



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Agenda - 2/18/2025
Tuesday, February 18, 2025 at 7:00 PM

BOARD OR COMMISSION: Advisory Planning Commission Meeting

MEETING DATE: Tuesday, February 18, 2025 at 7:00 PM

MEETING PLACE: Westfield City Services Center - Main Level Meeting Room

THE FOLLOWING AGENDA IS SUBJECT TO CHANGE AT THE DISCRETION OF ADVISORY PLANNING COMMISSION

Public input can be submitted in 1 of 2 ways:

- Submit comments via email to planners@westfield.in.gov (Include petition number in the subject line.)
- Attend the meeting at Westfield City Hall for an opportunity to participate and publicly comment on a public hearing.

****A quorum of the Common Council may be present****

[Online Viewable](#)

OPENING OF REGULAR MEETING

Note the presence of a quorum

Announce any changes to Agenda

Approval of Minutes - January 21, 2025 & February 3, 2025

Review Rules of Procedure

CONSENT AGENDA

2410-DDP-31

Family Express

1527 West 146th Street

Family Express Corporation by Fritz Engineering Services, LLC requests Detailed Development Plan review for a 5,800 square foot Gasoline Service Station on 2.61 acres +/- in the Harmony Planned Unit Development (PUD) District.

(Planner: Weston Rogers - wrogers@westfield.in.gov)

2501-DDP-02

Westfield Operations Center

Generally located at 17303 Ditch Road.

Westfield Washington Multi-School Building Corp. by Schmidt Associates, Inc. request Detailed Development Plan review for a new Schools operations development on 35.9 acres +/- in the Maple Knoll PUD District.

(Planner: Ryan Collingwood - rcollingwood@westfield.in.gov)

ITEMS OF BUSINESS

No items.

WORKSHOP ITEMS

No items.

ITEMS CONTINUED TO A FUTURE MEETING

2408-PUD-19

Finley Creek Estates Planned Unit Development (PUD)

Generally, 720 ft east of Freemont Moore Road and 2,100 ft north of West 193rd Street.

Silverthorne Homes requests a change of zoning for 44.31 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Finley Creek Estates Planned Unit Development (PUD) District.

(Planner: Weston Rogers - wrogers@westfield.in.gov)

2412-PUD-27

Park + Poplar Planned Unit Development (PUD)

Generally, the southeast corner of Park Street and Poplar Street (Westfield Blvd).

Old Town Companies, LLC by Nelson & Frankenberger, LLC requests a change in zoning for 10.61 acres +/- from the GB: General Business, EI: Enclosed Industrial, Grand Millennium Center Planned Unit Development (PUD), and Grand Junction Plaza PUD districts to the Park + Poplar PUD District.

(Planner: Lauren Gillingham-Teague - lgillingham@westfield.in.gov)

2501-PUD-01

Grand Millennium Center, Planned Unit Development (PUD) Amendment IV (Ord. 24-71)

Generally located on the West-side of Westfield Boulevard., about 1/4 of a mile South of the Poplar & Park intersection;

Grand Millennium Development, LLC by CRG

Residential requests an amendment to the Grand Millennium Center PUD to modify Maximum Density standards and to implement an updated Concept Plan and Character Exhibits on 17.1 acres +/- within the Grand Millennium Center PUD District.

(Planner: Ryan Collingwood - rcollingwood@westfield.in.gov)

2502-PUD-02

Lantern Commons PUD Amendment I

16172 Westfield Blvd

Andmore Partners, Inc by Church Church Hittle + Antrim requests an amendment to the standards for Area D of the Lantern Commons Planned Unit Development (PUD) District to accommodate a hotel.

(Planner: Lauren Gillingham-Teague - lgillingham@westfield.in.gov)

REPORTS/COMMENTS

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Plat Committee Liaison

Community Development Department

ADJOURNMENT

Adjourn



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Minutes - 1/21/2025
Tuesday, January 21, 2025 at 7:00 PM

Online viewable @ <https://www.youtube.com/user/CityofWestfieldIN>

****A quorum of the Common Council may be present****

OPENING OF REGULAR MEETING

7:00 p.m.

[YouTube Time: 0:01](#)

Note the presence of a quorum

Commissioners Members Present In-Person: Mike Neal, Mark Keen, Ryan Mooney, Victor McCarty, Billy Bunkowfst, Stephanie Carlson, Chris Woodard.

Commissioners Present Virtually: None.

Commissioners Absent: Omar Khan, Robert Horkay.

City Staff Present In-Person: Kevin Todd, Director; Weston Rogers, Senior Planner.

City Staff Present Virtually: None.

Legal Counsel Present: None.

Legal Counsel Present Virtually: Sydney Darnall with Taft Stettinius & Hollister LLP.

Announce any changes to agenda

APC Appointment - Board of Zoning Appeals

Motion: Appointment of Dr. Mark Keen to Board of Zoning Appeals

By: William Bunkowfst

Seconded: Chris Woodard

Yes: Michael Neal, Mark Keen, Stephanie Carlson, Victor MCCarty, William Bunkowfst, Ryan Mooney, Chris Woodard

No: None

Abstain: None

Motion Determination: Passed

Approval of Minutes - January 14, 2025

Motion: Approve

By: Victor MCCarty

Seconded: Stephanie Carlson

Yes: Michael Neal, Mark Keen, Stephanie Carlson, Victor MCCarty, William Bunkowfst, Ryan Mooney, Chris Woodard

No: None

Abstain: None

Motion Determination: Passed

Review Rules of Procedure

Rogers reviewed APC rules and procedures.

CONSENT AGENDA

No Consent Agenda items.

ITEMS OF BUSINESS

No Items of Business.

WORKSHOP ITEMS

2412-PUD-28

Grand Universe Planned Unit Development (PUD) Amendment

Generally, between 186th Street and 191st Street east of the Monon Trail.

Grand Universe Development Partners, LLC by Taft Law requests a change in zoning for 66 acres +/- from the Links Planned Unit Development (PUD) District to the Grand Universe Planned Unit Development District (PUD).

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

[YouTube Time: 3:34](#)

Staff presentation / Petitioner Presentation / APC Comments & Questions / Petitioner Responses / General Discussion

2408-PUD-19

Finley Creek Estates Planned Unit Development (PUD)

Generally, 720 ft east of Freemont Moore Road and 2,100 ft north of West 193rd Street.

Silverthorne Homes requests a change of zoning for 44.31 acres +/- from the AG-SF1: Agriculture / Single-family Rural District to the Finley Creek Estates Planned Unit Development (PUD) District.

(Planner: Weston Rogers - wrogers@westfield.in.gov)

[YouTube Time: 37:21](#)

Staff presentation / Petitioner Presentation / APC Comments & Questions / Petitioner Responses / General Discussion

Suspend APC Rules of Procedure Article 9 (Administrative Dismissal), Section 1B to set extension to end-of-business on March 3, 2025.

Motion: Suspend Rules of Procedure & Set Extension to March 3, 2025

By: Stephanie Carlson

Seconded: Mark Keen

Yes: Michael Neal, Mark Keen, Stephanie Carlson, Victor MCCarty, William Bunkowfst, Ryan

Mooney, Chris Woodard
No: None
Abstain: None

Motion Determination: Passed

ITEMS CONTINUED TO A FUTURE MEETING

2412-PUD-27

Park + Poplar Planned Unit Development (PUD)

Generally, the southeast corner of Park Street and Poplar Street (Westfield Blvd).

Old Town Companies, LLC by Nelson & Frankenberger, LLC requests a change in zoning for 10.61 acres +/- from the GB: General Business, EI: Enclosed Industrial, Grand Millennium Center Planned Unit Development (PUD), and Grand Junction Plaza PUD districts to the Park + Poplar PUD District.

(Planner: Lauren Gillingham-Teague - lgillingham@westfield.in.gov)

2501-PUD-01

Grand Millennium Center, Planned Unit Development (PUD) Amendment IV (Ord. 24-71)

Generally located on the West-side of Westfield Boulevard., about 1/4 of a mile South of the Poplar & Park intersection;

Grand Millennium Development, LLC by CRG

Residential requests an amendment to the Grand Millennium Center PUD to modify

Maximum Density standards and to implement an updated Concept Plan and Character Exhibits on 17.1 acres +/- within the Grand Millennium Center PUD District.

(Planner: Ryan Collingwood - rcollingwood@westfield.in.gov)

REPORTS/COMMENTS

[YouTube Time: 1:31:51](#)

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Plat Committee Liaison

Community Development Department

ADJOURNMENT

Adjourn

Adjournment 8:42 p.m.

Motion: Adjourn

By: Victor MCCarty

Seconded: Chris Woodard

Yes: Michael Neal, Mark Keen, Stephanie Carlson, Victor MCCarty, William Bunkowfst, Ryan

Mooney, Chris Woodard

No: None

Abstain: None

Motion Determination: Passed



CITY OF WESTFIELD, IN
Advisory Planning Commission Meeting Minutes - 2/3/2025
Monday, February 3, 2025 at 7:00 PM

****A quorum of the Common Council may be present****

Online viewable @ <https://www.youtube.com/user/CityofWestfieldIN>

OPENING OF REGULAR MEETING

[YouTube Time: 0:01](#)

7:00pm

Note the presence of a quorum

Commissioners Members Present In-Person: Robert Horkay, Mike Neal, Omar Khan, Victor McCarty, Billy Bunkowfst, Stephanie Carlson.

Commissioners Present Virtually: None.

Commissioners Absent: Mark Keen, Ryan Mooney, Chris Woodard.

City Staff Present In-Person: Kevin Todd, Director; Daine Crabtree, Current Planning Manager; Lauren Gillingham, Senior Planner.

