PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

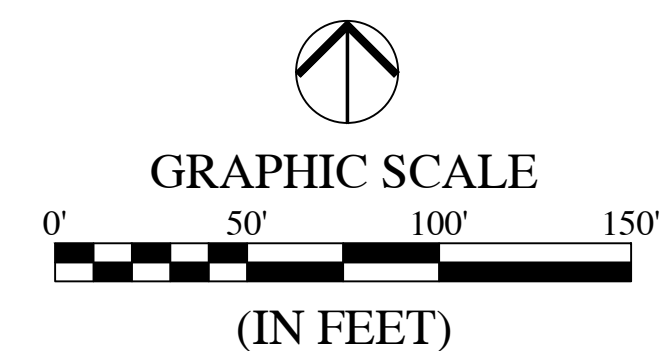
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CHECKED BY KE	
DATE JULY 30, 2021	
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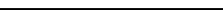
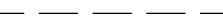
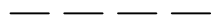
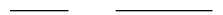
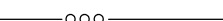
C1.1

OVERALL SITE PLAN



THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

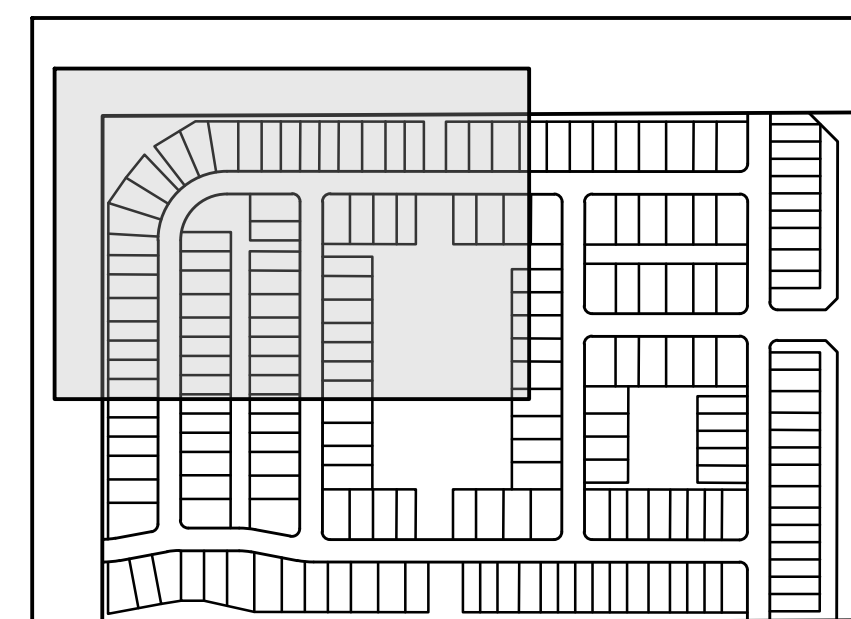


<u>EXISTING</u>	<u>PROPOSED</u>
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	
	

ABBREVIATIONS:

BC	— BACK OF CURB
CL	— CENTERLINE
FL	— FLOW LINE
NL	— NORMAL POOL (ELEVATION)
PVC	— POLYVINYL CHLORIDE PIPE
RCP	— REINFORCED CONCRETE PIPE
C.A.	— COMMON AREA
D.E.	— DRAINAGE EASEMENT
D.U.&S.E.	— DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
D.&U.E.	— DRAINAGE AND UTILITY EASEMENT
L.O.S.E.	— LINE OF SIGHT EASEMENT
P.S.E.	— PERMANENT STORMWATER EASEMENT
P.A.E.	— PEDESTRIAN ACCESS EASEMENT
ESMT.	— EASEMENT
25	— LOT NUMBER
B.S.L.	— BUILDING SETBACK LINE
S.F.	— SQUARE FEET
R/W	— PUBLIC RIGHT-OF-WAY

Curve Table					
Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	36.89'	200.00'	36.84'	N84°42'55"E	10°34'10"
C-2	10.33'	200.00'	10.32'	S80°54'34"W	2°57'29"
C-3	37.06'	200.00'	37.00'	S83°38'43"W	10°36'58"
C-4	29.90'	200.00'	29.88'	S83°37'15"E	8°34'02"
C-5	235.62'	150.00'	212.13'	N45°02'48"E	90°00'00"



KEYMAP
SCALE: 1" = 500'

[illegible]

**OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN**

DEVELOPMENT PLAN

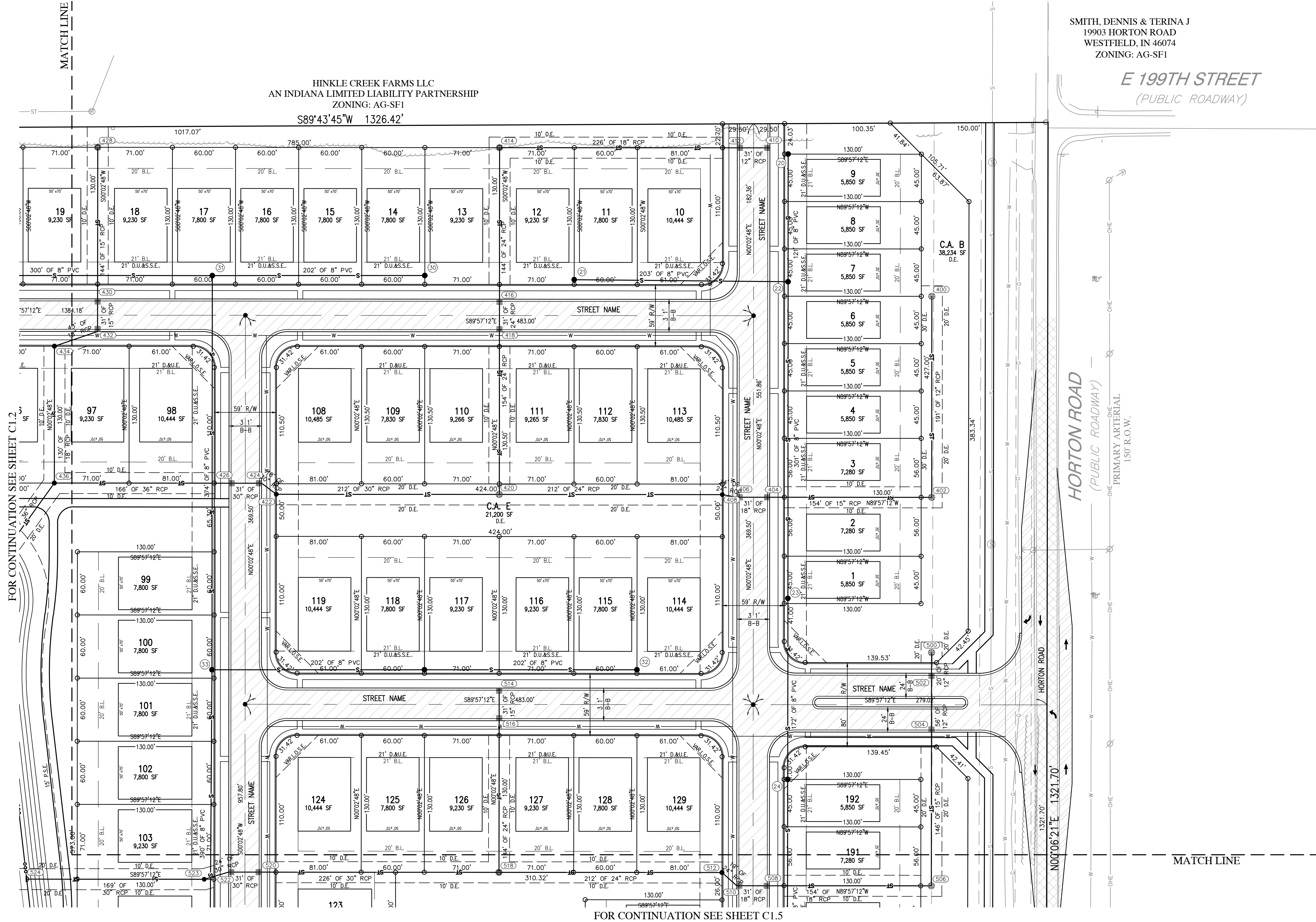
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No. 11400758
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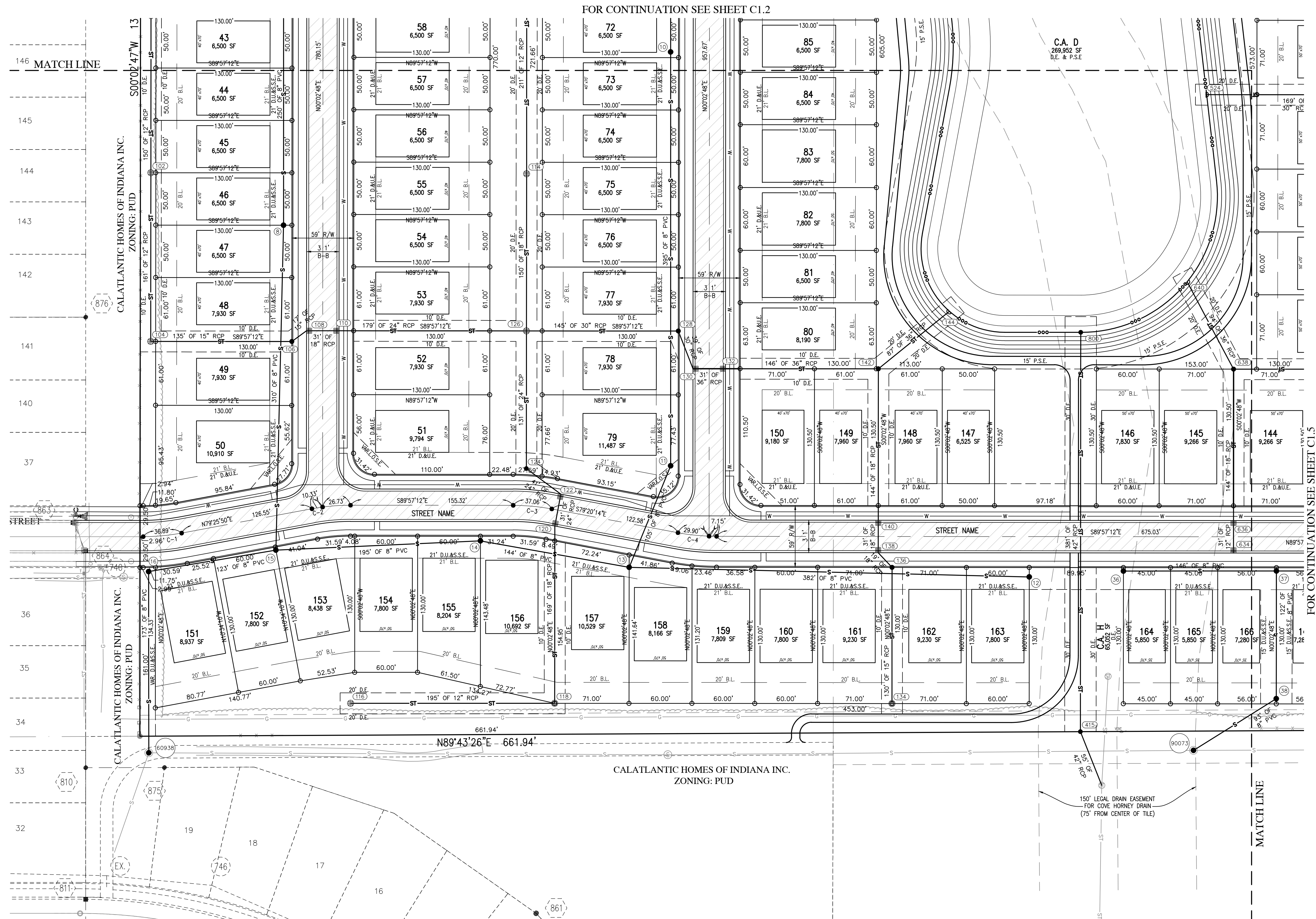
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CHECKED BY KE	
DATE JULY 30, 2021	
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SHEET	

C1.2

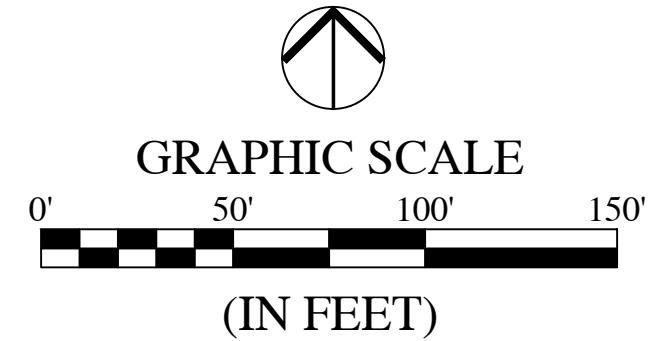
DEVELOPMENT PLAN

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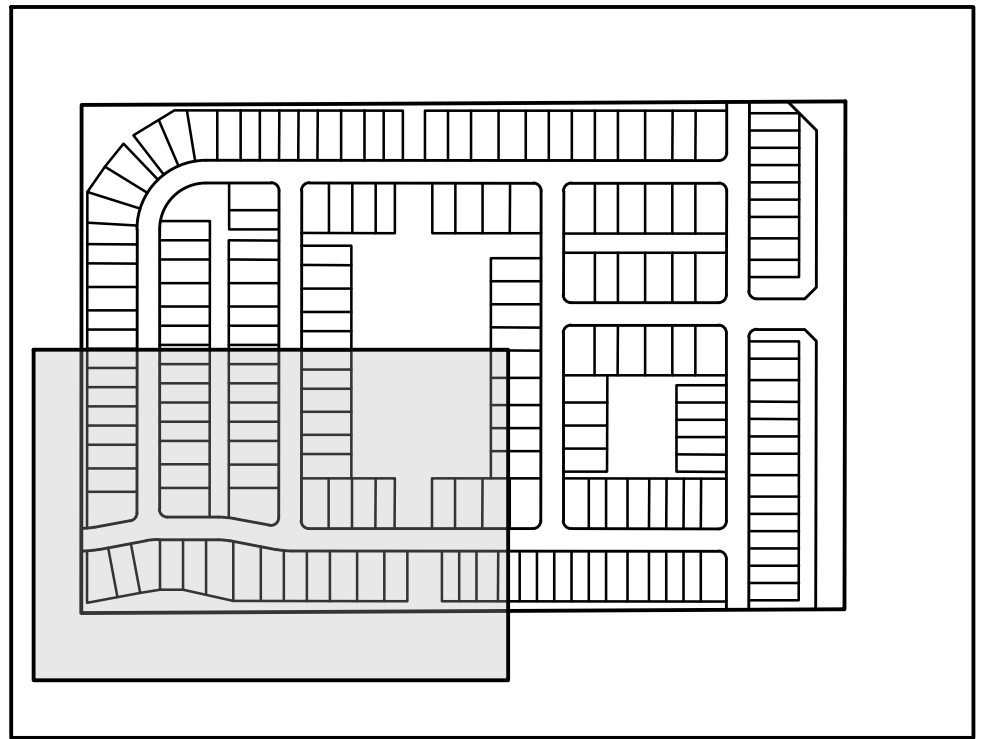
- LOCAL STREET NEW PAVEMENT
- PRIMARY ARTERIAL MILL AND OVERLAY
- PRIMARY ARTERIAL NEW PAVEMENT



- LEGEND:
- | EXISTING | PROPOSED |
|------------------------------|------------------------------|
| RIGHT-OF-WAY LINE | RIGHT-OF-WAY LINE |
| EASEMENT LINE | EASEMENT LINE |
| SETBACK LINE | SETBACK LINE |
| CENTERLINE | CENTERLINE |
| SWALE / FLOWLINE | SWALE / FLOWLINE |
| SUBSURFACE DRAIN | SUBSURFACE DRAIN |
| SANITARY SEWER | SANITARY SEWER |
| STORM SEWER | STORM SEWER |
| STORM CULVERT | STORM CULVERT |
| WATER MAIN | WATER MAIN |
| CONTOUR, MAJOR | CONTOUR, MAJOR |
| CONTOUR, MINOR | CONTOUR, MINOR |
| FENCE | FENCE |
| TREE LINE | TREE LINE |
| SANITARY MANHOLE | SANITARY MANHOLE |
| STORM MANHOLE | STORM MANHOLE |
| STORM INLET | STORM INLET |
| STORM END SECTION | STORM END SECTION |
| FIRE HYDRANT | FIRE HYDRANT |
| FLOW ARROW | FLOW ARROW |
| STREET LIGHT | STREET LIGHT |
| 6" X 6" VEHICLE BARRIER POST | 6" X 6" VEHICLE BARRIER POST |

- ABBREVIATIONS:
- | | |
|-----------|---|
| BC | - BACK OF CURB |
| CL | - CENTERLINE |
| FL | - FLOW LINE |
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| P.S.E. | - PERMANENT STORMWATER EASEMENT |
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| ESMT | - EASEMENT |
| 25 | - LOT NUMBER |
| B.S.L. | - BUILDING SETBACK LINE |
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C-4	29.90'	200.00'	29.88'	S83°37'15"E
C-5	235.62'	150.00'	212.13'	N45°02'48"E



- ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
- STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.
- THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.
- THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS		
DATE	DESCRIPTION	BY



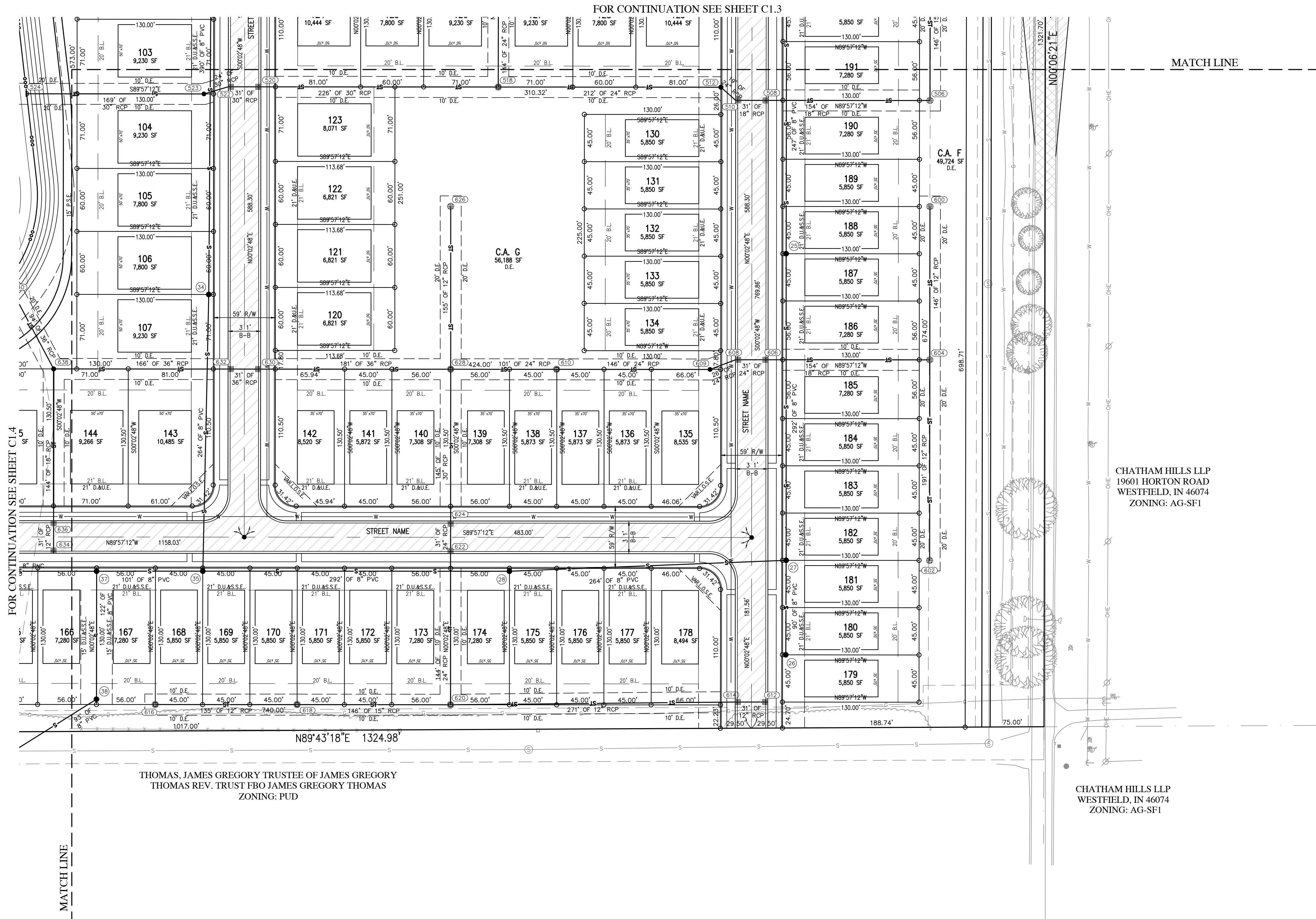
OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

Kristine K. Keichhorn

DRAWN BY: BP
CHECKED BY: KE
DATE: JULY 30, 2021
SCALE: AS SHOWN
SHEET: C1.4
DEVELOPMENT PLAN

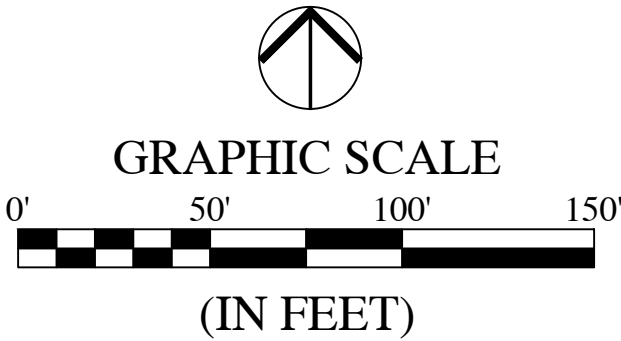
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© 2021



