



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda_10_19_2020

Monday, October 19, 2020 at 07:00 PM

BOARD OR COMMISSION: Advisory Plan Commission (APC)

MEETING DATE: Monday, October 19, 2020 at 07:00 PM

MEETING PLACE: Westfield City Hall- Assembly Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF THE WESTFIELD-WASHINGTON TOWNSHIP ADVISORY PLAN COMMISSION

To submit a comment for the record on a Public Hearing item, please email planners@westfield.in.gov. Please include Petition name or number in subject line.

OPENING OF ONLINE ONLY MEETING

Note the Presence of a Quorum

Approval of Minutes - October 5, 2020

Documents: [APC Minutes - October 5, 2020](#)

Review APC Rules & Procedures

CONSENT AGENDA

2006-DDP-12

Citizens Storage Building

3511 W. 166th Street

Detailed Development Plan review of a 6,000 square foot storage building on 40.11 acres +/- in the AG-SF1: Agriculture / Single-Family Rural District.

(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Site Plan](#) | [Exhibit 4: Landscape Plan](#) | [Exhibit 5: Elevations](#)

2008-DDP-20

SEP

SWC of 161st Street and Union Street

Detailed Development Plan approval of a new 70,000 square foot office building on

21.85 acres +/- in the LB: Local and Neighborhood Business District.
(Planner: Caleb Ernest - cernest@westfield.in.gov)

Documents: [Exhibit 1: Staff Report](#) | [Exhibit 2: Location Map](#) | [Exhibit 3: Site Plan](#) | [Exhibit 4: Landscape Plan](#) | [Exhibit 5: Elevations](#)

ITEMS OF BUSINESS
No Items of Business

PUBLIC HEARING ITEMS
No Public Hearing Items

ITEMS CONTINUED TO A FUTURE MEETING

2007-PUD-07 [CONTINUED]

Bridgewater PUD Amendment (Culver's)

14631 North Gray Road

K&J Acquisitions, LLC by Church, Church, Hittle, + Antrim requests an amendment to the Bridgewater PUD to accommodate a new Fast Food Restaurant.

(Planner: Pam Howard - phoward@westfield.in.gov)

2008-PUD-09 [CONTINUED]

Northpoint II PUD

North side of SR 38 between Anthony Road and Hinkle Road

Northpoint Owners, LLC by Clark, Quinn, Moses, Scott & Grahm, LLP requests a change of zoning for 183.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Northpoint II PUD District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2010-PUD-12 [CONTINUED]

Belle Crest PUD

NW Corner of Shady Nook Road & E. 186th Street

Drees Premier Homes, Inc. by Church, Church, Hittle + Antrim requests a change of zoning for approximately 20 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Belle Crest Planned Unit Development (PUD) District.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

2010-PUD-13 [CONTINUED]

Carramore PUD

Northwest corner of Horton Road and East 199th Street

Drees Premier Homes, Inc. by Church Church Hittle + Antrim requests a change of zoning for 40.0 acres +/- in the AG-SF1: Agriculture / Single-family Rural District to the Carramore PUD.

(Planner: Corey Harris - charris@westfield.in.gov)

2010-PUD-14 [CONTINUED]

Courtyards of Westfield PUD

SWC of 151st Street and Towne Road

Epcon Communities, LLC by Church, Church, Hittle + Antrim requests a change of zoning for 33.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Courtyards of Westfield Planned Unit Development (PUD) District.

(Planner: Pam Howard - phoward@westfield.in.gov)

2009-PUD-11 [CONTINUED]

Woods Robinson Briggs PUD

North side of 191st Street, West of Tomlinson Road

Edgerock Development, LLC requests a change of zoning for approximately 157 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Woods Robinson Briggs Planned Unit Development (PUD) District.

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

REPORTS/COMMENTS

Advisory Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Community Development Department

ADJOURNMENT



Petition Number: 2006-DDP-12

Project Name: Citizens Storage Building

Subject Site Address: 3511 W. 166th Street

Petitioner: Citizens Energy Group

Representative: Citizens Energy Group

Request: Detailed Development Plan review of a 6,000 square foot storage building on 40.11 acres +/- in the AG-SF1: Agriculture / Single-Family Rural District.

Current Zoning: AG-SF1 District

Current Land Use: Utilities

Approximate Acreage: 40.11 +/-

Property History: 07-IAD-001-380 (Industrial Addition, 2007)
Ordinance 14-04 (Annexation, 2014)
Variance of Development Standard ([2008-VS-18](#), 08/11/20)
Overall Development Plan and Primary Plat ([2008-ODP-13 & 2008-SPP-13](#), 08/17/20)
Secondary Plat (2008-SFP-43, *pending*)

Exhibits:

1. Staff Report
2. Location Map
3. Site Plan
4. Landscape Plan
5. Elevations

Staff Reviewer: Caleb Ernest, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised primary plat and overall development plan have been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
- 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.***
- 5) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.

- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
 - 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
 - 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
 - 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
 - 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
 - 15) Location and dimensions of all existing structures and paved areas.
 - 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 17) Location of all Floodplain areas within the boundaries of the property.
 - 18) Names of legal ditches and streams on or adjacent to the site.
 - 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 20) Identify buildings proposed for demolition.
 - 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
 - 23) Misc.
-

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

- 24) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 25) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
 - a) State Highway 32 Overlay District:
- 26) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 27) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

The plans comply with Article 4.2 (AG-SF1 District).

- 28) Minimum Lot Area: Three (3) acres

29) Minimum Lot Frontage: 50 feet*

Comment*: Variance of Development Standard ([2008-VS-18](#)) modifies two hundred and fifty (250) feet of road frontage to fifty (50) feet.

30) Minimum Building Setback Lines:

a) Front Yard:

i) Expressways / Arterials: 100 feet

ii) On all other Streets: 80 feet

b) Side and Rear Yard: 30 feet

31) Minimum Lot Width: 100 feet

32) Maximum Building Height: Two and one-half stories

33) Minimum Living Area (Ground Floor):

a) Single-story: 1,350 square feet

b) All others: 800 square feet

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply as applicable to a Detailed Development Plan.

34) Accessory use and Building Standards (Article 6.1)

a) Maximum Accessory Building Height:

i) Eighteen (18) feet.

35) Architectural Standards (Article 6.3)

36) Building Standards (Article 6.4)

37) Fence Standards (Article 6.5)

38) Height Standards (Article 6.6)

39) Home Business Standards (Article 6.7)

40) Landscaping Standards (Article 6.8 and Ord. 12-14)

a) Minimum Lot Landscaping Requirements:

b) Foundation Plantings:

- i) Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Façades, fences, and other barriers to create a softening effect.
- ii) Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet (Single-family Dwelling and Duplex Dwelling buildings are exempt from this requirement).
- iii) The primary landscaping material used shall be ornamental trees, shrubs, and ornamental grasses. Groundcover plants may supplement the required plant materials. Plantings may be clustered to provide a more natural appearance and to accommodate vehicular and pedestrian access, loading and maintenance areas.
- iv) Plantings shall be located within fifteen (15) feet of the Building Façade, fence or other barrier being softened, and shall occur within planting beds at least eight (8) feet in width.

c) External Street Frontage Landscaping Requirements:

d) Buffer Yard Requirements:

e) Parking Area Landscaping:

41) Lighting Standards (Article 6.9)

42) Lot Standards (Article 6.10)

43) Outside Storage and Display (Article 6.12)

44) Outdoor Café and Eating Areas (Article 6.13)

- 45) Parking and Loading Standards (Ord. 12-14, Sec. 4 and Article 6.14)
 - 46) Performance Standards (Article 6.15)
 - 47) Setback Standards (Article 6.16)
 - 48) Sign Standards (Article 6.17)
 - 49) Vision Clearance Standards (Article 6.19)
 - 50) Yard Standards (Article 6.21)
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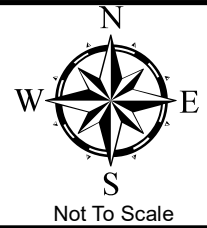
DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

- 51) Easement Standards (Article 8.3)
- 52) Monument and Marker Standards (Article 8.5)
- 53) Open Space and Amenity Standards (Article 8.6)
- 54) Pedestrian Network Standards (Article 8.7)
- 55) Storm Water Standards (Article 8.8)
- 56) Street and Right-of-Way Standards (Article 8.9)
- 57) Surety Standards (Article 8.12)
- 58) Utility Standards (Article 8.13)

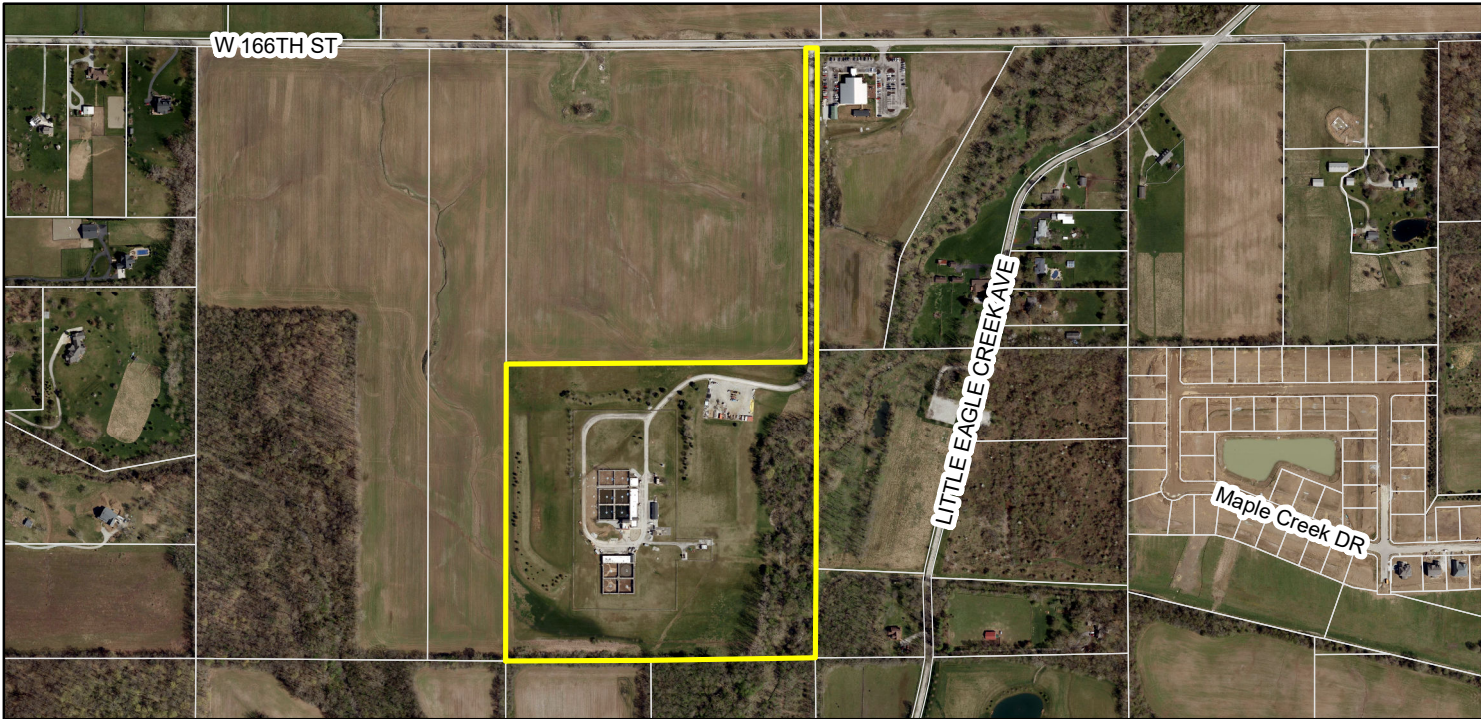


Property Location Map
Citizens Westfield
2006-DDP-12
Detailed Development Plan

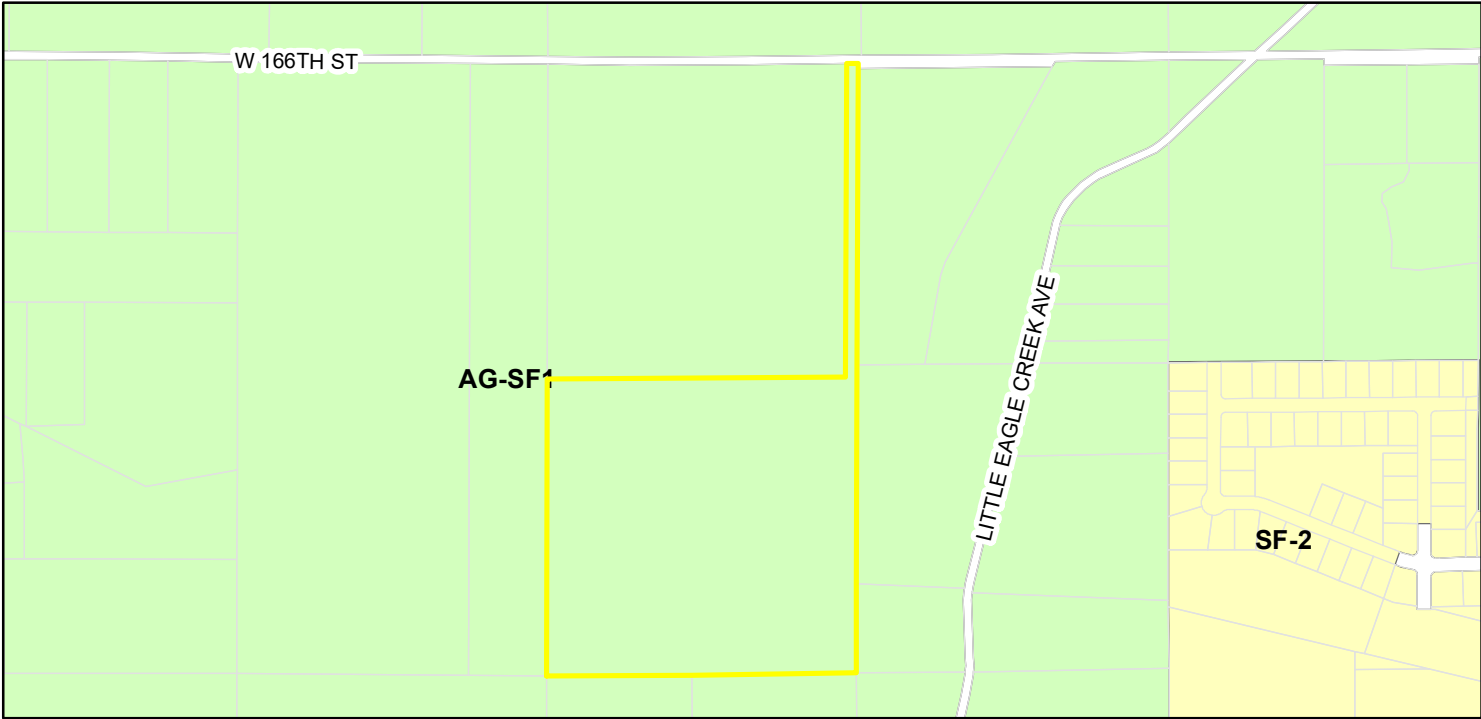


Aerial Location Map

 Site

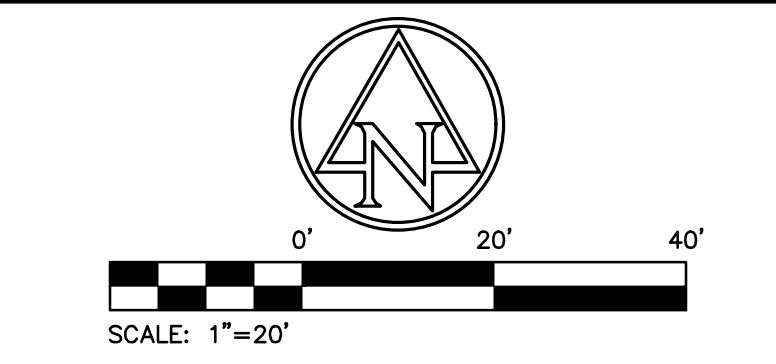
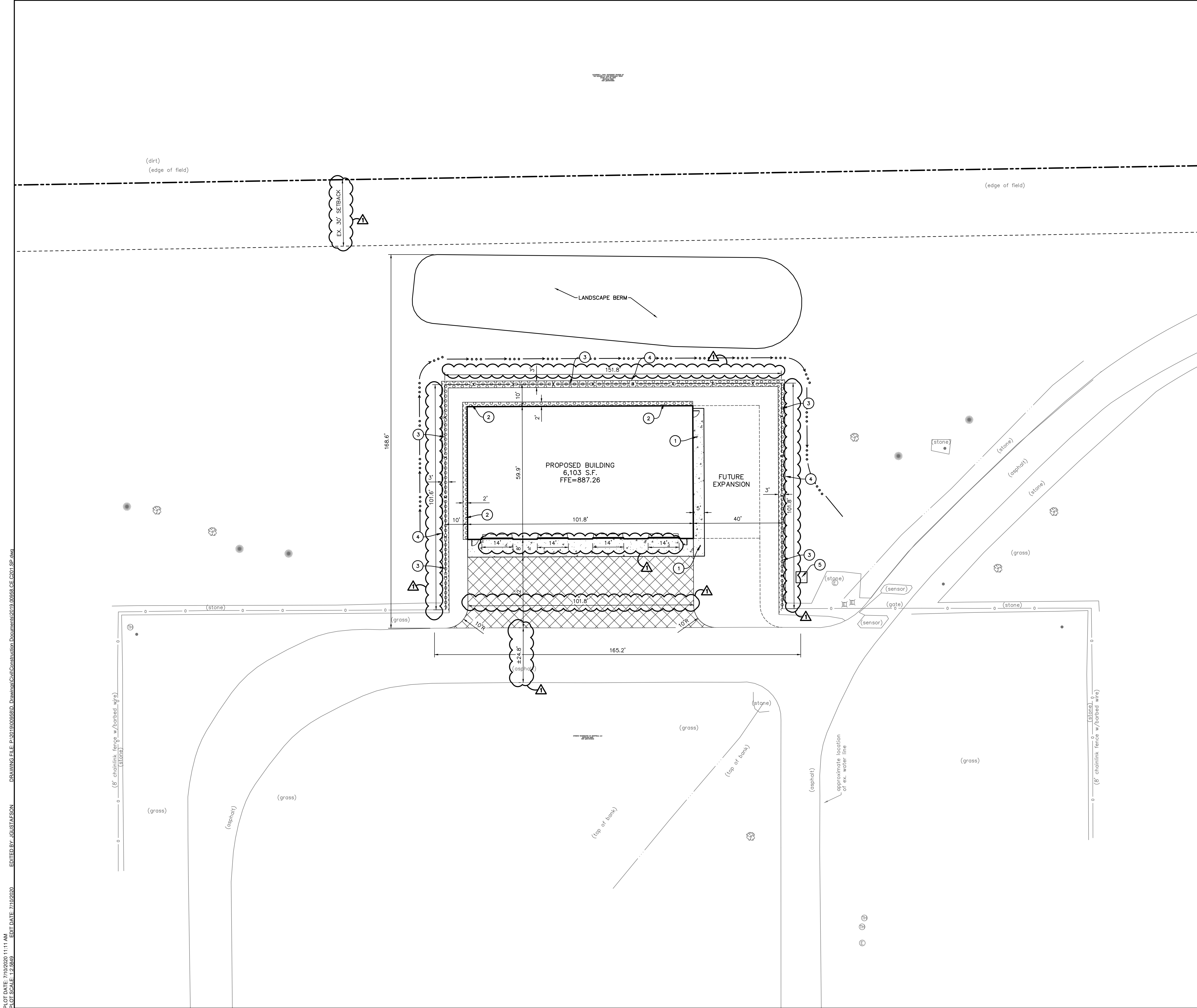


Zoning Map



Zoning

-  AG-SF1 (Agriculture - Single Family - 1)
-  SF-2 (Single Family - 2)



EXISTING LEGEND

- Electric Manhole
- Electric Cross Box
- Monitoring Well
- Pine
- Post
- Telephone Handhole
- Tree

SITE LEGEND

- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE PAVEMENT
- STONE

SITE DATA TABLE

SITE ZONING:	AG-SF1
PROJECT AREA:	0.91± ACRES
BUILDING AREA:	6,103 SF
SITE IMPERVIOUS AREA:	0.2± ACRES

KEYNOTES

- CONCRETE SIDEWALK
- STONE (RIVER ROCK) APRON WITH FABRIC LAYER
- 8' CHAINLINK FENCE WITH BARBED WIRE TO MATCH EXISTING FENCE. EXISTING FENCE MAY BE STORED AND RE-USED PER OWNER'S DIRECTION.
- STONE AROUND FENCE TO MATCH EXISTING.
- CONCRETE PAD FOR ELECTRIC TRANSFORMER

- GENERAL NOTES:
- CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
 - CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTACT ENGINEER IF VARIATION EXISTS.
 - SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.
 - UTILITY CROSSINGS (BORE/JACK AND BORE). AVOID OPEN CUTS.
 - ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED IN THE FIELD BY WPMV INSPECTOR.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

Architect
Mitsch Design
200 S. Rangeline Road
Suite 226
Carmel, Indiana 46032
317.573.2222

Owner
**Citizens Wastewater
of Westfield**
2020 N. Meridian Street
Indianapolis, Indiana 46202
317.693.8808
Jason Dillon
jdillon@citizensenergygroup.com

**AMERICAN
STRUCTUREPOINT
INC.**
9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

CONTACT: TYLER COMSTOCK
PHONE: 317-547-5580
EMAIL: TCOMSTOCK@STRUCTUREPOINT.COM

CITIZENS WESTFIELD STORAGE BUILDING

3511 W. 166th Street
Westfield, Indiana 46074

REGISTERED PROFESSIONAL ENGINEER
TYLER M. COMSTOCK
11/06/2018
APPROVED FOR CONSTRUCTION
NOT BE USED FOR ANY OTHER PROJECT
M. Comstock
CERTIFIED BY