City Staff Present Virtually: None.

Legal Counsel Present: None.

Announce any changes to Agenda

Approval of Minutes - January 21 2025 (will be approved at February 18 APC meeting)

Review Rules of Procedure

Crabtree reviewed APC rules and procedures.

CONSENT AGENDA

No items

ITEMS OF BUSINESS

2412-PUD-28 [ITEM OF BUSINESS]

Grand Universe Planned Unit Development (PUD) Amendment

Generally, between 186th Street and 191st Street east of the Monon Trail.

Grand Universe Development Partners, LLC by Taft Law requests a change in zoning for 66 acres +/- from the Links Planned Unit Development (PUD) District to the Grand Universe Planned Unit Development District (PUD).

(Planner: Daine Crabtree - dcrabtree@westfield.in.gov)

[YouTube Time: 3:18](#)

Staff presentation / Petitioner Presentation

Motion: Favorable Recommendation to City Council
By: Robert Horkay
Seconded: Omar Khan

Yes: Robert Horkay, Michael Neal, Omar Khan, Stephanie Carlson, Victor MCCarty, William Bunkowfst
No: None
Abstain: None

Motion Determination: Passed

PUBLIC HEARING ITEMS

2502-PUD-02 [PUBLIC HEARING]

Lantern Commons PUD Amendment I

16172 Westfield Blvd

Andmore Partners, Inc by Church Church Hittle + Antrim requests an amendment to the standards for Area D of the Lantern Commons Planned Unit Development (PUD) District to accommodate a hotel.

(Planner: Lauren Gillingham-Teague - lgillingham@westfield.in.gov)

[YouTube Time: 5:57](#)

Staff presentation / Petitioner presentation
Public Hearing for 2502-PUD-02 opened at 7:13 p.m.
- No public comments.
Public Hearing for 2502-PUD-02 closed at 7:13 p.m.
APC questions and comments / Petitioner responses.

Motion: Waive Workshop
By: William Bunkowfst
Seconded: Stephanie Carlson

Yes: Robert Horkay, Michael Neal, Omar Khan, Stephanie Carlson, Victor MCCarty, William Bunkowfst
No: None
Abstain: None

Motion Determination: Passed

ITEMS CONTINUED TO A FUTURE MEETING

2408-PUD-19

Finley Creek Estates Planned Unit Development (PUD)

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(Planner: Weston Rogers - wrogers@westfield.in.gov)

2412-PUD-27

Park + Poplar Planned Unit Development (PUD)

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(Planner: Lauren Gillingham-Teague - lgillingham@westfield.in.gov)

2501-PUD-01

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(Planner: Ryan Collingwood - rcollingwood@westfield.in.gov)

REPORTS/COMMENTS

[YouTube Time: 31:21](#)

Plan Commission Members

City Council Liaison

Board of Zoning Appeals Liaison

Plat Committee Liaison

Community Development Department

ADJOURNMENT

Adjourn

Adjourned 7:36 p.m.

Motion: Adjourn

By: Victor MCCarty

Seconded: Robert Horkay

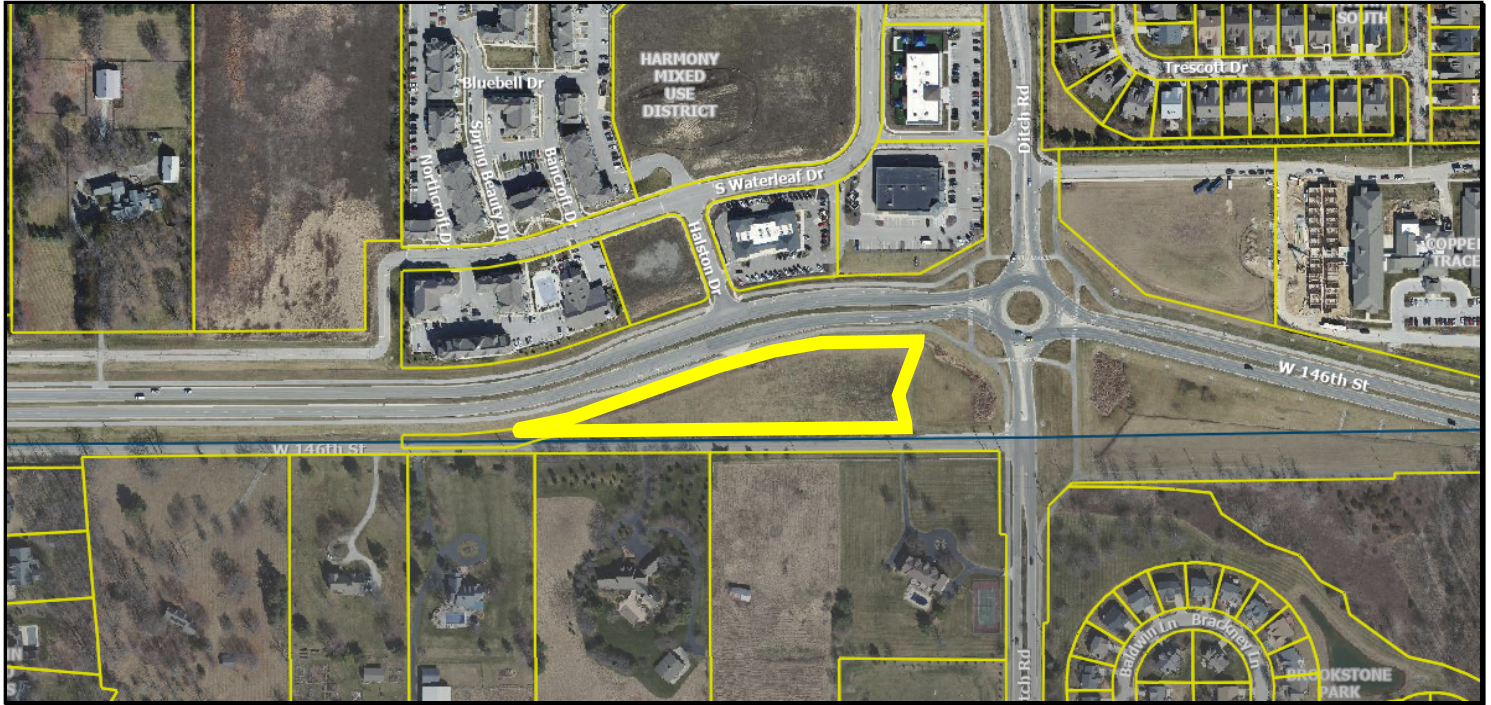
Yes: Robert Horkay, Michael Neal, Omar Khan, Stephanie Carlson, Victor MCCarty, William Bunkowfst

No: None

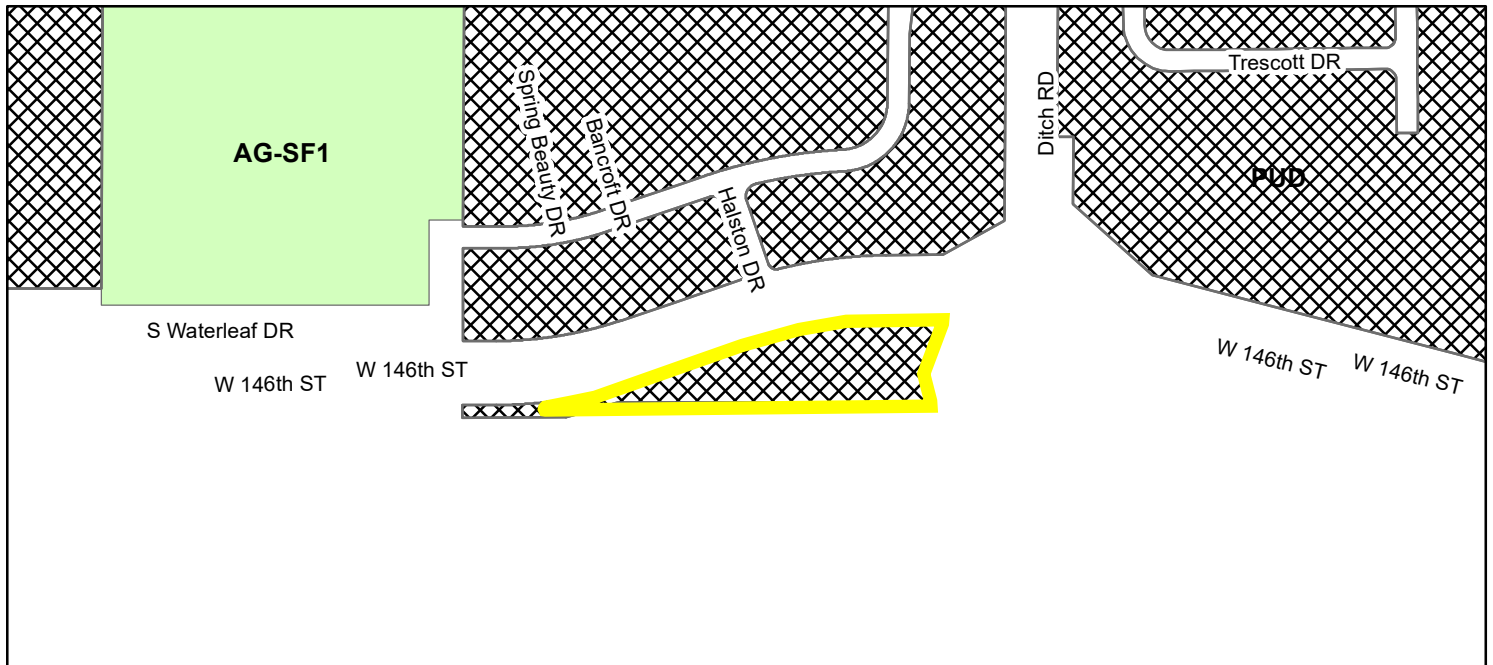
Abstain: None

Motion Determination: Passed

Aerial Location Map



Zoning Map



Zoning

 AG-SF1 (Agriculture - Single Family - 1)