CHATHAM HILLS LLP
19601 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

CHATHAM HILLS LLP
WESTFIELD, IN 46074
ZONING: AG-SF1

- LOCAL STREET NEW PAVEMENT
- PRIMARY ARTERIAL MILL AND OVERLAY
- PRIMARY ARTERIAL NEW PAVEMENT



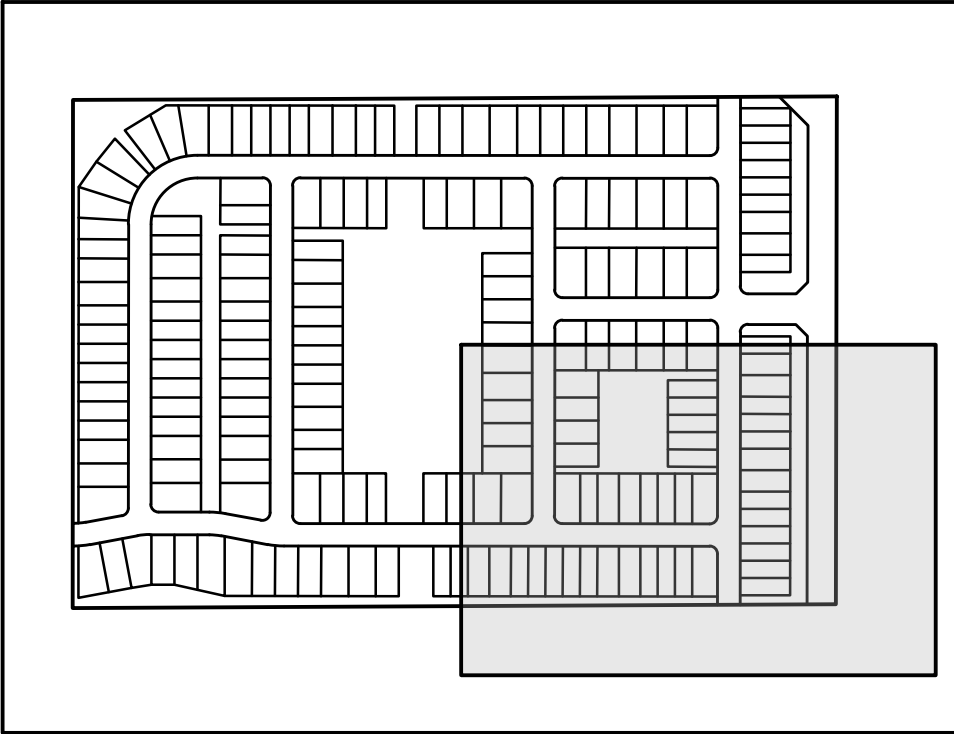
- LEGEND:
- | EXISTING | PROPOSED |
|------------------------------|------------------------------|
| RIGHT-OF-WAY LINE | RIGHT-OF-WAY LINE |
| EASEMENT LINE | EASEMENT LINE |
| SETBACK LINE | SETBACK LINE |
| CENTERLINE | CENTERLINE |
| SWALE / FLOWLINE | SWALE / FLOWLINE |
| SUBSURFACE DRAIN | SUBSURFACE DRAIN |
| SANITARY SEWER | SANITARY SEWER |
| STORM SEWER | STORM SEWER |
| STORM CULVERT | STORM CULVERT |
| WATER MAIN | WATER MAIN |
| CONTOUR, MAJOR | CONTOUR, MAJOR |
| CONTOUR, MINOR | CONTOUR, MINOR |
| FENCE | FENCE |
| TREE LINE | TREE LINE |
| SANITARY MANHOLE | SANITARY MANHOLE |
| STORM MANHOLE | STORM MANHOLE |
| STORM INLET | STORM INLET |
| STORM END SECTION | STORM END SECTION |
| FIRE HYDRANT | FIRE HYDRANT |
| FLOW ARROW | FLOW ARROW |
| STREET LIGHT | STREET LIGHT |
| 6" X 6" VEHICLE BARRIER POST | 6" X 6" VEHICLE BARRIER POST |

ABBREVIATIONS:

- | | |
|-----------|---|
| BC | - BACK OF CURB |
| CL | - CENTERLINE |
| FL | - FLOW LINE |
| NP | - NORMAL POOL (ELEVATION) |
| PVC | - POLYVINYL CHLORIDE PIPE |
| RCP | - REINFORCED CONCRETE PIPE |
| C.A. | - COMMON AREA |
| D.E. | - DRAINAGE EASEMENT |
| D.U.&S.E. | - DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT |
| D.&U.E. | - DRAINAGE AND UTILITY EASEMENT |
| L.O.S.E. | - LINE OF SIGHT EASEMENT |
| P.S.E. | - PERMANENT STORMWATER EASEMENT |
| P.A.E. | - PEDESTRIAN ACCESS EASEMENT |
| ESMT | - EASEMENT |
| 25 | - LOT NUMBER |
| B.S.L. | - BUILDING SETBACK LINE |
| S.F. | - SQUARE FEET |
| R/W | - PUBLIC RIGHT-OF-WAY |

Curve Table

Curve #	Length	Radius	Chord Length	Chord Bearing	Delta
C-1	36.89'	200.00'	36.84'	N84°42'55"E	10°34'10"
C-2	10.33'	200.00'	10.32'	S80°54'34"W	2°57'29"
C-3	37.06'	200.00'	37.00'	N84°38'43"W	10°36'58"
C-4	29.90'	200.00'	29.88'	S83°37'15"E	8°34'02"
C-5	235.62'	150.00'	212.13'	N45°02'48"E	90°00'00"



KEYMAP
SCALE: 1" = 500'

ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.

STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT.

THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER INCLUDING SSD.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH ALL ADA REQUIREMENTS.

THE DESIGN AND CONSTRUCTION SHALL COMPLY WITH THE CURRENT CITY OF WESTFIELD CONSTRUCTION SPECIFICATIONS AND STANDARD CONSTRUCTION DETAILS. THE OMISSION OF ANY CURRENT STANDARD DETAIL DOES NOT RELIEVE THE CONTRACTOR FROM THIS REQUIREMENT.

REVISIONS

DATE	DESCRIPTION	BY



OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
DEVELOPMENT PLAN

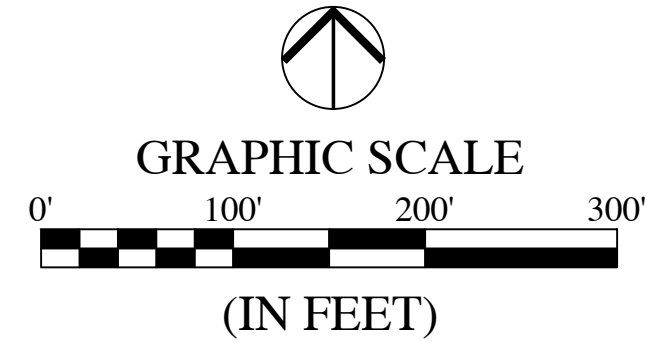
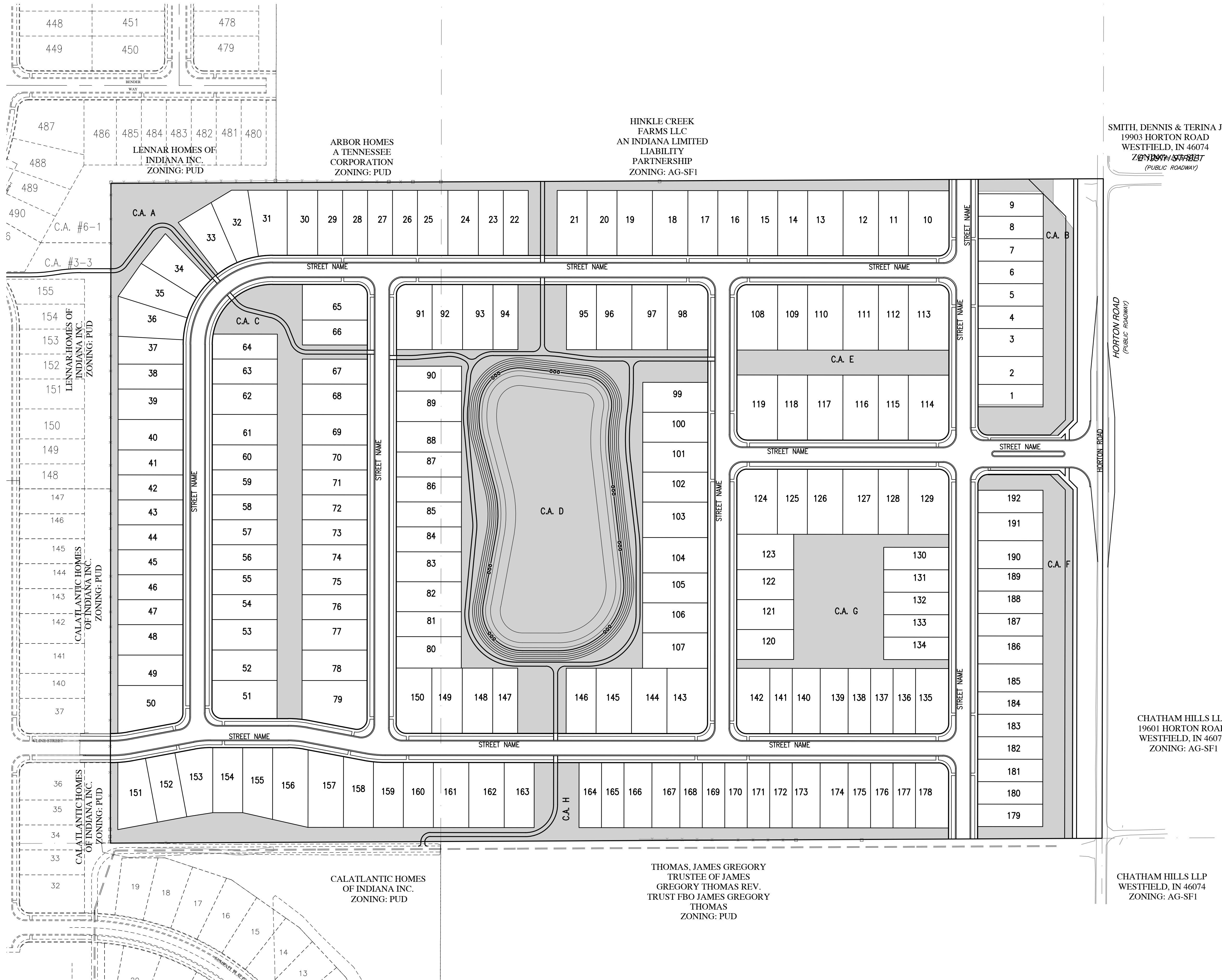
PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY
BP
CHECKED BY
KE
DATE
JULY 30, 2021
SCALE
AS SHOWN
SHEET

C1.5

DEVELOPMENT PLAN

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LEGEND:

EXISTING	PROPOSED
—	—
—	—
—	—
—	—

ABBREVIATIONS:

C.A.	— COMMON AREA
25	— LOT NUMBER

COMMON AREA SUMMARY (OPEN SPACE)	
CA "A"	= 76,711 SF
CA "B"	= 38,234 SF
CA "C"	= 56,987 SF
CA "D"	= 269,592 SF
CA "E"	= 21,200 SF
CA "F"	= 49,724 SF
CA "G"	= 56,188 SF
CA "H"	= 65,052 SF
TOTAL COMMON AREA = 634,047 SF	
TOTAL COMMON AREA = 14.56 ACRES	

OPEN SPACE PROVIDED
OPEN SPACE AREA = 14.56 AC.
TOTAL ACREAGE = 60.314 AC. = 24.14%

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REVISIONS

DATE	DESCRIPTION	BY



OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL OPEN SPACE PLAN

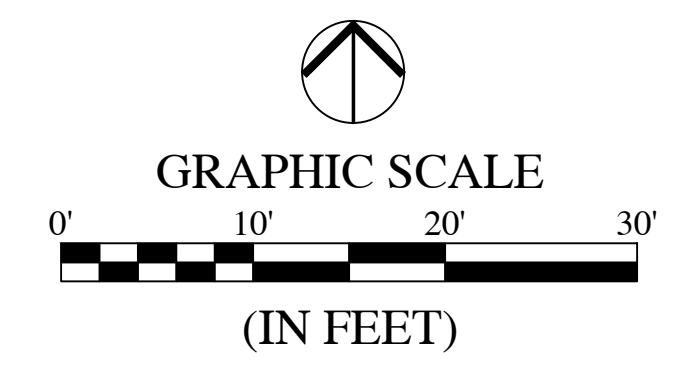
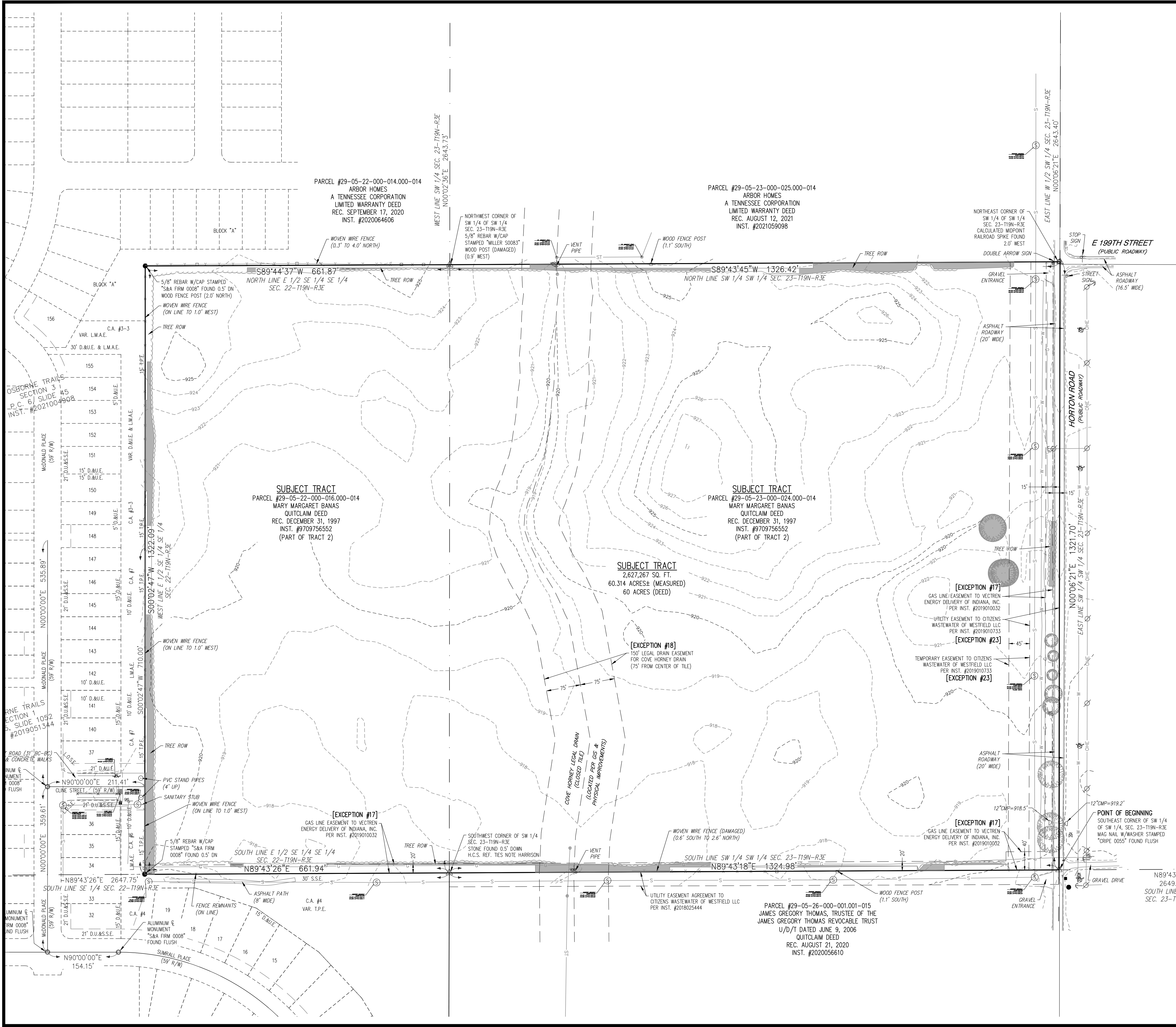
PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY BP	JOB NUMBER 2021-277-S
CHECKED BY KE	
DATE JULY 30, 2021	
SCALE AS SHOWN	
SHEET	

C2.0

OVERALL OPEN SPACE
PLAN

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Plot Time: 3:46pm



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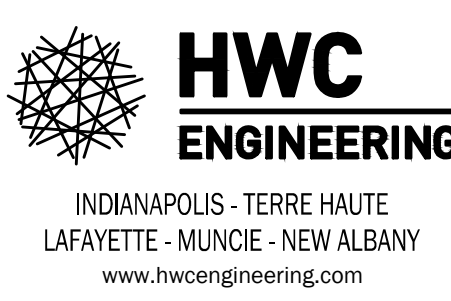
EXISTING	
—	RIGHT-OF-WAY LINE
—	CENTERLINE
—	SWALE / FLOWLINE
—	SANITARY SEWER
—	STORM SEWER
—	STORM CULVERT
—	WATER MAIN
—	CONTOUR, MAJOR
—	CONTOUR, MINOR
—	FENCE
—	TREE LINE
—	SANITARY MANHOLE
—	STORM MANHOLE
—	STORM INLET
—	STORM END SECTION
—	FIRE HYDRANT

DEMOLITION KEYNOTES: (#)
(NOT ALL KEY NOTES APPLY TO THIS SHEET)
ALL ITEMS SHALL BE REMOVED IN THEIR ENTIRETY UNLESS NOTED OTHERWISE.
1. REMOVE EXISTING TREES AND/ OR TREE LINE.

- DEMOLITION GENERAL NOTES:**
- THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL MATERIALS INDICATED ON THE PLAN. GENERALLY, DEMOLITION AREAS AND FACILITIES ARE INDICATED WITH BOLD LINES AND/OR SHADDED AREAS. DISPOSAL OF SITE MATERIALS SHALL BE IN ACCORDANCE WITH APPLICABLE STATE AND FEDERAL GUIDELINES.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FEATURES WHICH LIE ALONG THE PERIMETER OF THE SITE. THESE FEATURES INCLUDE, BUT ARE NOT LIMITED TO: BUILDINGS, PAVEMENTS, FENCES, VEGETATION, UTILITIES, PROPERTY MARKERS, ETC. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE WHICH OCCURS DURING OR AS A RESULT OF CONSTRUCTION ACTIVITY. REPLACEMENT OF DAMAGED PROPERTY SHALL BE EQUAL TO EXISTING CONDITIONS.
 - FOLLOWING REMOVAL OF INDICATED NATURAL FEATURES AND SITE IMPROVEMENTS, AND FOLLOWING THE COMPLETION OF EARTHWORK AS INDICATED ON THE GRADING PLAN, CONTRACTOR SHALL SUPPLY AND INSTALL TOPSOIL FILL TO THE FINISH GRADES INDICATED ON THE GRADING PLAN. TOPSOIL FILL SHALL BE FREE OF ROCK, RUBBISH, OR OTHER UNSUITABLE MATERIAL AND SHALL BE MODERATELY COMPACTED WHEN PLACED TO AVOID EXCESSIVE SETTLEMENTS. THE SURFACE OF ALL FILL SHALL BE UNIFORM AND SMOOTHLY GRADED IN ACCORDANCE WITH THE SITE GRADING PLAN. THE FINISHED SURFACE GRADES SHALL BE NOT MORE THAN 0.1 FOOT ABOVE OR BELOW THE GRADES INDICATED ON THE PLANS. PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING GRADES AND THE ADJACENT FILL.
 - ALL TREES, BRUSH, STUMPS AND GRUBBING DEBRIS SCHEDULED FOR DEMOLITION ARE TO BE REMOVED FROM THE SITE.
 - CURRENT FIELD CONDITIONS MAY VARY SOMEWHAT FROM THOSE INDICATED ON THIS PLAN. THE INFORMATION SHOULD NOT BE CONSIDERED AS EXACT OR COMPLETE.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO CONSTRUCTION. CONTACT THE INDIANA UNDERGROUND UTILITY PROTECTION SERVICE AT 1-800-382-5544.
 - THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OR RESUMPTION OF WORK WHICH COULD DISRUPT THE RESPECTIVE UTILITY SERVICE.
 - ANY DEVIATIONS FROM THE UTILITY LOCATIONS OR ELEVATIONS FROM THOSE SHOWN ON THE PLANS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION. ANY OTHER DEVIATIONS OF THE SITE IMPROVEMENTS FROM THOSE SHOWN ON THE PLANS THAT AFFECT THE PROPOSED IMPROVEMENTS SHALL BE REPORTED TO THE ENGINEER BEFORE CONSTRUCTION PROCEEDS AT THAT LOCATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE RELOCATION OF ALL EXISTING UTILITIES WHICH ARE IN CONFLICT WITH THE IMPROVEMENTS SHOWN ON THE SITE PLANS.
 - ANY DAMAGE TO EXISTING UTILITY LINES SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.
 - UNLESS NOTED OTHERWISE, ALL UNDERGROUND UTILITIES SCHEDULED FOR DEMOLITION SHALL BE COMPLETELY EXCAVATED AND REMOVED, AND THE TRENCH BACKFILLED WITH STRUCTURAL FILL PLACED IN ACCORDANCE WITH THE EARTHWORK SPECIFICATIONS.
 - DAMAGE TO THE EXISTING RIGHT-OF-WAY SHALL BE RESTORED/ REPAIRED TO THE SATISFACTION OF THE CITY AT THE COMPLETION OF THE PROJECT. THE CONTRACTOR IS ENCOURAGED TO INSPECT THE RIGHT-OF-WAY WITH THE CITY PRIOR TO THE START OF CONSTRUCTION TO DOCUMENT THE EXISTING CONDITIONS OF THE RIGHT-OF-WAY.