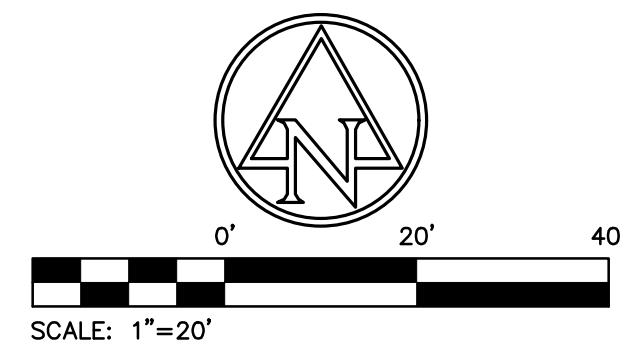
ISSUANCE INDEX		
DATE:	05/01/2020	
PROJECT PHASE:	CONSTRUCTION DOCUMENTS	

REVISION SCHEDULE		
NO.	DESCRIPTION	DATE
1	TAC Review	06/02/20
2	Storm Sewer Review	06/30/20

Project Number 2019.00958

SITE PLAN

C200

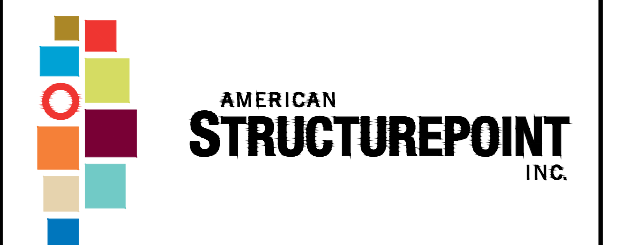


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**CITIZENS WESTFIELD
STORAGE BUILDING**

3511 W. 166th Street
Westfield, Indiana 46074

**APPROVAL PENDING
NOT FOR CONSTRUCTION**

CERTIFIED BY

ISSUANCE INDEX

DATE:
05/01/2020
PROJECT PHASE:
CONSTRUCTION DOCUMENTS

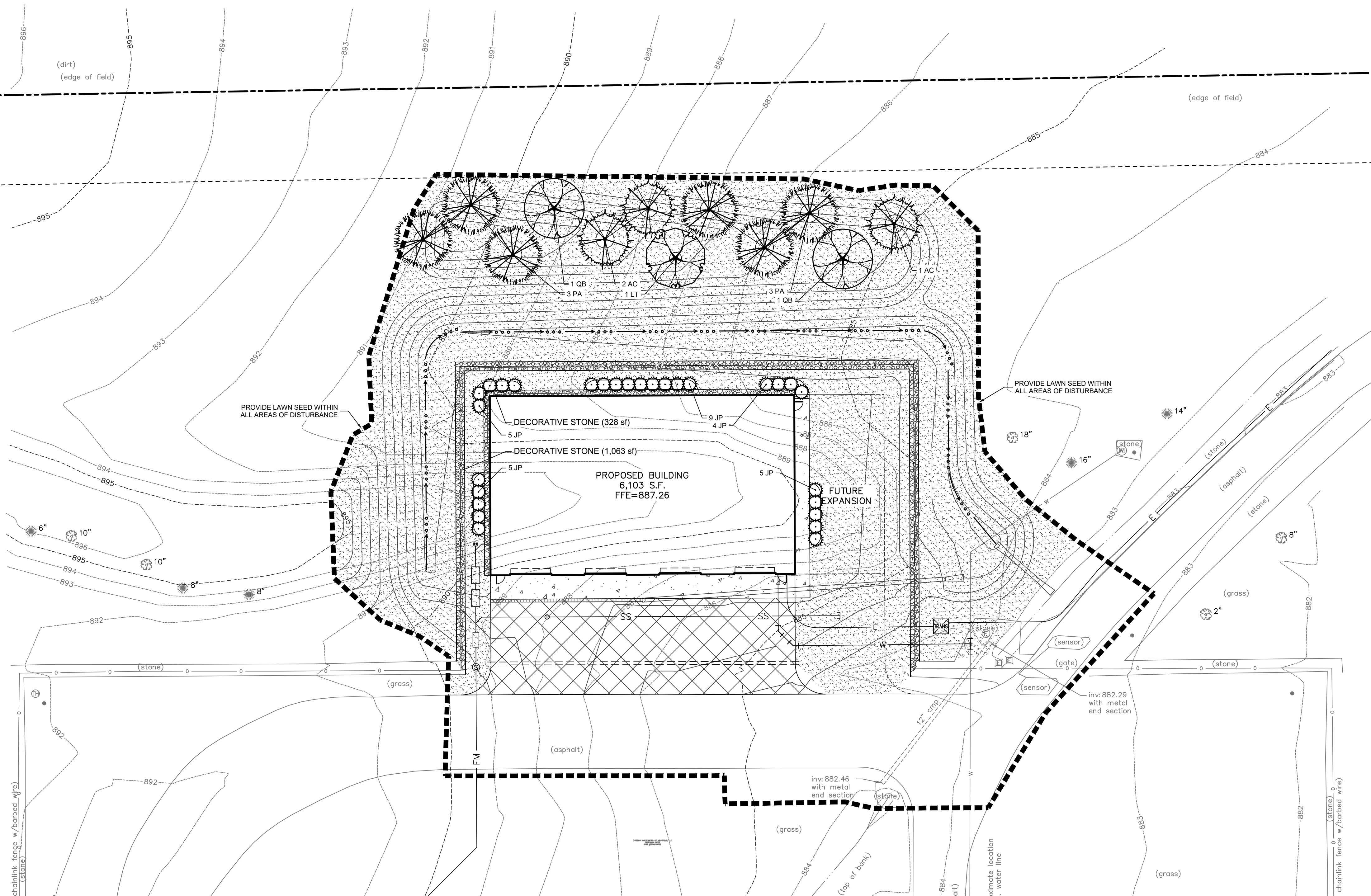
REVISION SCHEDULE

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Project Number	2019.00958
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LANDSCAPE PLAN

C700



PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
AC	3	Abies concolor / White Fir	B&B	6' Height	As Shown
LT	1	Liriodendron tulipifera / Tulip Tree	B&B	2' Cal.	As Shown
PA	6	Picea abies / Norway Spruce	B&B	6' Height	As Shown
QB	2	Quercus bicolor / Swamp White Oak	B&B	2' Cal.	As Shown

SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	SIZE	SPACING
JP	28	Juniperus chinensis 'Kallays Compact' / Kallay Compact Pfritzer Juniper	CONT	3 GAL	5' O.C.

CONCEPT PLANT SCHEDULE

	LAWN SEED- SUN AND PARTIAL SHADE <u>MIX</u> See general notes for additional lawn seed mixes and installation requirements.	22,528 sf
	<i>Festuca arundinacea</i> / Tall Turf-Type Fescue <i>Poa pratensis</i> / Kentucky Bluegrass	18,022 sf 4,506 sf
	<u>DECORATIVE STONE</u> Decorative stone to match existing. Install over weed barrier fabric. Beds to be lined with 3/8" steel edging adjacent to turf.	1,391 sf

SITE LEGEND

	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	STONE

ORDINANCE NOTES:

MECHANICAL / SERVICE / LOADING SCREENING:
Loading areas, docks, and maintenance areas shall be screened from residential uses or R.O.W.

MINIMUM LOT LANDSCAPING REQUIREMENTS

FOUNDATION PLANTINGS:
1 Shrubs/Ornamental Tree per 12 LN FT of building façade

NORTH: 101.8 LN FT

REQUIRED: (8.5) Shrubs/Trees
PROVIDED: (9) Shrubs

EAST: 59.9 LN FT

REQUIRED: (4.9) Shrubs/Trees
PROVIDED: (5) Shrubs

SOUTH:101.8 LN F

REQUIRED: (8.5) Shrubs/Trees
PROVIDED: (9) Shrubs

WEST: 59.9 LN FT

REQUIRED: (4.9) Shrubs/Trees
PROVIDED: (5) Shrubs

BUFFERYARD REQUIREMENTS:
 (1) "AC SF1" adjacent to "AC SF1".

(“AG-SF1” adjacent to “AG-SF1” requires no bufferyard planting)

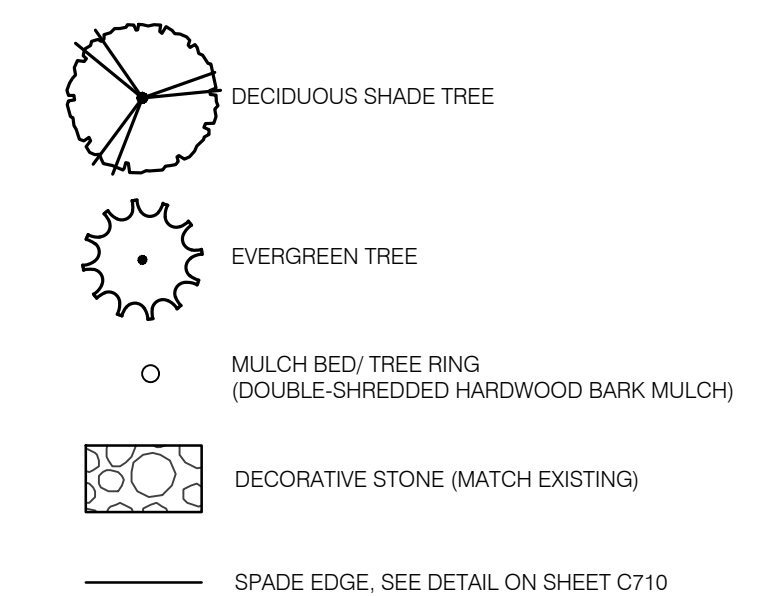
PARKING REQUIREMENTS:
 1. 100% of the parking spaces must be paved.

PARKING REQUIREMENTS:
(No parking is provided in the new development, and no further requirements need to be met within the site.)

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS IN THE FIELD PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES ASSOCIATED WITH WORK. UTILITIES SHALL BE REPAIRED TO SATISFACTION OF THE UTILITY OWNER AND/OR OPERATING AUTHORITY AT NO ADDITIONAL COST.
2. A MINIMUM OF 4" OF TOPSOIL (6" TOPSOIL 1 MULCH AND SOIL CONDITIONER SHALL BE PLACED ON ALL AREAS TO BE SEEDDED, SOILED AND PLANTED. PLANTING SOIL MIX SHALL BE FREE FROM TERMITES, VEGETATION, WEEDS OR ANY EXTRANEOUS OR DELETERIOUS MATERIALS LARGER THAN 1". REMOVE ANY UNSUITABLE AND EXCESS TOPSOIL, AS DETERMINED BY SOILS ENGINEER FROM THE SITE. FURNISH ANY ADDITIONAL TOPSOIL NEEDED AT NO ADDITIONAL COST. ADDED TOPSOIL SHALL BE INCORPORATED INTO EXISTING SOIL.
3. IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND THE PLANT LIST, THE PLAN SHALL DICTATE. IF IN QUESTION, CONTACT THE LANDSCAPE ARCHITECT.
4. ALL PLANTING BEDS SHALL BE 3" THICK LAYER OF SHREDDED HARDWOOD BARK MULCH. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED. ALL PLANTING BEDS SHALL HAVE FERTILIZANT HAVING BEEN APPLIED AS PER MANUFACTURERS RECOMMENDATION, AFTER INSTALLATION IS COMPLETE.
5. FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATIONS SHALL BE MARKED WITH A WOODEN STAKE INDICATING VARIETY AND SIZE OF TREE.
6. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED. IF PLANTS ARE SHOWN TO BE UNAVAILABLE, THE CONTRACTOR SHALL CONSULT LANDSCAPE ARCHITECT PRIOR TO BID DATE IN WRITING. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTORS OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
7. ALL PLANTS ARE TO MEET OR EXCEED AMERICAN STANDARDS FOR NURSERY STOCK, CURRENT EDITION, AS SET FORTH BY AMERICAN ASSOCIATION OF NURSERMEN.
8. PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THERE WILL NOT CONFLICT WITH CONSTRUCTION AND AS DIRECTED BY OWNER.
9. ALL NEW LANDSCAPE PLANTINGS SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING DATE OF INSPECTION BY LANDSCAPE ARCHITECT. AT END OF THIS PERIOD, PLANT MATERIAL TERMINAL DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
10. ALL DISTURBED LAWN AREAS SHALL BE HYDRO-SEEDED OR SODDED AS SHOWN PER THE LANDSCAPE AND EROSION CONTROL PLANS.
11. LAWN AND SOD AREAS ARE TO BE GRADED UNIFORMLY WITHOUT ANY UNDULATIONS OR IRREGULARITIES IN THE SURFACE PRIOR TO ANY HYDRO-SEED OR SOD WORK.
12. ALL LAWN IS TO BE A BLENDED PER THE PLANT SCHEDULE. HYDRO-SEED AREAS ARE TO HAVE 0% NOXIOUS WEED AND FREE OF DISGRASS.
13. PROTECT LAWN SEED AREAS WITH STRAW MULCH. SPREAD MULCH UNIFORMLY AT A MINIMUM RATE OF 2 TONS PER ACRE TO FORM A CONTINUOUS BLANKET 1 1/2 INCHES IN LOOSE THICKNESS OVER SEEDED AREAS.

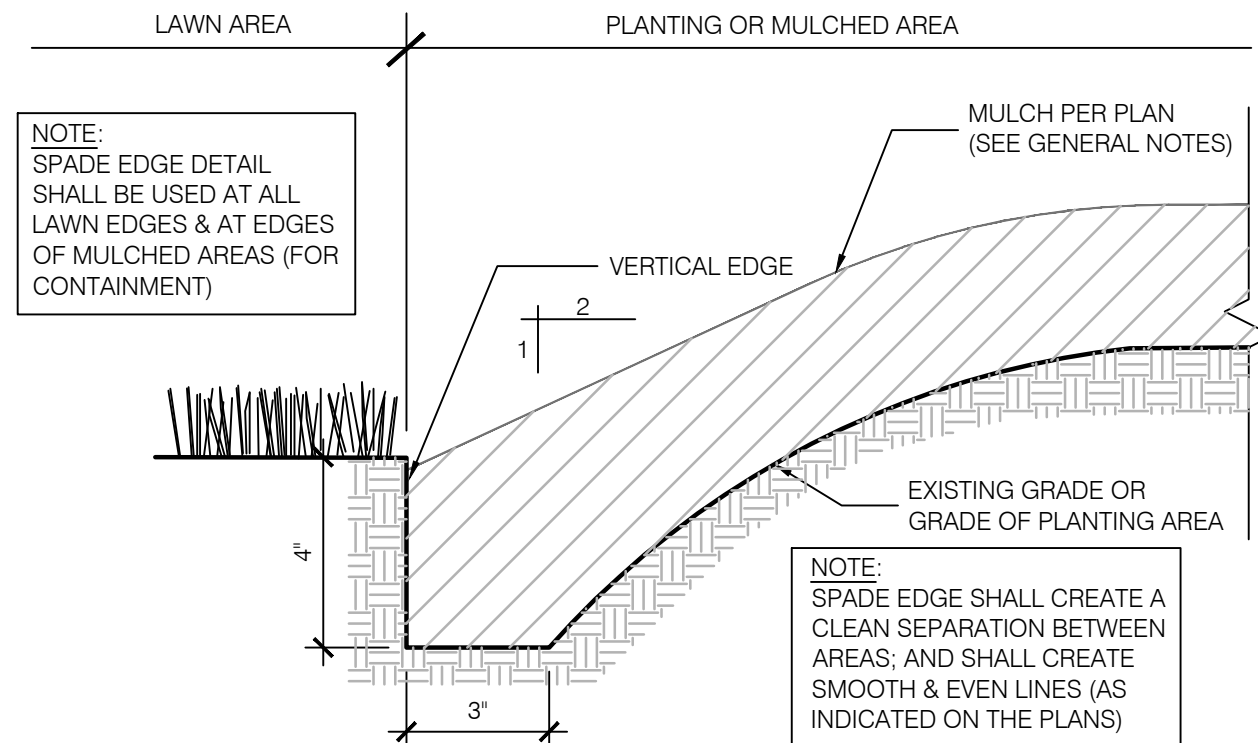
LANDSCAPE LEGEND



PLOT DATE: 7/10/2020 1:13 AM
PLOT SCALE: 1/2"=8'-0"
DRAWING FILE: P:\2019\00958.D - Drawings\Civil\Construction Documents\2019.00958.CE.C710.LP.dwg
EDIT DATE: 6/22/2020
EDITED BY: TCOMSTOCK

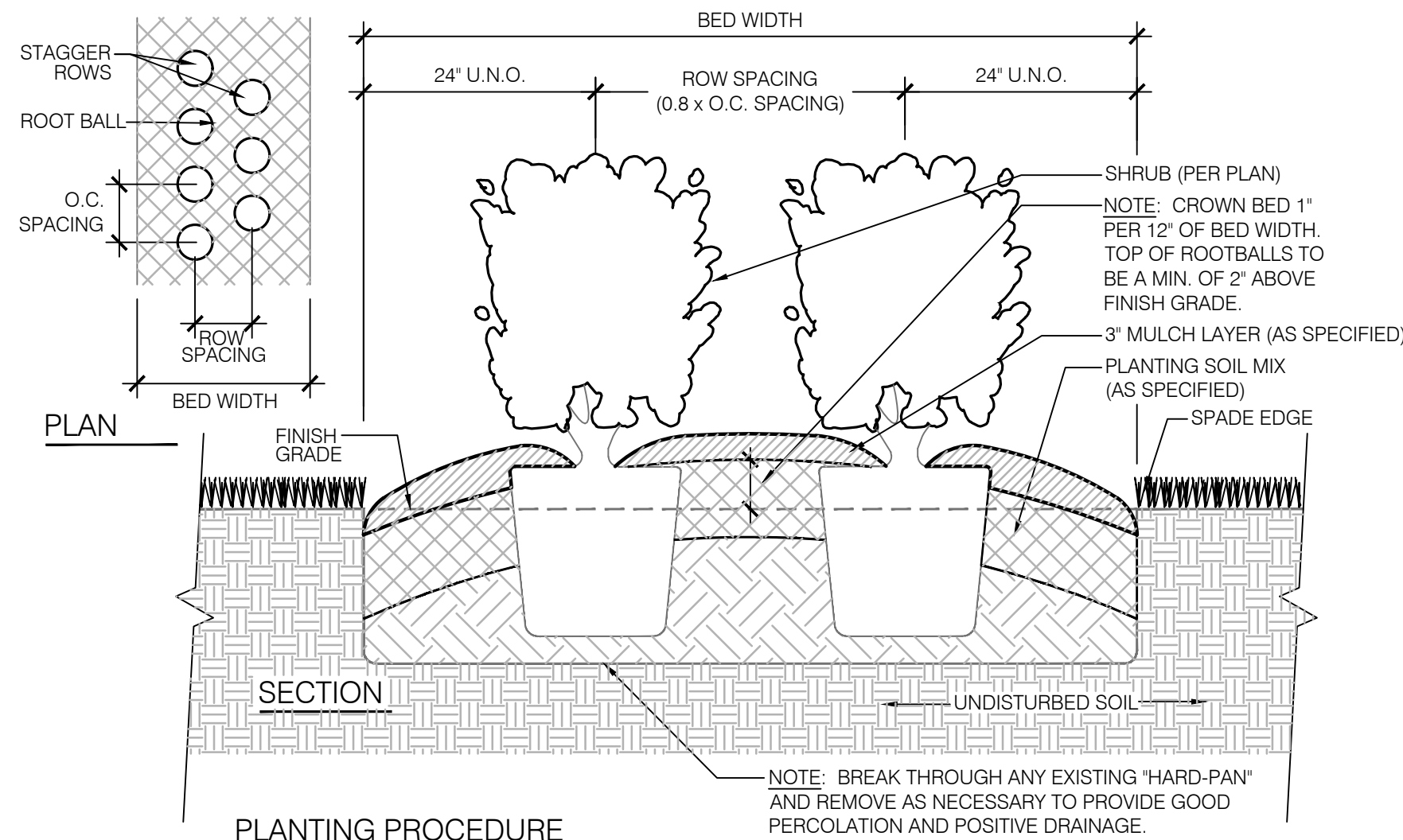
03 SPADE EDGE DETAIL

C710 SCALE: NTS



02 SHRUB PLANTING DETAIL

C710 SCALE: NTS

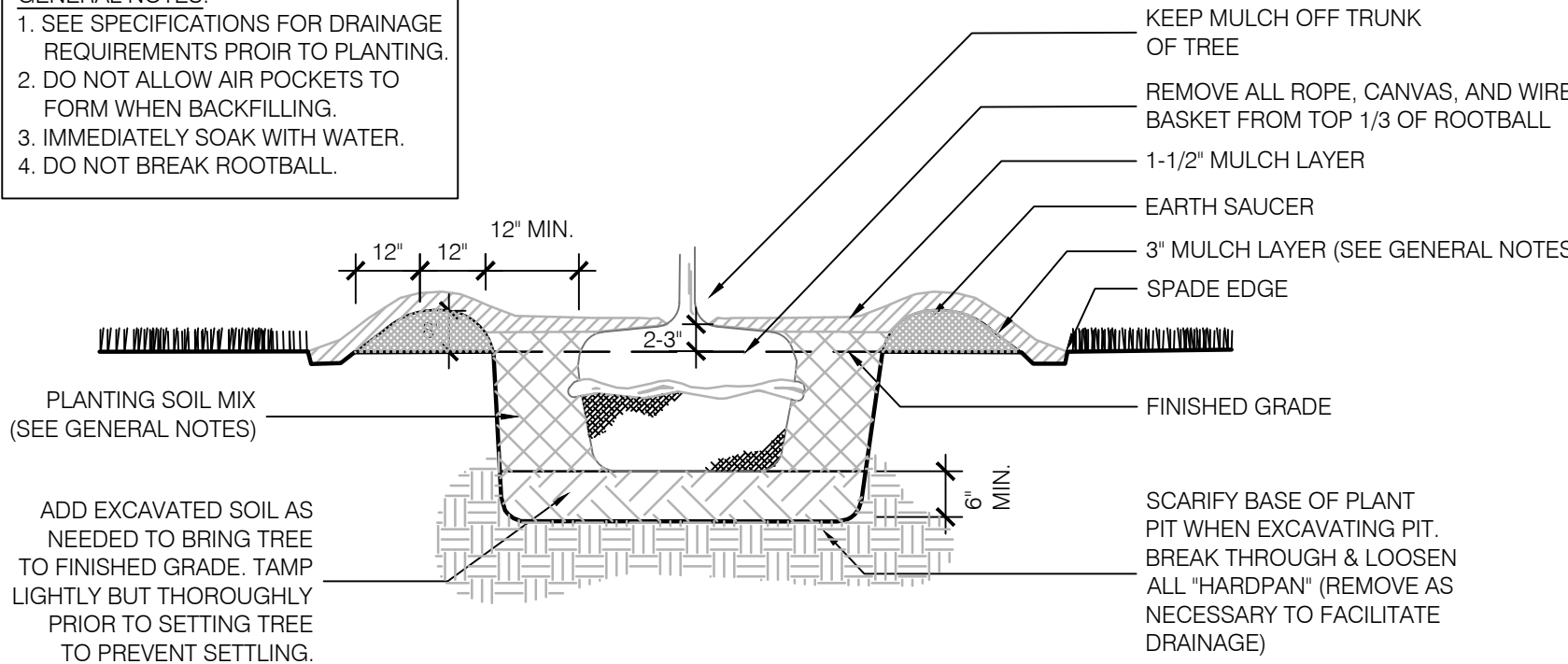


PLANTING PROCEDURE

1. LAYOUT BED AND OUTLINE WITH SPADE EDGE. PLACE SOIL FROM SPADE EDGE WITHIN BED.
2. ROTOTILL BED TO A 12" MIN. DEPTH OR AS REQUIRED FOR SPECIFIED SHRUBS. REMOVE EXISTING SOIL AS REQUIRED. SPREAD 6" MIN. LAYER OF PLANTING SOIL MIX OVER BED. ROTOTILL PLANTING SOIL MIX INTO TOP OF BED.
3. INSTALL PLANTS, MULCH AND WATER THOROUGHLY. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.