 PUD (Planned Unit Development)



WESTFIELD-WASHINGTON TOWNSHIP
TECHNICAL ADVISORY COMMITTEE

February 18, 2024
2410-DDP-31

Petition Number: 2410-DDP-31
Project Name: Family Express
Subject Site Address: 1527 W 146th Street
Petitioner: Family Express Corporation by Fritz Engineering Services, LLC
Request: Detailed Development Plan approval for a 5,800 square foot Gasoline Service Station and related site improvements.
Current Zoning: Harmony PUD
Current Land Use: Vacant
Approximate Acreage: 2.61 +/-
Property History:
1205-PUD-05 Harmony PUD (Ord. 12-14)
1605-SPP-06 Primary Plat
1605-ODP-06 Overall Development Plan
1606-SFP-16 Secondary Plat
1606-PUD-07 Mixed Use District Amendment (Ord. 16-12)
Staff Reviewer: Weston Rogers, Senior Planner

BACKGROUND

The applicable zoning district is the Harmony PUD District Ordinance No. 12-14, as amended by Ordinance 16-12 (collectively, the "PUD Ordinance").

The subject property is within "Area C" of the "Mixed Use District" of the PUD Ordinance. The applicable underlying zoning district is the LB: Local and Neighborhood Business District.

The comments contained herein are in review of the filed detailed development plan (the "plans") scheduled for the September 17, 2024, Technical Advisory Committee meeting.

DEVELOPMENT PLAN

(Article 10.7(G) of the UDO)

The plans comply.

- 1) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 2) Address and legal description of the property.
- 3) Boundary lines of the property including all dimensions.
- 4) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.



- 5) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 6) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 7) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 8) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 9) Layout, number, dimension and area (in square feet and acres) of all Lots and Out lots with Building Setback Lines.
- 10) Location and dimensions of all existing structures and paved areas.
- 11) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
- 12) Location of all Floodplain areas within the boundaries of the property.
- 13) Names of legal ditches and streams on or adjacent to the site.
- 14) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
- 15) Identify buildings proposed for demolition.
- 16) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
- 17) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
- 18) Misc.

DEVELOPMENT PLAN REVIEW

(Article 10.7(E) of the UDO)

The plans comply.

- 19) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 20) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 21) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.
 - b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.



- c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 22) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT STANDARDS

Article 4.14 (LB District) & Harmony PUD (Ord. 12-14), as amended

The plans comply.

23) Concept Plan (Section 3 of Ord. 16-12):

- a) If developed for a Gasoline Service Station, then Area C shall be developed in substantial compliance with the Area C (GetGo) Concept Plan¹.

24) Permitted Land Uses (Section 4.1(C) of Ord. 16-12)

- a) Fast Food Restaurants shall be prohibited on the real estate
- b) One (1) Gasoline Service Station² shall be permitted within Area C. Said Gasoline Service Station shall only be open and operating between the hours of 5:00 a.m. and twelve midnight. In the event a Gasoline Service Station is in operation on the property zone under Ordinance 12-24 (the "Town West Station") with hours between twelve midnight and 5:00 a.m. the limitation of hours in this Section 4.1(C) shall be reduced and operation shall be permitted at the same hours permitted for the Towne West Station.

25) Special Requirements (Section 2.3(A) of Ord. 12-14)

- a) The maximum gross floor area of an individual business shall be 70,000 square feet. No more than one business within the entire development shall have a gross floor area of more than 50,000 square feet.
- b) The aggregate maximum gross floor area of all commercial buildings shall be 170,000 square feet. The uses within Areas B and C of the Mixed-Use District shall have the following maximum aggregate square footages by use type:
 - i) Grocery, 70,000 sq. ft.
 - ii) Inline retail, 30,000 sq. ft.
 - iii) Office, 40,000 sq. ft.

¹ Section 2.3 of Ord. 16-12 defines "Concept Plan, Area C (GetGo)" as "The plan for the development of Area C of the Mixed-Use District of the Harmony PUD Ordinance, including but not limited to landscaping, sidewalks and amenities to enhance pedestrian comfort, attached hereto as Exhibit B."

² Chapter 12 of the UDO defines "Gasoline Service Station" as "[a]ny building or land used for the retail sale of automobile fuels and lubricants and which typically includes fuel pumps and underground storage tanks."



- iv) All uses on Out lots, 50,000 sq. ft.
- v) Other permitted uses, 30,000 sq. ft.
- c) Neighborhood commercial uses in the Mixed-Use District shall be designed to encourage the design elements shown in Exhibit C-2. Exhibit C-2 includes the following design elements:
 - i) outdoor dining
 - ii) opportunities to gather
 - iii) amenities to enhance pedestrian comfort
- d) Outdoor Audio Systems: Section 8.2 of Ord. 16-12 states that "An outdoor audio system for a Gasoline Service Station shall be restricted to communication between the attendee and patrons at the pump, and emergency situations."

26) Development Standards (*Section 2.3(B) of Ord. 12-14, as amended by Section 4.2 of Ord. 16-12*)

- a) Minimum Lot Area:
 - i) None (per Ord. 12-14)
- b) Minimum Lot Frontage on Road:
 - i) 50 feet; direct access to Public Way or indirect access to a Private Street is required
- c) Minimum Building Setback Lines:
 - i) *Front Yard*:
 - (1) 146th Street and Ditch Road:
 - (a) 20 feet (per Ord. 12-14)
 - (2) Area C South Property Line:
 - (a) 10 feet (per Ord. 16-12)
 - ii) *Side Yard*:
 - (1) Perimeter to Mixed Use District:
 - (a) 20 feet
 - (2) Interior to Mixed Use District:
 - (a) 0 feet (per Ord. 16-12)
 - iii) *Rear Yard*:
 - (1) Perimeter to Mixed Use District:
 - (a) 20 feet
 - (2) Interior to Mixed Use District:
 - (a) 0 feet (per Ord. 16-12)



- d) Maximum Building Height:
 - i) 45 feet

DEVELOPMENT STANDARDS

Chapter 6 of UDO

The plans comply.

27) Accessory Use and Building Standards (Article 6.1)

- a) Screening of Receptacles and Loading Areas
 - i) These standards shall apply to all garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas and other similar facilities in all Zoning Districts; however, these standards shall not apply to Single-family Dwellings:
 - (1) Garbage containers, trash receptacles, pallet storage areas, trash compactors, recycling areas, loading areas and other similar facilities shall be completely and permanently screened from view of Rights-of way and where possible, adjoining properties.
 - (2) Enclosures shall not be located in an Established Front Yard or in any required Side or Rear Yard.
 - (3) Screening methods shall include a solid enclosure on all sides not less than six (6) feet in height above grade or two (2) feet above the receptacle, whichever is greater. The solid enclosure shall be a Masonry Material that matches or complements the Principal Building.
 - (4) Enclosures shall be constructed of a Masonry Material that matches or complements the Principal Building.
 - (5) Enclosures shall be equipped with opaque gates that shall not be oriented towards residential properties or the Right-of-way, where possible.
 - (6) Enclosures shall have separate pedestrian access openings that are configured to conceal the dumpster from view for daily access to dumpsters for waste disposal.
 - (7) Enclosures, which include swinging, moveable doors, shall be kept closed at all times when said doors are not in active use.
 - (8) Landscaping shall be provided around enclosures in accordance with Article 6.8 Landscaping Standards.

28) Architectural Standards Article 6.3(F)

- a) Article 6.3(F) of the UDO does not apply; rather, Section 2.3(A)(1) and Article 7 of Ord. 12-14 provides that the Architectural Design Requirements of the State Highway 32 Overlay District shall apply. Furthermore, Section 7 of Ord. 16-12 provides that "*buildings shall utilize a Village Design Theme.*"

- b) Section 7.1 of Ord. 16-12 states that a Village Design Theme shall be consistent with a Defined Architectural Design applicable to the single-family homes within the Harmony PUD District, as set forth in Section 3.4(3) Architectural Standards; Defined Architectural Designs. The Defined Architectural Designs include Adam (Colonial), Georgian, Italianate, Shingle, Folk Victorian, Colonial Revival, Tudor, Craftsman. Significant architectural elements to determine consistency with a Defined Architectural Design include:
 - i) Window design (e.g., enhanced trim, pane size and type) and alignment/location;
 - ii) Building massing (pedestrian scaled with facade projections and recessions);
 - iii) Roof type and pitch (inclusion of shed roofs, dormers with faux windows and/or decorative gables when architecturally appropriate);
 - iv) Large roof overhangs that are primarily pitched and not flat;
 - v) Enhanced cornice treatment;
 - vi) Enhanced and inviting entryways with pedestrian cover and "porch like" treatment (e.g., inclusion of columns with masonry bases);
 - vii) Variety of building materials, patterns and colors;
 - viii) Emphasized trim at corner breaks, around windows and within gables; and
 - ix) Enhanced foundation plantings and planters to soften building facades.
- c) Section 7.2 of Ord. 16-12 states that "The Character Exhibit – GetGo comply with and hereby establish benchmark examples of the Village Design Theme."
- d) Section 7.3 of Ord. 16-12 states "It is hereby acknowledged that design elements that embody a Village Design Theme may be in conflict with the architectural standards set forth in Section 2.3(A)(1) of the Harmony PUD Ordinance. If a proposed building elevation embodies a Defined Architectural Design, as set forth above, and is an architectural style that complements the Established Benchmark Exhibits, then the Plan Commission has the authority to approve a building elevation that doesn't comply with Section 2.3(A)(1) of the Harmony PUD Ordinance."
- e) Section 2.3(A)(1) requires that buildings within Area B and Area C of the Mixed-Use District shall comply with the Architectural Design Requirements of the State Highway 32 Overlay District (the "SR32 Overlay").
- f) Gasoline Service Station Canopies:
 - i) This section shall apply to canopies for all Gasoline Service Stations:
 - (1) Materials: The support structures for canopies shall be wrapped in Masonry Materials to complement the Principal Building. Canopy fascia and canopy roof materials shall match the color and texture of the Principal Building.
 - (2) Height: In order to reduce the visual impact of the canopy structure and corresponding lighting, the maximum height of the canopy clearance shall be sixteen (16) feet and the maximum top of the canopy shall be twenty-two (22) feet. The maximum width of the canopy fascia shall be thirty (30) inches.