REVISIONS

DATE	DESCRIPTION	BY



**OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA**

**EXISTING CONDITIONS &
DEMOLITION PLAN**

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

Kristen K. Lennar

DRAWN BY
BP

CHECKED BY
KE

DATE
JULY 30, 2021

SCALE
AS SHOWN

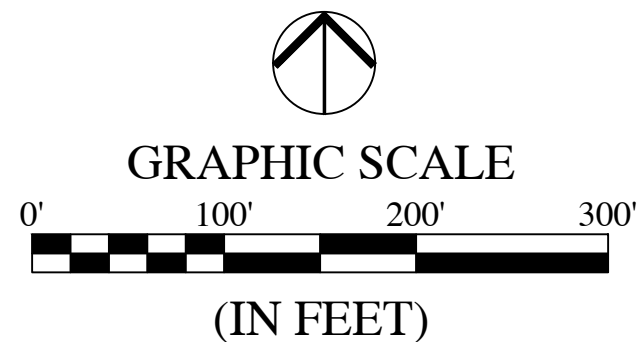
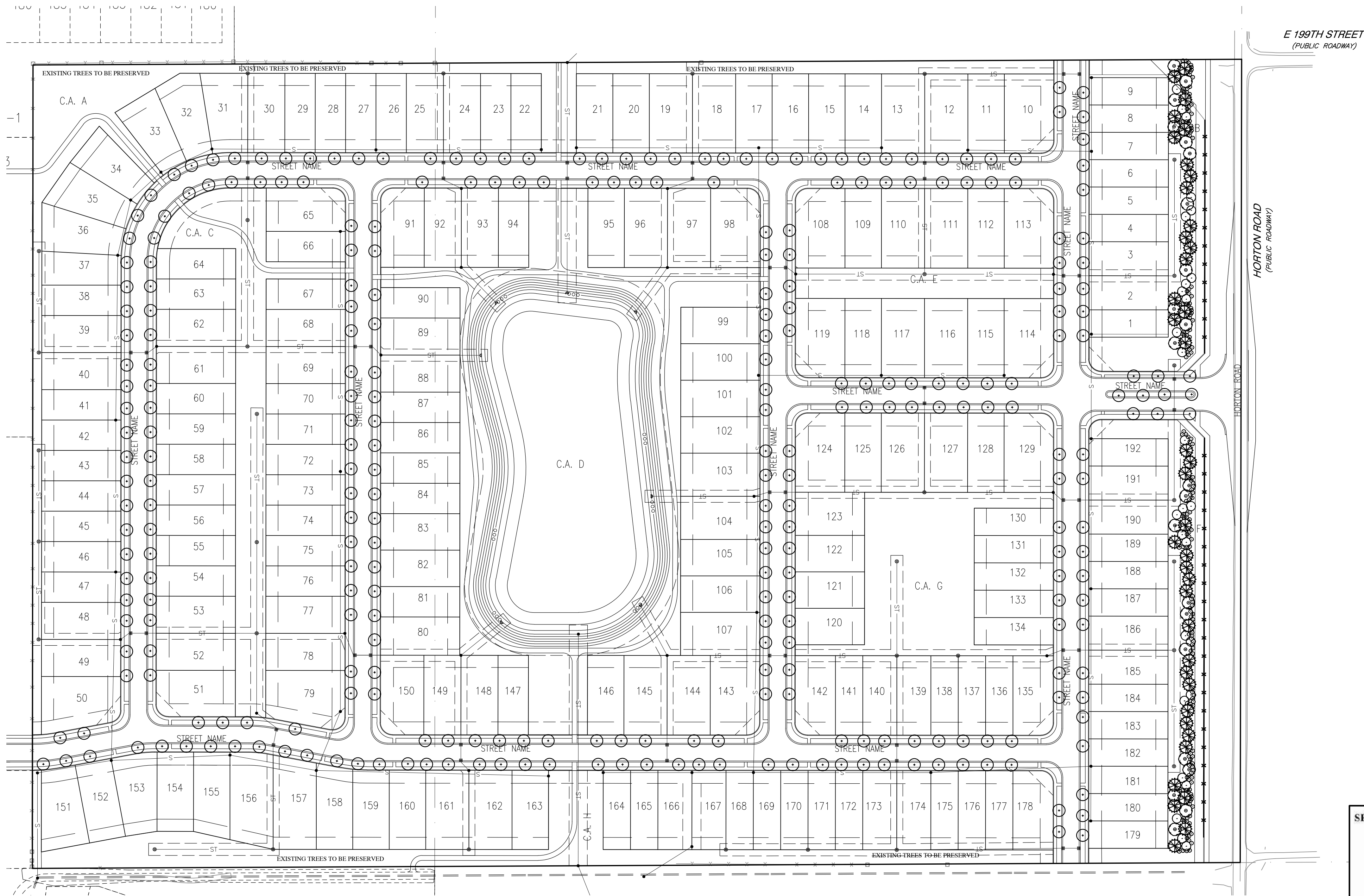
SHEET

JOB NUMBER
2021-277-S

C3.0
EXISTING CONDITIONS &
DEMOLITION PLAN

© 2021

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LEGEND:

EXISTING	PROPOSED

ABBREVIATIONS:

C.A.	- COMMON AREA
25	- LOT NUMBER

LANDSCAPE LEGEND:

- SHRUB
- STREET TREE
- SHADE TREE
- ORNAMENTAL TREE
- EVERGREEN TREE
- BLACK "4-BEARD" FENCE

GENERAL NOTES:

- ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
- STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
- THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.

SECTION 02800 - STREET TREE LIST

Table 1
Preferred Street Trees
Large/ Medium Tree List

Trees from Table 1 will eventually reach a height of between thirty (30) to eighty (80) feet in most urban situations. Variations of the plant selections not included on the Preferred Shade Tree List may be approved through the City's designee. Improved cultivars, seedless, and/or thornless varieties must be used when available. Locally grown stock is advised to improve tree survival rates. Minimum caliper of 2 inches is required for all Shade Trees at installation unless otherwise specified.

STREET TREES (TYPE A)

COMMON NAME	SCIENTIFIC NAME
Coffeetree, Kentucky	<i>Gymnocladus dioica</i> (male only)
Elm, Accolade	<i>Ulmus 'Morton'</i>
Ginkgo	<i>Ginkgo biloba</i> (male only)
Hackberry	<i>Celtis occidentalis</i>
Honeylocust (thornless)	<i>Gleditsia triacanthos</i> var. <i>inermis</i> , seedless cultivars
Horechestnut, Red	<i>Aesculus x carnea</i> 'Briotii'
Katsuristree	<i>Cercidiphyllum japonicum</i>
Linden, Silver 'Sterling Silver'	<i>Tilia tomentosa</i> 'Sterling Silver'
Maple, Black	<i>Acer nigrum</i>
Maple, Freeman	<i>Acer freemanii</i>
Maple, Red	<i>Acer rubrum</i>
Maple, Sugar	<i>Acer saccharum</i>
Maple, Sycamore	<i>Acer pseudoplatanus</i>
Oak, Chinkapin	<i>Quercus muhlenbergii</i>
Oak, Northern Red	<i>Quercus rubra</i>
Oak, Shingle	<i>Quercus imbricaria</i>
Oak, Swamp White	<i>Quercus bicolor</i>
Oak, White	<i>Quercus alba</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Tulip	<i>Liriodendron tulipifera</i>
Zelkova	<i>Zelkova serrata</i>



REVISIONS

DATE	DESCRIPTION	BY



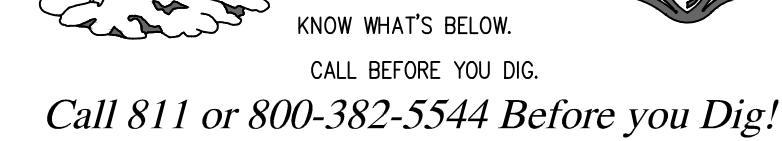
OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
OVERALL LANDSCAPE PLAN

PRELIMINARY
NOT FOR CONSTRUCTION

DRAWN BY
BP
CHECKED BY
KE
DATE
JULY 30, 2021
SCALE
AS SHOWN
SHEET

L1.0

OVERALL LANDSCAPE
PLAN



(IN FEET)

EXISTING

PROPOSED

BC	BACK OF CURB
CL	- CENTERLINE
FL	- FLOW LINE
NP	- NORMAL POOL (ELEVATION)
RVC	- POLYVINYL CHLORIDE PIPE
-	- REINFORCED CONCRETE PIPE
D.E.	- COMMON AREA
D.E.	- DRAINAGE EASEMENT
D.U.&S.S.E.	- DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
D.&U.E.	- DRAINAGE AND UTILITY EASEMENT
L.O.S.E.	- LINE OF SIGHT EASEMENT
P.S.E.	- PERMANENT STORMWATER EASEMENT
P.A.E.	- PEDESTRIAN ACCESS EASEMENT
ESMT.	- EASEMENT
25	- LOT NUMBER
B.S.L.	- BUILDING SETBACK LINE
S.F.	- SQUARE FEET
R/W	- PUBLIC RIGHT-OF-WAY

 SHRUB
 STREET TREE
 SHADE TREE
 ORNAMENTAL TREE
 EVERGREEN TREE
 BLACK "4-BOARD" FENCE

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HWC
ENGINEERING

INDIANAPOLIS - TERRE HAUTE
LAFAYETTE - MUNCIE - NEW ALBANY

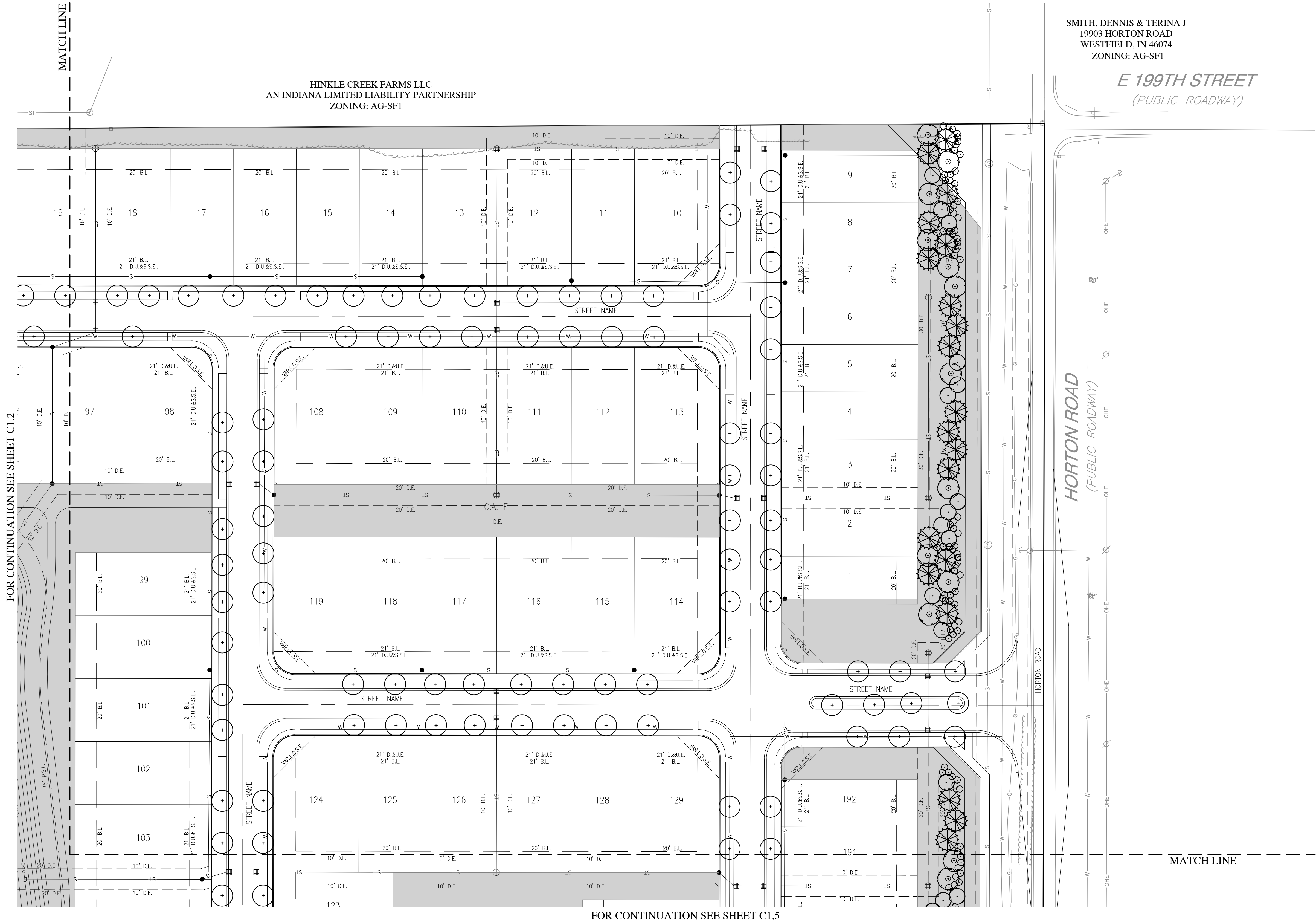
www.hwcengineering.com

LANDSCAPE PLAN

DRAWN BY BP		JOB NUMBER 2021-277-S
CHECKED BY KE		
DATE JULY 30, 2021		
SCALE		
AS SHOWN		
SHEET		

LANDSCAPE PLAN

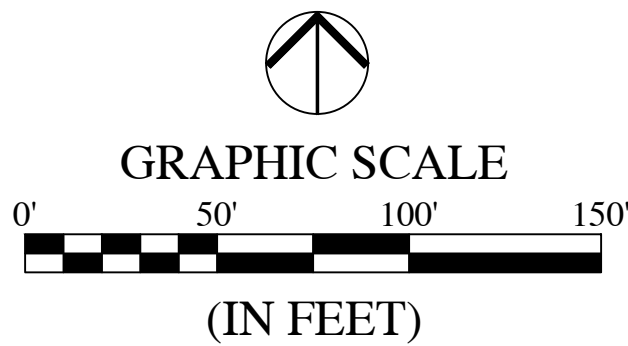
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SMITH, DENNIS & TERINA J
19903 HORTON ROAD
WESTFIELD, IN 46074
ZONING: AG-SF1

E 199TH STREET
(PUBLIC ROADWAY)

HORTON ROAD
(PUBLIC ROADWAY)



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	SWALE / FLOWLINE	---
---	SUBSURFACE DRAIN	---
---	SANITARY SEWER	---
---	STORM SEWER	---
---	STORM CULVERT	---
---	WATER MAIN	---
---	CONTOUR, MAJOR	---
---	CONTOUR, MINOR	---
---	FENCE	---
---	TREE LINE	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INLET	---
---	STORM END SECTION	---
---	FIRE HYDRANT	---
---	FLOW ARROW	---
---	STREET LIGHT	---
---	6" X 6" VEHICLE BARRIER POST	---

ABBREVIATIONS:

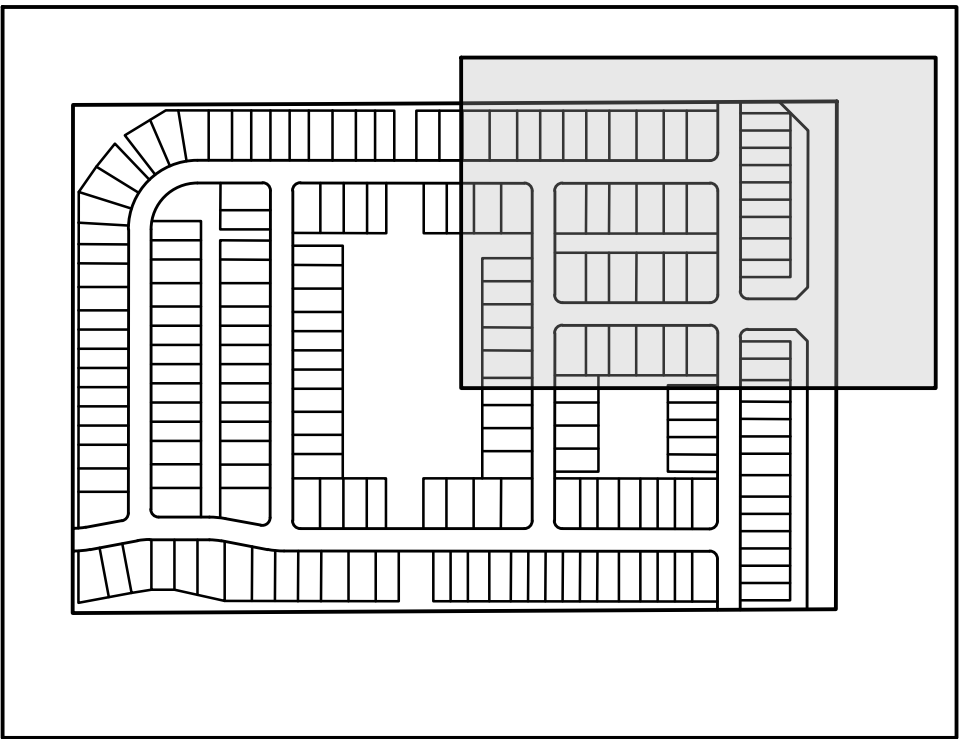
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LANDSCAPE LEGEND:

○	SHRUB
○	STREET TREE
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KEYMAP
SCALE: 1" = 500'

REVISIONS

DATE	DESCRIPTION	BY

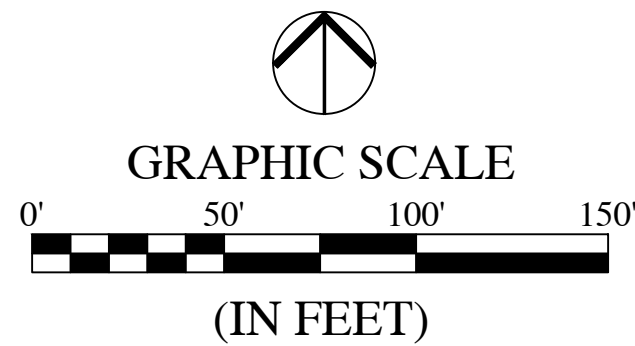
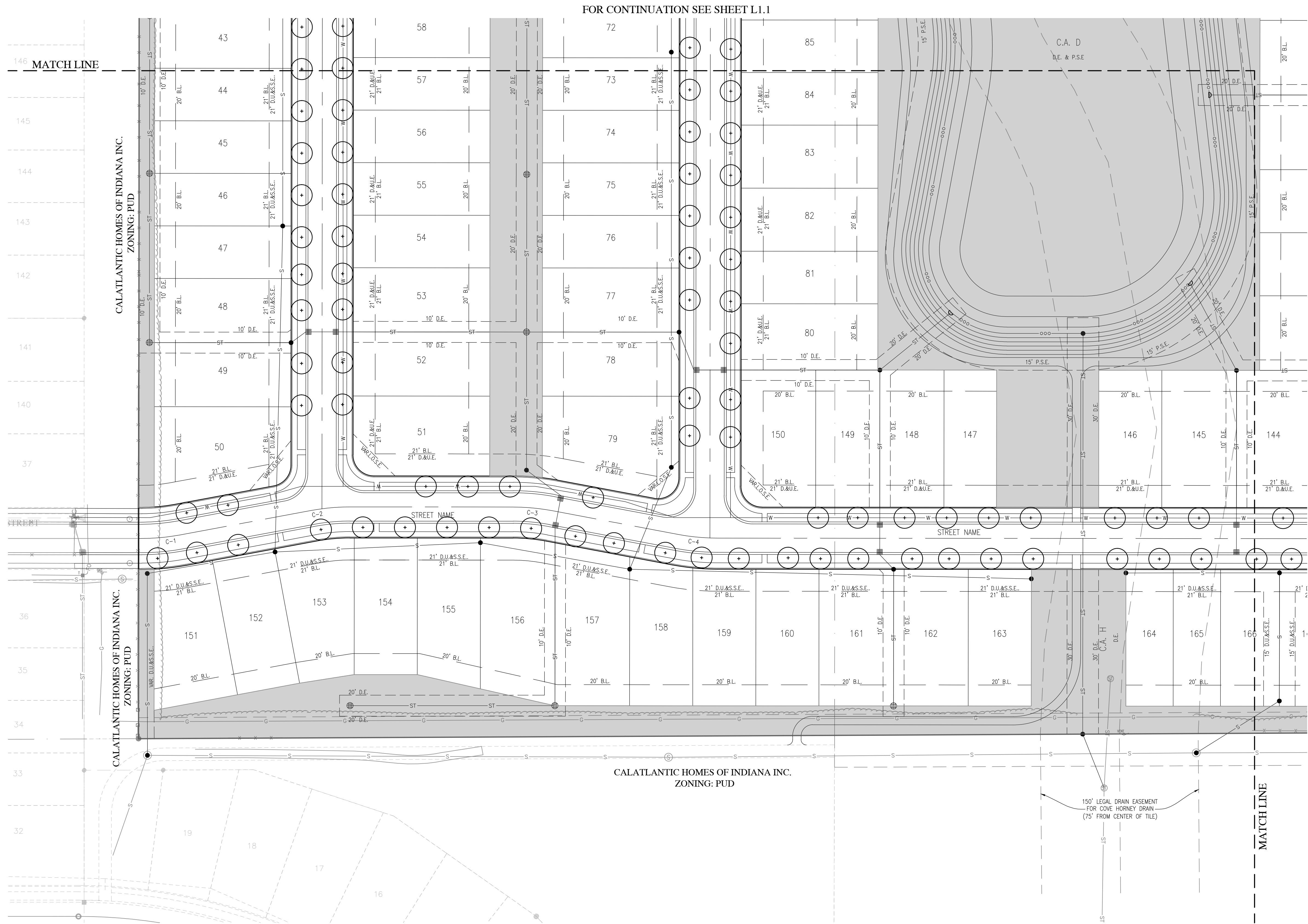


OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
LANDSCAPE PLAN

PROFESSIONAL SEAL
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY
BP
CHECKED BY
KE
DATE
JULY 30, 2021
SCALE
AS SHOWN
SHEET

L1.2
LANDSCAPE PLAN



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	SWALE / FLOWLINE	---
---	SUBSURFACE DRAIN	---
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
---	CONTOUR, MAJOR	800
---	CONTOUR, MINOR	799
---	FENCE	---
---	TREE LINE	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INLET	---
---	STORM END SECTION	---
---	FIRE HYDRANT	---
---	FLOW ARROW	---
---	STREET LIGHT	---
---	6" X 6" VEHICLE BARRIER POST	---

ABBREVIATIONS:

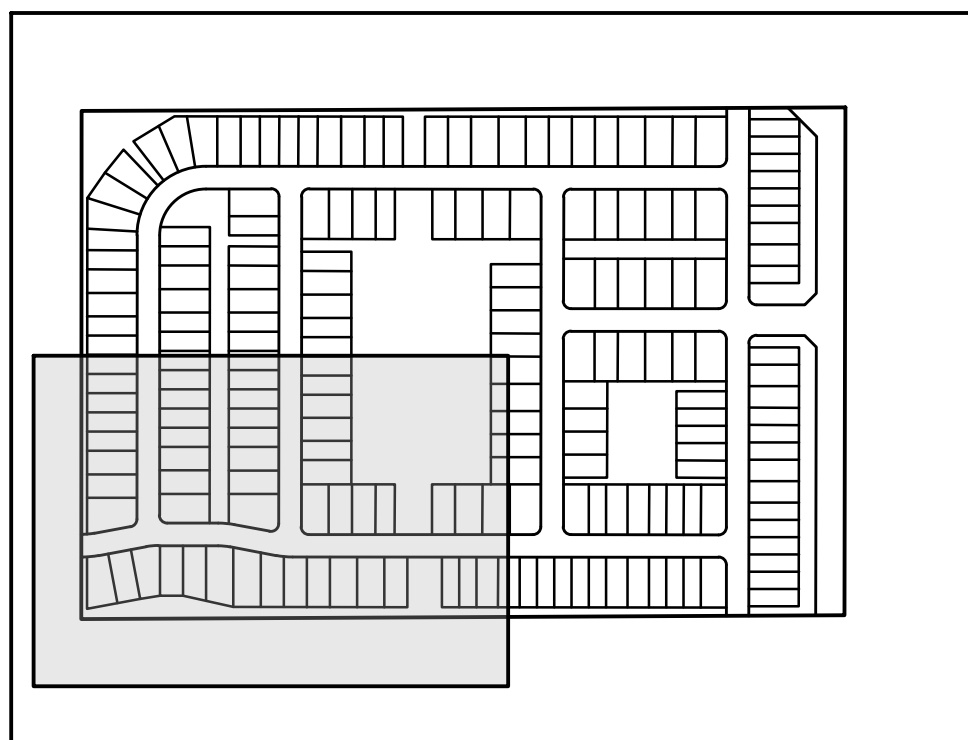
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B.S.L.	- BUILDING SETBACK LINE
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R/W	- PUBLIC RIGHT-OF-WAY

LANDSCAPE LEGEND:

○	SHRUB
○	STREET TREE
○	SHADE TREE
○	ORNAMENTAL TREE
○	EVERGREEN TREE
---	BLACK "4-BOARD" FENCE

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REVISIONS

DATE	DESCRIPTION	BY

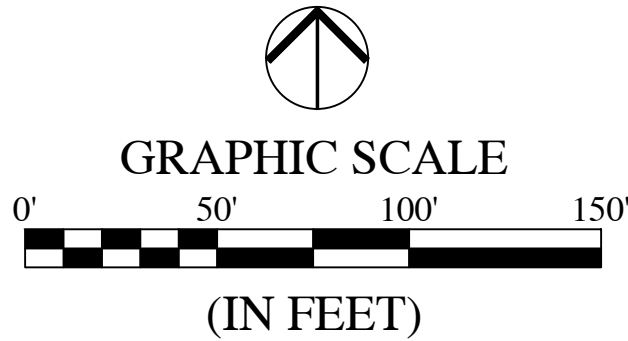
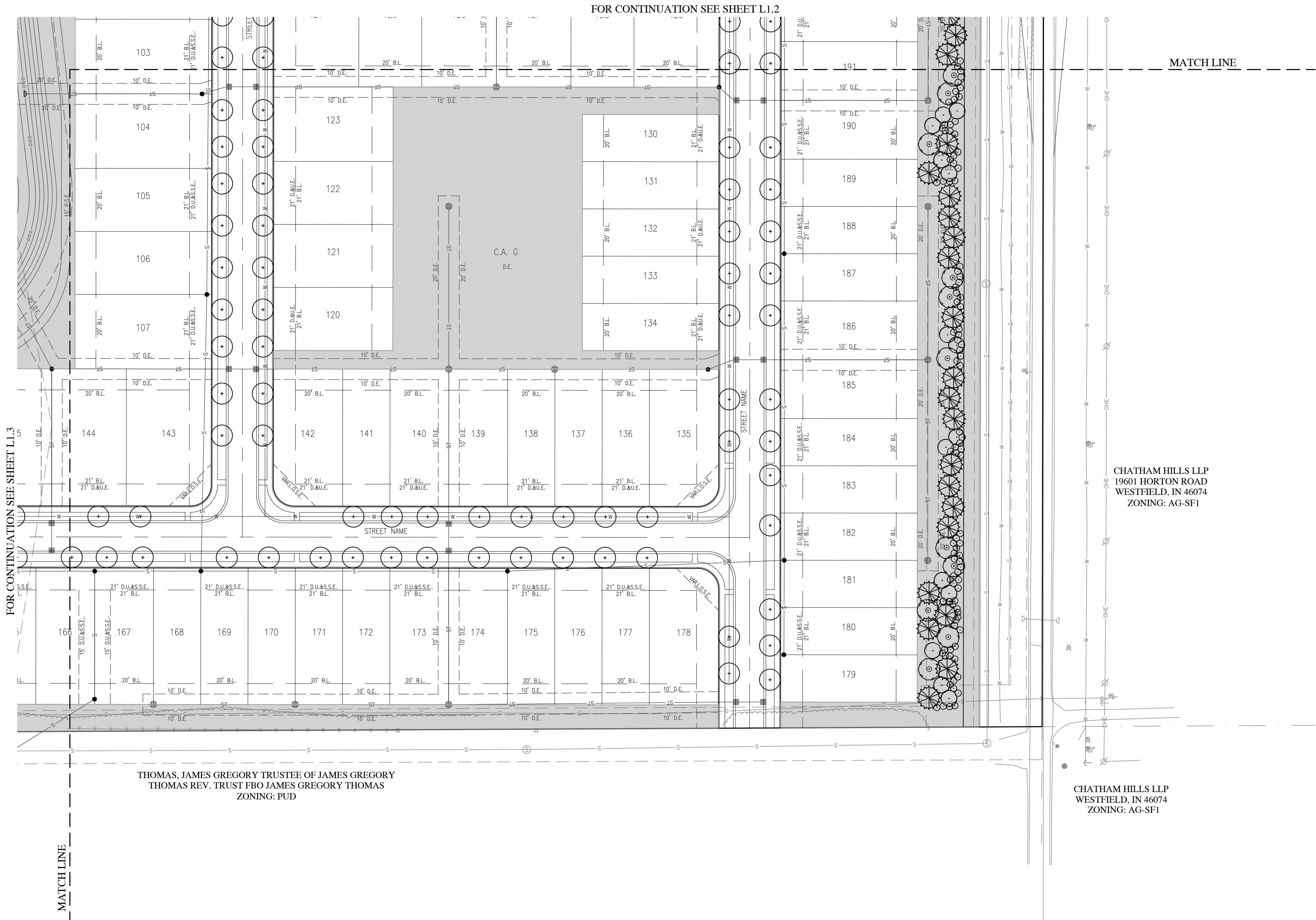


OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
LANDSCAPE PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY BP	JOB NUMBER 2021-277-S
CHECKED BY KE	
DATE JULY 30, 2021	
SCALE AS SHOWN	
SHEET	

L1.3
LANDSCAPE PLAN



LEGEND:

EXISTING	RIGHT-OF-WAY LINE	PROPOSED
---	EASEMENT LINE	---
---	SETBACK LINE	---
---	CENTERLINE	---
---	SWALE / FLOWLINE	---
---	SUBSURFACE DRAIN	---
S	SANITARY SEWER	S
ST	STORM SEWER	ST
ST	STORM CULVERT	ST
W	WATER MAIN	W
---	CONTOUR, MAJOR	---
---	CONTOUR, MINOR	---
---	FENCE	---
---	TREE LINE	---
---	SANITARY MANHOLE	---
---	STORM MANHOLE	---
---	STORM INLET	---
---	STORM END SECTION	---
---	FIRE HYDRANT	---
N/A	FLOW ARROW	---
---	STREET LIGHT	---
---	6" X 6" VEHICLE BARRIER POST	---

ABBREVIATIONS:

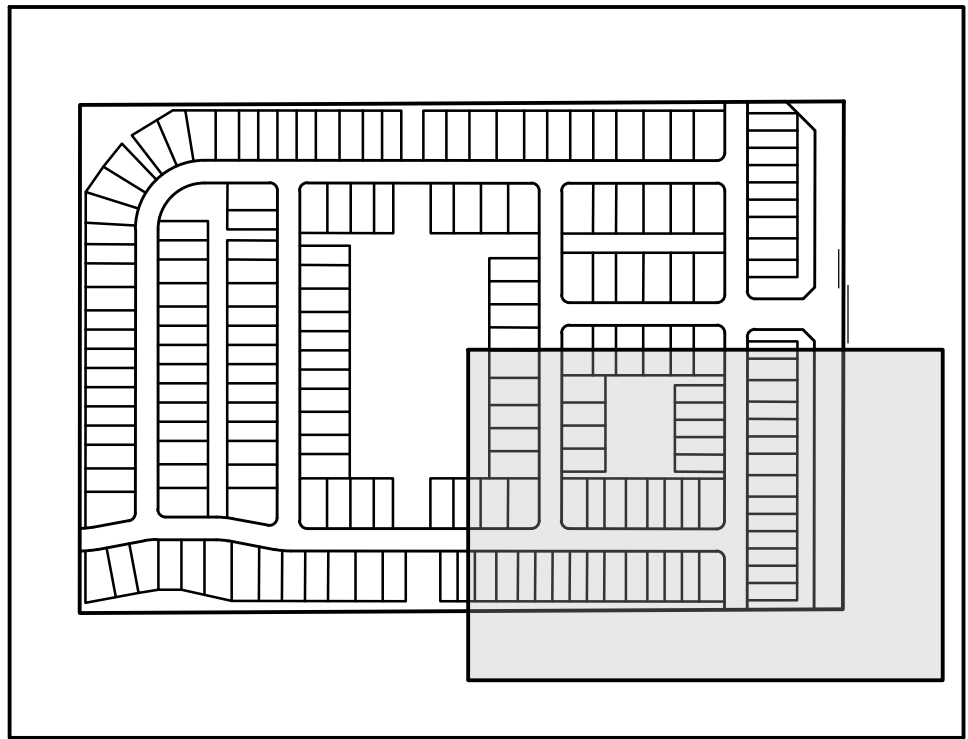
BC	- BACK OF CURB
CL	- CENTERLINE
FL	- FLOW LINE
NP	- NORMAL POOL (ELEVATION)
PVC	- POLYVINYL CHLORIDE PIPE
RCP	- REINFORCED CONCRETE PIPE
C.A.	- COMMON AREA
D.E.	- DRAINAGE EASEMENT
D.U.A.S.S.E.	- DRAINAGE, UTILITY AND SANITARY SEWER EASEMENT
D.&U.E.	- DRAINAGE AND UTILITY EASEMENT
L.O.S.E.	- LINE OF SIGHT EASEMENT
P.S.E.	- PERMANENT STORMWATER EASEMENT
P.A.E.	- PEDESTRIAN ACCESS EASEMENT
ESMT.	- EASEMENT
25	- LOT NUMBER
B.S.L.	- BUILDING SETBACK LINE
S.F.	- SQUARE FEET
R/W	- PUBLIC RIGHT-OF-WAY

LANDSCAPE LEGEND:

○	SHRUB
○	STREET TREE
○	SHADE TREE
○	ORNAMENTAL TREE
○	EVERGREEN TREE
---	BLACK "4-BOARD" FENCE

GENERAL NOTES:

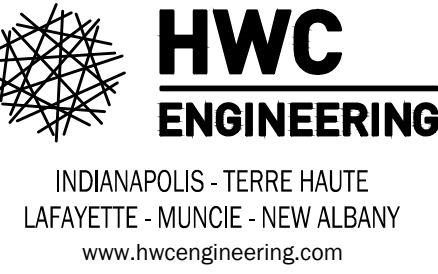
- ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST.
- STREET TREES SHALL NOT BE WITHIN 4 FEET OF ANY PAVEMENT.
- THERE SHALL BE NO TREES WITHIN 10 FEET OF ANY STORM SEWER INCLUDING SSD.



KEYMAP
SCALE: 1" = 500'

REVISIONS

DATE	DESCRIPTION	BY



OSBORNE TRAILS - PHASE II
CITY OF WESTFIELD, INDIANA
LANDSCAPE PLAN

PRELIMINARY
No. 11400758
NOT FOR CONSTRUCTION

DRAWN BY BP	JOB NUMBER 2021-277-S
CHECKED BY KE	
DATE JULY 30, 2021	
SCALE AS SHOWN	
SHEET	

L1.4

LANDSCAPE PLAN



Petition Number: 2109-DDP-37
Project Name: Cornerstone Church Parking Lot Expansion
Subject Site Address: 730 Pawtucket Drive
Petitioner: Centennial Bible Church, Inc.
Representative: Webster & Garino, LLC
Request: Detailed Development Plan review of a 60,000 square foot parking lot expansion on 1.60 acres +/- in the LB: Local and Neighborhood Business District.
Current Zoning: LB District
Current Land Use: Vacant
Approximate Acreage: 1.60 +/-
Property History: 1504-SFP-12 (Section 1, Replat)

Staff Reviewer: Caleb Ernest, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised primary plat and overall development plan have been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.

- 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.***
 - 5) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office
-

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.

- 15) Location and dimensions of all existing structures and paved areas.
- 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 17) Location of all Floodplain areas within the boundaries of the property.
- 18) Names of legal ditches and streams on or adjacent to the site.
- 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 20) Identify buildings proposed for demolition.
- 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

- 23) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 24) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 25) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.

- b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 26) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

The plans comply with Article 4.14 (LB District).

- | | |
|-------------------------------------|--|
| 27) Minimum Lot Area: | No minimum |
| 28) Minimum Lot Frontage: | 50 feet |
| 29) Minimum Building Setback Lines: | |
| a) Front Yard: | 60 feet; however, the Front Yard may be reduced to the average setback of legally established buildings where an existing Front Yard setback is already established by two (2) or more existing, legally established buildings within the same Block and within three hundred (300) feet in either direction of the proposed building. |
| b) Side Yard: | 15 feet; adjacent to Residential District: 60 feet; however, if the Side Yard abuts an Alley, then the Side Yard setback shall be 40 feet from the Alley's edge of pavement of Right-of-way line, whichever is greater. |
| c) Rear Yard: | 20 feet; Adjacent to Residential District: 60 feet; however, if the Rear Yard abuts an Alley, then the Rear Yard setback shall be 40 feet from the Alley's edge of pavement or Right-of-way line, whichever is greater. |
| 30) Maximum Building Height: | 45 feet |

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply, as applicable to a Detailed Development Plan.

31) Accessory use and Building Standards (Article 6.1):

32) Architectural Standards (Article 6.3)

33) Building Standards (Article 6.4)

34) Fence Standards (Article 6.5)

35) Height Standards (Article 6.6)

36) Home Business Standards (Article 6.7)

37) Landscaping Standards (Article 6.8)

a) General Landscaping Design Standards:

i) Placement:

(1) Minimum Distance from Sidewalk and Curb: Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.

b) Minimum Lot Landscaping Requirements:

c) Foundation Plantings:

d) External Street Frontage Landscaping Requirements:

e) Buffer Yard Requirements:

f) Parking Area Landscaping:

i) Interior Parking Area Landscaping:

- (1) Minimum Area Required: A minimum landscape area of Parking Areas shall be set aside for Parking Area islands in accordance with the following:

Number of Parking Spaces	% of Parking Area to be Islands
0 to 4	0%
5 to 24	5%
25 to 49	7.5%
50 or more	10%

- (2) Interior Parking Area Islands:

- (a) Location: Parking Area islands shall be dispersed throughout Parking Areas in a design and configuration that aesthetically corresponds to the size and shape of Parking Areas. Combining or placing Parking Area islands together such that more than one (1) tree may be planted in the island shall be considered when possible. Parking Area islands shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.
- (b) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred (100) percent of every island shall be covered with permitted Groundcover material to achieve complete coverage.

ii) Perimeter Parking Area Landscaping:

- (1) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
- (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.
- (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.
- (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

38) Lighting Standards (Article 6.9)

- a) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]

39) Lot Standards (Article 6.10)

40) Outside Storage and Display (Article 6.12)

41) Outdoor Café and Eating Areas (Article 6.13)

42) Parking and Loading Standards (Article 6.14)

a) Off-Street Parking:

b) Bicycle Parking:

43) Performance Standards (Article 6.15)

44) Setback Standards (Article 6.16)

45) Sign Standards (Article 6.17)

46) Vision Clearance Standards (Article 6.19)

a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:

i) Forty (40) feet from intersections of Collectors or Local Streets.

47) Yard Standards (Article 6.21)

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

48) Block Standards (Article 8.1)

49) Easement Standards (Article 8.3)

50) Monument and Marker Standards (Article 8.5)

51) Open Space and Amenity Standards (Article 8.6)

52) Pedestrian Network Standards (Article 8.7)

a) Perimeter/External Pedestrian Network Standards:

- i) Where a proposed Development Plan or Subdivision abuts an existing Right-of-way, then pedestrian paths, jogging paths, and bicycle paths shall be provided along the perimeter Street(s) or Private Street(s) in accordance with the Thoroughfare Plan. The type of pedestrian facility required shall be as set forth in the Thoroughfare Plan. The County or Public Works Department, as applicable, may waive the requirement for a path along perimeter streets for a Minor Subdivision.