GENERAL NOTES:

1. SEE SPECIFICATIONS FOR DRAINAGE REQUIREMENTS PRIOR TO PLANTING.
2. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
3. IMMEDIATELY SOAK WITH WATER.
4. DO NOT BREAK ROOTBALL.



PLANTING PROCEDURE

1. EXCAVATE ROOTBALL PIT
2. ADD EXCAVATED SOIL & TAMP. SET TREE SUCH THAT TOP OF ROOTBALL IS 2-3" HIGHER THAN FINISHED GRADE.
3. BACKFILL WITH SOIL MIX & "WATER IN"
4. COMPLETE BACKFILLING, CONSTRUCT SAUCER, SPADE EDGE & ADD MULCH
5. STAKE & GUY SECURELY (AS REQUIRED)

01 TREE PLANTING DETAIL

C710 SCALE: NTS

Architect

Mitsch Design

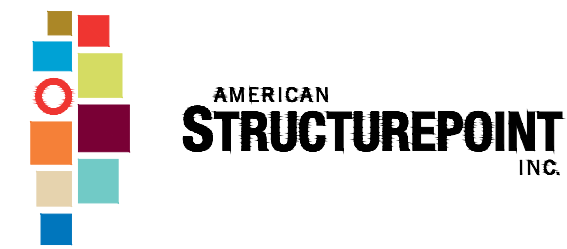
200 S. Rangeline Road
Suite 226
Carmel, Indiana 46032
317.573.2222

Owner

Citizens Wastewater of Westfield

2020 N. Meridian Street
Indianapolis, Indiana 46202
317.693.8808
Jason Dillon

jdillon@citizensenergygroup.com

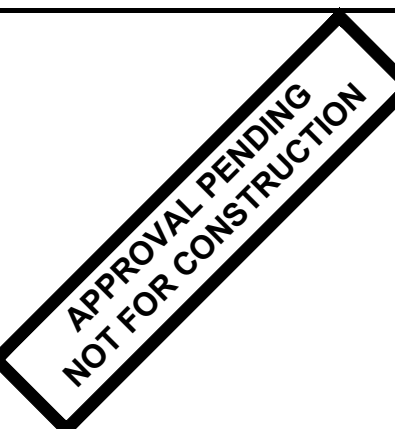


9025 River Road, Suite 200 | Indianapolis, Indiana 46240
TEL 317.547.5580 | FAX 317.543.0270
www.structurepoint.com

CONTACT: TYLER COMSTOCK
PHONE: 317-547-5580
EMAIL: TCOMSTOCK@STRUCTUREPOINT.COM

CITIZENS WESTFIELD STORAGE BUILDING

3511 W. 166th Street
Westfield, Indiana 46074



CERTIFIED BY

ISSUANCE INDEX

DATE:	
05/01/2020	
PROJECT PHASE:	
CONSTRUCTION DOCUMENTS	

REVISION SCHEDULE

NO.	DESCRIPTION	DATE
1	TAC Review	06/02/20
2	Storm Sewer Review	06/30/20

Project Number 2019.00958

LANDSCAPE DETAILS

C710



200 S. Rangeline Rd. | Suite 226
Carmel, Indiana 46032

317.573.2222
www.mitschdesign.com

WASTEWATER OF WESTFIELD

NEW CONSTRUCTION

CITIZENS ENERGY GROUP

CITIZENS ENERGY
3511 W 166TH ST
WESTFIELD IN 46074

PERMIT SET



MD PROJECT #:	19054
DRAWN BY:	R8
CHECKED BY:	DC
PRELIMINARY	## ## ## ##
PRICING SET	## ## ## ##
PERMIT SET	## ## ## ##
REVISION SCHEDULE	
#	DATE DESCRIPTION

ALL IDEAS, DESIGNS AND PLANS (ORIGINAL WORKS OF AUTHORSHIP FIXED IN A TANGIBLE MEDIUM OF EXPRESSIVE INDICATED OR PRESENTED BY THESE DRAWINGS AND DOCUMENTS ARE OWNED BY, AND ARE THE PROPERTY OF MITSUBISHI DESIGN. ALL RIGHTS RESERVED, EXCEPT FOR USE EXPRESSLY PERMITTED IN WRITING.

EXTERIOR ELEVATIONS

A401

EXTERIOR ELEVATION KEYNOTES

400 PREFINISHED 26 GA METAL ROOF.
401 PREFINISHED 26 GA METAL WALL SIDING.
402 PREFINISHED METAL DOWNSPOUT.
403 PREFINISHED 6" METAL GUTTER.
406 PREFINISHED METAL GABLE RAKE TRIM.
407 PREFINISHED WALL SIDING CORNER TRIM.
408 8X8X16 SPLIT FACE CMU. CONTRACTOR TO MATCH ADJACENT BUILDING FOR COLOR



MD PROJECT #:	19054	DATE:	10/24/2024
DRAWN BY:	RB	DC	
CHECKED BY:	DC		
PRELIMINARY	##	##	##
PRICING SET	##	##	##
PERMIT SET	##	##	##
REVISION	##	##	##
SCHEDULE	##	##	##
DATE			
DESCRIPTION			

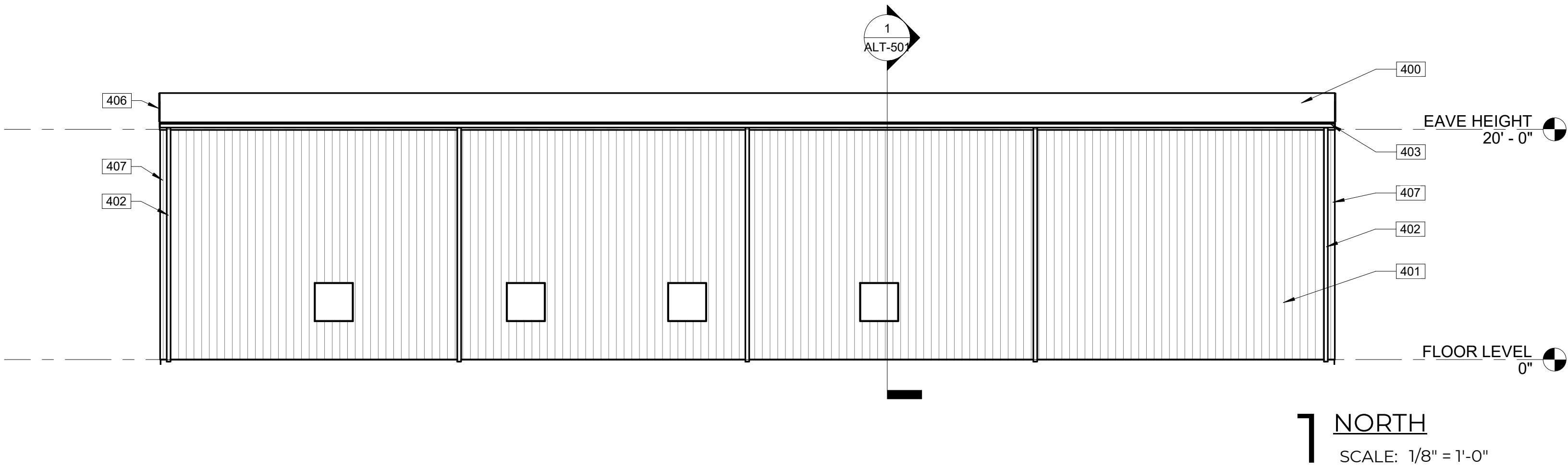
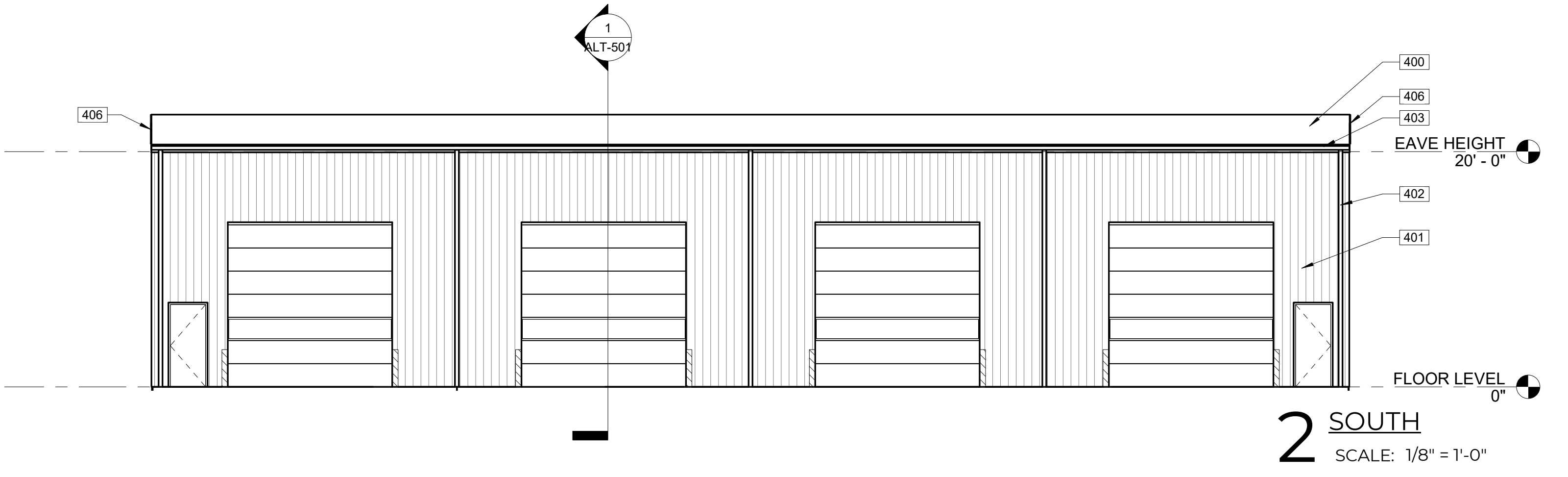
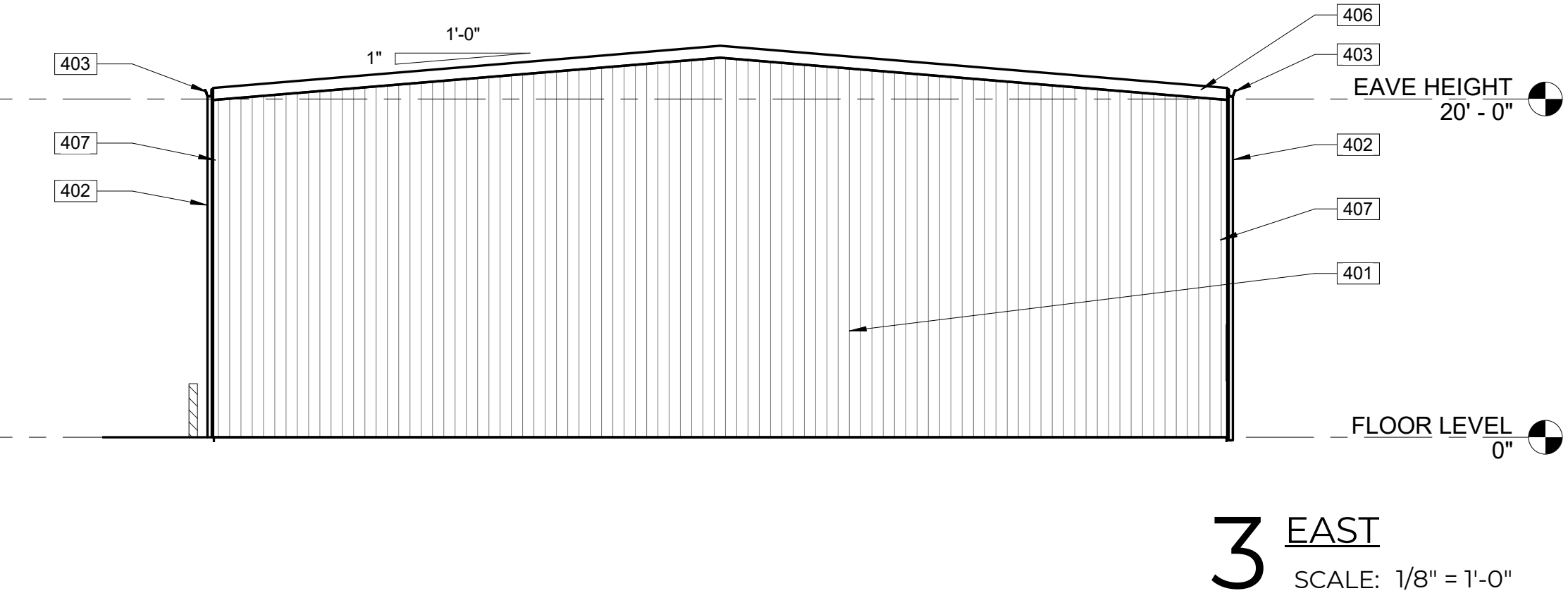
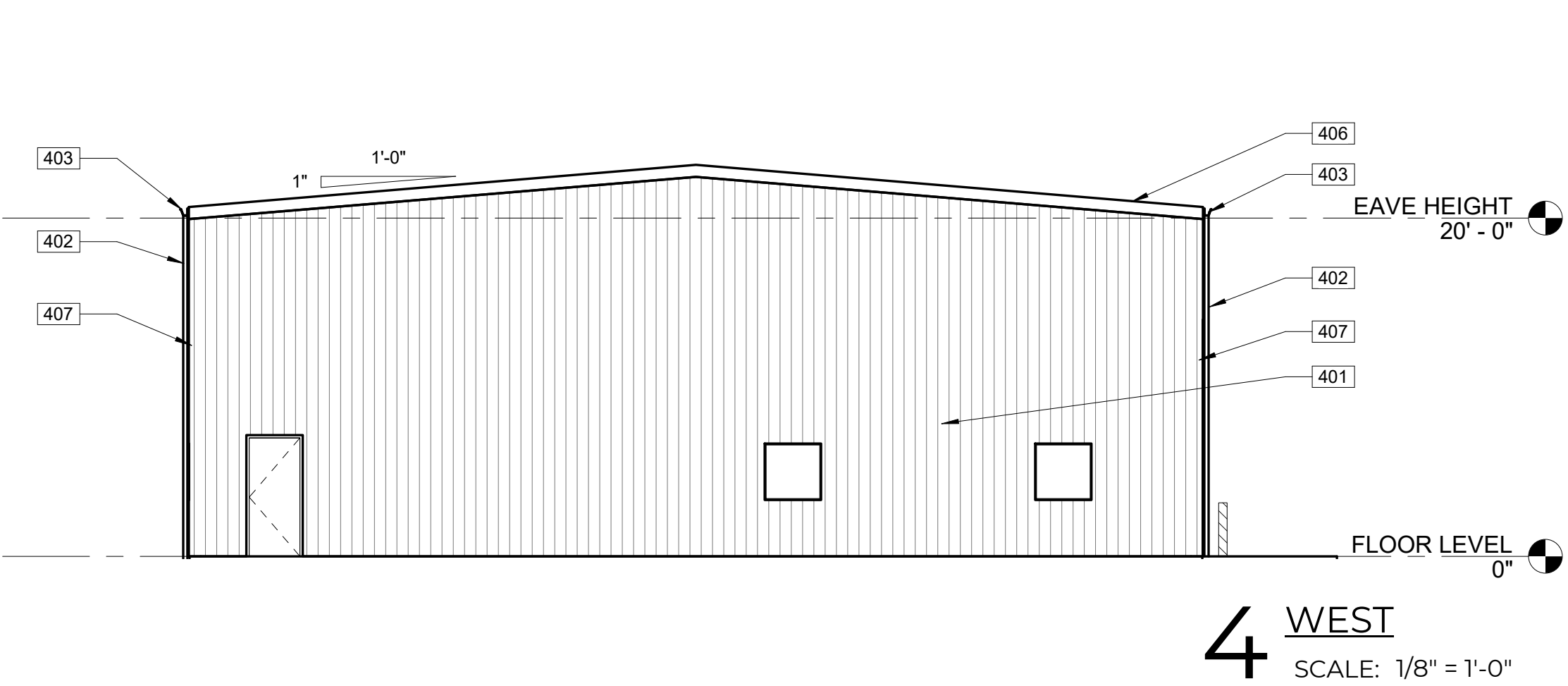
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EXTERIOR ELEVATIONS

ALT-401

EXTERIOR ELEVATION KEYNOTES

- 400 PREFINISHED 26 GA METAL ROOF.
- 401 PREFINISHED 26 GA METAL WALL SIDING.
- 402 PREFINISHED METAL DOWNSPOUT.
- 403 PREFINISHED 6" METAL GUTTER.
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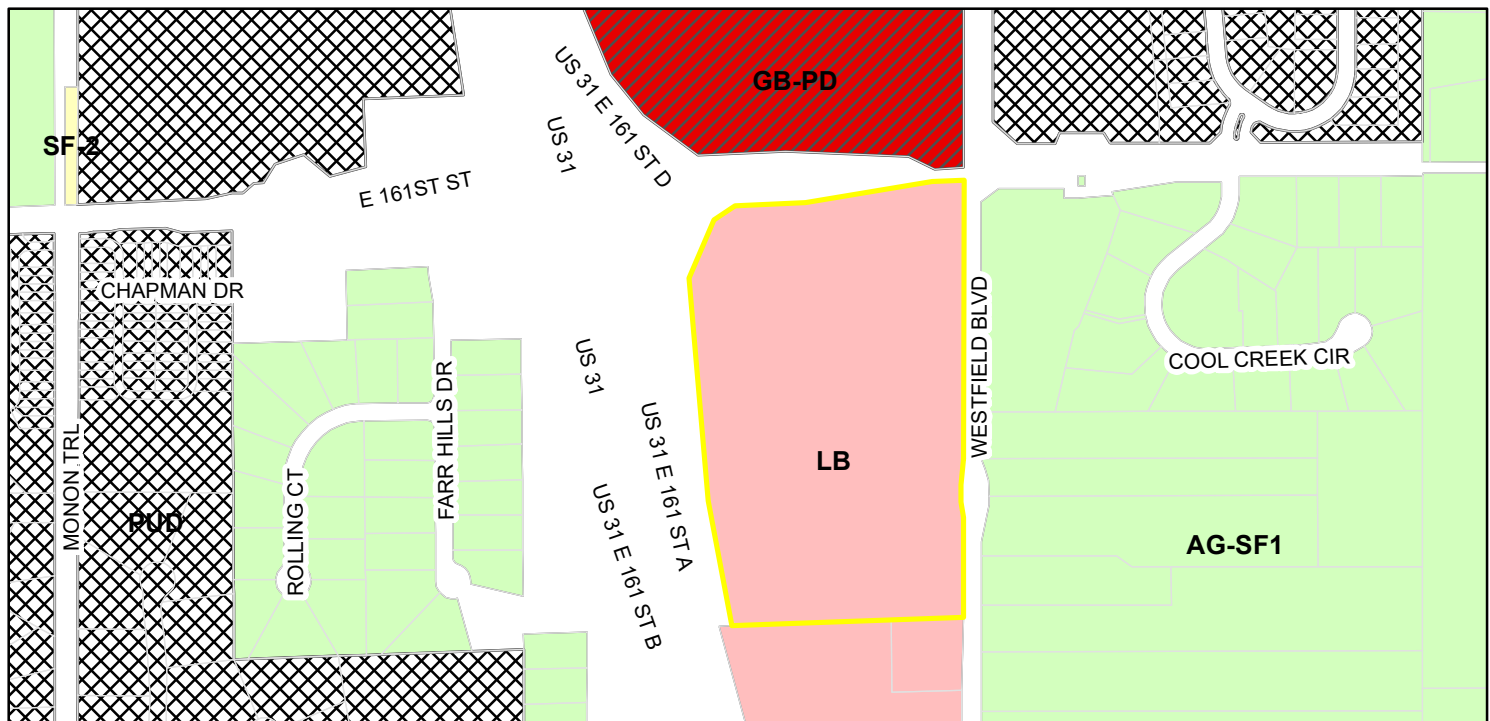