- (3) Roof Design: A canopy shall include a pitched or sloped roof between 5:12 and 10:12, and with a minimum roof height above the canopy fascia of two and one-half (2.5) times the width of the canopy fascia.

29) Building Standards (Article 6.4)

30) Fence Standards (Article 6.5, as modified by Article 2.1 of Ord. 12-14)

- a) Location: Fences may be built directly along Lot Lines; however, fences shall not encroach into the Right-of-way, nor into easements that otherwise prohibit the installation of fences (e.g., drainage and utility easements).
- b) Height Limitations:
 - a. Fence height is measured from the topmost point thereof to the grade of the ground adjacent to the fence. Any fence placed upon an erected mound or berm or masonry wall must govern its total height to the limitations herein.
 - b. Fences located within a required Side or Rear Yard of a residential Lot shall not exceed six (6) feet in height.
 - c. Fences located within a required or Established Front Yard of a residential Lot shall not exceed forty-two (42) inches in height.
 - d. Open wire mesh fences surrounding tennis courts that only enclose a regulation court area and standard apron areas may be erected to a height of sixteen (16) feet.
 - e. Fences enclosing an Institutional Use or a business or industrial property may consist of an open mesh fence not to exceed a height of ten (10) feet, unless otherwise further restricted by this Ordinance.
 - f. Fences for Agricultural Uses shall not be subject to height limitations.
- c) Opaque Fences: Fences shall be installed so the finished side of the fence is facing outward (e.g., toward the Lot Line). Fences on a Lot Line in which two (2) or more Property Owners share in the expense of the fence shall not be subject to this provision.
- d) Outdoor Screening: Fences for screening of permitted outside storage or display areas shall also comply with Article 6.12 Outside Storage and Display.
- e) Vision Clearance: Fences shall comply with Article 6.19 Vision Clearance Standards.
- f) Declaration of Covenants: Property Owners are advised to refer to their Subdivision's Declaration of Covenants and Restrictions, if applicable, which may impose greater restrictions than are found herein.
- g) Chain link fencing is prohibited.

31) Height Standards (Article 6.6)

32) Landscaping Standards (Article 6.8, as modified by Article 5 of Ord. 12-14):

- a) Content of Landscape Plan – Article 6.8(C)
- b) Preservation and Replacement of Trees – Article 6.8(E)

- i) Right-of-Way Tree Preservation (Section 8 of Ord. 16-12) requires that “The existing trees in the right-of-way abutting the south property line of Area C, located west of the building, shall not be disturbed by the development of Area C, except as otherwise required by a government agency, utility agency or to accommodate ingress/egress into Area C. The following shall apply to meet this standard:
 - (1) Tree Inventory: A tree inventory and tree preservation plan shall be required and approved as part of the Detailed Development Plan for Area C, in accordance with Article 6.8(E) Landscaping Standards; Preservation and Replacement of Trees of the UDO.
 - (2) Tree Protection: During the site development of Area C, tree protection in accordance with Article 6.8(E)(7) Landscaping Standards; Preservation and Replacement of Trees; Tree Protection of the UDO shall be required.
 - (3) Replacement: If any tree designated on the tree inventory dies as a result of the site development, then the property owner shall replace such tree with a tree(s) of equal tree preservation value within one hundred and eighty (180) days, and subject to approval by the Hamilton County Highway Department.
- ii) Tree Inventory: Existing trees that are to be preserved shall be credited toward required landscaping requirements based on the sizes of such preserved trees in accordance with this Article. Tree inventories shall be required for those trees that are required by an ordinance or commitments to be preserved or that are to otherwise be credited pursuant to this Chapter. Tree inventories shall depict locations, sizes, and common names of existing trees and individual shrubs; areas containing dense trees or shrubs; and other natural site features.
- iii) Tree Preservation Plans: Tree preservation plans shall be submitted with site plans that detail locations, sizes, and common names of preserved trees; individual shrubs; areas of dense tree or shrub concentrations, and other natural features which are to be preserved or removed. No disturbance shall be permitted in the Critical Root Zones of preserved trees. Disturbances include trenching, backfilling, driving or parking equipment, and dumping trash, oil, paint, or other materials detrimental to plant health.
- iv) Replacement: If any tree designated for preservation dies within five (5) years of project completion, then the Property Owner shall replace such tree with a tree(s) of equal tree preservation value, as set forth herein, within one hundred and eighty (180) days.
- v) Incentives to Preserve Trees:
 - (1) Existing trees that are preserved in accordance with this Article may be credited for required landscaping based on a ratio of one (1) tree credit per one (1) tree preserved if the tree meets all of the following criteria:
 - (a) Shall be greater than four-inch (4") Caliper.
 - (b) Shall be in a good condition and have a life expectancy greater than ten (10) years.
 - (c) Shall have a trunk with no extensive decay.
 - (d) Shall have no more than one (1) major or several minor dead limbs.

- (e) Shall have no major insect or pathological problems or otherwise be a species identified by the State, County, or City to be negatively impacted by a major insect or pathological problem.
- (f) Shall be of a species native to the State or on the Master Tree and Shrub List, as maintained by the City.

vi) Tree Protection:

- (1) Barriers shall be used to protect trees during site development. Barriers shall be specified on Landscape Plans and shall be placed at or beyond the driplines of trees to be preserved. Such barriers shall remain in place during site construction. No vehicles, machinery, tools, chemicals, construction materials, or temporary soil deposits shall be permitted within such barriers. No notices or other objects shall be nailed or stapled to preserved trees.
- (2) Grading measures or protective devices, such as tree wells, tree walls, or specialized fill and pavement designs, shall be installed when necessary to preserve identified tree specimens.
- (3) Tree Preservation Easement: A tree preservation easement (see Article 8.3 Easement Standards) shall be required for tree identified for preservation and that are not otherwise protected by a landscape easement.

c) Selection, Installation, and Maintenance of Plant Materials – Article 6.8(F)

- i) Selection: The minimum sizes set forth below shall apply to required plantings at installation, unless otherwise specified herein.
 - (1) Shade Trees: A minimum of eight (8) feet in height and two (2) inches in Caliper. Shall be of a variety that will attain an average mature spread greater than twenty (20) feet.
 - (2) Evergreen Trees: A minimum of six (6) feet in height. c. Ornamental Trees: A minimum of two (2) inches in Caliper.
 - (3) Shrubs: A minimum of eighteen (18) inches in height.
 - (4) Credit for Larger Trees: A proportional decrease in the required number of trees is allowed if larger Caliper trees than required herein are planted (e.g., trees with Caliper measures of four (4) inches may replace two (2) required two (2) inch Caliper trees).

d) General Landscaping Design Standards – Article 6.8(G)

- i) Groundcover: Landscape Plans shall clearly identify areas for Groundcover. Groundcover is not required for:
 - (1) decorative mulch planting beds containing stone or other inert materials, trees and/ or shrubs; inert stabilization in areas subject to severe runoff or erosion; low impact development areas (e.g., rain gardens).
 - (2) Areas not so designated shall be required to have grass or other Groundcover and shall be used in all green space areas and Yards, including, but not limited to required mounds and Parking Area landscape islands.



ii) Placement:

- (1) Right-of-way: With the exception of Street Trees, as required herein, or trees as may otherwise be approved by the Plan Commission or Public Works Department, landscape material shall not be planted or placed in Rights-of-way or easements without permission from the City or the easement holder.

e) General Screening Standards – Article 6.8(H)

i) Mechanical Screening:

- (1) Wall and ground-mounted Mechanical Equipment for nonresidential or multi-family structures shall be completely screened from all ground-level viewpoints. Clearance for proper functioning of the equipment and access to the equipment for maintenance shall be incorporated into the design. Screening may be achieved by using either: (i) a wall or fence constructed of Masonry Material, wood, fiber cement, that is visually integrated to the adjacent building façade with a minimum height that fully screens the equipment; (ii) a solid evergreen screen with a combination of trees and shrubs; (iii) a combination of the aforementioned. (See also Article 6.3 Architectural Standards for roof mounted equipment.)

f) Detention and Retention Areas – Article 6.8(I)

g) Minimum Lot Landscaping Requirements – Article 6.8(K)

i) Business Uses:

- (1) 10 shade trees, 10 ornamental or evergreen trees, and 25 shrubs / acre required.