53) Storm Water Standards (Article 8.8)

54) Street and Right-of-Way Standards (Article 8.9)

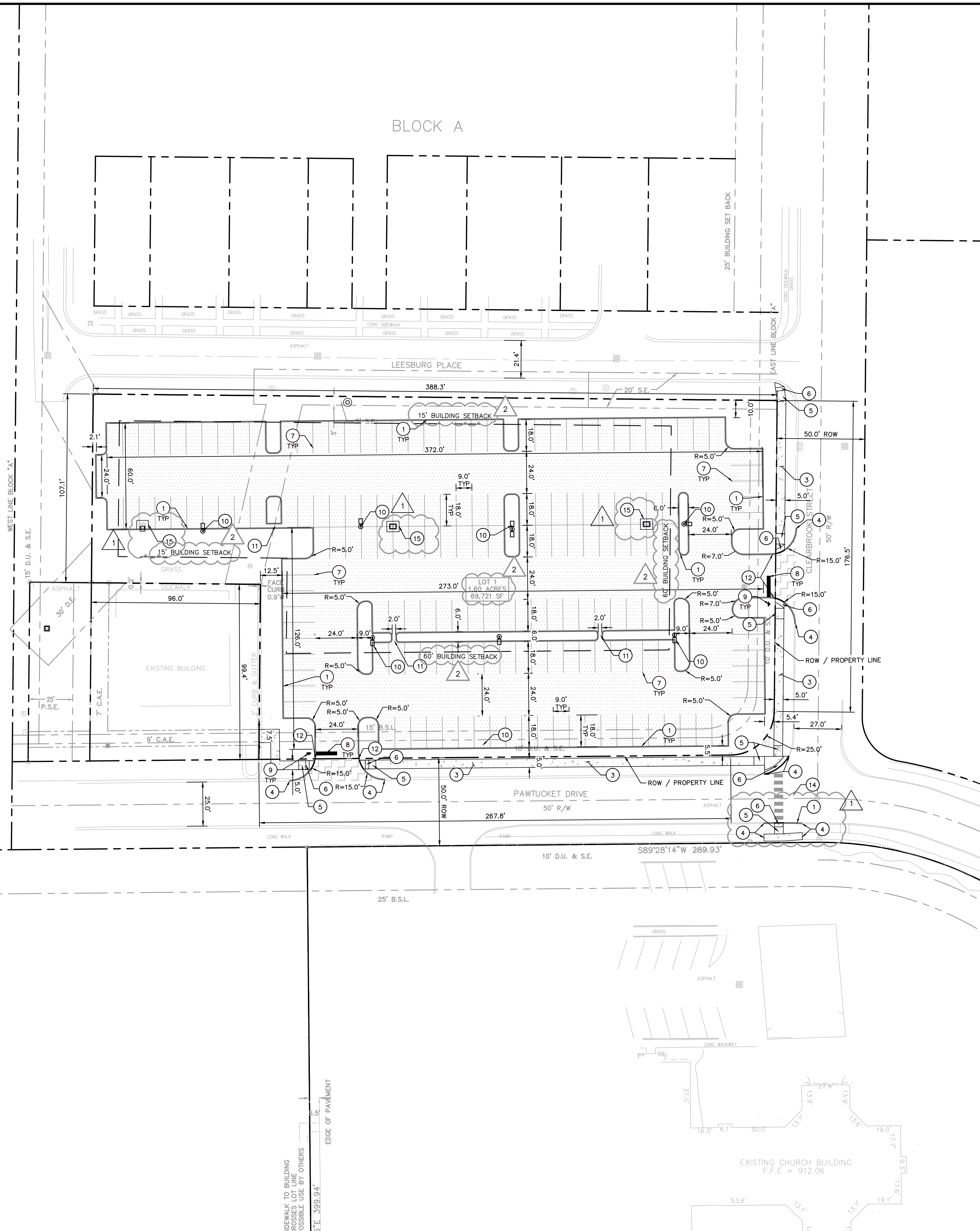
55) Surety Standards (Article 8.12)

56) Utility Standards (Article 8.13)

DEPARTMENT COMMENTS

- 1) **The Detailed Development Plan complies with the applicable zoning ordinances.**
- 2) **ACTION: Approve Detailed Development Plan (2109-DDP-37) with the following condition:**
 - a. **All necessary approvals be obtained from the Westfield Public Works Department and Hamilton County Surveyor's Office prior to the issuance of an Improvement Location Permit.**
- 3) If any APC member has questions prior to the meeting, then please contact Caleb Ernest at 317.519.8630 or cernest@westfield.in.gov.

Drawing name: K:\IND_LDEV\170271000_Cornerstone Bible Church_Addition_Westfield\IN2_Design\CADD\PlanSheets\C3.0-SITE PLAN.dwg C3.0 Sep 14, 2021 2:10pm by Mike Timko
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GRAPHIC SCALE IN FEET
0 15 30 60

EXISTING LEGEND

	STORM INLET		PARKING SPACE
	CURB INLET		H/C PARKING SPACE
	SANITARY SEWER MANHOLE (SSMH)		TRAFFIC SIGNAL POLE
	STORM DRAIN MANHOLE (SDMH)		LIGHT POLE
	TELEPHONE MANHOLE (TMH)		TREE
	RIGHT OF WAY MONUMENT		MAILBOX
	WATER VALVE		MONITOR WELL
	POWER POLE		SIGN
	POWER METER		AREA LIGHT
	TELEPHONE BOX/PEDESTAL		
	ELECTRICAL MANHOLE		

	FIB		UNDERGROUND FIBER OPTIC
	CBL		UNDERGROUND CABLE
	[E]		UNDERGROUND ELECTRIC
			DITCH FLOWLINE
	SD		STORM DRAIN
	SS		SEWER LINE
	GAS		GAS LINE
	W		WATER LINE

PAVING & CURB LEGEND

	STANDARD DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY ASPHALT PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	RIGHT OF WAY PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	CONCRETE SIDEWALK SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	HEAVY DUTY CONCRETE PAVEMENT SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
	STANDARD CONCRETE CURB
	ROLL BACK CURB

BENCHMARKS

SITE BENCHMARKS:
(LOCATIONS SHOWN ON SURVEY)

SBM #1 FD REBAR IN CONCRETE
ELEVATION=910.16

SBM #2 CUT "X" SCRIBED T FOUND
ELEVATION=910.43

SBM #3 FD REBAR SCHNEIDER
ELEVATION=908.37

SBM #4 FD REBAR SCHNEIDER
ELEVATION=908.96

SBM #5 FD REBAR
ELEVATION=909.77

SBM #6 FD REBAR SCHNEIDER
ELEVATION=909.70

SITE SUMMARY

SITE ZONING	= LB
SITE ACREAGE	= 1.6 AC ±
SITE SQUARE FOOTAGE	= 69,721 SF ±

PARKING SPACES (STANDARD) REQUIRED	= 174 SPACES
PARKING SPACES (ACCESSIBLE) REQUIRED	= 0 SPACES

PARKING SPACES (STANDARD) PROVIDED	= 174 SPACES
PARKING SPACES (ACCESSIBLE) PROVIDED	= 0 SPACES

TOTAL PARKING SPACES PROVIDED	= 174 SPACES
-------------------------------	--------------

KEY NOTES

- CONCRETE CURB, TYP. (SEE DETAILS)
- DEPRESSED CURB (SEE DETAILS)
- CONCRETE SIDEWALK, TYP. (SEE DETAILS)
- CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- ADA RAMP (SEE DETAILS)
- 2" WIDE TACTILE WARNING STRIP
- 4" WIDE PAINTED WHITE SOLID LINE, TYP.
- 24" WIDE STOP BAR, TYP. (SEE DETAILS)
- STOP SIGN, TYP. (MUTCD R1-1, SEE DETAILS)
- LIGHT POLES SHOWN FOR COORDINATION ONLY (SEE SITE LIGHTING PLAN)
- CURB CHANNEL (SEE DETAILS)
- 3-FT TRANSITION CURB
- ROLL BACK CURB (SEE DETAILS)
- CROSSWALK
- CONCRETE COLLAR

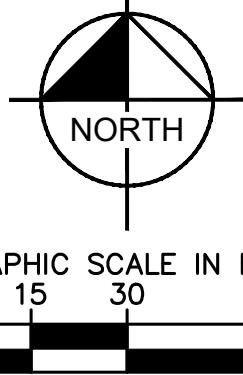
SITE NOTES

- ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS, DOOR LOCATIONS, PRIOR TO ORDERING MATERIALS.
- RADIi ADJACENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3- FEET, TYPICAL.
- REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
- ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.

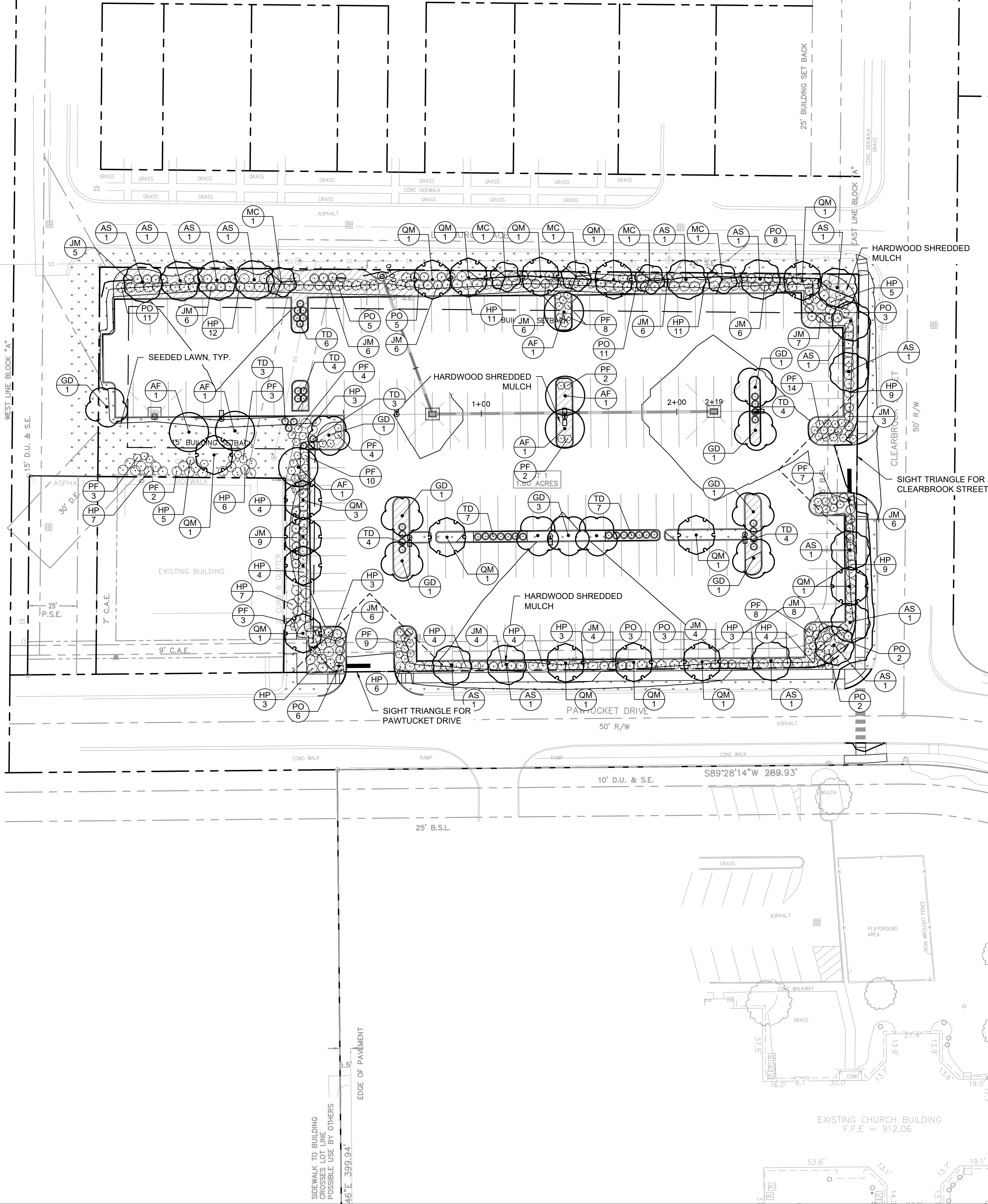
SCALE: AS NOTED DESIGNED BY CSM DRAWN BY: CSM CHECKED BY: MJT	 ©2021 KIMLEY-HORN AND ASSOCIATES, INC. 250 EAST 96TH STREET, SUITE 580, INDIANAPOLIS, IN 46240 WWW.KIMLEY-HORN.COM	09/14/21	CITY COMMENTS	09/10/21	DATE	BY
CORNERSTONE BIBLE CHURCH PARKING IMPROVEMENTS		SITE PLAN				
ORIGINAL ISSUE: 7/30/21 KHA PROJECT NO. 170271000 SHEET NUMBER C3.0						

Drawing name: K:\IND_LDEV\170271000_Cornerstone Bible Church_Addition_Westfield\IN 2 Design\CADD\PlanSheets\L1.0-LANDSCAPE PLAN.dwg L1.0 Sep 06, 2021 10:26am by Mike Timko
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BLOCK A



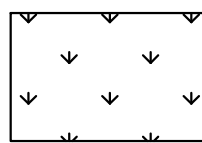
ORDINANCE CHART

ZONING: I1 - LIGHT INDUSTRY		
REQUIREMENT	REQUIRED	PROVIDED
MINIMUM LOT LANDSCAPING: Institutional Use		
• 2 shade trees + 3 ornamental or evergreen trees + 10 shrubs per acre	1.6 Acres • 4 shade trees • 5 ornamental trees • 16 shrubs	1.6 Acres • 1.6(2) = over 4 shade trees (per Section 6.8.K.3 Minimum Lot Credit) • 1.6(3) = over 5 ornamental or evergreen trees (per Section 6.8.K.3 Minimum Lot Credit) • 1.6(10) = over 16 shrubs (per Section 6.8.K.3 Minimum Lot Credit)
INTERIOR PARKING AREA		
• 50+ parking spaces = 10% of parking area to be landscape • 1 tree + 4 shrubs per island	• 51,697(0.1) = 5,170 SF • 13 islands = 13 trees + 52 shrubs	• 5,243 SF provided • 15 trees + 60 shrubs
PERIMETER PARKING AREA		
• 1 tree / 30 LF • 1 shrub / 3 LF	Leesburg Pl. (Area 1) = 388 LF • 388/30 = 13 trees • 317/3 = 129 shrubs Clearbrook St. (Area 2) = 202 LF • 202/30 = 7 trees • 202/3 = 67 shrubs Pawtucket Dr. (Area 3) = 292 LF • 292/30 = 10 trees • 292/3 = 97 shrubs West Border (Area 4) = 99 LF • 99/30 = 3 trees • 99/3 = 33 shrubs	Leesburg Pl (Area 1) • 13 trees • 129 shrubs Clearbrook St (Area 2) • 7 trees • 67 shrubs Pawtucket Dr (Area 3) • 10 trees • 97 shrubs West Border (Area 4) • 3 trees • 33 shrubs

PLANT SCHEDULE

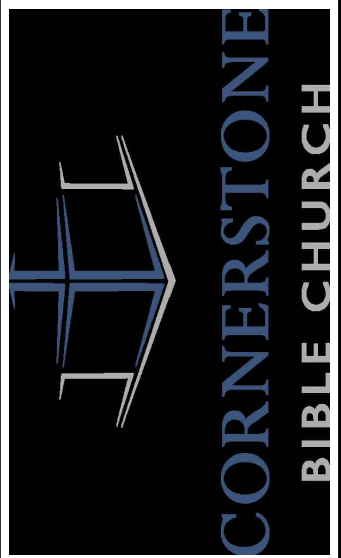
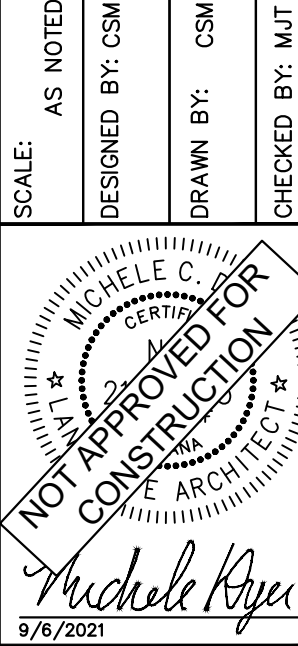
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
AF	6	ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE MAPLE	B & B	2" CAL MIN	---
AS	15	ACER SACCHARUM	SUGAR MAPLE	B & B	2" CAL MIN	---
GD	11	GYMNOCLADUS DIOICUS	KENTUCKY COFFEETREE	B & B	2" CAL MIN	---
QM	16	QUERCUS MUEHLENBERGII	CHINKAPIN OAK	B & B	2" CAL MIN	---
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	HT
MC	5	MALUS X 'SHOTIZAM' TM	SHOWTIME CRABAPPLE	B & B	2" CAL MIN	---
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
HP	123	HYDRANGEA ARBORESCENS 'PINKERELLA'	PINKERELLA HYDRANGEA	---	SEE PLAN	18" HT MIN
JM	92	JUNIPERUS CHINENSIS 'MINT JULEP'	MINT JULEP JUNIPER	---	SEE PLAN	18" HT MIN
PF	79	POTENTILLA FRUTICOSA 'GOLDFINGER'	GOLDFINGER BUSH CINQUEFOIL	---	SEE PLAN	18" HT MIN
PO	59	PHYSOCARPUS OPULIFOLIUS 'SEWARD' TM	SUMMER WINE NINEBARK	---	SEE PLAN	18" HT MIN
TD	42	TAXUS X MEDIA 'DENSIFORMIS'	DENSE ANGLO-JAPANESE YEW	---	SEE PLAN	18" HT MIN

SEEDING LEGEND



PERMANENT SEEDING
AMERITURF FRONTRUNNER BLEND TALL
FESCUE; APPLY AT A RATE OF 350 LBS/ACRE
(8LBS/1000 SQFT)

Kimley-Horn
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250 EAST 96TH STREET, SUITE 580,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM



LANDSCAPE
PLAN

CORNERSTONE
BIBLE CHURCH
PARKING
IMPROVEMENTS

ORIGINAL ISSUE:
7/30/21
KHA PROJECT NO.
170271000
SHEET NUMBER

L1.0

Drawing name: K:\IND_LDEV\170271000_Cornerstone Bible Church_Addition_Westfield\IN 2_Design\CADD\PlanSheets\L1.0--LANDSCAPE PLAN.dwg L1.1 Aug 25, 2021 6:35pm by ChadMoyes
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Indiana Utilities Protection Service



LANDSCAPE NOTES

1.

THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND PLANTING.
2.

THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
3.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
4.

ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
5.

ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
6.

PLANTING AREA SOIL SHALL BE TOPSOIL FOR ALL TREE, SHRUB, ORNAMENTAL GRASS, PERENNIAL, AND ANNUAL BEDS. AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO A 6" DEPTH BELOW FINISHED GRADE IN TURF AREAS AND A 12" DEPTH IN PLANTING AREAS.
7.

PLANTING AREA TOPSOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL. TOPSOIL SHALL CONFORM TO TECHNICAL SPECIFICATIONS FREE OF HEAVY CLAY, ROCKS, AND DIRT CLODS OVER 1 INCH IN DIAMETER, AS WELL AS CONTAIN 3%-5% OF ORGANIC MATTER.
8.

SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
9.

CONTRACTOR SHALL STAKE INDIVIDUAL TREE AND SHRUB LOCATIONS AND OUTLINE HERBACEOUS PLANTING AREAS, SHALL ADJUST LOCATIONS WHEN REQUESTED, AND SHALL OBTAIN PROJECT LANDSCAPE ARCHITECT'S ACCEPTANCE PRIOR TO PLANTING.
10.

ALL PLANT ID TAGS SHALL BE REMOVED AFTER INSTALLATION.
11.

CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL, AND GROUNDCOVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEEDED AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
12.

WEED FABRIC SHALL BE APPLIED UNDER MULCH.
13.

MULCH SHALL NOT BE HELD IN PLACE BY PLASTIC NET, OR SPRAYING OF ANY BINDER MATERIAL OR ASPHALT EMULSION.
14.

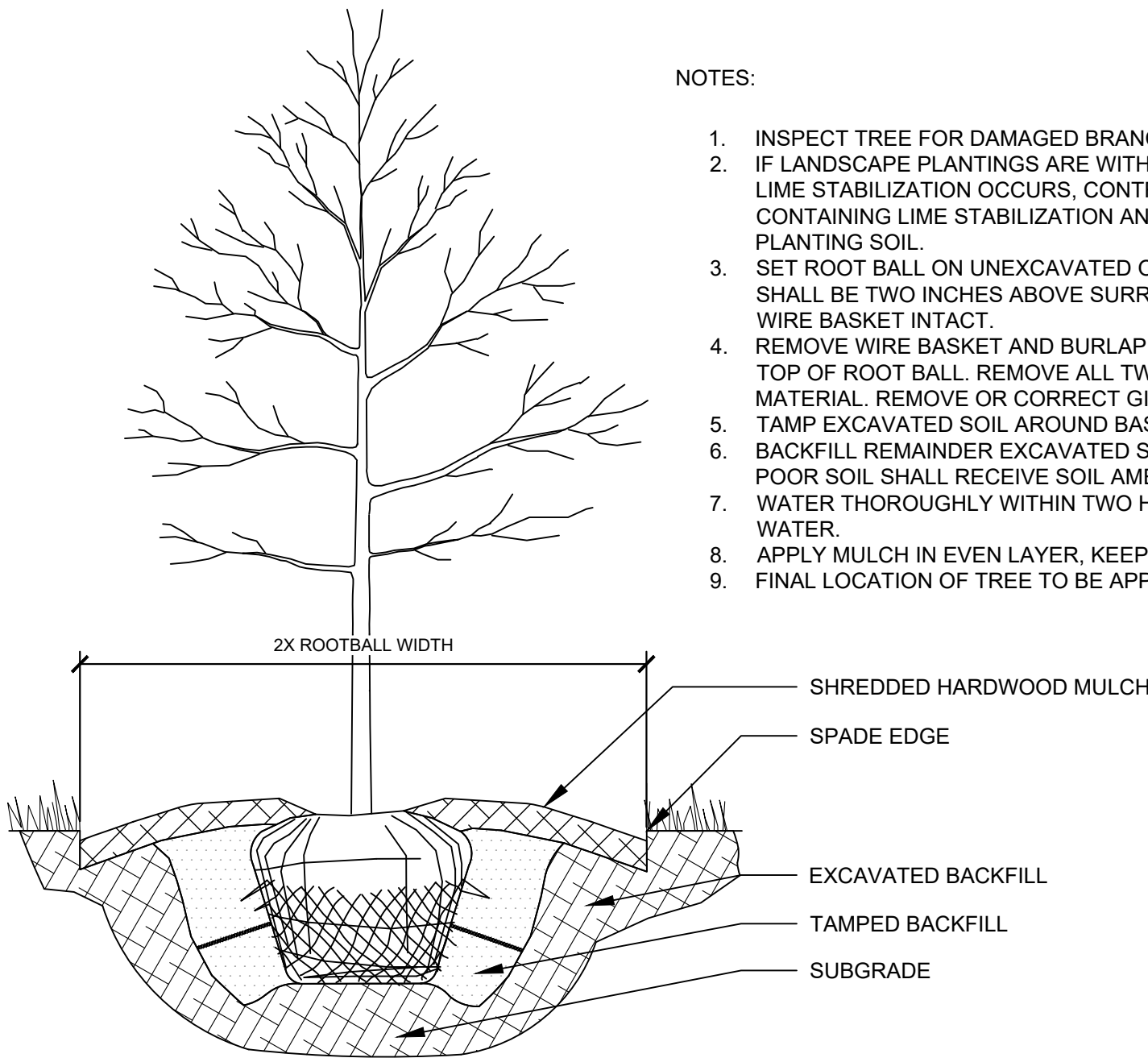
DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
15.

PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
16.

THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
17.

WEEDING, LANDSCAPE MAINTENANCE, AND WATERING TO BE THE CONTRACTOR'S RESPONSIBILITY DURING CONSTRUCTION. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED BY LANDSCAPE CONTRACTOR DURING WARRANTY PERIOD IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.
18.

THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING AFTER WARRANTY PERIOD EXPIRES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED.



- NOTES:
1.

INSPECT TREE FOR DAMAGED BRANCHES, APPLY CORRECTIVE PRUNING.
2.

IF LANDSCAPE PLANTINGS ARE WITHIN OR ADJACENT TO AREAS WHERE LIME STABILIZATION OCCURS, CONTRACTOR SHALL FULLY REMOVE SOIL CONTAINING LIME STABILIZATION AND REPLACE WITH HIGH QUALITY PLANTING SOIL.
3.

SET ROOT BALL ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL SHALL BE TWO INCHES ABOVE SURROUNDING GRADE WITH BURLAP AND WIRE BASKET INTACT.
4.

REMOVE WIRE BASKET AND BURLAP DOWN FOUR TO SIX INCHES BELOW TOP OF ROOT BALL. REMOVE ALL TWINE AND (IF USED), SYNTHETIC MATERIAL. REMOVE OR CORRECT GIRDLING ROOTS.
5.

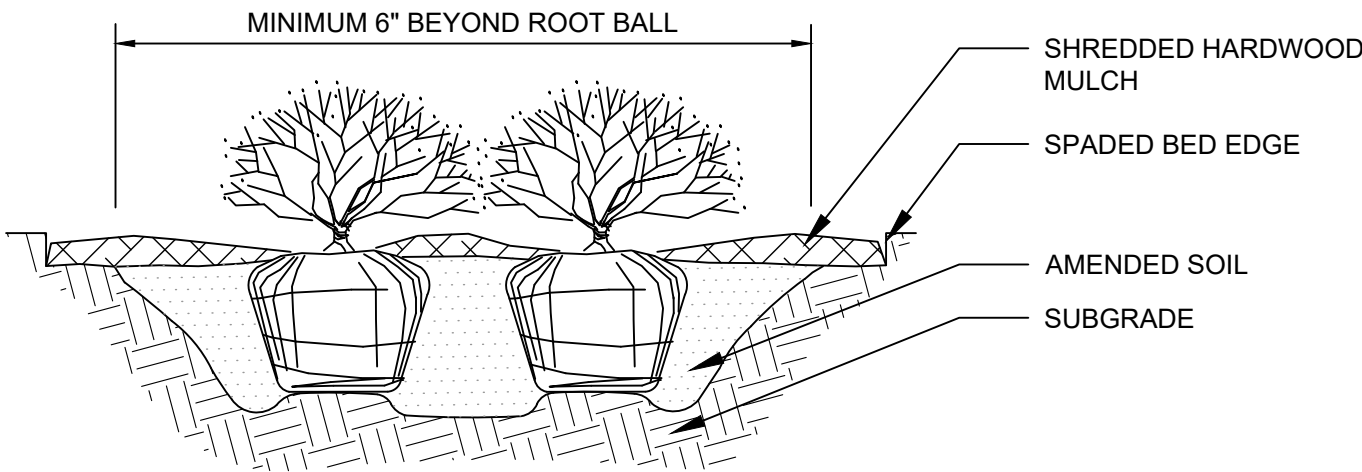
TAMP EXCAVATED SOIL AROUND BASE OF ROOTBALL.
6.

BACKFILL REMAINDER EXCAVATED SOIL TAMPED LIGHTLY. HIGH CLAY OR POOR SOIL SHALL RECEIVE SOIL AMENDMENT PER LANDSCAPE NOTES.
7.

WATER THOROUGHLY WITHIN TWO HOURS USING 10 TO 15 GALLONS OF WATER.
8.

APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE.
9.

FINAL LOCATION OF TREE TO BE APPROVED BY OWNER.



- NOTES:
1.

APPLY CORRECTIVE PRUNING.
2.

SET ROOT BALL OR CONTAINER ON UNEXCAVATED OR TAMPED SOIL. TOP OF ROOTBALL (CONTAINER) SHALL BE ONE INCH ABOVE SURROUNDING GRADE. FOR LARGER SHRUBS WITHIN PLANTING BED DIG A DEEPER PIT ONLY FOR THOSE SHRUBS.
3.

REMOVE BURLAP FROM TOP HALF THE LENGTH OF ROOTBALL. TWINE AND (IF USED) SYNTHETIC MATERIAL SHALL BE REMOVED FROM PLANTING BED. FOR CONTAINER GROWN SHRUBS, REMOVE CONTAINER AND LOOSEN ROOTS PRIOR TO INSTALLATION.
4.

REMOVE OR CORRECT GIRDLING ROOTS.
5.

PLUMB AND BACKFILL WITH AMENDED SOIL PER LANDSCAPE NOTES. WATER THOROUGHLY WITHIN TWO HOURS.
6.

APPLY MULCH IN EVEN LAYER, KEEPING AWAY FROM ROOT FLARE. MULCH LIMITS FOR SHRUBS EXTEND TO ALL LIMITS OF PLANTING BED, SEE PLANS FOR BED LAYOUTS.

Kimley»Horn

DESIGNED BY CSM
DRAWN BY: CSM
CHECKED BY: MJT

©2021 KIMLEY-HORN AND ASSOCIATES, INC.
250 EAST 96TH STREET, SUITE 580,
INDIANAPOLIS, IN 46240
WWW.KIMLEY-HORN.COM

NOT FOR CONSTRUCTION

8/25/2021

CORNERSTONE
BIBLE CHURCH

LANDSCAPE
DETAILS

CORNERSTONE
BIBLE CHURCH
PARKING
IMPROVEMENTS

ORIGINAL ISSUE:
7/30/21

KHA PROJECT NO.
170271000

SHEET NUMBER

L1.1

REVISIONS

DATE

BY

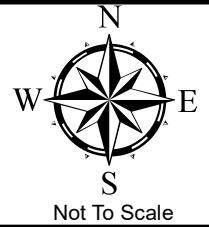
08/XX/21

CWB

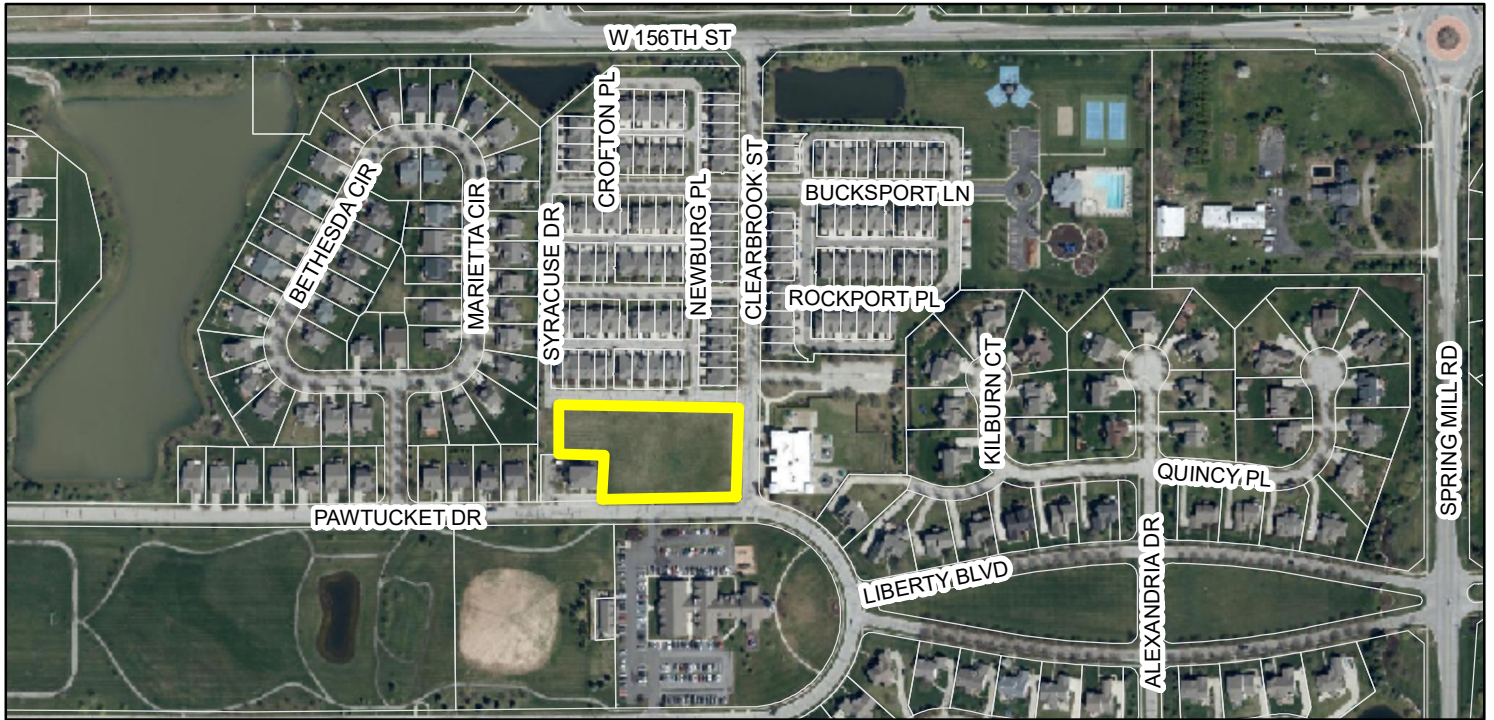
BY



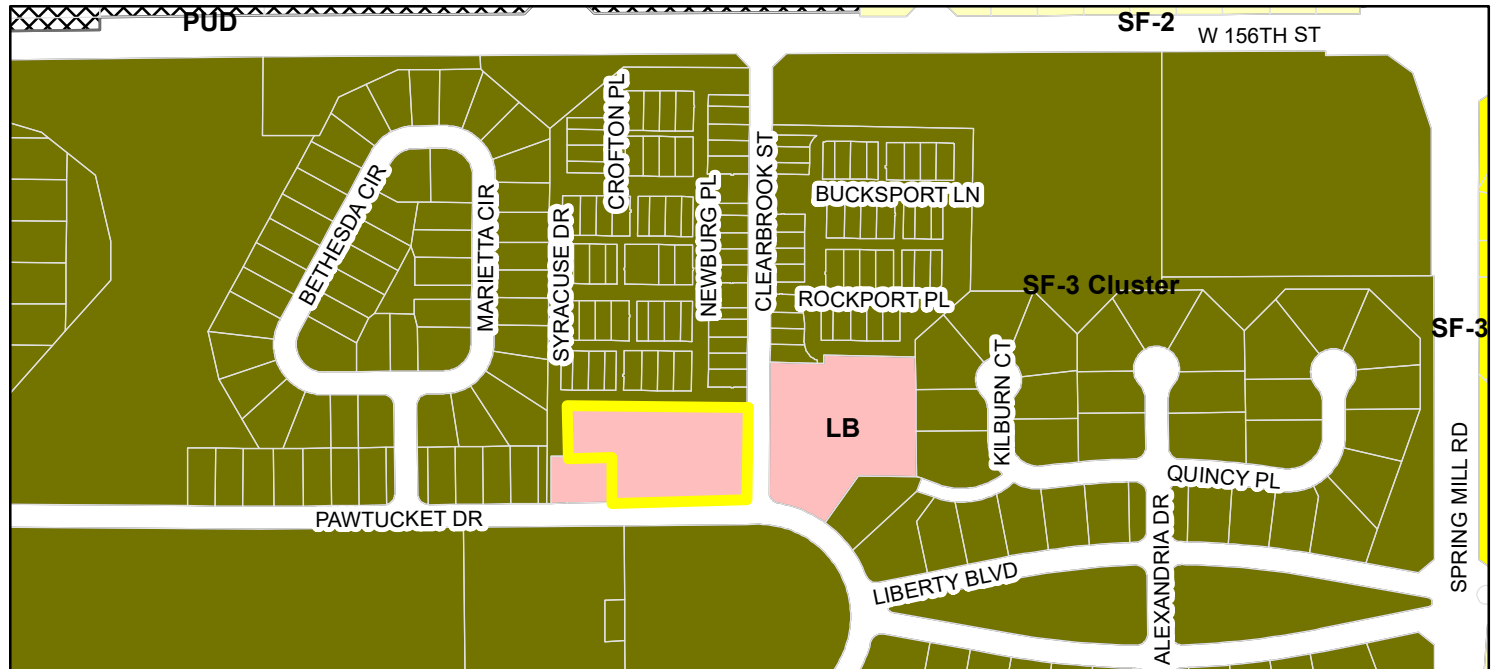
Property Location Map
Cornerstone Church (Parking Lot)
Detailed Development Plan
2109-DDP-37



Aerial Location Map



Zoning Map



- | | |
|---------------------|--------------------------------|
| Parcel | PUD (Planned Unit Development) |
| Zoning - All | SF-2 (Single Family - 2) |
| Zoning | SF-3 (Single Family - 3) |
| LB (Local Business) | SF-3 Cluster |



Petition Number: 2108-DDP-33
Project Name: Mule Barn Road Commercial DDP
Subject Site Address: 18519 Mule Barn Road
Petitioner: IMI Real Estate, LLC by American Structurepoint, Inc.
Request: Detailed Development Plan review for a concrete batch plant on 10 acres +/- in the proposed Mule Barn Road Commercial PUD District
Current Zoning: [Mule Barn Road Commercial PUD \(Ord. 21-31\)](#)
Current Land Use: Agriculture
Approximate Acreage: 10 acres +/-
Staff Reviewer: Daine Crabtree, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 1) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 2) Address and legal description of the property.
- 3) Boundary lines of the property including all dimensions.
- 4) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.

- 5) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 6) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 7) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 8) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 9) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
- 10) Location and dimensions of all existing structures and paved areas.
- 11) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 12) Location of all Floodplain areas within the boundaries of the property.
- 13) Names of legal ditches and streams on or adjacent to the site.
- 14) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 15) Identify buildings proposed for demolition.
- 16) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 17) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
- 18) Misc.

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

- 19) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 20) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 21) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 22) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

The plans comply.

- | | |
|---------------------------------|---------|
| 23) Minimum Tract Requirements: | 3 acres |
| 24) Minimum Lot Frontage: | 70 feet |



Comment: Superseded by Ord. 21-31

25) Minimum Building Setback Lines:

a) Front Yard:

- | | |
|------------------------------|----------|
| i) Expressways or Arterials: | 100 feet |
| ii) All other: | 40 feet |

Comment: Superseded by Ord. 21-31

b) Side Yard: 20 feet

Comment: Superseded by Ord. 21-31

c) Rear Yard: 40 feet

Comment: Superseded by Ord. 21-31

26) Minimum Lot Width: No minimum

27) Maximum Building Height: 60 feet

Comment: Superseded by Ord. 21-31

28) Minimum Building Size: No minimum

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply.

29) Accessory use and Building Standards (Article 6.1)

- a) Screening of Receptacles and Loading Areas (Article 6.1(H))
- 30) Architectural Standards (Article 6.3)
- 31) Building Standards (Article 6.4)
- 32) Fence Standards (Article 6.5)
- 33) Height Standards (Article 6.6)
- 34) Home Business Standards (Article 6.7)
- 35) Landscaping Standards (Article 6.8)
 - a) Minimum Lot Landscaping
 - i) 5 shade trees, 5 ornamental/evergreen trees, and 25 shrubs per acre
 - b) Buffer Yard Landscaping
 - i) 5 shade trees, 5 evergreen trees, and 20 shrubs per 100 lineal feet

Comment: Superseded by Ord. 21-31
- 36) Lighting Standards (Article 6.9)
 - a) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.
- 37) Lot Standards (Article 6.10)
- 38) Outside Storage and Display (Article 6.12)
- 39) Outdoor Café and Eating Areas (Article 6.13)
- 40) Parking and Loading Standards (Ord. 12-14, Sec. 4 and Article 6.14)
- 41) Performance Standards (Article 6.15)
- 42) Setback Standards (Article 6.16)

43) Sign Standards (Article 6.17)

44) Vision Clearance Standards (Article 6.19)

- a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:

- i) Forty (40) feet from intersections of Collectors or Local Streets.

45) Yard Standards (Article 6.21)

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

46) Easement Standards (Article 8.3)

47) Monument and Marker Standards (Article 8.5)

48) Open Space and Amenity Standards (Article 8.6)

Comment: Superseded by Ord. 21-31

49) Pedestrian Network Standards (Article 8.7)

Comment: Superseded by Ord. 21-31

50) Storm Water Standards (Article 8.8)

51) Street and Right-of-Way Standards (Article 8.9)

52) Surety Standards (Article 8.12)

53) Utility Standards (Article 8.13)

MULE BARN ROAD COMMERCIAL PUD (ORD. 21-31)

The plans comply.

- 54) Minimum Lot Frontage: 300 feet
 - 55) Minimum Building Setback Lines
 - a) Side Yard: 30 feet
 - b) Rear Yard: 30 feet
 - c) Front Yard: 50 feet
 - 56) Maximum Building Height: 85 feet for the plant and silo; all other buildings shall default to the requirements of the Underlying Zoning District
 - 57) Accessory Buildings
 - a) Accessory Buildings may be located in any Yard
 - b) Accessory Buildings may be constructed commensurately with the construction of the Principal Building
 - 58) Character Exhibit
 - 59) Mechanical Screening: The Landscape Plan shall be deemed to satisfy the requirements of Article 6.3(G)(1)
 - 60) Building Facades: May be constructed of pre-engineered steel with a concrete wainscot metal façade and may be one uniform color.
 - 61) Landscaping Standards: Shall not apply; the Landscape Plan as part of Ord. 21-31 shall be deemed to satisfy the requirements of Article 6.8
 - 62) Parking Areas shall be improved with a compacted gravel or stone base. The perimeter of the Parking Area shall be designed in a fashion to adequately handle stormwater collection, conveyance, detention and treatment system in accordance with the City Engineer and Department of Public Works.
 - 63) Bicycle Parking: Shall not apply
 - 64) Open Space and Amenity Standards: Shall not apply
 - 65) Pedestrian Facilities: Shall not be required along the Real Estate's road frontage or internal roadways
 - 66) The District shall comply with the requirements of the Thoroughfare Plan unless otherwise agreed to by the Department of Public Works. The District shall be accessed from Mule Barn Road.
-