Aerial Location Map

 Site



Zoning Map



Zoning

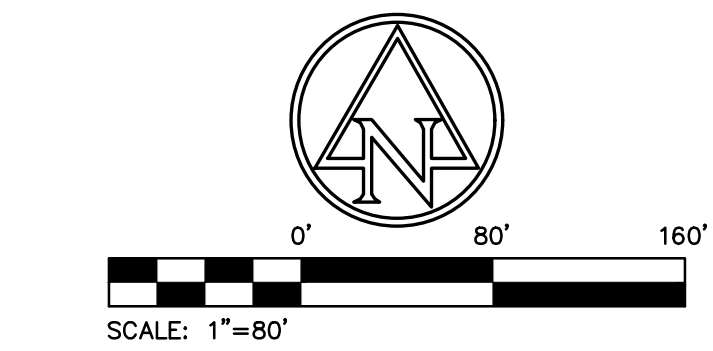
 AG-SF1 (Agriculture - Single Family - 1)

 GB-PD (General Business - Planned Development)

 LB (Local Business)

 PUD (Planned Unit Development)

 SF-2 (Single Family - 2)



	Curb Inlet
	Fire Hydrant
	Inlet
	Light Pole
	Mailbox
	Right Of Way Monument
	Sign
	Sanitary Manhole
	Temporary Bench Mark
	Test Hole
	Telephone Handhole
	Telephone Pedestal
	Traffic Pole
	Water Manhole
	Water Valve
-otr-	Overhead Traffic Line
-w-	Buried Water Line

	LIGHT DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	ASPHALT PATH

SITE ZONING:	LB
PROJECT AREA:	20.85± ACRES
BUILDING AREA – FOOTPRINT:	23,025 SF
BUILDING AREA – TOTAL:	70,000 SF
SITE IMPERVIOUS AREA:	4.45± ACRES
LOT NUMBER:	1
LOT 1 AREA:	908,225± SFT
STANDARD PARKING (9.5'x18'):	194
ADA PARKING PROVIDED: (INCLUDES 6 VAN ACCESSIBLE)	6
TOTAL PROPOSED PARKING:	200
FUTURE PARKING (9.5' x 18')	83

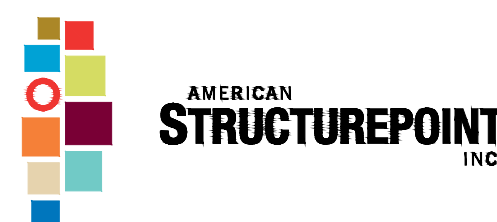
- GENERAL NOTES:**
1. CONTRACTOR SHALL PROTECT AND NOT DESTROY THE PROPERTY CORNER MONUMENTS DURING CONSTRUCTION.
 2. CONTRACTOR TO VERIFY LOCATION, SIZE AND DEPTH OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACT ENGINEER IF VARIATION EXISTS.
 3. SEE SHEET C002 GENERAL NOTES FOR MORE INFORMATION.
 4. THE PRESENCE OF A CITY OF WESTFIELD REVIEW AND ACCEPTANCE STAMP ON PLANS DOES NOT RELIEVE THE CONTRACTOR OR DESIGNER OF THE VIOLATION OF THE "CITY OF WESTFIELD CONSTRUCTION STANDARDS, LATEST EDITION". THIS REVIEW ONLY DESIGNATES THAT THE GENERAL CONFORMANCE WITH DESIGN AND SPECIFICATIONS HAVE BEEN MET. FIELD CHANGES MAY BE NECESSARY IN ORDER TO COMPLY WITH THE DETAILED CITY OF WESTFIELD SPECIFICATIONS.

!! CAUTION !!

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (including, but not limited to, manholes, inlets, valves, and marks made upon the ground by others) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -

OVERALL SITE PLAN

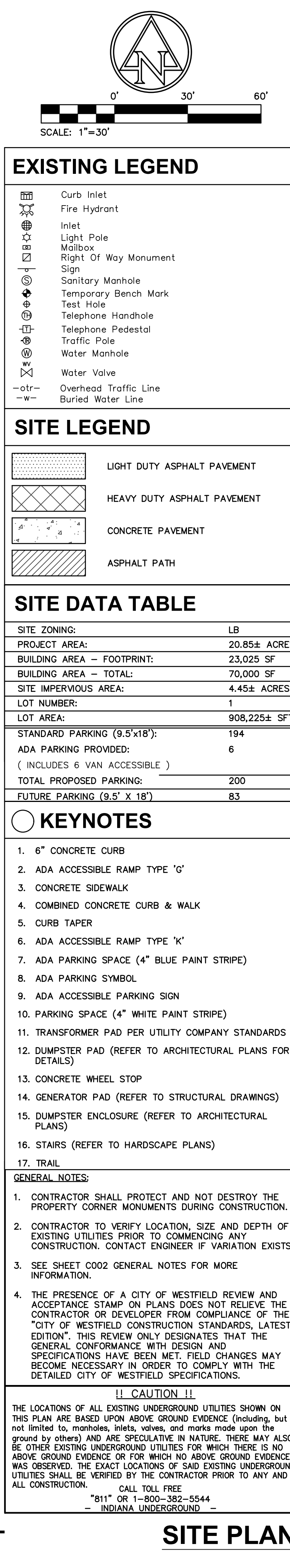


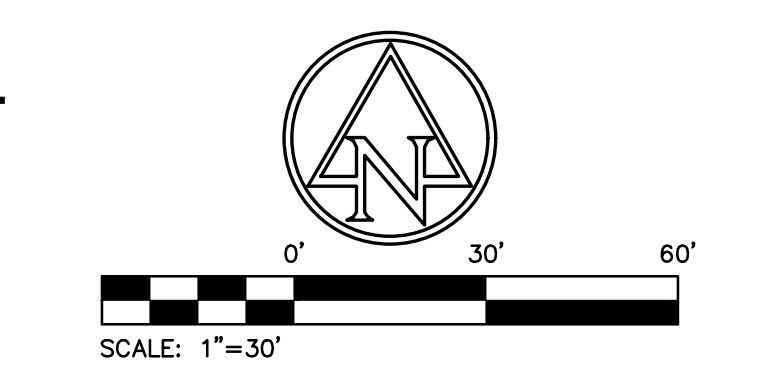
APPROVAL PENDING
NOT FOR CONSTRUCTION

Corporate HQ
Westfield, IN | 02 July 2020

C200

2020015





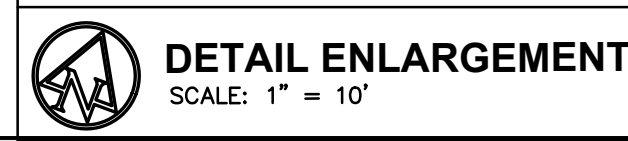
EXISTING LEGEND	
	Curb Inlet
	Fire Hydrant
	Inlet
	Light Pole
	Mailbox
	Right Of Way Monument
	Sign
	Sanitary Manhole
	Temporary Bench Mark
	Test Hole
	Telephone Handhole
	Telephone Pedestal
	Traffic Pole
	Water Manhole
	Water Valve
	Overhead Traffic Line
	Buried Water Line

SITE LEGEND	
	LIGHT DUTY ASPHALT PAVEMENT
	HEAVY DUTY ASPHALT PAVEMENT
	CONCRETE PAVEMENT
	ASPHALT PATH

SITE DATA TABLE	
SITE ZONING:	LB
PROJECT AREA:	20.85± ACRES
BUILDING AREA - FOOTPRINT:	23,025 SF
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STANDARD PARKING (9.5'x18'):	194
ADA PARKING PROVIDED:	6
(INCLUDES 6 VAN ACCESSIBLE)	
TOTAL PROPOSED PARKING:	200
FUTURE PARKING (S.F.):	83

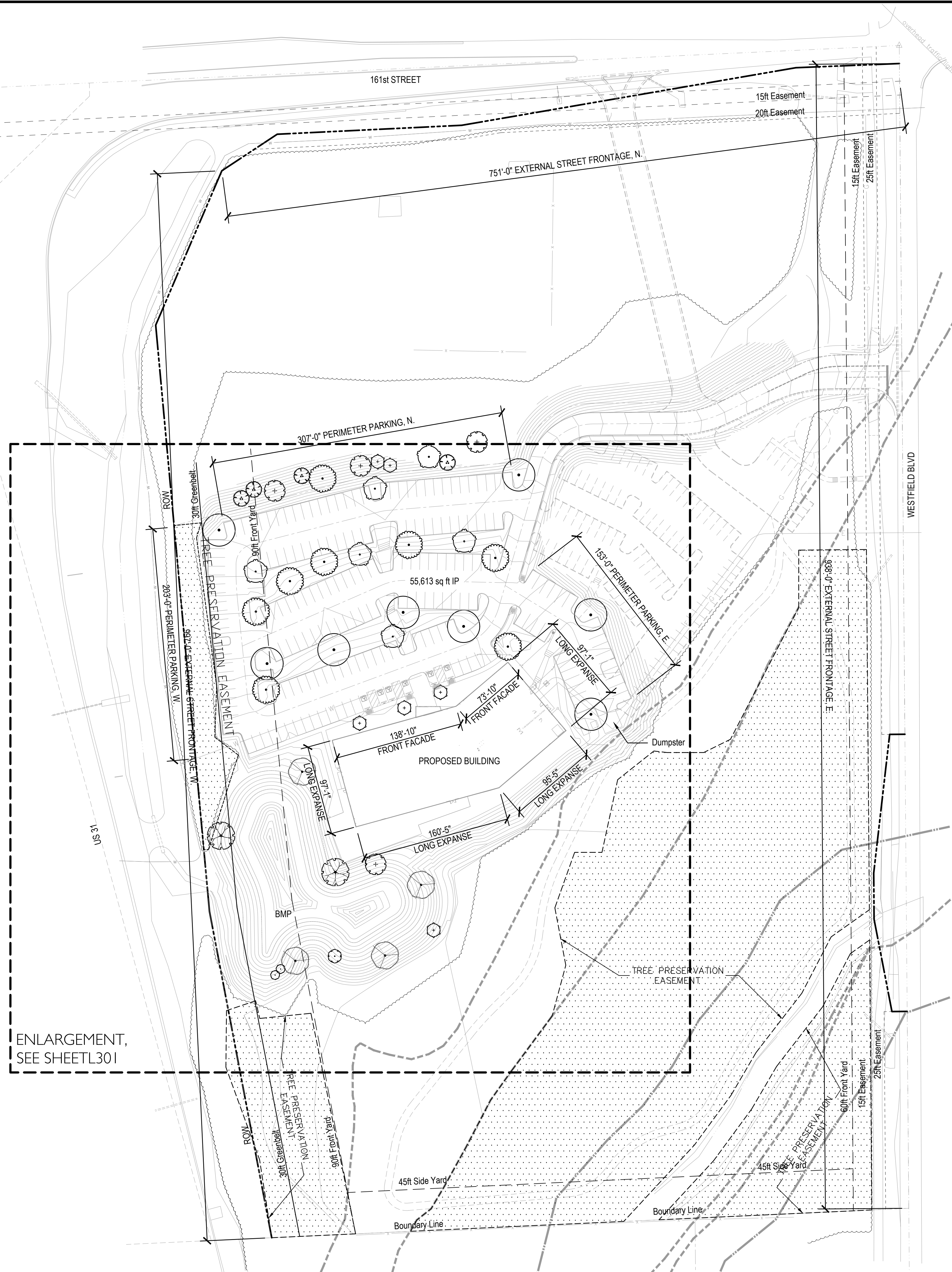
- KEYNOTES**
- 6" CONCRETE CURB
 - ADA ACCESSIBLE RAMP TYPE 'G'
 - CONCRETE SIDEWALK
 - COMBINED CONCRETE CURB & WALK
 - CURB TAPER
 - ADA ACCESSIBLE RAMP TYPE 'K'
 - ADA PARKING SPACE (4" BLUE PAINT STRIPE)
 - ADA PARKING SYMBOL
 - ADA ACCESSIBLE PARKING SIGN
 - PARKING SPACE (4" WHITE PAINT STRIPE)
 - TRANSFORMER PAD PER UTILITY COMPANY STANDARDS
 - DUMPSTER PAD (REFER TO ARCHITECTURAL PLANS FOR DETAILS)
 - CONCRETE WHEEL STOP
 - GENERATOR PAD (REFER TO STRUCTURAL DRAWINGS)
 - DUMPSTER ENCLOSURE (REFER TO ARCHITECTURAL PLANS)
 - STAIRS (REFER TO HARDSCAPE PLANS)
 - TRAIL

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- CALL TOLL FREE
"811" OR 1-800-382-5544
- INDIANA UNDERGROUND -



DETAIL ENLARGEMENT
SCALE: 1" = 10'

APPROVAL PENDING
NOT FOR CONSTRUCTION



Sheet No:
L300

GLASS SCHEDULE:

ALL GLASS TO BE TYPE "A" TEMPERED UNLESS NOTED OTHERWISE.

TYPE "A"

1" INSULATED LOW E VISION GLASS w/ 1/4" VE18-2M OPTIBLUE OUTBOARD LIGHT, 1/2" AIRSPACE, AND 1/4" CLEAR TEMPERED, INBOARD LIGHT

TYPE "B"

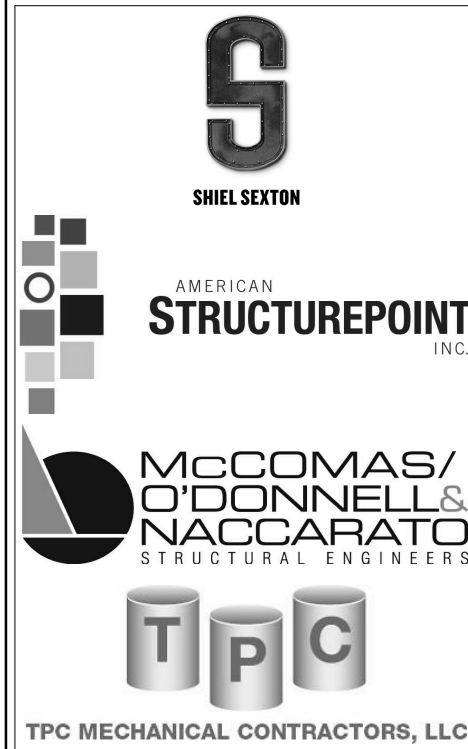
1" INSULATED METAL PANEL INFILL, FINISHED TO MATCH CURTAINWALL.

MATERIAL SCHEDULE:

- NOMINAL CONCRETE BRICK - STACK BOND - YANKEE HILL "CAPITAL IRON SPOT"
- VERTICAL SIDING
- COMPOSITE METAL PANEL (ACM)
- WOOD GRAIN ALUMINUM SIDING - LONGBOARD LIGHT NATIONAL WALNUT (OR EQ.)



CSO
8831 Keystone Crossing, Indianapolis, IN 46240
317.248.7800 | csoinc.net



PROJECT: SEP
OFFICE BUILDING
PROJECT INFO
WESTFIELD, IN

SCOPE DRAWINGS:
These drawings indicate the general scope of the project. The drawings are not intended to be used for the design of structural, mechanical and electrical systems. The drawings do not necessarily indicate or describe all requirements of the Contract. On the basis of the general scope indicated or described, the owner/contractor shall furnish all items required for the proper execution and completion of the work.

REVISIONS:

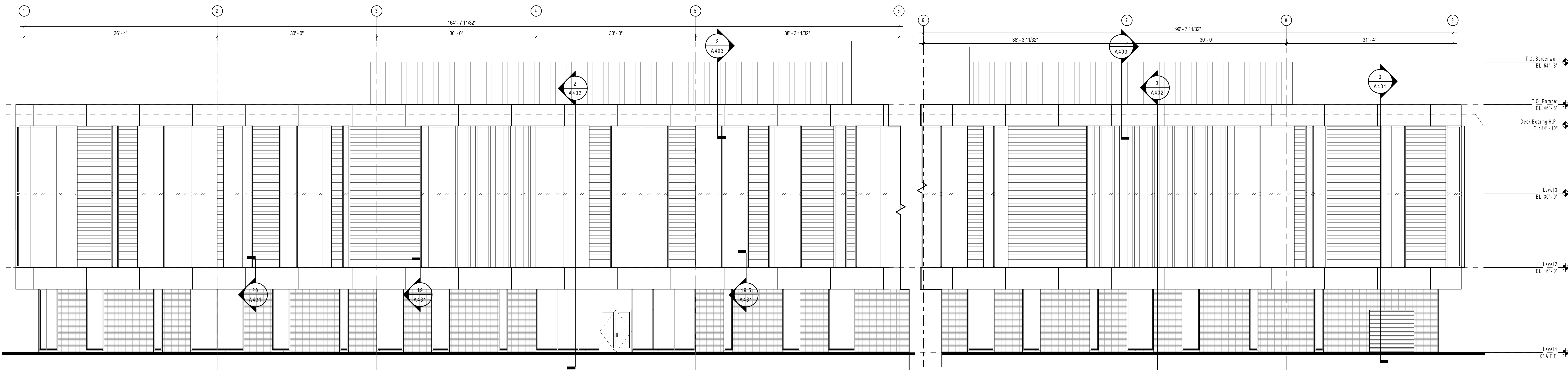
ISSUE DATE
09/16/2020
DRAWN BY
KRT
CHECKED BY
DWG

DRAWING TITLE:
EXTERIOR ELEVATIONS

CERTIFIED BY:
NOT FOR CONSTRUCTION

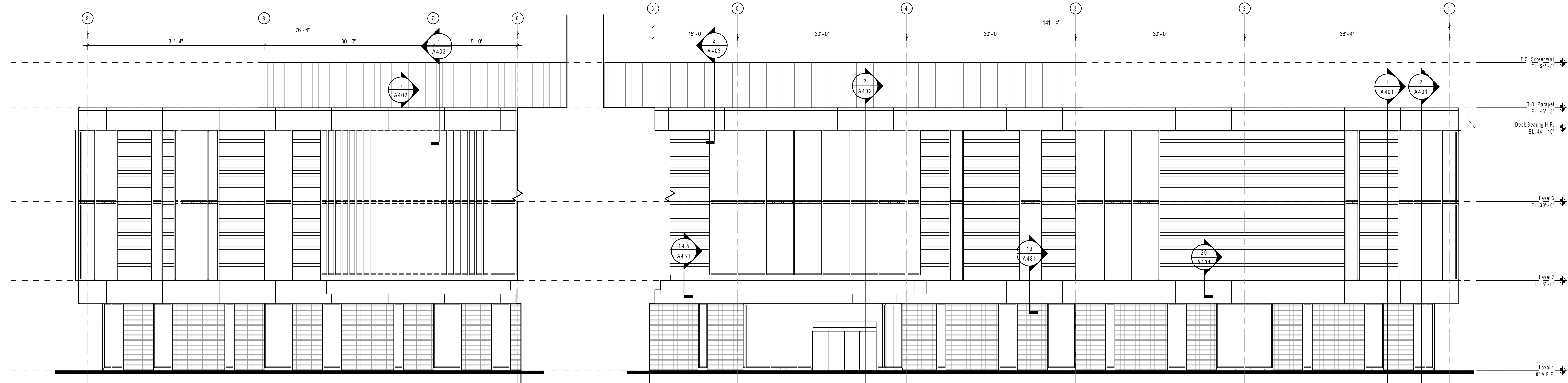
DRAWING NUMBER
A301

PROJECT NUMBER
2020015



4 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

GLASS SCHEDULE:

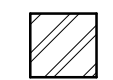
ALL GLASS TO BE TYPE "A" TEMPERED UNLESS NOTED OTHERWISE.

TYPE "A"



1" INSULATED LOW E VISION GLASS w/ 1/4" VE19-2M OPTIBLUE OUTBOARD LIGHT, 1/2" AIRSPACE, AND 1/4" CLEAR TEMPERED, INBOARD LIGHT

TYPE "B"



1" INSULATED METAL PANEL INFILL, FINISHED TO MATCH CURTAINWALL.