	Required	Provided	Difference
Shade Trees 10/ acre	27	27+	-
Ornamental or Evergreen Trees 10 / acre	27	27+	-
Shrubs 25 / acre	66	66+	-

h) Foundation Plantings – Article 6.8(L)

- i) Plant materials shall be required approximately every forty (40) feet of Building Facades. Plant materials shall also be required along the Front Building Façade of all Buildings at a minimum ratio of one (1) shrub or ornamental tree per twelve (12) lineal feet. (Planting beds of less than eight (8) feet in width shall be permitted where equivalent planting area is provided around the building perimeter pursuant to Ord. 15-22).

	Façade Length (approximate)	Shrubs / Trees Required	Shrubs / Trees Provided	Difference
West Façade (side)	91 feet	1 per 40 feet (3 total required)	3+	-
South Façade (front)	68 feet	1 per 12 feet (6 total required)	6+	-
East Façade (side)	91 feet	1 per 12 feet (8 total required)	8+	-
North Façade (front)	65 feet	1 per 12 feet (6 total required)	6+	-

- i) External Street Frontage Landscaping – Article 6.8(M)(2) & Ord. 16-24
 - i) Section 5(A) of Ord. 16-12 amended Ord. 12-14 to default to the UDO's External Street Frontage Landscaping, except as modified below:
 - ii) The Mixed-Use District shall comply with the UDO's External Street Frontage Landscaping Requirements Article 6.8(M)(2) along Ditch Road and 146th Street (old and new), which shall replace and supersede the Landscape Buffer A and Landscape Buffer B requirements of the Harmony PUD Ordinance.
 - (1) Sidewalks and drive aisles may encroach into External Street Frontage Landscaping in Area C and landscape materials may be provided within the adjacent right-of-way subject to approval by the County Highway Department, provided the site is developed in substantial compliance with the Area C(GetGo) Concept Plan and the required plantings are otherwise provided.
 - (2) The screen wall adjacent to the drive aisle, as illustrated on the Area C(GetGo) Concept Plan, shall meet the applicable Street Frontage Plantings required across the segment of the screen wall adjacent to the drive aisle.
 - iii) External Street Frontage landscaping material requirements are noted below:
 - (1) A landscaping area with a minimum depth of ten (10) feet shall be required abutting an External Street along any nonresidential development. The landscaping area shall include a minimum of three (3) shade or evergreen trees, two (2) ornamental trees and twenty-five (25) shrubs per one hundred (100) lineal feet.
 - (2) This requirement may be credited toward required Parking Area Landscaping requirements if the required Parking Area Landscaping is located within twenty (20) feet of the Right-of-way.

North – 146th Street (New) – 780 LF			
	Required	Provided	Difference
Evergreen or Shade Trees (3 / 100 LF)	24	24	0
Ornamental Trees (2 / 100 LF)	16	16	0
Shrubs (25/ 100 LF)	195	195	0
Minimum width	10' minimum	10'	-

East – Ditch Road – 195 LF			
	Required	Provided	Difference
Evergreen or Shade Trees (3 / 100 LF)	6	6	-
Ornamental Trees (2 / 100 LF)	4	4	-
Shrubs (25/ 100 LF)	49	49	-
Minimum width	10' minimum	10'	-

South – 146th Street (Old) – 540 LF			
(190 LF of screen wall subtracted from total applicable lineal footage)			
	Required	Provided	Difference
Evergreen or Shade Trees (3 / 100 LF)	17	17	0
Ornamental Trees (2 / 100 LF)	11	11	0
Shrubs (25/ 100 LF)	135	135+	0
Minimum width	10' minimum	10'	-

- j) Buffer Yard Requirements – Article 6.8(N), Ord. 16-12 amended Ord. 12-14
- k) Parking Area Landscape – Article 6.8(O)
 - i) Interior Parking Area Islands:
 - (1) Minimum Area Required: A minimum of 7.5% landscape area of Parking Areas shall be set aside for Parking Area islands (25-49 spaces)
 - (2) Location: Parking Area islands shall be dispersed throughout Parking Areas in a design and configuration that aesthetically corresponds to the size and shape of Parking Areas. Combining or placing Parking Area islands together such that more than one (1) tree may be planted in the island shall be considered when possible. Parking Area islands shall be dispersed so as to define aisles and limit unbroken rows of parking spaces to a maximum of two hundred (200) feet in length.



- (3) Design: Parking Area islands shall be: (a) constructed at least six (6) inches above the surface of Parking Areas and curbed in a manner that restricts vehicles from driving over landscaped areas; (b) a minimum area of one hundred twenty (120) square feet; and (c) a minimum of seven (7) feet in width, measured from back of curb to back of curb.
- (4) Plantings: Parking Area islands shall include at least one (1) tree and four (4) shrubs per island. One hundred (100) percent of every island shall be covered with permitted Groundcover material to achieve complete coverage.
- (5) Vision Clearance: No landscaping within Parking Area islands may unreasonably obstruct visibility for vehicles entering, maneuvering in, or exiting Parking Areas. Such landscaping shall be constructed in compliance with Article 6.19 Vision Clearance Standards.

ii) Perimeter Parking Area Landscaping:

- (1) Application: Perimeter landscaping is required for Parking Areas with ten (10) or more spaces where the Parking Area is located within: (i) an Established Front Yard; (ii) a required Yard; or (iii) twenty (20) feet of a Lot Line or Right-of-way line.
- (2) Design: Perimeter Parking Area landscaping shall be a minimum of five (5) feet wide and shall extend along the perimeter of Parking Areas and include: (a) A minimum of one (1) tree per thirty (30) linear feet of Parking Area length. Trees may be clustered in an aesthetically pleasing manner. (b) A minimum of one (1) shrub per three (3) feet of Parking Area length. Shrubs may be clustered in an aesthetically pleasing manner. (c) Grass or other permitted Groundcover for areas not planted with trees or shrubs.

North Parking Lot Perimeter – 300 LF			
	Required	Provided	Difference
1 Tree / 30 LF	10	10+	-
1 Shrub / 3 LF	100	100+	-
Minimum width	5' minimum	5'	-

East Parking Lot Perimeter – 175 LF			
	Required	Provided	Difference
1 Tree / 30 LF	6	6+	-
1 Shrub / 3 LF	59	59+	-
Minimum width	5' minimum	5'	-



South Parking Lot Perimeter – 90 LF			
	Required	Provided	Difference
1 Tree / 30 LF	3	Screen Wall	-
1 Shrub / 3 LF	30	Screen Wall	-
Minimum width	5' minimum	5'	-

West Parking Lot Perimeter – 180 LF			
	Required	Provided	Difference
1 Tree / 30 LF	6	6	-
1 Shrub / 3 LF	60	60	-
Minimum width	5' minimum	5'	-

- (3) Drive Aisles: Plantings within perimeter Parking Area landscape areas between drive aisles and a Rear or Side Lot Line may be reduced by up to fifty percent (50%) of the required plantings above, if no Parking Spaces are located between the Lot Line and the drive aisle.

37) Lighting Standards (Article 6.9)

a) General Lighting Standards:

- ii) All Light Fixtures, with the exception of internally-illuminated signs or Electronic Signage, shall be Fully Shielded and direct light downward toward the earth's surface.
- iii) All lighting sources shall be directed away from reflective surfaces to minimize glare upon adjacent Lots and Rights-of-way.
- iv) All lighting sources, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner as to direct light away from adjacent Lots and Rights-of-way.
- v) Light pole height shall not exceed twenty-five (25) feet. All Light Fixtures in Parking Areas shall be designed and located to confine emitted light to the Parking Area.
- vi) All Light Fixtures shall meet City Building Code requirements for their appropriate construction class.

b) Business Standards:

- ii) All Light Fixtures, with the exception of internally-illuminated signage or Electronic Signage, shall be positioned in such a manner so that no light-emitting surface is visible from a residential Lot Right-of-way when viewed at ground level.

- iii) Light meter readings shall not exceed: (i) one-half (0.5) foot-candles at a single-family or multi-family residential Lot Line; or (ii) one (1.0) foot-candle at all other Lot Lines.
- iv) All lights on poles, stands, or mounted on a building shall have a shield, adjustable reflector, and non-protruding diffuser.
- v) All canopy structures shall have lights with diffusers which are recessed, and which do not extend below the surface of the canopy as measured on a plane parallel to the earth's surface.
- vi) Lighting under awnings and canopies shall only illuminate a Front Building Façade, a Sign under an awning or canopy as measured on a plane parallel to the earth's surface.
- vii) All Parking Area lighting for nonresidential Uses shall be reduced (e.g., turned off or dimmed) by a minimum of thirty percent (30%) within thirty (30) minutes of closing of the last business or no later than 11:00 p.m.
- viii) No outdoor sports or Recreational Facilities shall be illuminated after 11:00 p.m., except to conclude a scheduled recreational or sporting event in progress prior to 11:00 p.m.

38) Lot Standards (Article 6.10)

39) Outside Storage and Display (Article 6.12)

Outside Storage shall only be permitted if delineated on an approved Development Plan and in accordance with the following:

- a) Size: A Lot's Outside Storage area shall not exceed fifty percent (50%) of the Lot's Principal Buildings' gross floor area.
- b) Location: Outside Storage areas:
 - a. Shall be located immediately adjacent to the Principal Building.
 - b. Shall not encroach into any required Rear or Side Yard.
 - c. Shall be prohibited in an Established Front Yard.
 - d. Shall be delineated on an approved Development Plan.
- c) Screening: Outside Storage areas shall be incorporated into the building's design as part of the Principal Building as follows:
 - a. Outside Storage areas shall be completely screened from view from any adjacent property or Right-of-way.
 - b. Outside Storage areas shall be screened on all sides with a solid wall, not less than seven (7) feet in height, consisting of Masonry Materials that complement the Principal Building.
 - c. Perimeter access into Outside Storage areas shall not be oriented toward a Front Yard. Gates shall be required for such access and shall be opaque and architecturally compatible with the materials used on the Principal Building. A chain link fence or a variation of a chain link fence combination shall not constitute an acceptable gate material.