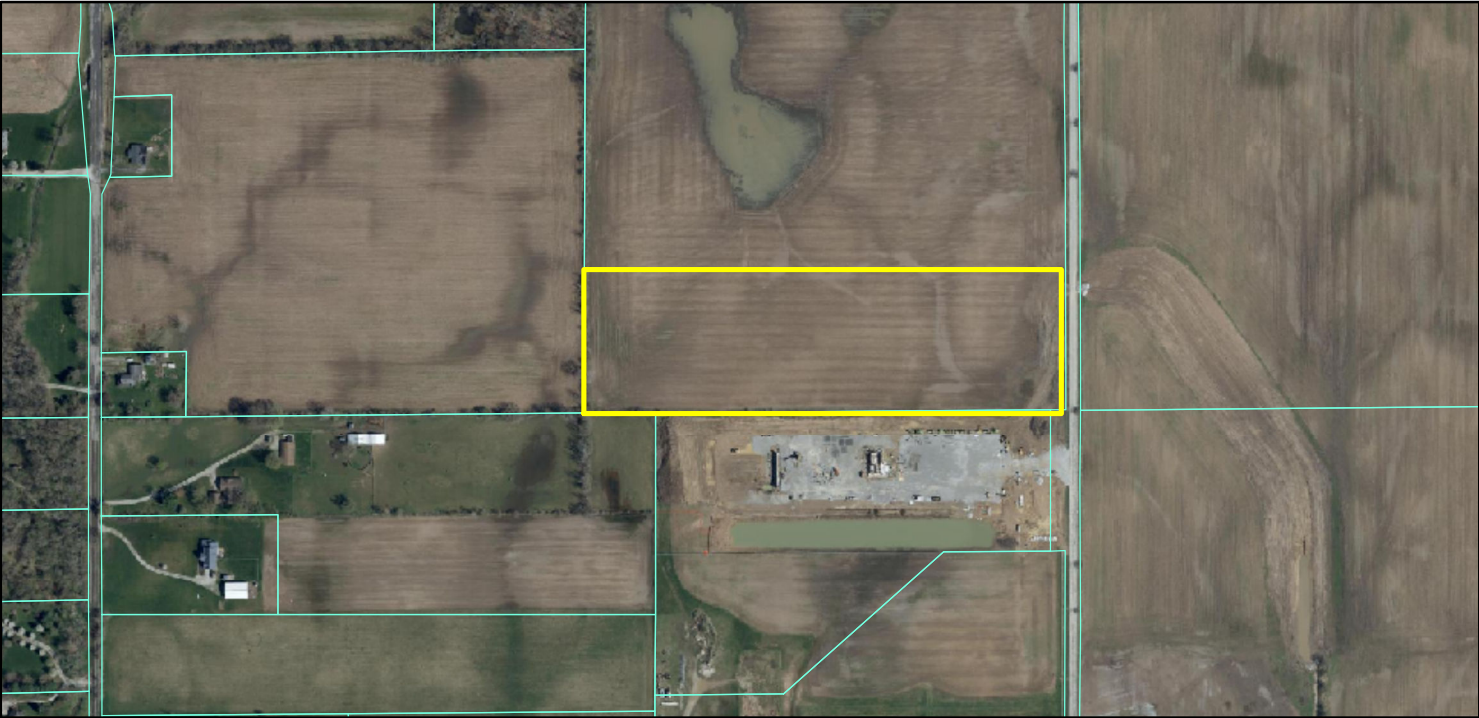


DEPARTMENT COMMENTS

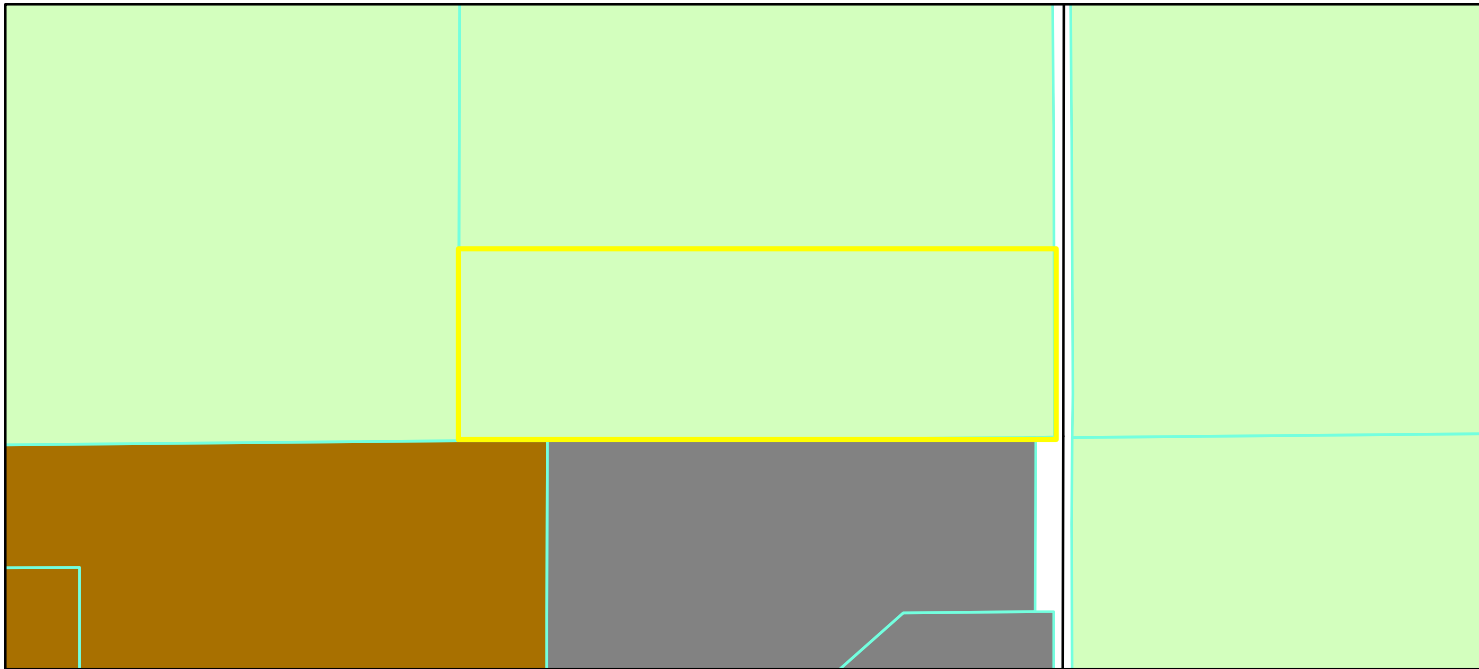
- 1) The plans as presented comply with the applicable zoning ordinances.
- 2) **Action:** Approve Detailed Development Plan 2108-DDP-33 with the following conditions:
 - That associated Secondary Plat 2108-SFP-52 be signed and recorded at the Hamilton County Recorder's Office prior to any work beginning on the Property
 - That all necessary approvals be obtained from the Westfield Public Works Department and the Hamilton County Surveyor's Office prior to any work beginning on the Property.
- 3) If any Plan Commission member has questions prior to the meeting, then please contact Daine Crabtree at 317-416-2586 or dcrabtree@westfield.in.gov.

Aerial Location Map

 Site



Zoning Map



GIS.DBO.PW_Streets
Parcel
Parcel
Zoning - All

AG-SF1 (Agriculture - Single Family - 1)
OI (Open Industrial)
SF-5 (Single Family - 5)

0 0.0425 0.085
Miles





GENERAL NOTES:

1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
3. SEE SHEET 002 GENERAL NOTES FOR MORE INFORMATION.

CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, vaults, valves, and meters made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-362-5544
— INDIANA UNDERGROUND —

KEYNOTES

1. 6" CONCRETE CURB
2. PARKING SPACE (4" WHITE PAINT STRIPE)
3. 4" SOLID WHITE, PAINT, SINGLE
4. CONCRETE WHEEL STOP
5. STOP SIGN
6. CONCRETE BOLLARD
7. STOP BAR, 24" WHITE PAINT

SITE DATA TABLE

SITE ZONING:	PUD
PROJECT AREA:	10.00± ACRES
BUILDING AREA:	1,800 SF
SITE IMPERVIOUS AREA:	4.7± ACRES
STANDARD PARKING (10'x20'):	25 SPACES
MINOR PARKING (12'x35'):	15 SPACES
ADA PARKING PROVIDED:	
TOTAL PROPOSED PARKING:	40 SPACES

EXISTING LEGEND

○ Air Conditioner	○ Stand Pipe
○ Bush	○ Spigot
○ Clean Out	○ Stump
○ Combination Pole	○ Telephone Pole
○ Electric Box	○ Telephone Pedestal
○ Electric Meter Box	○ Transformer
○ Gas Meter	○ Tree
○ Gas Marker Sign	○ Telephone Cross Box
○ Gas Valve	○ Water Meter
○ Guy Wire	○ one-Overhead Electric Line
○ Manhole	○ Buried Gas Line
○ Pole	○ one-Overhead Telephone Line
○ Post	
○ Power Pole	
○ Right Of Way Monument	
○ Satellite	
○ Sign	

SITE LEGEND

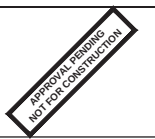
	GRAVEL PAVEMENT
	LIGHT DUTY CONCRETE PAVEMENT
	HEAVY DUTY CONCRETE PAVEMENT

imi
Irving Materials, Inc.



9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.247.0580 | FAX 317.243.0270
www.structurepoint.com

MULE BARN ROAD COMMERCIAL PUD
18150 Mule Barn Road
Westfield, Indiana 46074



CERTIFIED BY

ISSUANCE INDEX

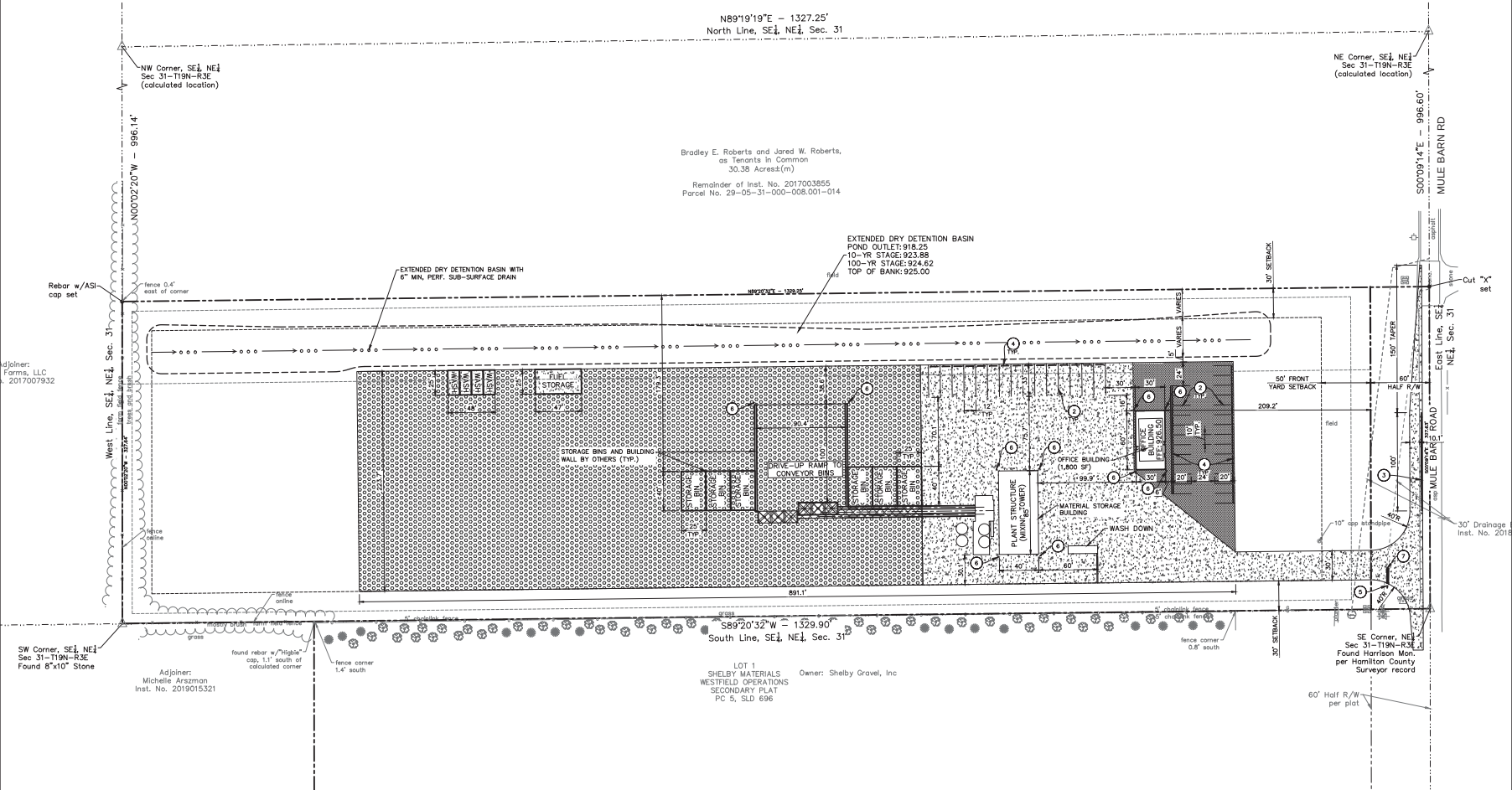
DATE:	07/02/21
PROJECT PHASE:	
ISSUE FOR PERMIT	

REVISION SUMMARY		
NO.	DESCRIPTION	DATE
1	CITY COMMENTS	09/10/21

Project Number 2020.01414

SITE PLAN

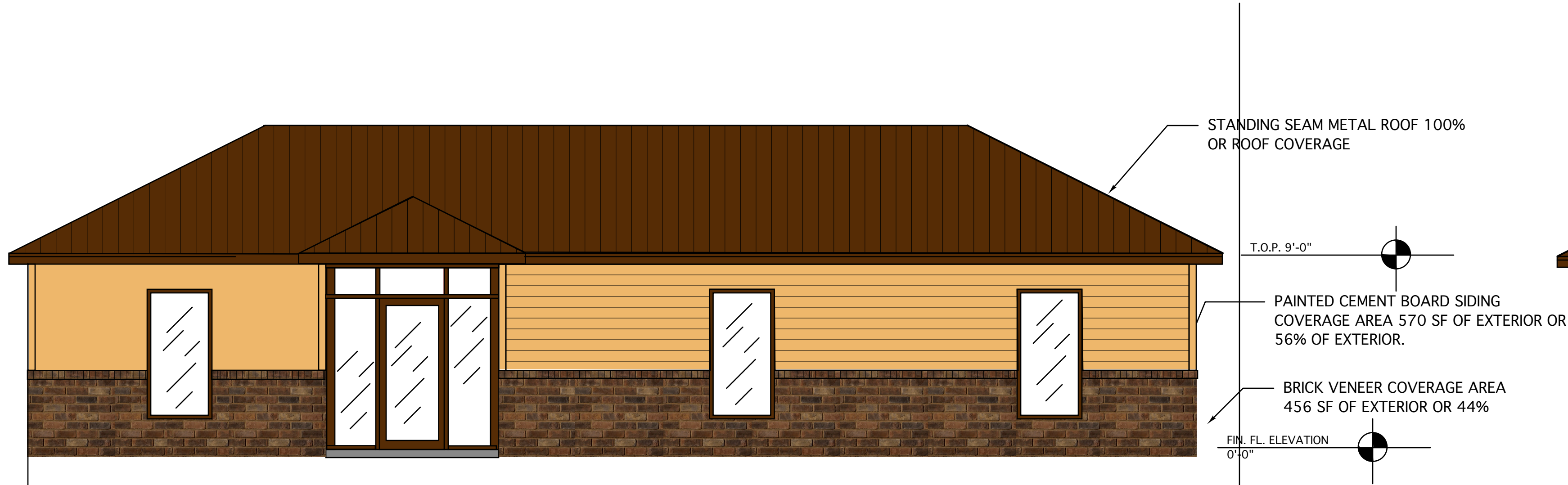
C200



Adjoiner:
Towns, LLC
2017007932

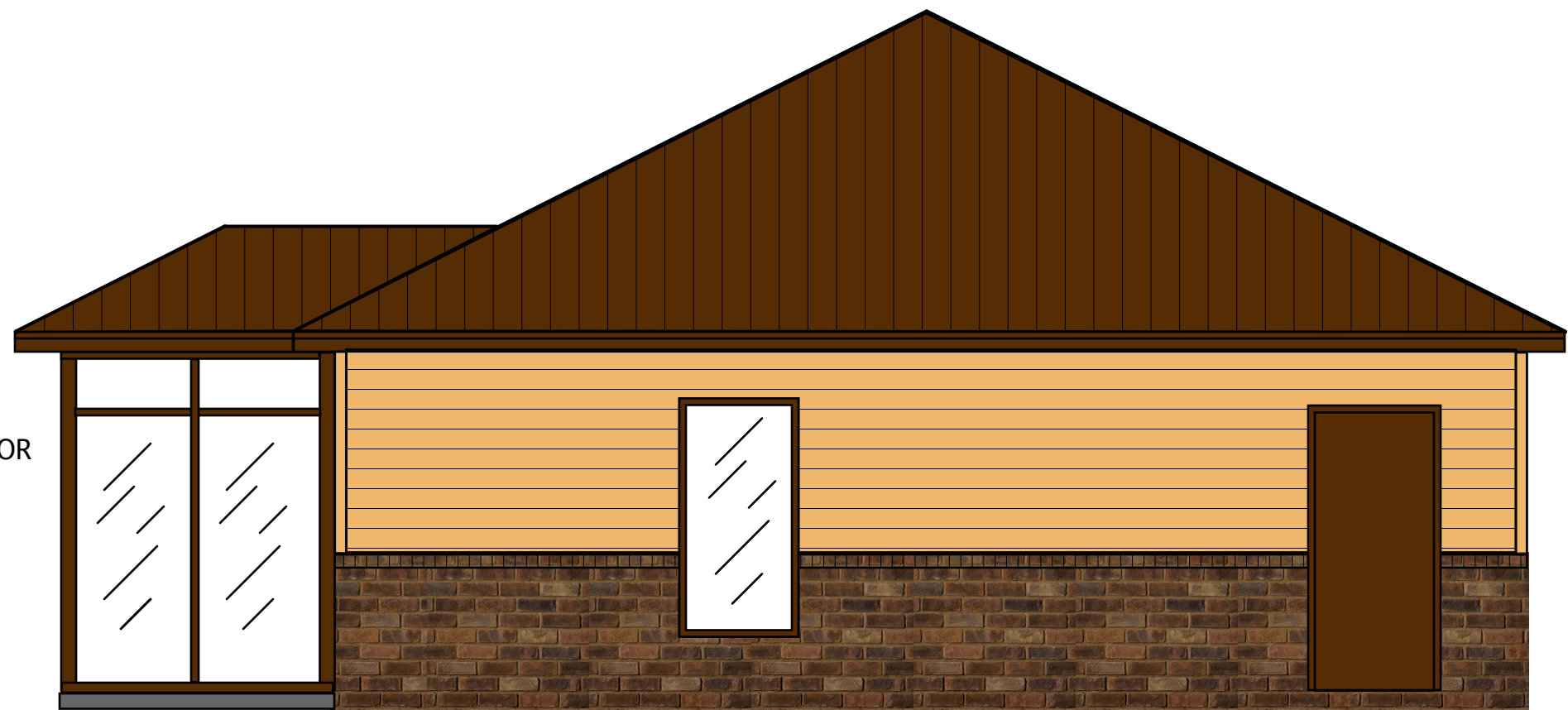
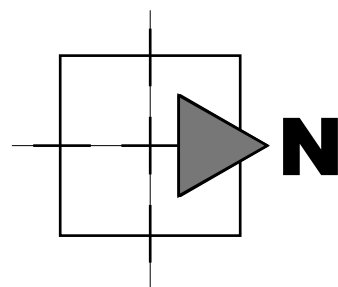
Adjoiner:
Michelle Arszman
Inst. No. 2019015321

LOT 1
SHELBY MATERIALS
WESTFIELD OPERATIONS
SECONDARY PLAT
PC 5, SLD 696
Owner: Shelby Gravel, Inc



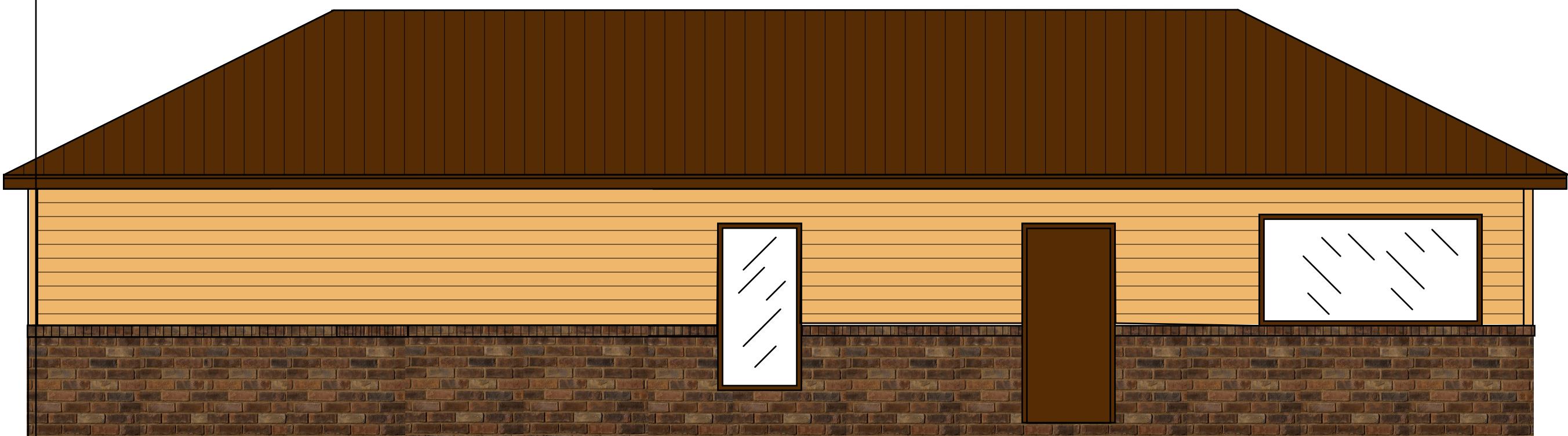
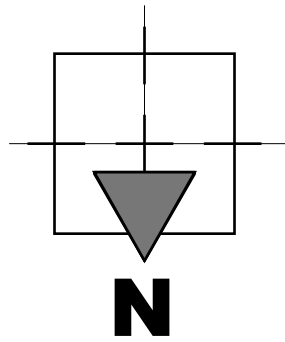
OFFICE EAST ELEVATION

SCALE-1/4"=1'-0"