MATERIAL SCHEDULE:



NOMINAL CONCRETE BRICK - STACK BOND - YANKEE HILL "CAPITAL IRON SPOT"



VERTICAL SIDING



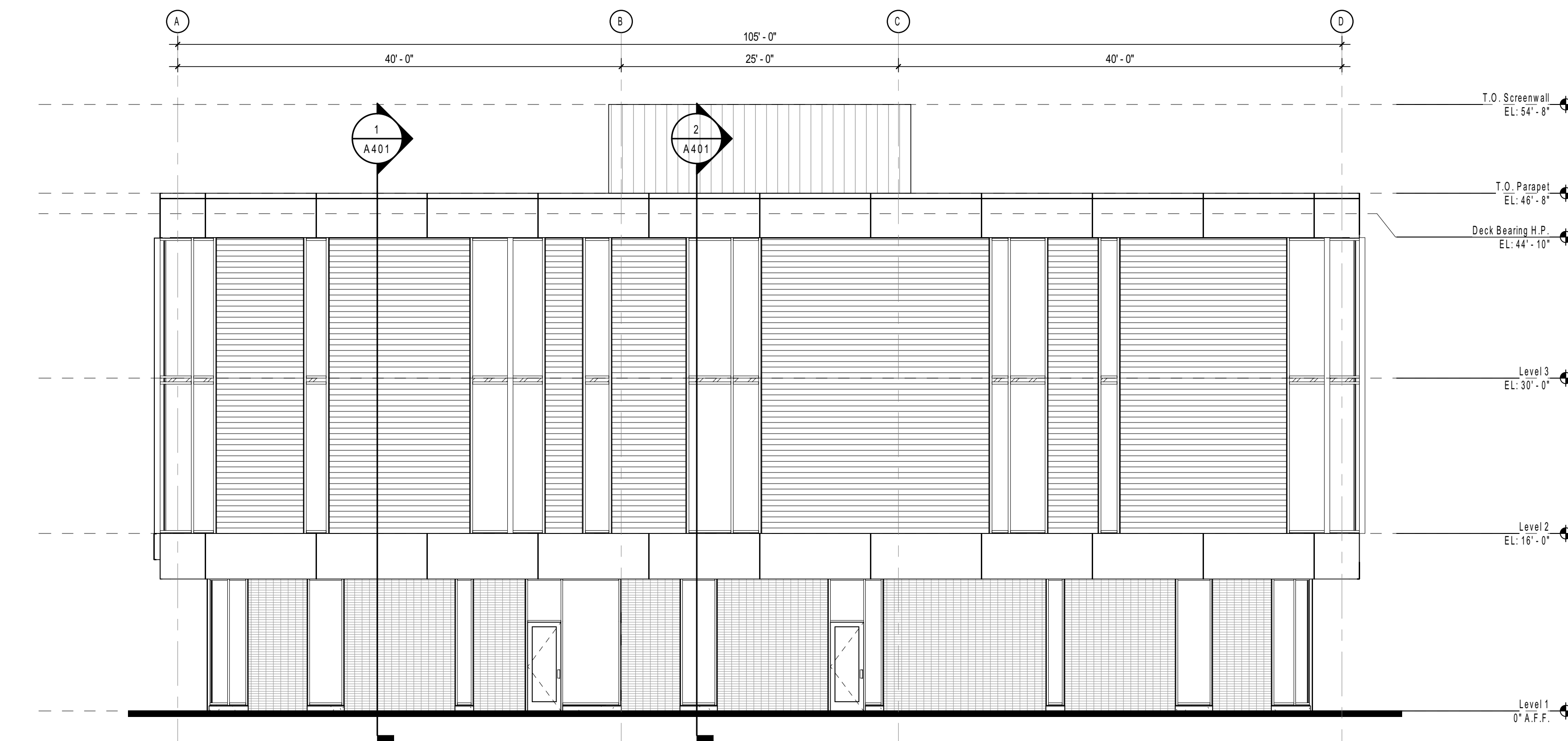
COMPOSITE METAL PANEL (ACM)



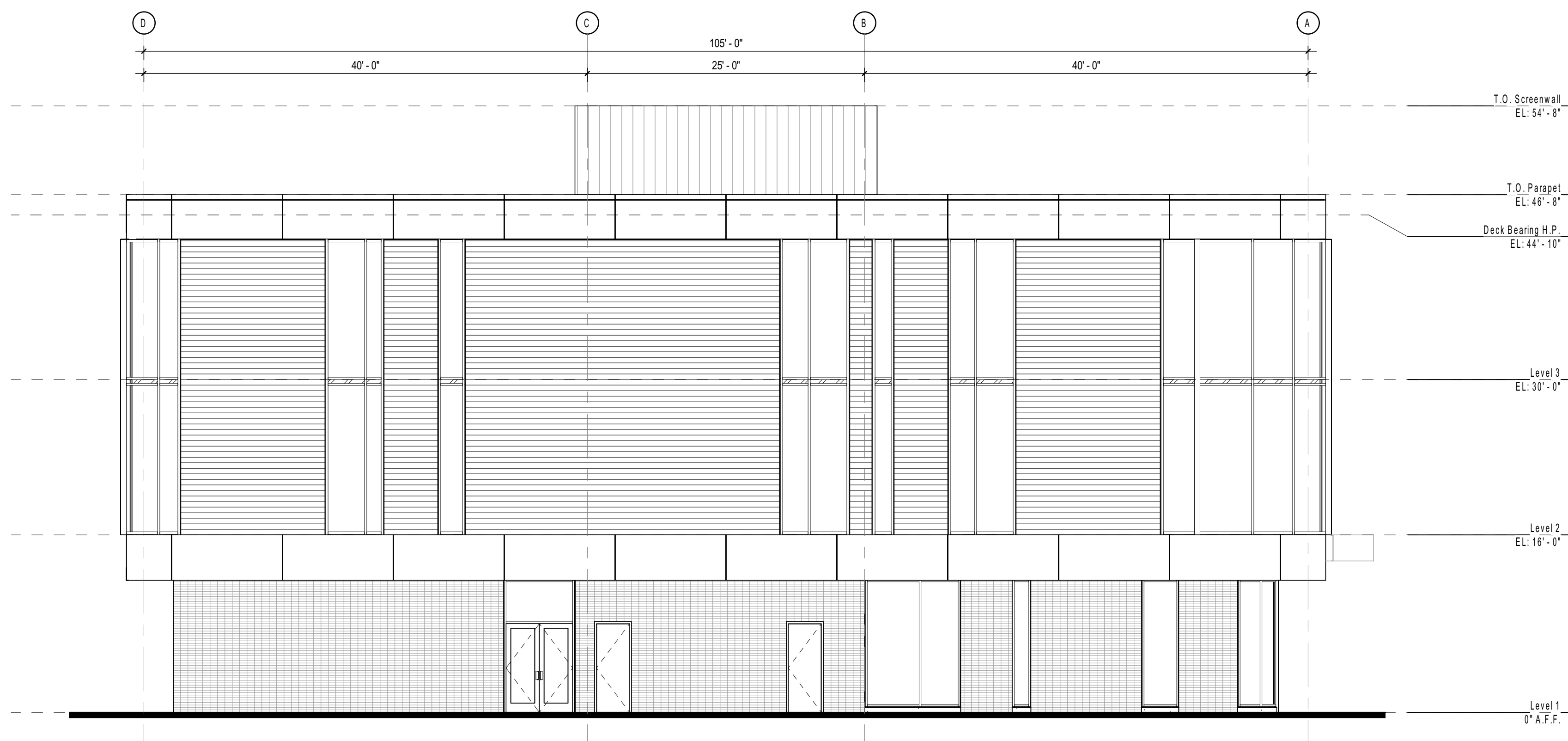
WOOD GRAIN ALUMINUM SIDING - LONGBOARD LIGHT NATIONAL WALNUT (OR EQ.)

KEYNOTE LEGEND

03 30 00.A	CONCRETE SLAB (ON VAPOR BARRIER, REFERENCE STRUCTURAL DRAWINGS.
03 30 00.B	CONCRETE FOOTING, REFERENCE STRUCTURE DRAWINGS.
03 30 00.C	CONCRETE FOUNDATION, REFERENCE STRUCTURAL DRAWINGS.
03 30 00.D	CONCRETE TOPPING SLAB, REFERENCE STRUCTURAL DRAWINGS.
04 21 13.A	CONCRETE FACE BRICK.
04 21 13.B	FLEXIBLE ANCHOR W/ TRIANGULAR TIE @ 16" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY ATTACHED DIRECTLY TO STUDS.
04 21 13.C	SELF-ADHESIVE, FLEXIBLE SHEET FLASHING.
04 21 13.D	MORTAR NET.
04 21 13.E	WEEP/VENTILATOR LOCATION. SEE SPECIFICATIONS FOR MAX. SPACING.
04 21 13.F	TERMINATION BAR.
04 21 13.G	8x8x16 NOMINAL NORMALWEIGHT CONCRETE MASONRY UNIT.
04 21 13.H	8x8x16 NOMINAL NORMALWEIGHT CONCRETE MASONRY UNIT BOND BEAM.
04 21 13.J	GROUT SOLID.
05 12 00.A	STRUCTURAL STEEL FRAMING MEMBER, REF. STRUCTURAL DRAWINGS.
05 21 00.A	STEEL JOIST, REFERENCE STRUCTURAL DRAWINGS.
05 31 00.A	STEEL DECKING, REFERENCE STRUCTURAL DRAWINGS.
05 40 00.A	6" 18 GA. STEEL STUDS @ 16" O.C., CROSS BRACING AS REQ'D.
05 40 00.B	14" 18 GA. STEEL STUDS @ 16" O.C., CROSS BRACING AS REQ'D.
05 40 00.C	3 5/8" 18 GA. STEEL STUDS @ 16" O.C., CROSS BRACING AS REQ'D.
05 40 00.D	2 1/2" 18 GA. STEEL STUDS @ 16" O.C., CROSS BRACING AS REQ'D.
05 40 00.E	18 GA. CLIP ANGLE.
05 40 00.F	18" GALVANIZED STEEL PLATE.
05 40 00.G	10" 16 GA. STEEL RUNNER TRACK.
05 50 00.A	VERTICAL LADDER w/ 1/2" x 2 1/2" FLAT BAR RAILS 18" APART w/ 3/4" DIA. NON-SLIP RUNGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL.
05 50 00.B	ANCHOR WITH 1/2" x 2 1/2" L-SHAPED FLAT BAR AT 5'-0" O.C. MAXIMUM.
05 50 00.C	MISCELLANEOUS STEEL, REFERENCE STRUCTURAL DRAWINGS.
05 51 00.A	PIPE SOLLARD, 6" DIA. HEAVY GUNGE STEEL PIPE.
05 51 00.B	STEEL FRAMED STAIR w/ CONCRETE FILLED METAL PAN TREAD AND RISER ANCHORED TO 12" CHANNEL STRINGER w/ "L" BRACKETS AND CONCRETE FILLED PLATFORM SUPPORTED BY "L" FRAMING MEMBER ANCHORED TO STRINGERS.
05 51 00.C	1 1/4" I.D. PIPE RAILING.
05 51 00.D	3/4" SQUARE STEEL PICKETS.
06 10 00.A	TREATED WOOD BLOCKING/NAILER.
06 10 00.B	WOOD BLOCKING/NAILER.
06 10 00.C	3/4" EXTERIOR GRADE FIRE TREATED PLYWOOD SHEATHING.
06 16 53.A	1/2" EXTERIOR GYPSUM BOARD SHEATHING.
07 13 00.A	COLD FLUID APPLIED WATERPROOFING.
07 14 00.A	BITUMINOUS DAMPROOFING.
07 21 00.A	2" EXTRUDED POLYSTYRENE INSULATION.
07 21 00.B	CONTINUOUS INSULATION WALL PANEL, 3/4" EXTERIOR GRADE FIRE-TREATED PLYWOOD OVER 2" POLYISOCYANURATE INSULATION.
07 21 00.C	MINERAL WOOL BATT INSULATION.
07 27 26.A	FLUID-APPLIED AIR AND WATER BARRIER MEMBRANE SYSTEM.
07 42 16.A	PREMANUFACTURED AND PREFINISHED METAL SIDING.
07 42 16.B	PREMANUFACTURED AND PREFINISHED METAL SIDING TRIM.
07 42 17.A	
07 42 17.C	
07 42 43.A	PREFINISHED ARCHITECTURAL COMPOSITE PANEL.
07 42 43.B	1/2" PANEL REVEAL.
07 42 43.C	TRIM FLASHING TO MATCH COMPOSITE PANEL.
07 46 00.A	WOOD GRAIN ALUMINUM SIDING.
07 46 00.B	TRIM FLASHING TO MATCH ALUMINUM SIDING.
07 46 00.C	WOOD GRAIN ALUMINUM TUBE SUNSHADE FINISHED TO MATCH ALUMINUM SIDING.
07 54 23.A	MECHANICALLY ATTACHED TPO FLEXIBLE SHEET ROOFING SYSTEM.
07 54 23.B	POLYISOCYANURATE ROOF INSULATION, MIN. R20.
07 54 23.C	BUILT-UP INSULATION TO ACHIEVE POSITIVE DRAINAGE.
07 54 23.D	STONE BALLAST.
07 62 00.A	METAL FLASHING.
07 62 00.B	FLASHING WITH STAINLESS STEEL CLAMP RING.
07 62 00.C	PREMANUFACTURED AND PREFINISHED METAL COPING WITH PREFABRICATED ANCHOR PLATE.
07 71 00.A	30"x36" PREFABRICATED ROOF HATCH.
07 84 20.A	PERIMETER FIRE RESISTIVE JOINT SYSTEM.
07 92 00.A	SEALANT WITH BACKER ROD.
07 92 00.B	SEALANT JOINT.
07 92 00.C	ISOLATION JOINT WITH PREFORMED JOINT FILLER AND SEALANT.
07 92 00.D	WATER CUT-OFF MASTIC.
08 11 00.A	HOLLOW METAL DOOR.
08 11 00.B	HOLLOW METAL DOOR FRAME.
08 41 00.A	ALUMINUM STOREFRONT.
08 41 00.B	ALUMINUM BRAKE METAL FINISHED TO MATCH STOREFRONT.
08 41 00.C	SHIMS BY STOREFRONT SUPPLIER.
08 41 00.D	ALUMINUM ENTRANCE WITH MEDIUM STYLE DOOR.
08 44 00.A	ALUMINUM CURTAINWALL.
08 44 00.B	ALUMINUM BRAKE METAL FINISHED TO MATCH CURTAINWALL.
08 44 00.C	SHIMS BY CURTAINWALL SUPPLIER.
08 44 00.D	1" INSULATED METAL PANEL FINISHED TO MATCH 08 44 00.A.
08 44 00.E	CURTAINWALL ANCHORAGE AND ATTACHMENT MEMBER, ALLOW FOR THERMAL EXPANSION AND CONTRACTION.
08 44 00.F	ALUMINUM OUTRIGGER SUNSHADE SUPPORT FINISHED TO MATCH CURTAINWALL.
08 44 00.G	EXTRUDED ALUMINUM MULLION CAP.
08 80 00.A	1/4" CLEAR TEMPERED GLASS.
08 80 00.B	1" INSULATING GLASS - REFERENCE ELEVATIONS FOR TYPE.
09 21 00.A	5/8" GYPSUM WALL BOARD.
09 21 00.B	3 5/8" x 22 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
09 21 00.C	2 1/2" x 22 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
09 21 00.D	6" x 25 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
09 91 00.A	PAINTED FINISH.
31 20 00.A	FINISH GRADE.
31 20 00.B	DRAINAGE FILL.
31 20 00.C	COMPACTED EARTH.
32 13 13.A	CONCRETE SIDEWALK.



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 EAST ELEVATION
SCALE: 1/8" = 1'-0"



pure development

CSO
8831 Keystone Crossing, Indianapolis, IN 46240
317.248.7800 | csoinc.net



STRUCTUREPOINT
INC.



TPC
TPC MECHANICAL CONTRACTORS, LLC

PROJECT:
SEP
OFFICE BUILDING
PROJECT INFO
WESTFIELD, IN

SCOPE DRAWINGS:
These drawings indicate the general scope of the project. Items of installation design covered: the dimensions of structural, mechanical and electrical systems. The drawings do not necessarily indicate or describe all requirements of the Contract.
On the basis of the general scope indicated or described, the owner/contractor shall furnish all items required for the proper execution and completion of the work.

REVISIONS:

ISSUE DATE
09/16/2020

DRAWN BY
KRT

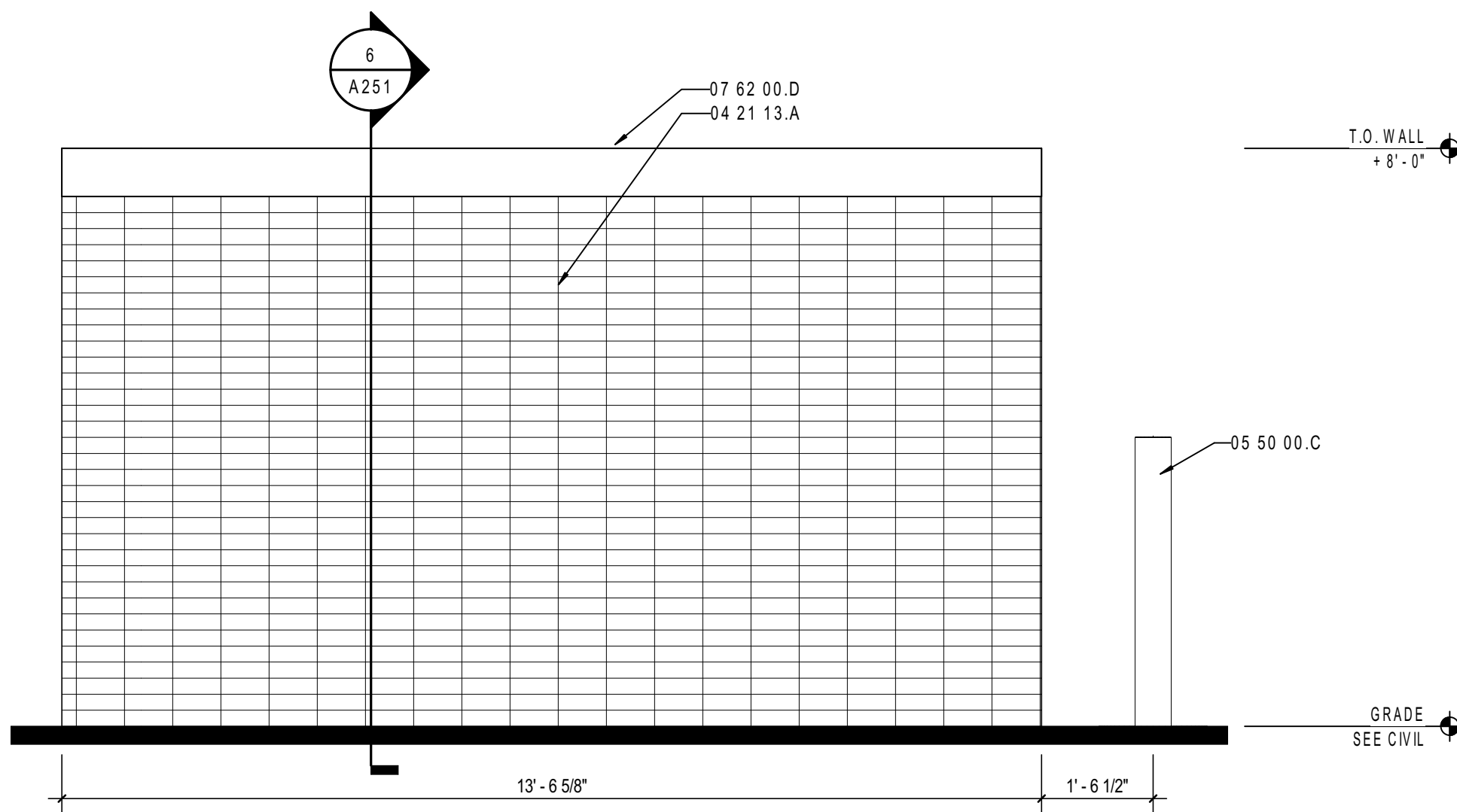
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ELEVATIONS