- d. Storage Restrictions: All materials, product or merchandise stored in an Outside Storage area shall be stacked no higher than one (1) foot below the top of the wall.

Outside Sales Display:

- a) Permitted Use: Outside Sales Displays, including vending machines, kiosks, and outdoor point of sale items (e.g., flowers, propane, salt, firewood), shall be prohibited, except for the following:
 - a. Automobile dealerships, and other similar Uses as determined by the Director or Plan Commission.
 - b. Outside Sales Displays that otherwise comply with the Outside Storage standards set forth in this Article.
 - c. Merchandise associated with a temporary Use or event conducted pursuant to Article 6.18 Temporary Uses and Events.
- b) Approval: Any proposed Outside Sales Display shall be delineated on an approved Development Plan and subject to approval by the Plan Commission, except as otherwise permitted by Article 6.18 Temporary Uses and Events, and subject to the following:
 - a. The Development Plan shall include the types of merchandise and/or finished products, location, landscaping and other improvement of the Outside Sales Display area.
 - b. Pedestrian circulation areas shall not be obstructed and enhancements may be required by the Director or Plan Commission to ensure safe pedestrian movements.
 - c. The Director or Plan Commission may require enhanced site design features to ensure that Outside Sales Display areas are delineated and that such areas are compatible with the design of the building and site context.
 - d. In addition to the standards of the Zoning District, the Plan Commission or Director may require enhanced screening or landscaping to ensure the compatibility of the proposed Use with adjoining areas.
 - e. Once approved, the Outside Sales Display area shall not be materially or substantially changed or altered without the approval of an amendment to a Development Plan.

40) Outdoor Café and Eating Areas (Article 6.13)

- a) Outdoor cafes and eating areas that are utilized or set aside for use for a period longer than seven (7) days in a calendar year shall be deemed permanent in nature. Permanent outdoor cafes and eating areas shall require Development Plan approval, in accordance with Article 10.7 Development Plan Review, to ensure compliance with this Ordinance and that its use and design is compatible with the surrounding area and Zoning District.
- b) A five (5) foot pedestrian access area on the perimeter of the outdoor café and eating area shall be maintained at all times. The pedestrian access area on the sidewalk shall not be interrupted with building, infrastructure, utility or landscaping elements such as but not limited to columns, supports, plantings or other such materials.

41) Parking and Loading Standards (Article 6.14 and Article 4 of Ord. 12-14)

- a) Collective Provisions for the Mixed-Use District. Off-street parking facilities for separate uses may be provided collectively. A reduction down to not less than 80% of the total number of spaces required for all uses is permitted.
- b) Required Spaces. Parking spaces accessory to designated uses shall be provided to meet the following minimum requirements: (i) General Offices: One (1) parking space per each two hundred fifty (250) square feet of assignable office area. (ii) Retail Uses: One (1) parking space per each three (300) square feet of gross leasable area.
- c) Bicycle Parking. A minimum of one (1) bicycle parking space (or parking position) shall be provided per thirty (30) vehicular parking spaces. No more than fifteen (15) bicycle parking spaces shall be required for any Principal Building.
- d) Parking may be permitted within the area between the right-of-way and building setback line.
- e) Pedestrian connections shall be provided between buildings and parking areas via pavement striping and sidewalks.

42) Performance Standards (Article 6.15)

43) Setback Standards (Article 6.16)

44) Sign Standards (Article 6.17)

- a) Section 6(A) of Ord. 16-12 establishes: (i) that signs for a Gasoline Service Station shall be permitted in accordance with the UDO for Individual Non-Residential Uses; (ii) signage shall be prohibited on the Gasoline Service Station canopy; and (iii) all wall signs shall only be externally lit with decorative lighting (e.g., gooseneck style fixtures).

45) Vision Clearance Standards (Article 6.19)

46) Yard Standards (Article 6.21)

DESIGN STANDARDS

Chapter 8 of UDO

The plans comply.

47) Easement Standards (Article 8.3)

48) Pedestrian Network Standards (Article 8.7)

49) Street and Right-of-Way Standards (Article 8.9)H

50) Street Light Standards (Article 8.10)

51) Surety Standards (Article 8.12)

52) Utility Standards (Article 8.13)



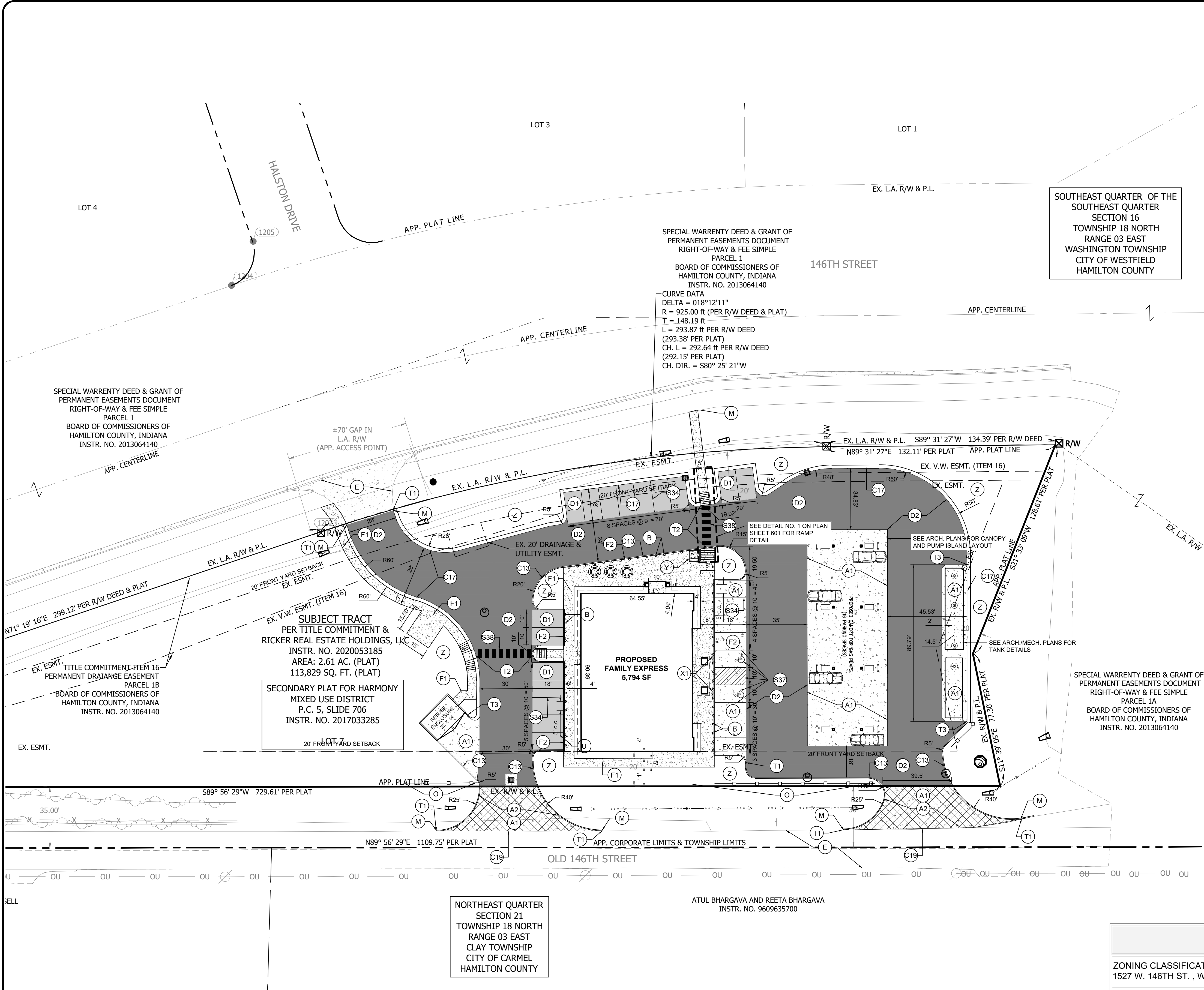
ACTION

The plans as presented comply with the applicable zoning ordinances.

Requested Action: Approve 2410-DDP-31 with the following condition:

- That all necessary approvals be obtained from the Westfield Public Works Department prior to any work beginning on the property.