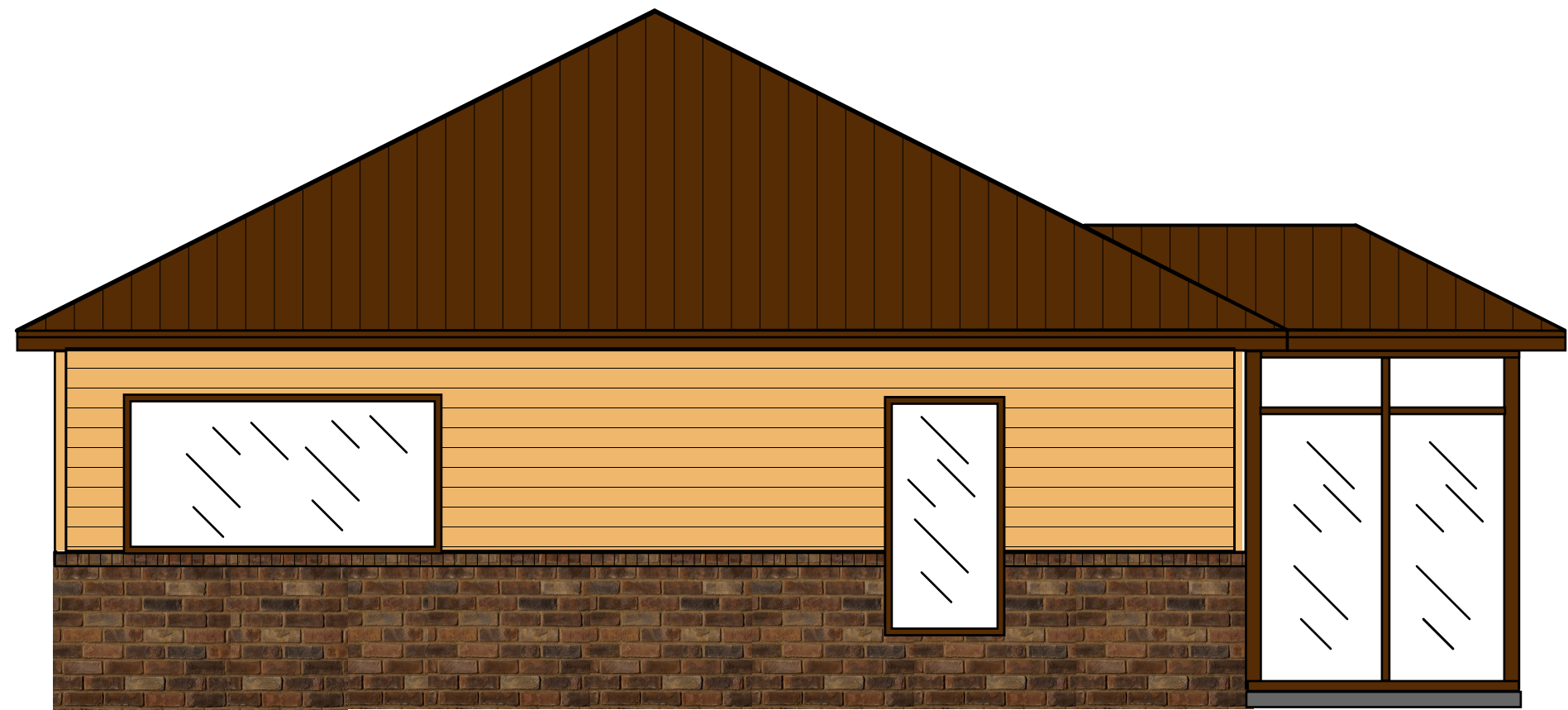
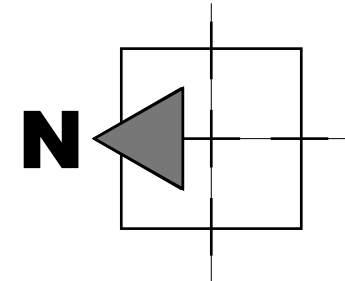
OFFICE NORTH ELEVATION

SCALE-1/4"=1'-0"



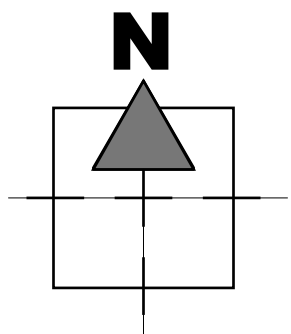
OFFICE WEST ELEVATION

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OFFICE SOUTH ELEVATION

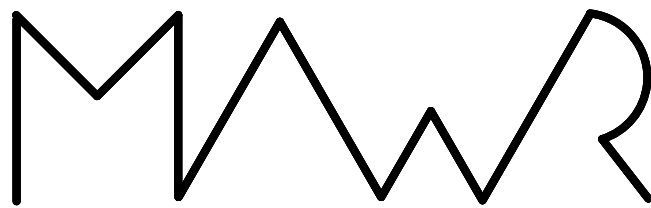
SCALE-1/4"=1'-0"



OFFICE ELEVATIONS

OWNERS:

imi
Irving Materials, Inc.
MULE BARN RD.
WESTFIELD, IN. 46074



ARCHITECTURE + INTERIOR DESIGN
CARMEL-317-556-4410
KOKOMO-765-437-3254
WWW.MAWRDESIGN.COM

DRAWN BY: JAB
DATE: 08/30/21

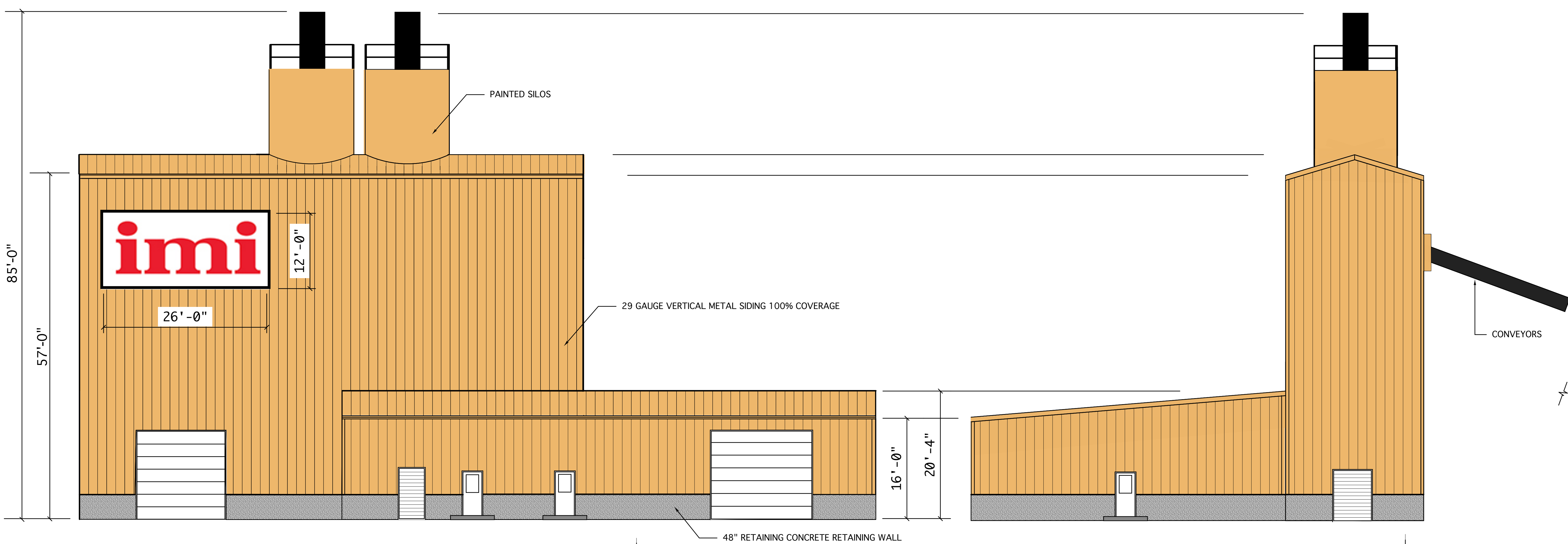
CERTIFICATION

PROJECT INFO:

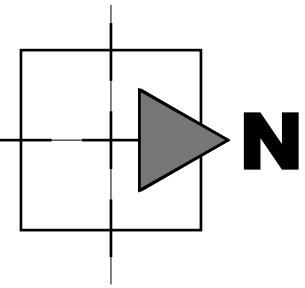
PROPOSED 1,620 OFFICE BUILDING

SHEET:

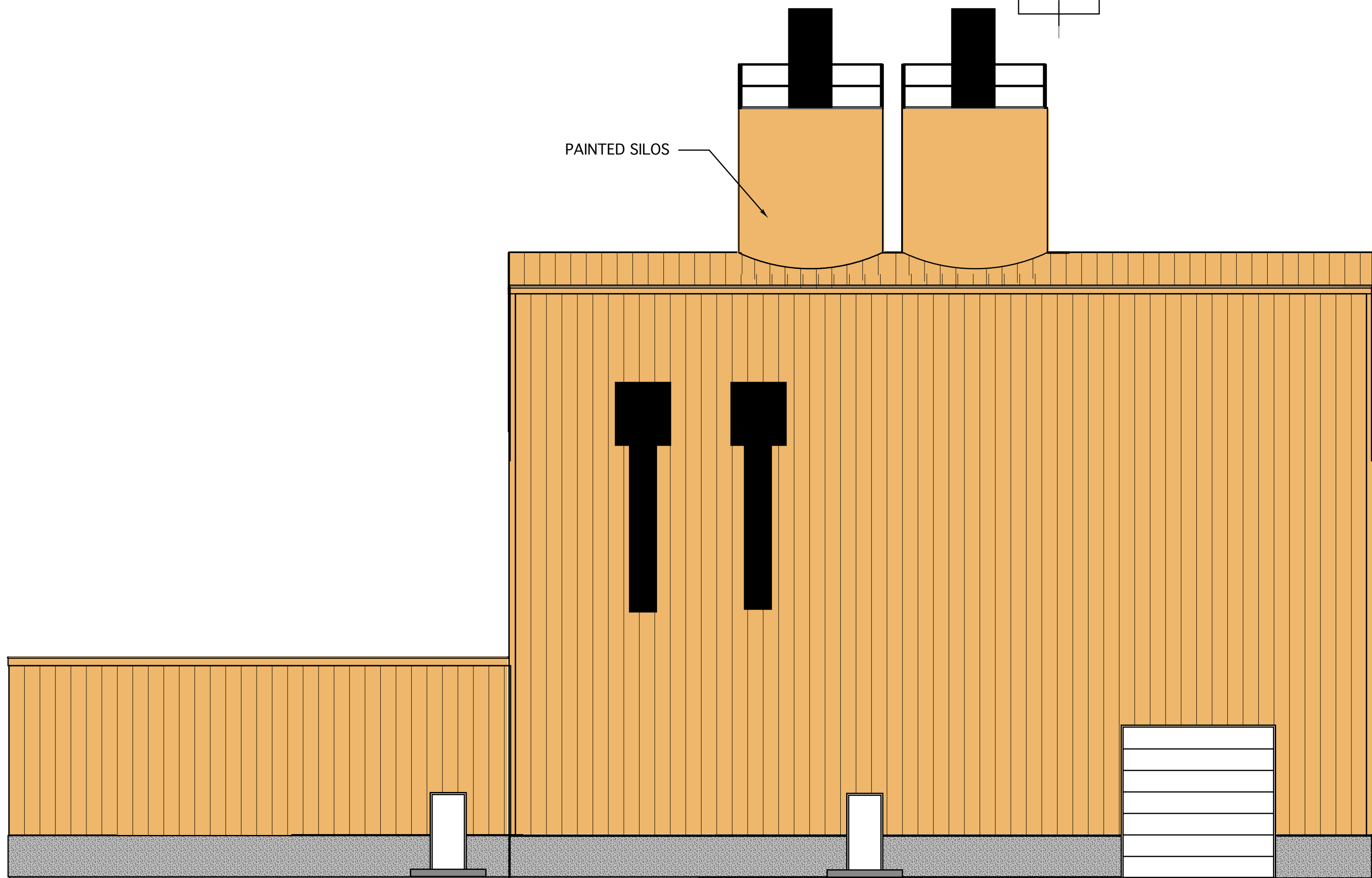
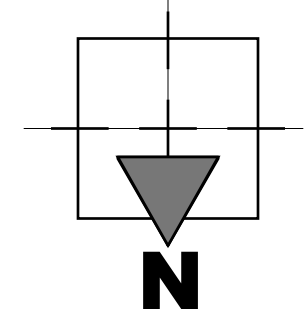
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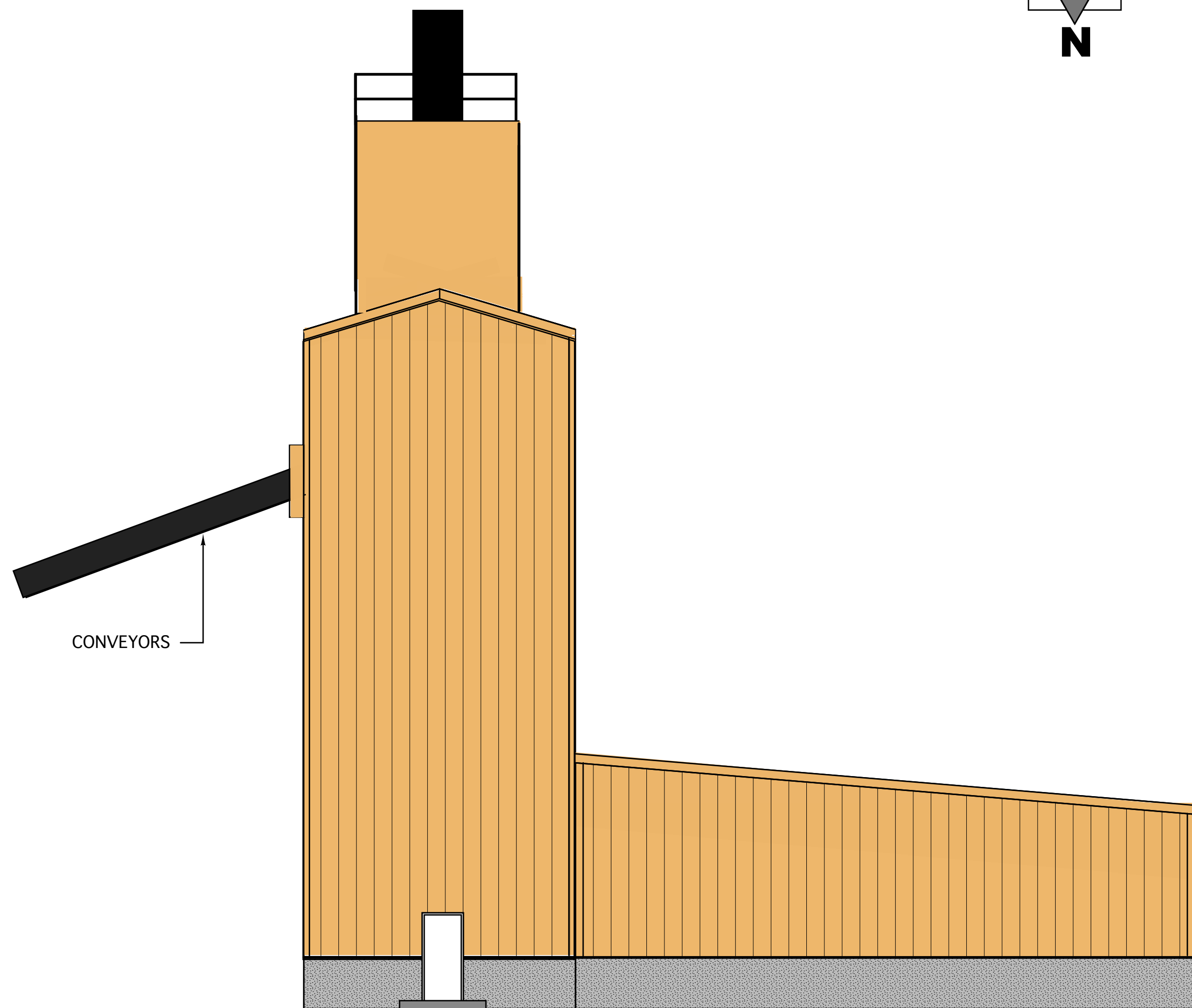
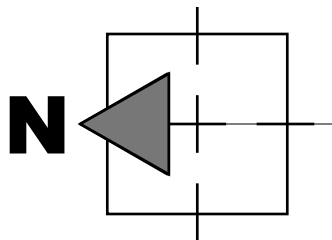
PLANT STRUCTURE EAST ELEVATION
SCALE-1/8"=1'-0"



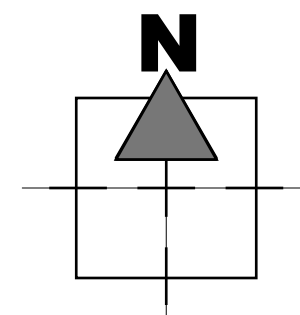
PLANT STRUCTURE NORTH ELEVATION
SCALE-1/8"=1'-0"



PLANT STRUCTURE WEST ELEVATION
SCALE-1/8"=1'-0"



PLANT STRUCTURE SOUTH ELEVATION
SCALE-1/8"=1'-0"



BATCH PLANT ELEVATIONS

OWNERS:

imi

MULE BARN ROAD
WESTFIELD, IN.

MWR

ARCHITECTURE + INTERIOR DESIGN
CARMEL-317-556-4410
KOKOMO-765-437-3254
WWW.MAWRDESIGN.COM

DRAWN BY: JAB
DATE: 07/13/21

CERTIFICATION

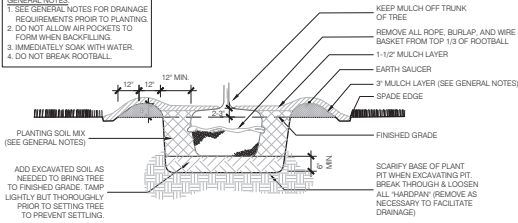
PROJECT INFO:

PROPOSED WESTFIELD INDIANA
OFFICE BUILDING AND PLANT
STRUCTURE

SHEET:

A200

GENERAL NOTES:
1. SEE GENERAL NOTES FOR DRAINAGE REQUIREMENTS PRIOR TO PLANTING.
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
3. IMMEDIATELY SOAK WITH WATER.
4. DO NOT BREAK ROOTBALL.

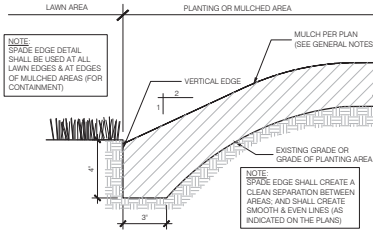


PLANTING PROCEDURE

1. EXCAVATE ROOTBALL PIT.
2. ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2\"/>

02 TREE PLANTING DETAIL

L100 SCALE: 1/2\"/>



01 SPADE EDGE DETAIL

L100 SCALE: 3\"/>

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AC	20	Abies concolor / White Fir	B&B	6" Ht.	As Shown
PA	5	Picea abies / Norway Spruce	B&B	6" Ht.	As Shown
PS	52	Pinus strobus / White Pine	B&B	6" Ht.	As Shown
PO	7	Platanus occidentalis / American Sycamore	B&B	2" Cal.	As Shown
TC	10	Tilia cordata / Littleleaf Linden	B&B	2" Cal.	As Shown
TS	11	Tsuga canadensis / Canadian Hemlock	B&B	2" Cal.	As Shown
ORNAMENTALS	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AL	4	Amelanchier laevis / Cumbull / Cumbull Allegheny Serviceberry	B&B	6" Ht.	As Shown
MP	2	Malus x Prairifire / Prairie Fire	B&B	2" Cal.	As Shown

CONCEPT PLANT SCHEDULE

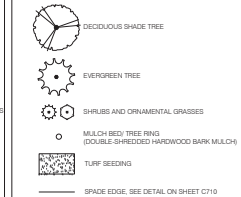
LAWN SEED - SUN AND PARTIAL SHADE MIX	209,024 sf
Seed mixes to be include hybrid varieties that are drought tolerant and winter hardy. See general notes for additional lawn seed information and installation requirements.	
Festuca arundinacea / Tall Fescue	167,219 sf
Poa pratensis / Kentucky Bluegrass	41,805 sf

GENERAL NOTES:

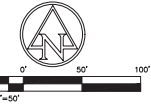
1. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
2. A MINIMUM OF 4\"/>

- CITY OF WESTFIELD NOTES**
1. ALL STREET TREES ARE TO MATCH THE CURRENT CITY OF WESTFIELD MASTER TREE LIST
 2. STREET TREES SHALL NOT BE WITHIN FOUR (4) FEET OF ANY PAVEMENT
 3. THERE SHALL BE NO TREES WITHIN TEN (10) FEET OF ANY STORM SEWER, INCLUDING SSD

LANDSCAPE LEGEND



** NOTE: FOR FULL PLANT & TURF SCHEDULE, SEE SHEET C710**



imi
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www.structurespoint.com

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18150 Mule Barn Road
Westfield, Indiana 46074

APPROVAL PENDING
NOT FOR CONSTRUCTION

CERTIFIED BY

ISSUANCE INDEX

DATE:	07/02/21
PROJECT PHASE:	ISSUE FOR PERMIT

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	CITY COMMENTS	09/10/21

Project Number 2020.01414

LANDSCAPE PLAN

L100



WESTFIELD-WASHINGTON TOWNSHIP
APC SCHEDULE OF MEETINGS
2021 SCHEDULE OF MEETINGS AND FILING DATES

MEETING MONTH	FIRST APC MEETING	SECOND APC MEETING
	Monday 7:00 PM	Monday 7:00 PM
FEBRUARY	02/01/21	02/16/21
MARCH	03/01/21	03/15/21
APRIL	04/05/21	04/19/21
MAY	05/05/21	05/17/21
JUNE	06/07/21	06/21/21
JULY	07/06/21	07/19/21
AUGUST	08/02/21	08/16/21
SEPTEMBER	09/07/21	09/20/21
OCTOBER	10/04/21	10/18/21
NOVEMBER	11/01/21	11/15/21
DECEMBER	12/06/21	12/20/21
JANUARY	No Meeting	01/17/22

Dates in red are scheduled for a different day due to a conflict.

First November meeting changed from 11/3 to 11/1 since no election are occurring

A Pre-Filing Conference is required prior to filing. Please contact the Community Development Department at 317.804.3170 at least one week in advance of your targeted filing to arrange this pre-filing conference.