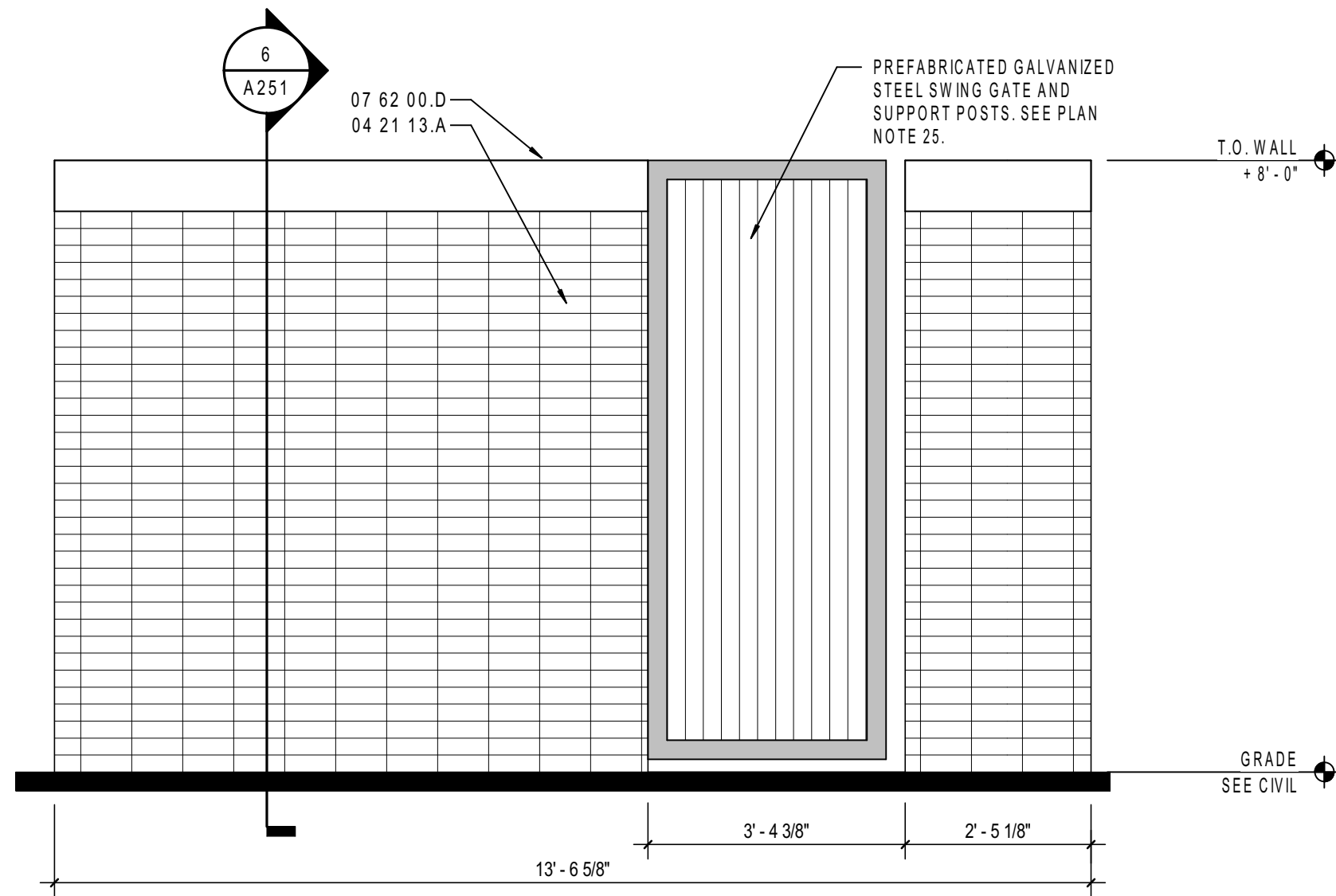
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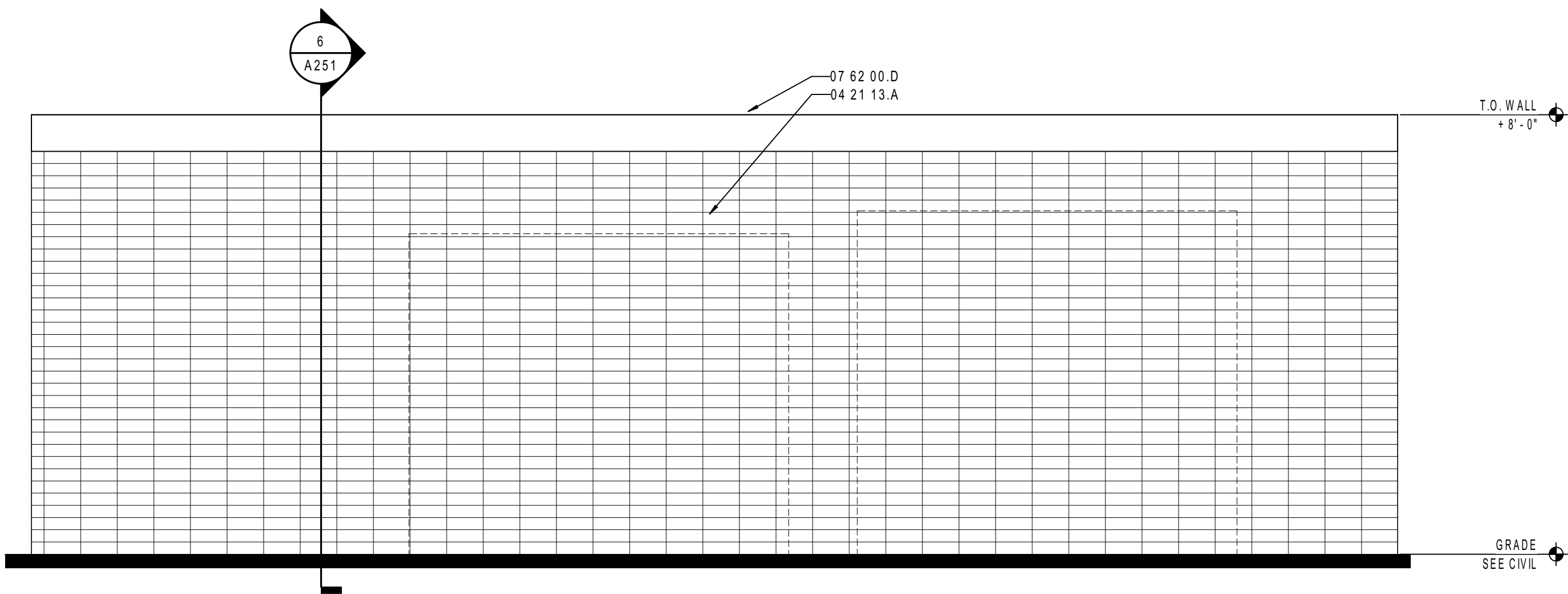
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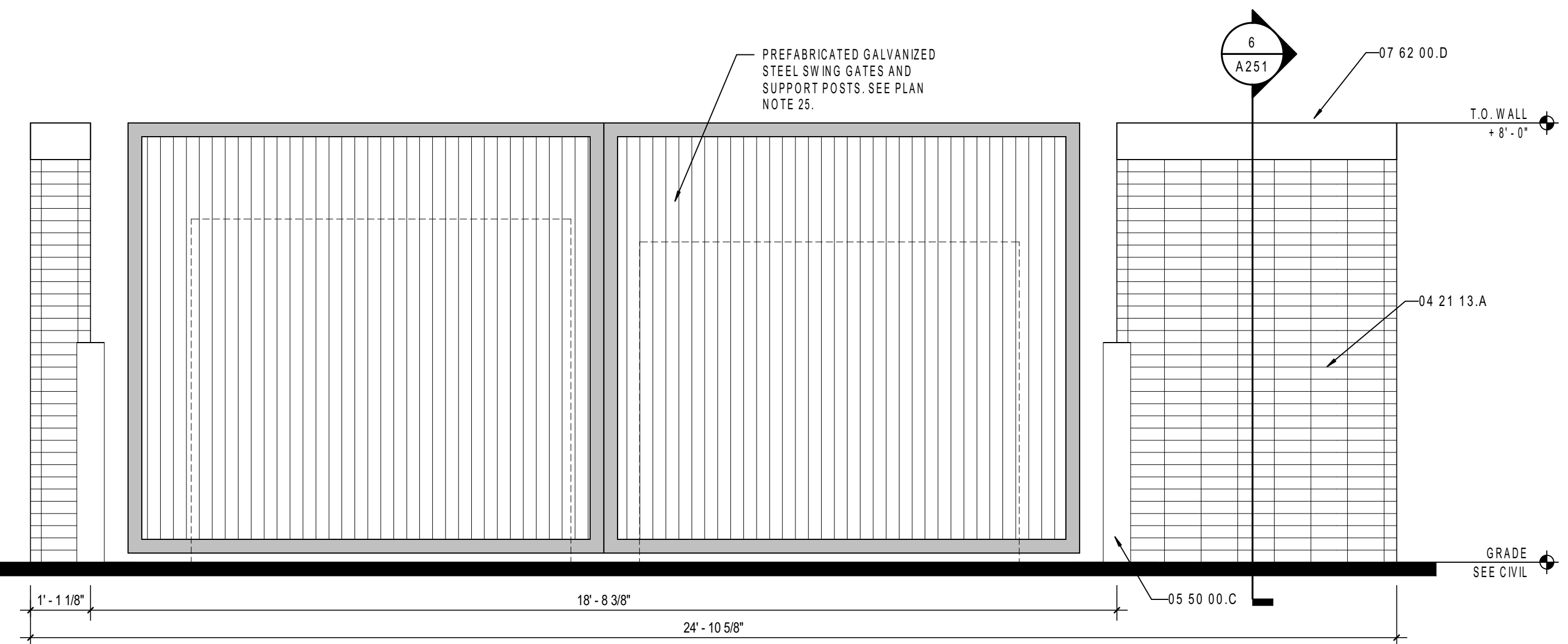
5 DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"



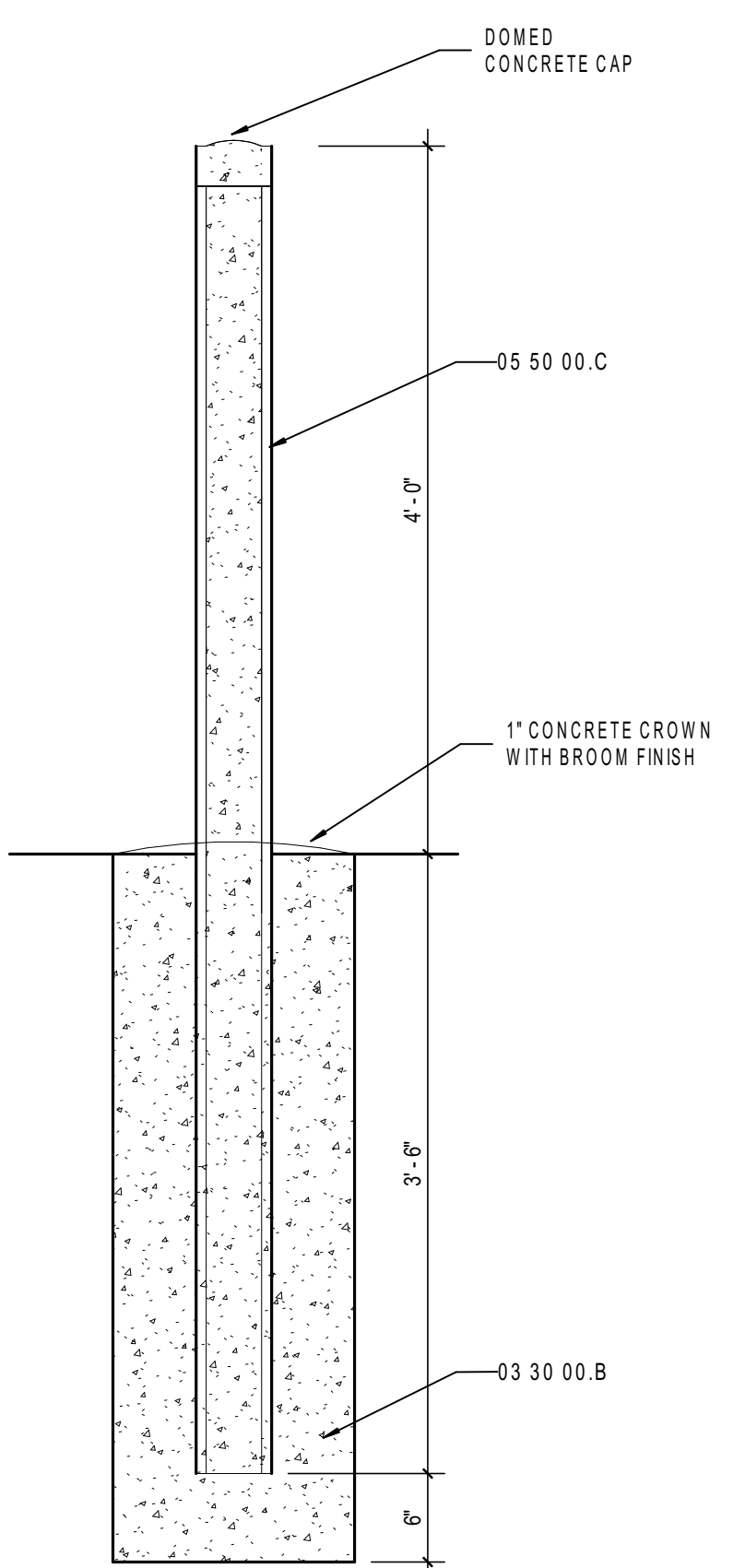
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SCALE: 1/2" = 1'-0"



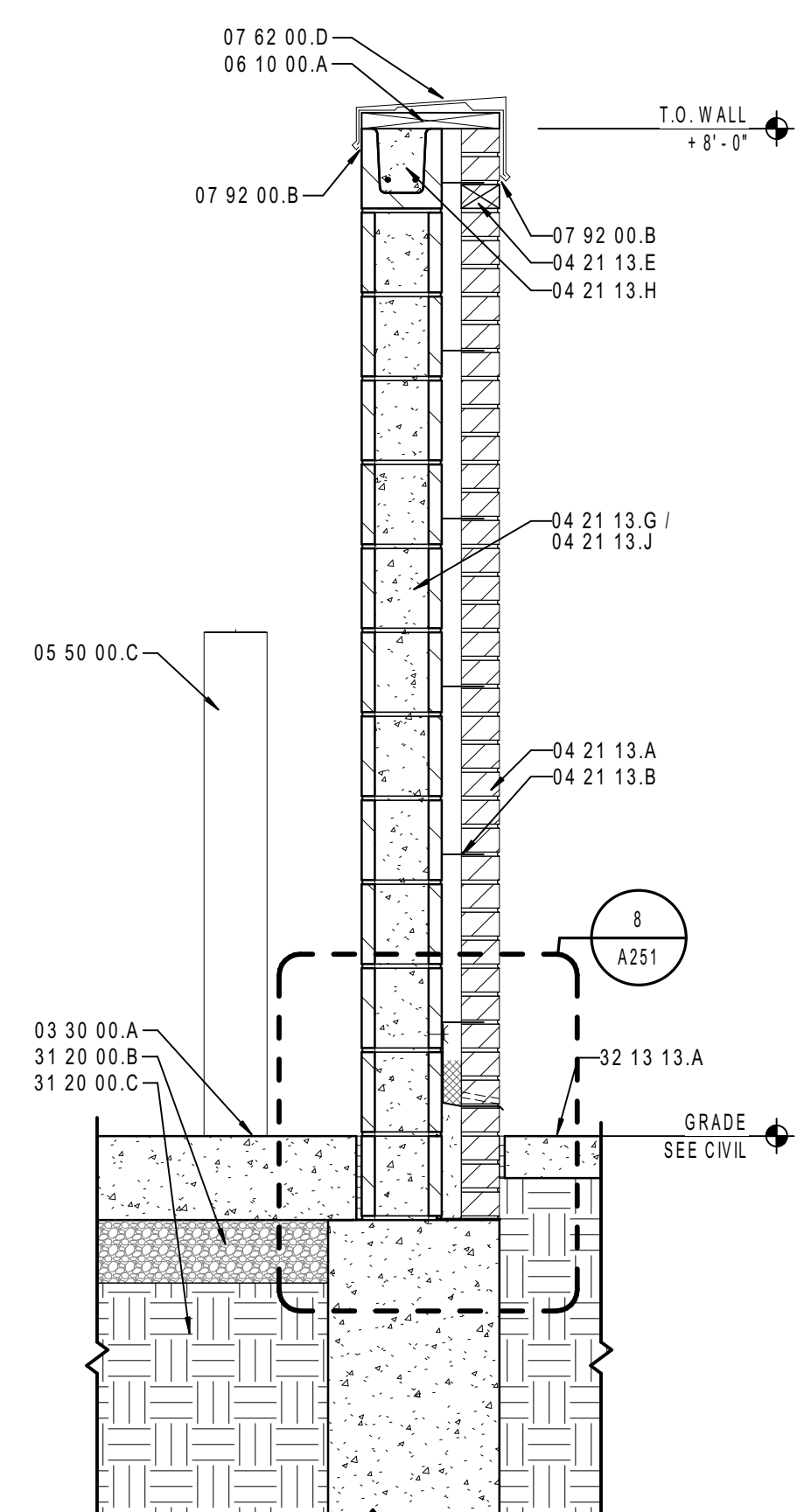
3 DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"



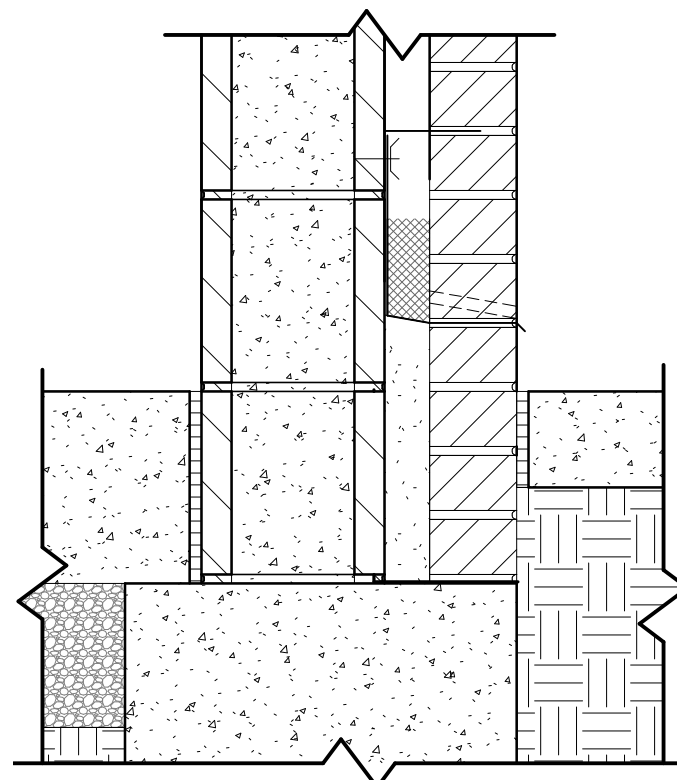
2 DUMPSTER ELEVATION
SCALE: 1/2" = 1'-0"



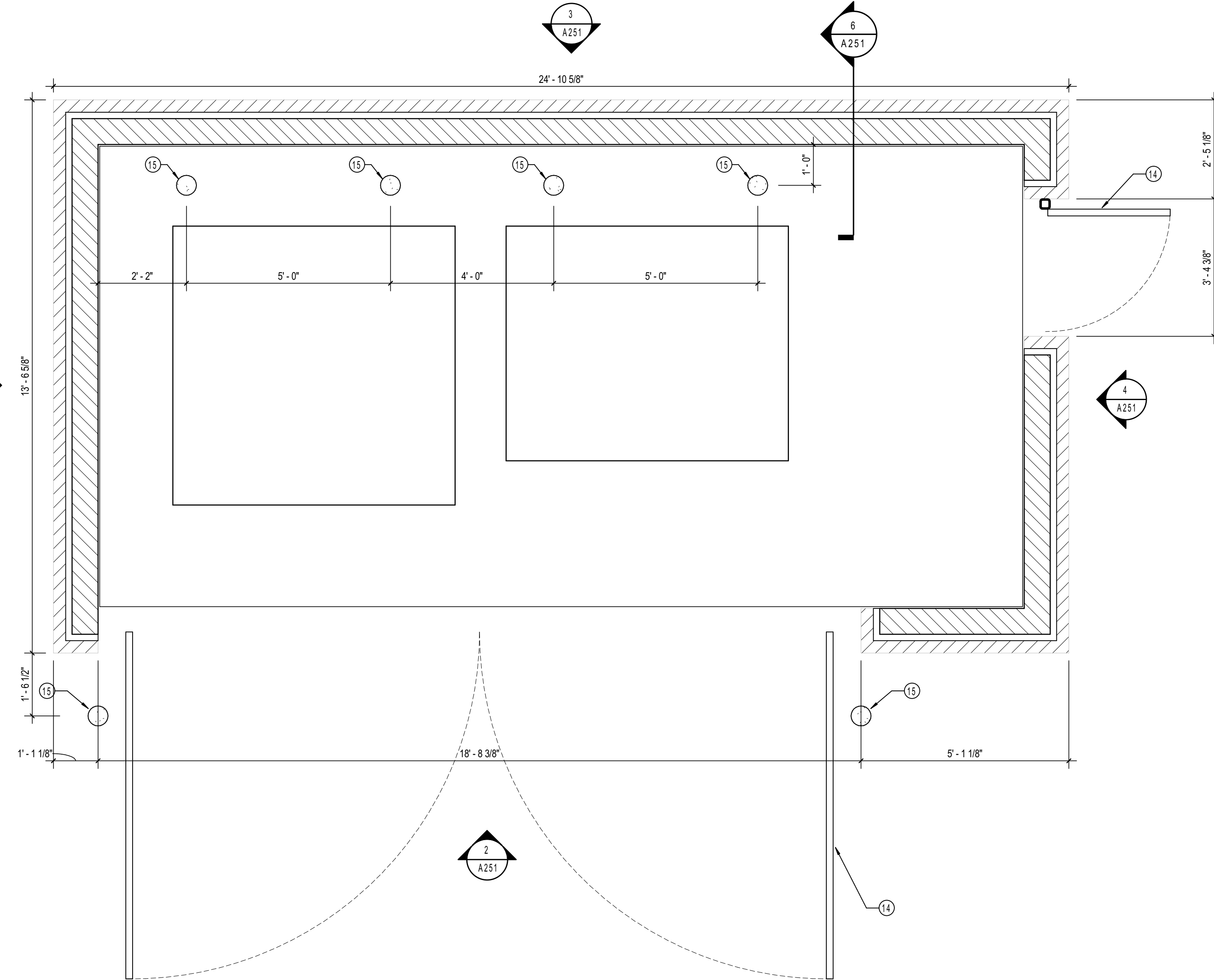
7 BOLLARD DETAIL
SCALE: 1" = 1'-0"



DUMPSTER ENCLOSURE - SECTION
SCALE: 3/4" = 1'-0"



8 SECTION DETAIL
SCALE: 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
SCALE: 1/2" = 1'-0"

PLAN NOTES

- ALIGN FINISH FACES.
- STANDARD ROOF DRAIN AND OVERFLOW DRAIN/LEADER LOCATION. SEE DETAIL 2/A204.
- JANITORS SINK. PROVIDE FIBERGLASS REINFORCED PLASTIC PANEL FROM TOP OF SINK TO BOTTOM OF FAUCET ON BOTH WALLS ADJACENT TO THE SINK. PROVIDE 30' LONG FLEXIBLE HOSE AND HOSE CLAMP. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
- SEMI-RECESSED FIRE EXTINGUISHER CABINET AND FIRE EXTINGUISHER. MOUNT TOP OF CABINET AT +48" A.F.F.
- WALL MOUNTED FIRE EXTINGUISHER.
- CONCRETE PAD UNDERNEATH ROOF INSULATION AND MEMBRANE.
- ROOF WALKWAY PADS.
- ROOF TOP MECHANICAL UNIT OR EXHAUST FAN LOCATION ON CURB. SEE MECHANICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- HATCH INDICATES AREA OF TAPERED INSULATION TO ACHIEVE POSITIVE DRAINAGE.
- CARD READER LOCATION.
- PROVIDE 3/4" FIRE RETARDANT PLYWOOD PHONE BOARD. PAINT WITH FIRE RETARDANT PAINT TO MATCH ADJACENT SURFACE.
- GUTTER AND DOWNSPOUT LOCATION.
- 30x36 ROOF HATCH AND OSHA LADDER. COORDINATE PLACEMENT WITH ROOF FRAMING - SEE STRUCT. DWGS. REF TO DETAILS 1/A204 AND 7/A451.
- PREFABRICATED GALVANIZED STEEL SWING GATES AND SUPPORT POSTS. GATES TO HAVE VERTICAL LOUVER INFILLS AND HEAVY DUTY SAFETY HASP AND CAME BOLTS.
- 6" DIAMETER STEEL PIPE BOLLARD (SEE DETAIL 7/A251).
- CANOPY ROOF DRAIN.
- BUILT-IN DISTILLED WATER BOTTLE FILLING STATION.