If any plan commission member has questions prior to the meeting, then please contact Weston Rogers at (317) 408-9895 or wrogers@westfield.in.gov



KEY NOTES:	
A1	CONCRETE PAVEMENT
A2	PUBLIC RIGHT-OF-WAY GOVERNING MUNICIPALITY CONCRETE PAVEMENT
B	BOLLARDS (CONCRETE)
C13	CONCRETE 6 INCH "STRAIGHT" CURB
C17	CONCRETE ROLL CURB
C19	DEPRESSED CURB AND GUTTER
D1	LIGHT DUTY ASPHALT PAVEMENT
D2	HEAVY DUTY ASPHALT PAVEMENT
E	EXISTING CURB / PAVEMENT / SIDEWALK TO REMAIN
F1	CONCRETE SIDEWALK
I	INLET / CASTING CONCRETE COLLAR APRON
L	EXTERIOR LIGHTS. VERIFY FINAL LOCATION WITH PHOTOMETRIC PLAN.
M	MATCH INTO EXISTING
O	FENCE LOCATION (COORDINATE WITH OWNER ON FINAL LOCATION AND TYPE). 6" HIGH MIN.
S34	4 INCH SOLID WHITE PAVEMENT STRIPING (TYP.)
S37	ADA BLUE PAVEMENT STRIPING AND MARKINGS
S38	WHITE PAVEMENT CROSSWALK TRANSVERSE MARKING
T1	CURB TAPER
T2	FLUSH CURB FOR RAMP TRANSITION
T3	CURB TRANSITION - ROLL TO STRAIGHT/CHAIRBACK
U	DUMPSTER ENCLOSURE (SEE ARCHITECTURAL PLANS)
X1	HANDICAP PARKING SIGN
Y	BICYCLE PARKING
Z	LANDSCAPE AREA



FRITZ
ENGINEERING SERVICES

14020 MISSISSINNEWA DRIVE
CARMEL, INDIANA 46033
P: 317.324.8695 F: 317.324.8717
www.Fritz-Eng.com

PRELIMINARY
NOT FOR
CONSTRUCTION

2 REV PER CITY REVIEW	2/7/2025	AF
1 REV PER WESTFIELD TAG	1/23/2025	AF
REVISIONS AND ISSUES	DATE	BY

GENERAL NOTES / LEGEND:



"IT'S THE
LAW"
811

Know what's below.
Call before you dig.
2 WORKING DAYS BEFORE YOU DIG.

PROJECT:

**FAMILY EXPRESS
WESTFIELD**

PROJECT LOCATION:
1527 W. 146TH ST.
WESTFIELD, INDIANA 46074
HAMILTON COUNTY

SECTION, TOWNSHIP, RANGE:
NW 1/4, S16, T18N, R3E

CLIENT:

FAMILY EXPRESS CORPORATION

213 SOUTH S.R. 49
VALPARAISO, IN 46383

PLAN DATE:
8/30/2024

DESIGN: AF CHECK: AF DRAWN: KG

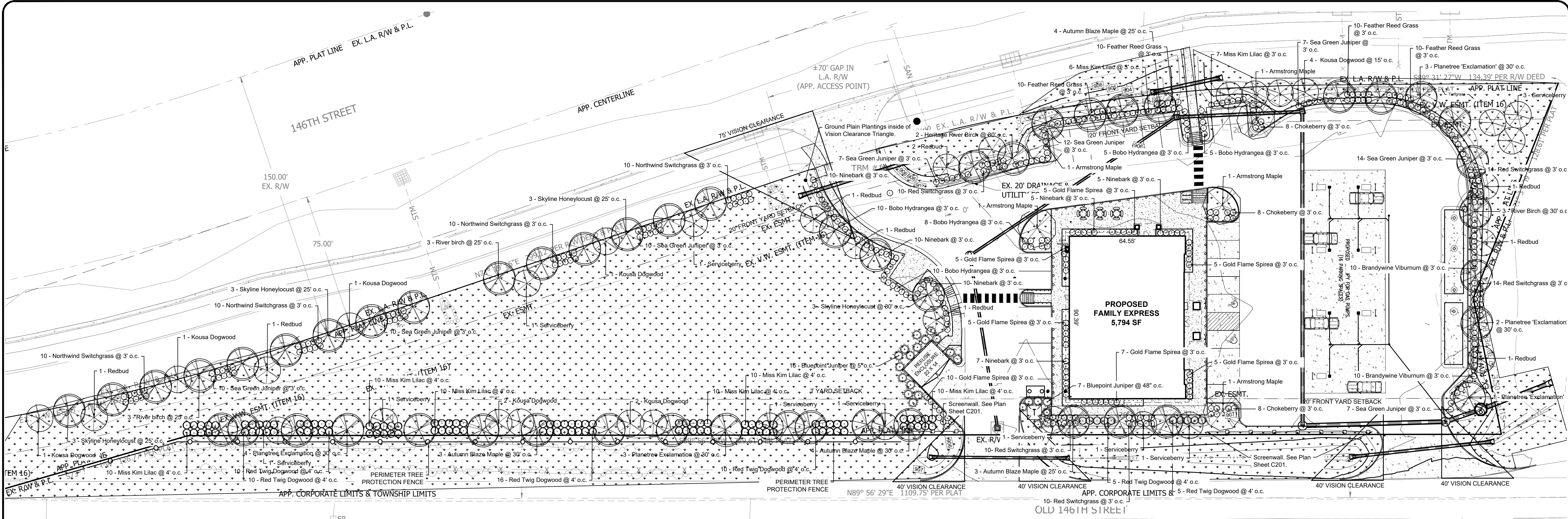
PROJECT NO:
2407004

SHEET NAME:
SITE PLAN

SHEET NO.
C201

SITE DATA TABLE	
ZONING CLASSIFICATION FOR: 1527 W. 146TH ST. , WESTFIELD	HARMONY PUD, AUTOMOTIVE SERVICE USE
PARCEL SIZE	2.61
BUILDING SIZE	5,794 SF
PERVIOUS/IMPERVIOUS AREA	IMPERVIOUS AREA = 1.025 ACRES PERVIOUS AREA = 1.58 ACRES TOTAL PROJECT AREA = 2.61 ACRES
VEHICULAR PARKING:	23 REGULAR PARKING SPACES + 2 ADA SPACES 25 TOTAL SPACES PROVIDED
NOTES:	

DATE: 8/30/2024 11:14 AM
DRAWN: KG
CHECK: AF
DESIGN: AF
PROJECT NO: 2407004
SHEET NO: C201
SHEET NAME: SITE PLAN



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PROJECT:

**FAMILY
EXPRESS
WESTFIELD**

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1527 W. 146TH ST.
WESTFIELD, INDIANA 46074
HAMILTON COUNTY
SECTION, TOWNSHIP, RANGE:
NW 1/4, S16, T18N, R3E

CLIENT:

FAMILY EXPRESS CORPORATION
213 SOUTH S.R. 49
VALPARAISO, IN 46383

PLAN DATE:
8/30/2024

DESIGN: AF CHECK: AF DRAWN: KG

PROJECT NO:
2407004

SHEET NAME:
LANDSCAPE PLAN

SHEET NO.
L101

QUANTITY	BOTANICAL NAME	COMMON NAME	CONDITION	SIZE	COMMENTS
DECIDUOUS CANOPY TREES					
14	Acer freemanii 'Autumn Blaze'	'Autumn Blaze' Maple	B&B	2.5", 8 Ft. High	For Spacing See Plan
12	Gleditsia triacanthos inermis	Skyline Honeylocust	B&B	2.5", 8 Ft. High	For Spacing See Plan
13	Platanus acerfolia x 'Exclamation'	PlaneTree Exclamation	B&B	2.5", 8 Ft. High	For Spacing See Plan
11	Betula nigra 'Heritage'	'Heritage' River Birch	B&B	2.5", 8 Ft. High	For Spacing See Plan
5	Acer rubrum 'Armstrong'	Armstrong Columnar Maple	B&B	2.5", 8 Ft. High	For Spacing See Plan
DECIDUOUS ORNAMENTAL TREES					
12	Amelanchier x grandiflora 'Autumn Brilliance'	'Autumn Brilliance' Serviceberry	B&B	1.5"	For Spacing See Plan
10	Cercis Canadensis	Eastern Redbud	B&B	1.5"	For Spacing See Plan
12	Cornus kousa	Kousa Dogwood	B&B or Container	1.5" Multi-stem	For Spacing See Plan
DECIDUOUS SHRUBS					
38	Hydrangea paniculata	'Bobo' Hydrangea	Container	24"	For Spacing See Plan
42	Spiraea x bumalda 'Gold Flame'	Gold Flame Spirea	Container	24"	For Spacing See Plan
73	Syringa patula 'Miss Kim'	Miss Kim Lilac	Container	24"	For Spacing See Plan
47	Physocarpus opulifolius 'Tiny Wine'	Tiny Wine Ninebark	Container	24"	For Spacing See Plan
20	Viburnum nudum 'Brandywine'	Brandywine Viburnum	Container	24"	For Spacing See Plan
56	Cornus Sericea	Red Twig Dogwood	Container	24"	For Spacing See Plan
24	Aronia melanocarpa 'Low Scape Mound'	Chokeberry Low Scape Mound	Container	24"	For Spacing See Plan
EVERGREEN SHRUBS					
70	Juniperus chinensis 'Sea Green'	Sea Green Juniper	Container	24"	For Spacing See Plan
23	Juniperus chinensis 'Blue Point'	Blue Point Juniper	Container	5'	For Spacing See Plan
ORNAMENTAL GRASS					
40	Calamagrostis acutiflora	Karl Foerster Feather Reed Grass	Container	#2	For Spacing See Plan
44	Panicum virgatum 'Cheyenne Sky'	Red Switch Grass	Container	#2	For Spacing See Plan
40	Panicum virgatum 'Northwind'	Northwind Switchgrass	Container	#2	For Spacing See Plan