GENERAL NOTES

- ALL DIMENSIONS ARE FROM FACE OF STUD, OR FACE OF MASONRY. ANY DIMENSIONS NOT SHOWN OR DEEMED QUESTIONABLE ARE TO BE VERIFIED BY ARCHITECT/DESIGNER. DO NOT SCALE DRAWINGS.
- PROVIDE WOOD BLOCKING SUPPORTS AS REQUIRED FOR ALL SURFACE MOUNTED ITEMS.
- COORDINATE WORK OF THIS TRADE WITH OTHER TRADES.
- DOOR AND FRAME NUMBERS CORRESPOND TO ROOM NUMBERS. WHERE MORE THAN ONE DOOR OCCURS IN A ROOM, A SUFFIX HAS BEEN ADDED (I.E. 100a). SEE DIVISION 500 DRAWINGS FOR DOOR SCHEDULE.
- PROVIDE MISCELLANEOUS METAL SUPPORT FOR ALL CEILING SUSPENDED ITEMS.
- APPLY SEALANT AT ALL JUNCTURES BETWEEN DIFFERENT MATERIALS (I.E. STONE/FRONT AND PRECAST).
- APPLY SEALANT AT ALL PLUMBING FIXTURES AT JUNCTURE WITH WALL.
- APPLY SEALANT AT ALL COUNTERTOPS AND BACKSPLASHES AT JUNCTURE WITH WALL.
- ALL STEEL STUDS ARE TO BE BRACED ACCORDING TO MANUFACTURER'S LIMITING HEIGHT (L240).
- SEE DIVISION 800 DRAWINGS FOR FINISH PLAN AND SPECIFICATIONS.
- ALL INTERIOR WALLS SHALL BE MARKED IN PLACE PRIOR TO FRAMING FOR ARCHITECT/DESIGNER TO REVIEW.
- ALL DOORS MUST BE INSTALLED WITH AT LEAST THE MINIMUM MANEUVERING CLEARANCES AT THE DOOR APPROACH PER THE MOST CURRENT AMERICANS WITH DISABILITIES ACT.
- COLUMN WRAPS ARE TO BE WALL TYPE "WS" TYP. AND ARE TO EXTEND TO 6' ABOVE FUTURE CEILING UNLESS NOTED OTHERWISE.
- PROVIDE TAPERED INSULATED CRICKETS AS REQUIRED AT ALL ROOF MOUNTED ITEMS & MISC. PENETRATION TO ACHIEVE POSITIVE DRAINAGE.
- PROVIDE TPO WALKWAY PADS AROUND ALL ROOF TOP UNITS AND ALONG A PATH FROM ALL ROOF TOP UNITS TO THE ROOF ACCESS OPENING.

KEYNOTE LEGEND

03 30 00 A	CONCRETE SLAB (ON VAPOR BARRIER). REFERENCE STRUCTURAL DRAWINGS.
03 30 00 B	CONCRETE FOOTING. REFERENCE STRUCTURE DRAWINGS.
03 30 00 C	CONCRETE FOUNDATION. REFERENCE STRUCTURAL DRAWINGS.
03 30 00 D	CONCRETE TOPPING SLAB. REFERENCE STRUCTURAL DRAWINGS.
04 21 13 A	CONCRETE FACE BRICK.
04 21 13 B	FLEXIBLE ANCHOR w/ TRIANGULAR TIE @ 16" O.C. VERTICALLY AND 16" O.C. HORIZONTALLY ATTACHED DIRECTLY TO STUDS.
04 21 13 E	WEEP/VENTILATOR LOCATION. SEE SPECIFICATIONS FOR MAX. SPACING.
04 21 13 G	8x8x16 NOMINAL NORMALWEIGHT CONCRETE MASONRY UNIT.
04 21 13 H	8x8x16 NOMINAL NORMALWEIGHT CONCRETE MASONRY UNIT BOND BEAM.
04 21 13 J	GROUT SOLID.
05 12 00 A	STRUCTURAL STEEL FRAMING MEMBER. REF. STRUCTURAL DRAWINGS.
05 21 00 A	STEEL JOIST. REFERENCE STRUCTURAL DRAWINGS.
05 31 00 A	STEEL DECKING. REFERENCE STRUCTURAL DRAWINGS.
06 10 00 A	6" 18 GA. STEEL STUDS @ 16" O.C. CROSS BRACING AS REQD.
06 16 53 A	14" 18 GA. STEEL STUDS @ 16" O.C. CROSS BRACING AS REQD.
07 13 00 A	3 5/8" 18 GA. STEEL STUDS @ 16" O.C. CROSS BRACING AS REQD.
07 21 00 A	2 1/2" 18 GA. STEEL STUDS @ 16" O.C. CROSS BRACING AS REQD.
07 21 00 B	18 GA. CUP ANGLE.
07 27 26 A	VERTICAL LADDER w/ 1/2" x 2 1/2" FLAT BAR RAILS 18" APART w/ 3/4" DIA. NON-SLIP SPRINGS AT 12" O.C. AT LEAST 7" CLEAR FROM THE WALL.
07 42 16 A	ANCHOR WITH 1/2" x 2 1/2" L-SHAPED PLAT BRK AT 50" O.C. MAXIMUM.
07 42 17 A	MISCELLANEOUS STEEL. REFERENCE STRUCTURAL DRAWINGS.
07 42 17 C	PIPE BOLLARD, 6" DIA. HEAVY GAUGE STEEL PIPE.
07 42 43 A	STEEL FRAMED STAIR w/ CONCRETE FILLED METAL PAN TREAD AND RISER ANCHORED TO 12" CHANNEL STRINGER w/ "L" BRACKETS AND CONCRETE FILLED PLATFORM SUPPORTED BY "L" FRAMING MEMBER ANCHORED TO STRINGERS.
07 46 00 A	1 1/4" I.D. PIPE RAILING.
07 46 00 B	3/4" SQUARE STEEL PICKETS.
07 46 00 C	TREATED WOOD BLOCKING/MAILER.
07 46 00 D	1/2" EXTERIOR GYPSUM BOARD SHEATHING.
07 46 00 E	COLD FLUID APPLIED WATERPROOFING.
07 54 23 A	2" EXTRUDED POLYSTYRENE INSULATION.
07 54 23 B	CONTINUOUS INSULATION WALL PANEL - 3/4" EXTERIOR GRADE.
07 54 23 C	FIRE-TREATED PLYWOOD OVER 2" POLYISOCYANURATE INSULATION.
07 62 00 B	FLUID-APPLIED AIR AND WATER BARRIER MEMBRANE SYSTEM.
07 62 00 D	PREMANUFACTURED AND PREFINISHED METAL SIDING.
07 62 00 D	MECHANICALLY ATTACHED TPO FLEXIBLE SHEET ROOFING SYSTEM.
07 62 00 D	POLYISOCYANURATE ROOF INSULATION, MIN R20.
07 62 00 D	BUILT-UP INSULATION TO ACHIEVE POSITIVE DRAINAGE.
07 62 00 D	FLASHING WITH STAINLESS STEEL CLAMP RING.
07 62 00 D	PREFABRICATED ANCHOR PLATE.
07 62 00 D	30" 30" PREFABRICATED ROOF HATCH.
07 62 00 D	PERIMETER FIRE RESISTIVE JOINT SYSTEM.
07 62 00 D	SEALANT JOINT.
07 62 00 D	WATER CUT-OFF MASTIC.
07 62 00 D	HOLLOW METAL DOOR.
07 62 00 D	HOLLOW METAL DOOR FRAME.
07 62 00 D	ALUMINUM STOREFRONT.
07 62 00 D	ALUMINUM ENTRANCE WITH MEDIUM STYLE DOOR.
07 62 00 D	ALUMINUM CURTAINWALL.
07 62 00 D	CURTAINWALL ANCHORAGE AND ATTACHMENT MEMBER. ALLOW FOR THERMAL EXPANSION AND CONTRACTION.
07 62 00 D	ALUMINUM OUTRIGGER SUNSHADE SUPPORT FINISHED TO MATCH CURTAINWALL.
07 62 00 D	1/4" CLEAR TEMPERED GLASS.
07 62 00 D	1" INSULATING GLASS - REFERENCE ELEVATIONS FOR TYPE.
07 62 00 D	5/8" GYPSUM WALL BOARD.
07 62 00 D	3 5/8" x 22 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
07 62 00 D	2 1/2" x 22 GA. METAL STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
07 62 00 D	PAINTED FINISH.
07 62 00 D	FINISH GRADE.
07 62 00 D	DRAINAGE FILL.
07 62 00 D	COMPACTED EARTH.
07 62 00 D	CONCRETE SIDEWALK.

8831 Keystone Crossing, Indianapolis, IN 46240
317.248.7800 | c@csocnet

CSO

PROJECT: **SEP**
OFFICE BUILDING
PROJECT INFO
WESTFIELD, IN

SCOPE DRAWINGS:
These drawings indicate the general scope of the project. Items of construction shown are intended to be completed by the contractor. The drawings do not necessarily indicate or describe the work required for the performance and completion of the project. On the basis of the project scope indicated on drawings, the contractor shall furnish all items required for the proper execution and completion of the work.

REVISIONS:

ISSUE DATE	DRAWN BY	CHECKED BY
08/08/20	KRT	DWG

DRAWING TITLE:
TRASH ENCLOSURE PLANS, ELEVATIONS AND DETAILS

CERTIFIED BY:
NOT FOR CONSTRUCTION

DRAWING NUMBER
A251

PROJECT NUMBER
2020015



Petition Number: 2008-DDP-20

Project Name: SEP

Subject Site Address: Southwest Corner of 161st Street and Union Street (the “Property”)

Petitioner: Pure Development, Inc.

Representative: American Structurepoint

Request: Detailed Development Plan review of a new 70,000 square foot office building on 21.85 acres +/- in the LB: Local and Neighborhood Business District.

Current Zoning: LB District

Current Land Use: Vacant

Approximate Acreage: 21.85 +/-

Property History: Overall Development Plan & Primary Plat (2008-ODP-12 & 2008-SPP-12)
Secondary Plat (2008-SFP-48, *pending*)
Variance of Development Standard ([2007-VS-16](#), 07/14/20)
Variance of Development Standard ([2010-VS-33](#), 10/13/20)

Exhibits:

1. Staff Report
2. Location Map
3. Site Plan
4. Landscape Plan
5. Elevations

Staff Reviewer: Caleb Ernest, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
 - 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised primary plat and overall development plan have been submitted and reviewed.
 - 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Primary Plat and Overall Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
 - 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.***
 - 5) Abbreviations:
 - a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office
-

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.

- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
 - 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
 - 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
 - 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
 - 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.
 - 15) Location and dimensions of all existing structures and paved areas.
 - 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 17) Location of all Floodplain areas within the boundaries of the property.
 - 18) Names of legal ditches and streams on or adjacent to the site.
 - 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 20) Identify buildings proposed for demolition.
 - 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
 - 23) Misc.
-

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

Development Plans shall comply with and be reviewed by the Plan Commission upon finding that the Development Plan is in compliance with the following requirements:

24) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.

25) Compliance with all applicable provisions of any Overlay District in which the real estate is located.

a) US Highway 31 Overlay District:

i) Minimum Lot Size: Except as otherwise provided, 217,800 square feet.

(1) If a Lot was recorded prior to November 1, 1989, and said Lot does not contain the minimum area required by this Ordinance for Lots in the US31 Overlay, the, notwithstanding the minimum Lot Size requirements for Lots in the US31 Overlay, said Lot ("Undersize Lot") may be used for any use permitted in the US31 Overlay provided:

(a) At the time of recordation of the Undersized Lot or on the record date, the Undersize Lot met the requirements for minimum Lot Size then in effect for a Lot in the underlying Zoning District.

(b) The Property Owner of the Undersize Lot does not own any adjoining vacant Lot (not separated by a Street, Right-of-way or easement) which, if combined with the Undersized Lot, would create a Lot which conforms to the minimum Lot Size requirements of this Article.

(c) All other applicable regulations of the US31 Overlay can be met.

ii) Height and Area Requirements:

(1) Maximum Building Height: The maximum height shall not exceed fifty percent (50%) of the depth of the Front Yard. For purposes of this computation, where access to the Lot is by a Frontage Road or which is between the Lot and U.S. 31, the width of such Frontage Road shall be added to the depth of the Front Yard.

- (2) Minimum Building Height: 14 feet, to the highest point of the roof for a building with a flat roof; 23 feet to the lowest eaves for a building with a gable, hip or gambrel roof.
- (3) Minimum Front Yard:
 - (a) US Highway 31: 90 feet
 - (b) All others: 60 feet
 - (c) Determination of Front Yard: For purposes of applying the requirements of this Article, the front yard of each Lot in the US31 Overlay, including any Corner Lot, shall be deemed to be any Lot Line of the Lot which abuts the Right-of-way of US Highway 31 or any other Street or highway. Private Parking Areas may be located in the Front Yard so long as the nearest curb of any such Parking Area is not less than twenty (25) feet distant from the Principal Building(s).
- (4) Minimum Side Yard: 45 feet
- (5) Minimum Rear Yard: 45 feet
- (6) Minimum Aggregate of Side Yard: 90 feet
- (7) Minimum Lot Width: Shall be equal to or exceed one-half (0.5) the depth of the Lot.
 - (a) If a Lot was recorded prior to November 1, 1989, and said Lot does not meet the minimum Lot Width requirement for Lots in the US31 Overlay, then, notwithstanding the minimum Lot Width requirements for Lots in the US31 Overlay, said Lot may be used for any use permitted in the US31 Overlay provided:
 - (i) At the time of recordation of said Lot or the record date, said Lot met the requirements for minimum Lot Width then in effect for the underlying Zoning Districts.
 - (ii) The Property Owner of said Lot does not own any adjoining vacant Lot (not separated by a Street, Right-of-way or interfering easement) which, if combined with said Lot, would create a Lot which conforms to the minimum Lot Width requirements of this Article.
 - (iii) All other applicable regulations of the US31 Overlay can be met.

- (8) Minimum Aggregate Gross Floor Area: Multi-family, Commercial/ Business and Industrial uses: 15,000 square feet (excluding Basement).
- (9) Lot Coverage:
 - (a) If all buildings on the Lot contain an aggregate Gross Floor Area of less than 25,000 square feet, then thirty-five percent (35%) of the Lot.
 - (b) If all buildings on the Lot contain an aggregate Gross Floor Area of between 25,000 square feet and 74,999 square feet, then forty-five percent (45%) of the Lot.
 - (c) If all buildings on the Lot contain an aggregate Gross Floor Area of between 75,000 square feet and 150,000 square feet, then fifty-five percent (55%) of the Lot.
 - (d) If all buildings on the Lot contain an aggregate Gross Floor Area in excess of 150,000 square feet, sixty-five percent (65%) of the Lot.
- iii) Loading Berth Requirements: Shall be as specified in the underlying Zoning District, except that no loading or unloading berth or bay may be visible from US Highway 31; elsewhere in the development, such bays shall be completely screened by landscaping or other screening.
- iv) Landscaping: That portion of the Front Yard between the Front Lot Line and a line which is thirty (30) feet ("Greenbelt Distance") from and parallel to the Front Lot Line shall be landscaped in accordance with Article 6.8 Landscaping Standards and shall be unoccupied except by steps, walks, terraces, access driveways, lamp posts, signs and other similar structures (excluding a private Parking Area) permitted by this Ordinance to be placed in a Front Yard. Where access to the Lot is by way of a Frontage Road which is between the Lot and the US Highway 31, then the Greenbelt Distance shall be reduced by one-half (0.5) of the width of such Frontage Road; provided, however, that the Greenbelt Distance shall in no event be less than fifteen (15) feet. Inclusive of this landscaped portion of the Front Yard, a minimum of twenty percent (20%) of the Lot surface area shall be landscaped.
- v) Outside Storage of Refuse: No outside, unenclosed storage of refuse shall be permitted on any Lot. All refuse shall be contained in completely enclosed facilities; no refuse containers or enclosures shall be visible from US Highway 31.

- vi) Utility Screening: All heating, ventilating, communication and like equipment for any facility shall be completely screened from view in a manner that is homogenous with the balance of the building.
- vii) Architecture: In addition to any provisions that apply to the underlying Zoning District, the architectural plan of any building proposed to be built in the US31 Overlay must exhibit pleasing scale and proportion and demonstrate compatibility with other buildings and structures in the same and adjacent developments. A minimum of three (3) materials shall be used for building exteriors, and must include stone or brick. Buildings shall be designed with a minimum of eight (8) external corners to eliminate box buildings. Sloped roofs of one hundred (100) feet or more must include a gable, dormer or other change in roof plane.

Comment: Variance of Development Standard ([2007-VS-16](#)) modifies building materials, offsets and roof design to substantially comply with [Exhibit A](#).

- 26) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
- a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 27) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

The plans comply with [Article 4.14 \(LB District\)](#).

- | | |
|---------------------------|------------|
| 28) Minimum Lot Area: | No minimum |
| 29) Minimum Lot Frontage: | 50 feet |

30) Minimum Building Setback Line:

- a) Front Yard: 60 feet
- b) Side Yard: 15 feet
- c) Rear Yard: 20 feet

31) Maximum Building Height: 45 feet

32) Project Perimeter Setback: No structure shall be erected above the projected 1:3 Proximity Slope Line.

33) Building Size Requirements:

- a) Minimum Business Size: 800 square feet
- b) Maximum Business Size: 30,000 square feet*

Comment*: Variance of Development Standard ([2007-VS-16](#)) permits Maximum Business Size of no greater than 75,000 SF.

c) Maximum Aggregate of all

Buildings (within a single development): 90,000 square feet

DEVELOPMENT STANDARDS (Chapter 6 of UDO)

The plans comply as applicable to a Detailed Development Plan.

34) Accessory use and Building Standards (Article 6.1)

- a) Screening of Receptacles and Loading Areas: These standards shall apply to all garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas and other similar facilities in all Zoning Districts; however, these standards shall not apply to Single-family Dwellings:

- i) Garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas, loading areas and other similar facilities shall be completely and permanently screened from view of Rights-of-way and where possible, adjoining properties.
- ii) Enclosures shall not be located in an Established Front Yard or in any required Side or Rear Yard.*

Comment*: Variance of Development Standard ([2010-VS-33](#)) permits an Enclosure within an Established Front Yard Setback.

- iii) Screening methods shall include a solid enclosure on all sides not less than six (6) feet in height above grade or two (2) feet above the receptacle, whichever is greater. The solid enclosure shall be a Masonry Material that matches or complements the Principal Building.
- iv) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES.
- v) Enclosures shall be equipped with opaque gates, as illustrated in FIGURE 6.1(2): DUMPSTER ENCLOSURES, that shall not be oriented towards residential properties or the Right-of-way, where possible.
- vi) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal. Pedestrian access openings shall be substantially similar to those illustrated in FIGURE 6.1(3): DUMPSTER MAN-DOORS.
- vii) Enclosures, which include swinging, moveable doors, shall be kept closed at all times when said doors are not in active use.
- viii) Landscaping shall be provided around enclosures in accordance with Article 6.8 Landscaping Standards.

35) Architectural Standards (Article 6.3)

- a) Business Districts: All new nonresidential buildings or additions located within a Business District shall comply with the following:
 - i) Mechanical Screening: All roof and wall mounted Mechanical Equipment shall be visually integrated into the overall design of the Building and shall not be visible from adjoining Lots or Rights-of-way (including elevated trails and roadways). Clustering

of Mechanical Equipment is encouraged. Wall and ground-mounted equipment shall be screened in accordance with Article 6.8 Landscaping Standards.

ii) Building Materials:

(1) External Façades: Each Building Façade visible from a Street, oriented to an adjoining Residential District, or oriented to an alternative transportation corridor bearing a designation on the Thoroughfare Plan (collectively, "External Façade"), shall comply with the following:

- (a) Shall be one hundred percent (100%) Masonry Materials, excluding window, door, roofing, fascia and soffit materials; or
- (b) Shall incorporate two (2) or more building materials, excluding window, display window, door and roofing materials; provided, however, that a minimum of sixty percent (60%) of the Building Façade shall be Masonry Materials.

Comment: Variance of Development Standard (2007-VS-16) modifies building materials reducing the minimum from sixty percent (60%) to a range of ten to twenty percent (10-20%) Masonry Materials.

(2) All Other Façades: No more than twenty-five percent (25%) of all other Building Façades, exclusive of windows (including faux windows and glazing), doors and loading berths, may be covered with metal, Fiber Cement Siding, Polymeric Cladding, E.I.F.S., stucco, or vinyl exterior building materials.

(3) General Standards:

- (a) The exterior building material selection for all Building Façades shall be supplemented with: (i) the use of multiple colors, multiple textures (e.g., rough, smooth, striated, etc.); or (ii) the addition of architectural elements (e.g., quoins, pilasters, soldier courses, lintels, friezes, cornices, dentils, architraves, etc.).
- (b) No loading spaces, loading docks or oversized service doors shall be permitted on an External Façade, as defined herein; however, if all Building Façades are determined to be External Façades, then loading spaces, loading docks or oversized service doors may be permitted on the least visible External Façade if screened in accordance with the General Screening Standards of Article 6.8 Landscaping Standards.

- iii) Architectural Theme: Buildings and structures within a single development shall have complementary architectural themes.
- iv) Four-sided Architecture: All Building Façades visible from an adjacent Lot or Street shall be constructed with the same building material quality and level of architectural detail on all Building Façades (e.g., 360 degree architecture).

v) Building Elevations:

- (1) Horizontal Design: All Building Façades shall have a defined base or foundation, a middle or modulated wall, and a top formed by a pitched roof or articulated, cornice or moulding.
- (2) Wall Planes: Building Façades, which are ninety (90) feet or greater in length, shall be designed with offsets (projecting or recessed) at intervals of not greater than sixty (60) feet. Buildings less than ten thousand (10,000) square feet in Gross Floor Area shall be designed with offsets at interval of not greater than forty (40) feet. Offsets shall extend the entire vertical plane of the Building Façade and shall be a minimum depth of four (4) feet and a minimum aggregate length of twenty percent (20%) of the horizontal plane of the overall Building Façade. The offset may be met with setbacks of the Building Façade and/or with architectural elements (i.e., arcades, columns, ribs, piers, and pilasters), if such architectural elements meet the minimum offset requirements of this requirement.

Comment: Variance of Development Standard ([2007-VS-16](#)) modifies building offsets to substantially comply with Exhibit A.

- vi) External Wall Protrusions: Gutters, downspouts, vents, and other external wall protrusions shall be visually integrated with the architectural style of the structure. The color shall be selected to complement or to be consistent with the building materials.

vii) Roof Design:

- (1) Flat Roofs: Flat roofs shall comply with the following:

Comment: Variance of Development Standard ([2007-VS-16](#)) modifies the roof design to substantially comply with Exhibit A.

- (a) Flat roofs are permitted if edged by a parapet wall with an articulated, three-dimensional cornice or moulding.

- (b) Parapet walls shall be fully integrated into the architectural design of the building to create seamless design transitions between the main building mass and roof-mounted architectural elements (which may include screening elements for roof-mounted equipment).
 - (c) Modulation or variation of the roofs and/or roof lines shall be required in order to eliminate the appearance of box-shaped buildings.
 - (d) Flat roofs shall be prohibited for one-story buildings in the LB: Local and Neighborhood Business District, unless otherwise approved by the Plan Commission or Director after consideration of the building architecture, building context, and sensitivity to the residential character of the area.
- (2) General Standard: All visible vents, attic ventilators, turbines, flues and other visible roof penetrations shall be: (i) painted to match the color of the roof or flat black; and (ii) oriented to minimize their visibility from adjacent Lots and Streets.
- viii) Main Entrances:
 - (a) Building entrances shall be clearly defined and articulated by multiple architectural elements such as lintels, pediments, pilasters, columns, awnings, porticos and other design elements appropriate to the architectural style and details of the building as a whole.
 - (b) The location, orientation, proportion and style of doors shall complement the style of the building.
- ix) Windows:
 - (1) All window designs shall be compatible with the style, materials, color, details and proportion of the building. The number of window panes, the number of window openings, window trim and other architectural design elements designed to accent the windows shall be consistent with and complementary to the architectural style of the building.
 - (2) Window trim and other architectural design elements designed to accent the windows shall be required for all windows. Acceptable design elements include shutters, keystones, masonry arches, awnings, decorative stone frames, masonry rowlock frames, or other such trim or design elements as approved by the Plan Commission or Director.

x) Awnings:

- (1) Fixed or retractable awnings are permitted if they complement the building's architectural style, material, colors and details.
- (2) Awnings shall be made of a nonreflective material.
- (3) All awnings shall be kept in good repair.
- (4) Metal or aluminum awnings are prohibited.
- (5) Awnings used to comply with the architectural design requirements of this Ordinance shall not be removed unless the Building Façade would otherwise comply with such architectural design requirements without such awnings.

xi) Accessory Buildings: All Accessory Buildings shall be architecturally compatible with the Principal Building(s) with which they are associated.

36) Building Standards (Article 6.4)

37) Fence Standards (Article 6.5)

38) Height Standards (Article 6.6)

- a) Nonresidential Districts: In Business or Industrial Districts, the maximum Building height requirements of the Zoning District may be increased if buildings are set back from Lot Lines, one (1) foot for each two (2) feet of additional height above forty-five (45) feet, or the Zoning District's maximum Building Height, whichever is less.

39) Home Business Standards (Article 6.7)

40) Landscaping Standards (Article 6.8)

a) Preservation and Replacement of Trees:

- i) Tree Inventory: Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees in accordance with this Article. Tree inventories shall be required for those trees that are required by an ordinance or commitments to be preserved or that are to otherwise be credited pursuant to this Chapter. Tree inventories shall depict locations, sizes, and common names of existing trees and individual shrubs; areas containing dense trees or shrubs; and other natural site features.

- ii) Tree Preservation Plans: Tree preservation plans shall be submitted with site plans that detail locations, sizes, and common names of preserved trees; individual shrubs; areas of dense tree or shrub concentrations, and other natural features which are to be preserved or removed. No disturbance shall be permitted in the Critical Root Zones of preserved trees. Disturbances include trenching, backfilling, driving or parking equipment, and dumping trash, oil, paint, or other materials detrimental to plant health.
 - iii) Tree Preservation Easement: A tree preservation easement (see Article 8.3 Easement Standards) shall be required for trees identified for preservation and that are not otherwise protected by a landscape easement.
- b) General Landscaping Design Standards:
- i) Placement:
 - (1) Minimum Distance from Sidewalk and Curb: Trees shall be planted a minimum distance of four (4) feet from the edge of a Street curb or pedestrian pathway or sidewalk.
- c) General Screening Standards:
- i) Mechanical Screening: Wall and ground-mounted Mechanical Equipment for nonresidential or multi-family structures shall be completely screened from all ground-level viewpoints. Clearance for proper functioning of the equipment and access to the equipment for maintenance shall be incorporated into the design. Screening may be achieved by using either: (i) a wall or fence constructed of Masonry Material, wood, fiber cement, that is visually integrated to the adjacent building façade with a minimum height that fully screens the equipment; (ii) a solid evergreen screen with a combination of trees and shrubs; (iii) a combination of the aforementioned. (See also Article 6.3 Architectural Standards for roof-mounted equipment.)
- d) Detention and Retention Areas:
- i) Natural Appearances:
 - (1) Detention and Retention Areas shall be landscaped in a manner that replicates the natural form of ponds and shall include shade trees, ornamental trees, evergreens, shrubs, hedges, and/or other plantings (see also Minimum Lot Landscaping Requirements and Article 8.6 Open Space and Amenity Standards).
 - (2) Wetlands/aquatic vegetation planted around the wet perimeter of such areas should be utilized to further this design objective; however, if such plantings are utilized

for water quality control, then Landscape Plans shall be prepared and stamped by a licensed landscape architect.

- (3) Detention and Retention Areas shall be designed to be natural in appearance, with meandering edges.
 - (4) Location: Detention and Retention Areas should be located to enhance view sheds and incorporated as amenities to the development (see also Article 8.6 Open Space and Amenity Standards).
 - (5) Side Slopes: Side slopes above the water line for Retention Areas and water features shall not exceed 4:1. Side slopes above the water line for Detention Areas shall not exceed 4:1 and shall be graded to harmonize with the overall Open Space design of the site.
- e) Street Trees:
 - f) Minimum Lot Landscaping Requirements:
 - g) Foundation Plantings:
 - i) Plant materials shall be required intermittently (approximately every forty (40) feet) against long expanses (over eighty (80) feet) of Building Façades, fences, and other barriers to create a softening effect.
 - ii) Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet (Single-family Dwelling and Duplex Dwelling buildings are exempt from this requirement).
 - iii) The primary landscaping material used shall be ornamental trees, shrubs, and ornamental grasses. Groundcover plants may supplement the required plant materials. Plantings may be clustered to provide a more natural appearance and to accommodate vehicular and pedestrian access, loading and maintenance areas.
 - iv) Plantings shall be located within fifteen (15) feet of the Building Façade, fence or other barrier being softened, and shall occur within planting beds at least eight (8) feet in width.
 - h) External Street Frontage Landscaping Requirements:
 - i) Nonresidential Use:

- (1) A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any nonresidential development. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental trees and twenty-five (25) shrubs per one hundred (100) lineal feet. This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-way.
- i) Buffer Yard Requirements:
- i) Location: Buffer Yards shall apply along the entire length of all abutting Lot Lines where conflicting Zoning Districts are adjacent. If adjacent properties possess a mix of land uses, then the highest intensity use shall determine the required Buffer Yard. Buffer Yards shall not be required: (i) between uses within a Planned Unit Development District (unless the PUD District provides otherwise); (ii) internal to Subdivisions; or, (iii) adjacent to External Streets, rather, the External Street Frontage Landscaping Requirements set forth herein shall apply adjacent to External Streets.
- j) Parking Area Landscaping:

Number of Parking Spaces	% of Parking Area to be Islands
0 to 4	0%
5 to 24	5%
25 to 49	7.5%
50 or more	10%

- i) Interior Parking Area Landscaping:
- (1) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred (100) percent of every island shall be covered with permitted Groundcover material to achieve complete coverage.
- ii) Perimeter Parking Area Landscaping:
- (1) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include:
 - (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner.
 - (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner.

(c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

41) Lighting Standards (Article 6.9)

- a) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines. [It should be understood that, with all of these measurements, light will still be visible at or beyond Lot Lines.]

42) Lot Standards (Article 6.10)

43) Outside Storage and Display (Article 6.12)

44) Outdoor Café and Eating Areas (Article 6.13)

45) Parking and Loading Standards (Article 6.14)

- a) Off-street Parking:

- i) Required Spaces:

- (1) Professional and General Service Offices: One (1) space per each three hundred (300) square feet of assignable office area.

- b) Bicycle Parking:

- i) A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.

46) Performance Standards (Article 6.15)

47) Setback Standards (Article 6.16)

48) Sign Standards (Article 6.17)

49) Vision Clearance Standards (Article 6.19)

50) Yard Standards (Article 6.21)

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

51) Easement Standards (Article 8.3)

52) Monument and Marker Standards (Article 8.5)

53) Open Space and Amenity Standards (Article 8.6)

54) Pedestrian Network Standards (Article 8.7)

a) Internal Pedestrian Network Standards:

b) Perimeter/External Pedestrian Network Standards:

55) Storm Water Standards (Article 8.8)

56) Street and Right-of-Way Standards (Article 8.9)

57) Surety Standards (Article 8.12)

58) Utility Standards (Article 8.13)



Westfield–Washington Township Advisory Plan Commission
Minutes of the October 5, 2020 APC Meeting
Presented for approval: October 19, 2020

Westfield-Washington Advisory Plan Commission (APC) held a meeting on Monday, October 5, 2020 scheduled for 7:00 p.m. in-person and online via Skype.

ROLL CALL: Noted presence of a quorum.

Members Present: Kristen Burkman, Randy Graham, Robert Horkay, Mike Johns, Ginny Kelleher; Andre Maue, Victor McCarty, and Dave Schmitz.

Members Absent: Cindy Spoljaric.

City Staff Present: Kevin Todd, Director; Pam Howard, Senior Planner; Daine Crabtree, Associate Planner; Corey Harris, Associate Planner; and Scott Frissell with Krieg DeVault.

APPROVAL OF MINUTES

Motion: McCarty motioned to approve the September 8, 2020 meeting minutes as written. Maue seconded. Motion passed. Vote 8-0.

REVIEW OF RULES AND PROCEDURES

Howard reviewed the modified public meeting rules and procedures.

CONSENT AGENDA

No Consent Agenda Items

ITEMS OF BUSINESS

2009-PUD-10

Osborne Trails PUD Amendment II

NE Corner of 191st Street and Horton Road

HQ2 by Clark, Quinn, Moses, Scott & Grah, LLP requests an Amendment to the Osborne Trails PUD to accommodate an Agritourism Use on 25.41 acres+/-.

(Planner: Pam Howard ▪ phoward@westfield.in.gov)

Howard overviewed this request for an amendment to the Osborne Trails PUD. She said that since this item's public hearing that some changes had been made to the petition including an update to the site plan and character exhibits.

Russell Brown with Clark, Quinn, Moses, Scott & Grah, LLP, on behalf of the Petitioner David McIntire, a co-founder of West Fork Distillery, summarized the updates made to this request. He addressed the possible reuse of the primary building.

McIntire addressed the Commission regarding the changes made to the plan based on comments received as well as the need for light industrial use for financing purposes.

Burkman thanked the Petitioner for making the requested changes and asked if the light industrial use would be permitted for the primary building only. She also asked for clarification on additional buildings within the zoning district.

- Howard replied only distillery related uses would be permitted elsewhere on the property.

McCarty stated that he appreciated the architectural changes.

Johns agreed with Burkman's comments and asked Staff how the other buildings could be reused.

- Howard replied that the local business use would apply.

Johns asked Staff about the agritourism definition and the use of a working farm.

- Howard replied that the Petitioner intends to grow some corn and use it for the distillery,
- Brown said that the accessory uses fall within agritourism use.

Kelleher said she appreciated the changes made, would like a change in use to require director or council approval. She said that this PUD did not require substantial compliance with concept plan and asked if that could be added?

- Brown replied that the substantial compliance language would be added to this PUD.

Motion: McCarty motioned to forward 2009-PUD-10 to the City Council with a positive recommendation along with the following conditions:

- The time for music to start changed to 8:00 a.m.
- Add language to the PUD requiring substantial compliance with concept plan.

Schmitz seconded. Motion passed. Vote 8-0.

PUBLIC HEARING ITEMS

2010-PUD-12

[PUBLIC HEARING]

Belle Crest PUD

NW Corner of Shady Nook Road & E. 186th Street

Drees Premier Homes, Inc. by Church, Church, Hittle + Antrim requests a change of zoning for approximately 20 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Belle Crest Planned Unit Development (PUD) District.

(Planner: Daine Crabtree ▪ dcrabtree@westfield.in.gov)

Crabtree overviewed this request for a change of zoning. He said that a neighborhood meeting was held and that Staff had received two comments. He added that the comments and a summary of neighborhood meeting had been made available to the Commissioners.

Matt Skelton with Church, Church, Hittle + Antrim, on behalf of the Petitioner, summarized this project and the areas wide array of home styles. He said these would be paired owner occupied homes.

The Petitioner Randy McNutt, with Drees Homes, presented an overview of Drees Homes and its history. He said this proposed project is a new product to the area. He said that this product meets some specific needs that are desired by potential buyers.

Skelton said this development is supported in the Comprehensive Plan. He addressed comments from the City Council introduction and that they are addressing those comments. He also addressed the comments regarding drainage, light pollution, landscaping that were heard at the neighborhood meeting and how the issues would be managed. He said that the Petitioner had been working with existing neighbors regarding landscaping. He said that the existing tree line along the entire south border of the property will be preserved and dedicated to the City.

Public Hearing for 2010-PUD-12 opened at 7:44 p.m.

Jim Snyder, 18595 Cross Lakes Court; asked about drainage, and also said he was concerned about traffic on Shady Nook and 191st Street. He asked if the project would actually be a 55 and older or empty nester or multi-generational community.

Patrick O'Brien Bassett, 18594 Cross Lakes Court; asked how this project would affect nearby property values. He also stated he was concerned about traffic and possible drainage/basement flooding.

Bethany Drow, 18530 Cross Lakes Court; said she wanted this project to remain single family. She added that she was concerned about drainage and traffic.

Chad Fogarty, 18559 Lakes End Court; asked if 186th Street would be extended. He asked if the City was equipped for this type of density and all the traffic.

An email was read by Howard from Linda Nass regarding question on 186th street completed from Shady Nook to Grassy Branch.

- City Engineer John Nail said 186th Street is shown on the thoroughfare plan, but the City does not plan to construct that street and will remove it in the thoroughfare plan update. He said improving 191st Street may be more beneficial.

Public Hearing for 2010-PUD-12 closed at 7:53 p.m.

Kelleher mentioned wanting a more thorough landscape plan, which it sounds like the petitioner will be providing that.

Burkman, asked if they had reached out to AG-SF1 neighbor to north about what their buffer would be. She said that issue needs to be in writing and that the architectural standards need to be tightened and show side and rear elevations.

Johns asked where to the west would the water drain and had the Petitioner talked to that land owner. He said he had concerns about density.

Schmitz asked for clarification of the status of an age restricted community.

McCarty said he shared the concerns that had been stated.

Petitioner responses:

- In regard to drainage, Skelton said that there is an arrangement in place with the property owner to west to regrade their property for a pond and then the water will go west from there into a ditch along Grassy Branch. In response to increased traffic he said they will be installing passing blisters on Shady Nook.
- Skelton said he would discuss tree preservation with his client. He also said they would look at architectural standards as well.
- McNutt stated that 80-85% of buyers would not have children, he has seen some singles with children, and that 60% would be two-person households, 40% one-person households. He said that the community would not be age-restricted
- Skelton said the homes would have limitation on what could be done outside of homes.

2010-PUD-13
[PUBLIC HEARING]

Carramore PUD

Northwest corner of Horton Road and East 199th Street

Drees Premier Homes, Inc. by Church Church Hittle + Antrim requests a change of zoning for 40.0 acres +/- in the AG-SF1: Agriculture / Single-family Rural District to the Carramore PUD.

(Planner: Corey Harris ▪ charris@westfield.in.gov)

Harris overviewed this request for a change of zoning. He said that a neighborhood meeting was held and that a summary of neighborhood meeting had been made available to the Commissioners. He said that Staff had received no public comments.

Matt Skelton with Church, Church, Hittle + Antrim, on behalf of the Petitioner, summarized this project. He shared the concept plan and touched upon the similarity of this project to Drees' Wilshire neighborhood. He said all streets would be networked with trails. He said quite a bit of the project's frontage is heavily wooded and they plan to preserve that area. He said a detailed landscaping plan was being created.

He addressed comments from the City Council introduction and that they are addressing those comments. He also addressed the comments regarding the rear elevations facing Horton Road. He said there was a sunset provision added for the three PUDs he would be presenting.

Public Hearing for 2010-PUD-13 opened at 8:13 p.m.

No public comments.

Public Hearing for 2010-PUD-13 closed at 8:15 p.m.

McCarty mentioned that many trees had been removed along Horton, and that should be taken into consideration. He said he is always in favor of less lots and had concerns about status of roads.

Johns mentioned that was an infill project and that he was glad to see Drees in Westfield. He said he looked forward to seeing landscaping plans.

Burkman asked about the lack of amenities for kids. She said she was concerned that the architectural standards were too broad and that she would like to see them tightened up. She said she was concerned about rear-facing homes on Horton Road and she would also like to see the side and rear elevations.

Kelleher said she agreed with the others' comments. She said she would like to see houses face the road and if not, then add good buffering.

Graham said he was very pleased glad to see Drees building in Westfield.

Burkman said Liberty Ridge did a good job of making rear of homes of look good.

**2010-PUD-14
[PUBLIC
HEARING]**

Courtyards of Westfield PUD

SWC of 151st Street and Towne Road

Epcon Communities, LLC by Church, Church, Hittle + Antrim requests a change of zoning for 33.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Courtyards of Westfield Planned Unit Development (PUD) District.

(Planner: Pam Howard ▪ phoward@westfield.in.gov)

Howard overviewed this request for a change of zoning. She said that a neighborhood meeting was held and that a summary of neighborhood meeting had been made available to the Commissioners along with one comment that was received by Staff.

Matt Skelton with Church, Church, Hittle + Antrim, on behalf of the Petitioners Mike Gould and Jason Coffey with Epcon Communities, LLC, summarized this empty nester, active adult proposal. He shared the site plan and pointed out the project's proximity to several other neighborhoods/projects.

Coffey shared information about Epcon Communities, LLC and the buyers that they about target. He said that there are currently two franchise Epcon communities in Westfield. He said this proposal would built by Epcon's Corporate Division and would comprised of single detached homes. He said

that this proposed aged-targeted community would have a club house, pool, private courtyards, and uniform lawn landscaping and maintenance provided.

Skelton shared the concept plan and how the placement of the homes form a courtyard. He said they had met with neighbors and would continue to do so.

Public Hearing for 2010-PUD-14 opened at 8:32 p.m.

Tina Laufter, 2702 West 146th Street; said she wanted to request a 60-foot buffer with mound, an unclimbable fence, and plantings. She said she would like a buffer similar to that in Westchester. She said that the buffer would be for the safety of the new residents because of old barn and silo on her property and it would also help preserve the character of her home.

Public Hearing for 2010-PUD-14 closed at 8:36 p.m.

McCarty said he agreed with Laufter's concerns about buffer and would like to see it expanded to the Miller property to protect new residents from noise on existing properties. He asked if the neighbors to the south have been generally in favor of this project.

- Skelton replied that residents have been accepting of the proposal.

Kelleher agrees with the other comments, and said that normally a "B" buffer would be required. She said what they were proposing is less and thinks it should be increased. She stated she likes the pocket parks along pipeline. She said that previous experiences working with Epcon had been good.

Burkman asked about the architecture as she wanted to make sure it would be in context with neighbors. She said she will send other comments. She asked if the Petitioner was committing to pickle ball. She suggested a fire pit or a sitting area in the green space. She said she agreed with other comments regarding the buffering for the neighbors.

Johns said he liked the project and that he thought this will complement Del Webb and feels it might sell quicker. He said he was glad to see the amenities planned for beginning of project and built early.

McCarty said he agreed with Johns.

Kelleher asked if all homes would be connected or would some have space in between

- Skelton replied that would be space between some for utilities.

ITEMS CONTINUED TO A FUTURE MEETING

2007-PUD-07
[CONTINUED]

Bridgewater PUD Amendment (Culver's)

14631 North Gray Road

K&J Acquisitions, LLC by Church, Church, Hittle, + Antrim requests an amendment to the Bridgewater PUD to accommodate a new Fast Food Restaurant.

(Planner: Pam Howard ▪ phoward@westfield.in.gov)

2008-PUD-09
[CONTINUED]

Northpoint II PUD

North side of SR 38 between Anthony Road and Hinkle Road

Northpoint Owners, LLC by Clark, Quinn, Moses, Scott & Grahm, LLP requests a change of zoning for 183.5 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Northpoint II PUD District.

(Planner: Pam Howard ▪ poward@westfield.in.gov)

2009-PUD-11
[CONTINUED]

Woods Robinson Briggs PUD

North side of 191st Street, West of Tomlinson Road

EdgeRock Development, LLC requests a change of zoning for approximately 157 acres +/- from the AG-SF1: Agriculture/Single-Family Rural District to the Woods Robinson Briggs Planned Unit Development (PUD) District.

(Planner: Daine Crabtree ▪ dcrabtree@westfield.in.gov)

REPORTS/COMMENTS

- Plan Commission Members
- City Council Liaison
- Board of Zoning Appeals Liaison
- Community Development Department

ADJOURNMENT

Motion: Adjourn Meeting

Motion: Graham; Second: Horkay.

Motion passed. Vote: 8-0.

Meeting adjourned at 8:45 p.m.

Randell Graham, President

Ginny Kelleher, Vice President

Kevin M. Todd, Secretary