PLANTING SCHEDULE

SYMBOL LEGEND

PROPOSED CANOPY TREE

PROPOSED ORNAMENTAL TREE

PROPOSED EVERGREEN TREE

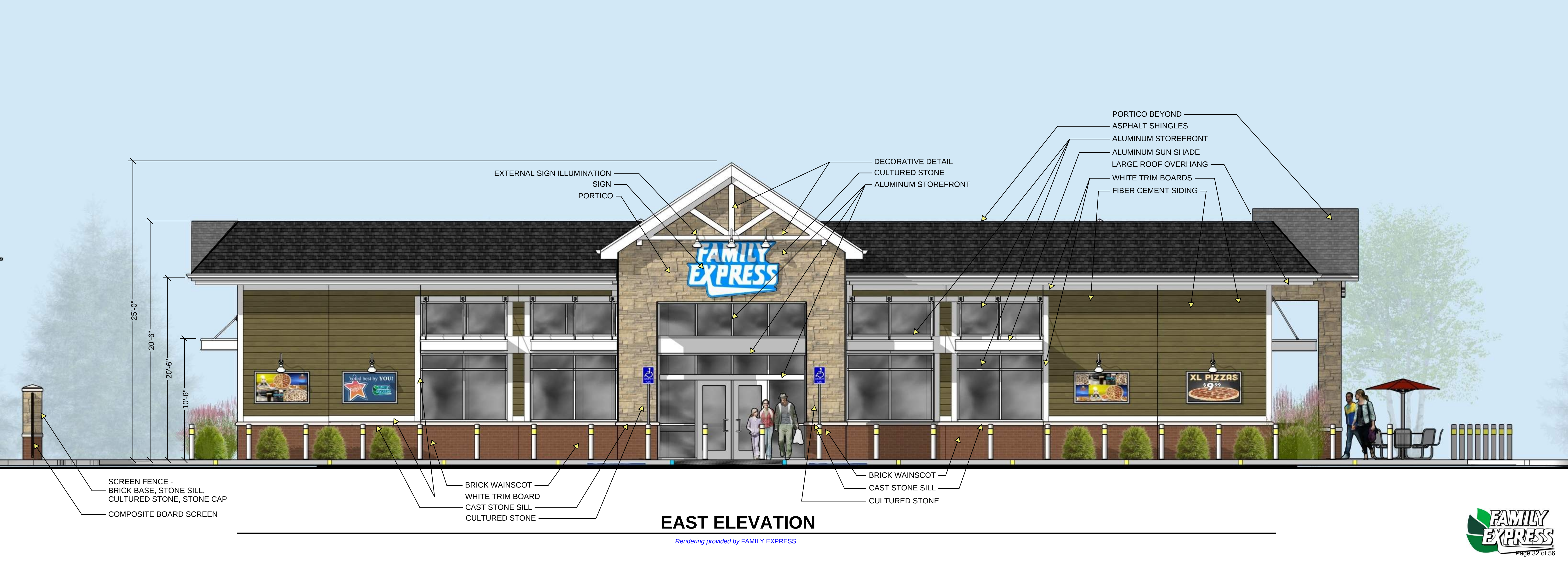
PROPOSED SHRUB/ ORNAMENTAL GRASS

TURF/GRASS REQUIRED

MULCH REQUIRED

PLANT MATERIAL CALCULATIONS TABLE		
ZONING CLASSIFICATION, CITY OF WESTFIELD, PUD	PLANT MATERIAL REQUIREMENTS ARE SET FORTH BY THE HARMONY PUD AND THE CITY OF WESTFIELD UDO	
	REQUIRED	PROVIDED
MINIMUM LOT PLANT MATERIAL	COMMERCIAL/BUSINESS USE, 10 SHADE TREES, 10 ORNAMENTAL OR EVERGREEN TREES, AND 25 SHRUBS PER ACRE ~2.61 ACRES 26 SHADE TREES, 26 ORNAMENTAL OR EVERGREEN TREES, AND 65 SHRUBS REQUIRED.	>27 SHADE TREES, >27 ORNAMENTAL/ EVERGREEN TREES, AND >66 SHRUBS
BUILDING FOUNDATION	8' WIDE PLANTING AREA, 1 SHRUB OR ORNAMENTAL TREE PER 12 LF OF FRONT BUILDING FACADE, AND PLANT MATERIAL EVERY 40 LF FOR BUILDING WALLS GREATER THAN 80 LF IN LENGTH	NORTH (FRONT) - 65 LF > 6 ORNAMENTAL TREES/SHRUBS EAST (FRONT) - 90 LF > 8 ORNAMENTAL TREES/SHRUBS WEST - 90 LF > 3 ORNAMENTAL TREES/SHRUBS SOUTH (FRONT) - 65 LF > 6 ORNAMENTAL TREES/SHRUBS
PARKING LOT INTERIOR	7.5% OF PARKING AREA TO CONTAIN ISLANDS, 1 TREE AND 4 SHRUBS PER ISLAND ~16,000 SFT PARKING AREA X 0.075 = 1,200 SFT ISLAND AREA REQUIRED	>1,200 SFT OF ISLAND AREA, 7 SHADE TREES AND 28 SHRUBS
PARKING LOT EXTERIOR	5' WIDE PLANTING AREA, 1 TREE PER 30 LF AND 1 SHRUB PER 3 LF OF PARKING LOT PERIMETER NORTH - 300 LF WEST - 55 LF EAST - 160 LF SOUTH - 90 LF	NORTH - >10 TREES AND >100 SHRUBS WEST - 6 TREES AND 60 SHRUBS EAST - >8 TREES AND >59 SHRUBS SOUTH - 90 LF OF 6' HIGH SCREEN WALL.
EXTERNAL STREET	10' WIDE PLANTING AREA, 3 SHADE OR EVERGREEN TREES, 2 ORNAMENTAL TREES, AND 25 SHRUBS PER 100 LF. NORTH - FRONTAGE SOUTH - FRONTAGE THIS REQUIREMENT WILL BE CREDITED TOWARD PARKING PERIMETER LANDSCAPING AS THE PARKING LOT IS LESS THAN 20' FROM THE R/W	NORTH - 24 SHADE TREES, 16 ORNAMENTAL TREES, AND 195 SHRUBS EAST - 6 SHADE TREES, 4 ORNAMENTAL TREES, AND 49 SHRUBS SOUTH - 17 SHADE TREES, 11 ORNAMENTAL TREES, AND 135 SHRUBS
DUMPSTER SCREENING	6' HIGH OPAQUE SCREEN	VEGETATIVE AND ARCHITECTURAL SCREEN

DATE: 8/30/2024 11:58 AM
BY: J. F. FRITZ
PROJECT: 2407004 - FAMILY EXPRESS CORPORATION
SHEET: L101 - LANDSCAPE PLAN
SCALE: 1" = 30'



EXTERNAL SIGN ILLUMINATION
SIGN
PORTICO

DECORATIVE DETAIL
CULTURED STONE
ALUMINUM STOREFRONT

PORTICO BEYOND
ASPHALT SHINGLES
ALUMINUM STOREFRONT
ALUMINUM SUN SHADE
LARGE ROOF OVERHANG
WHITE TRIM BOARDS
FIBER CEMENT SIDING

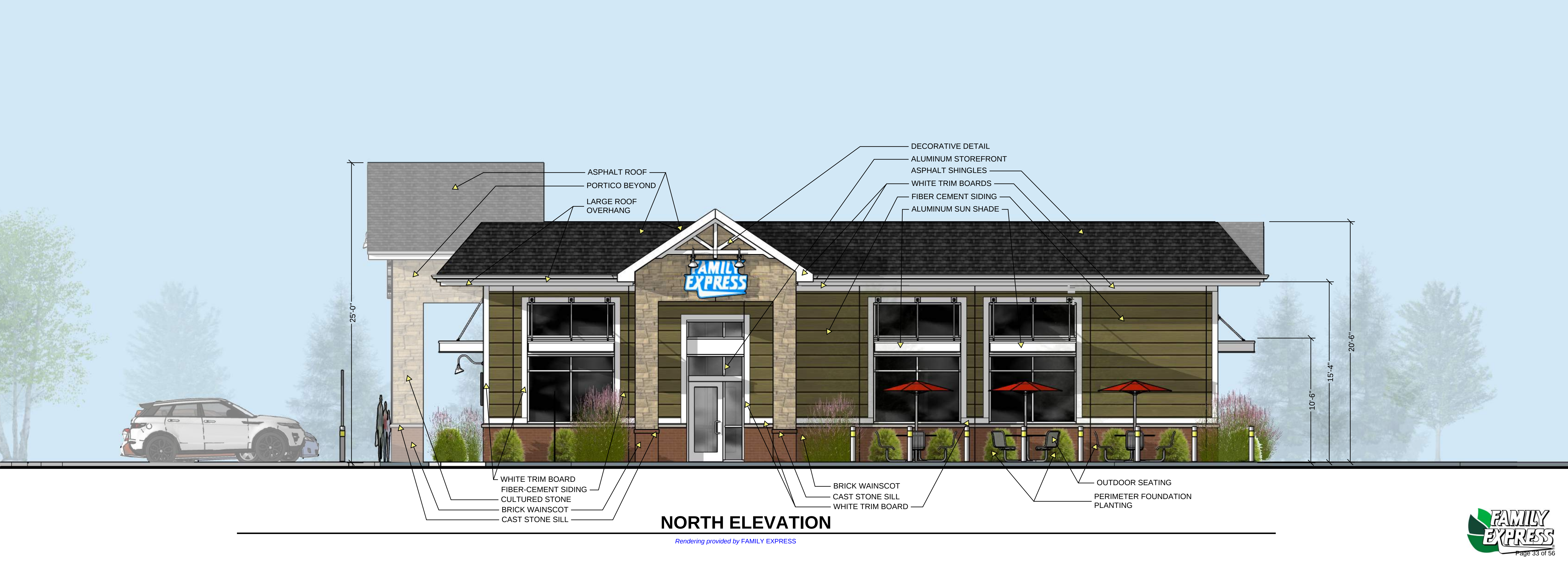
SCREEN FENCE -
BRICK BASE, STONE SILL,
CULTURED STONE, STONE CAP
COMPOSITE BOARD SCREEN

BRICK WAINSCOT
WHITE TRIM BOARD
CAST STONE SILL
CULTURED STONE

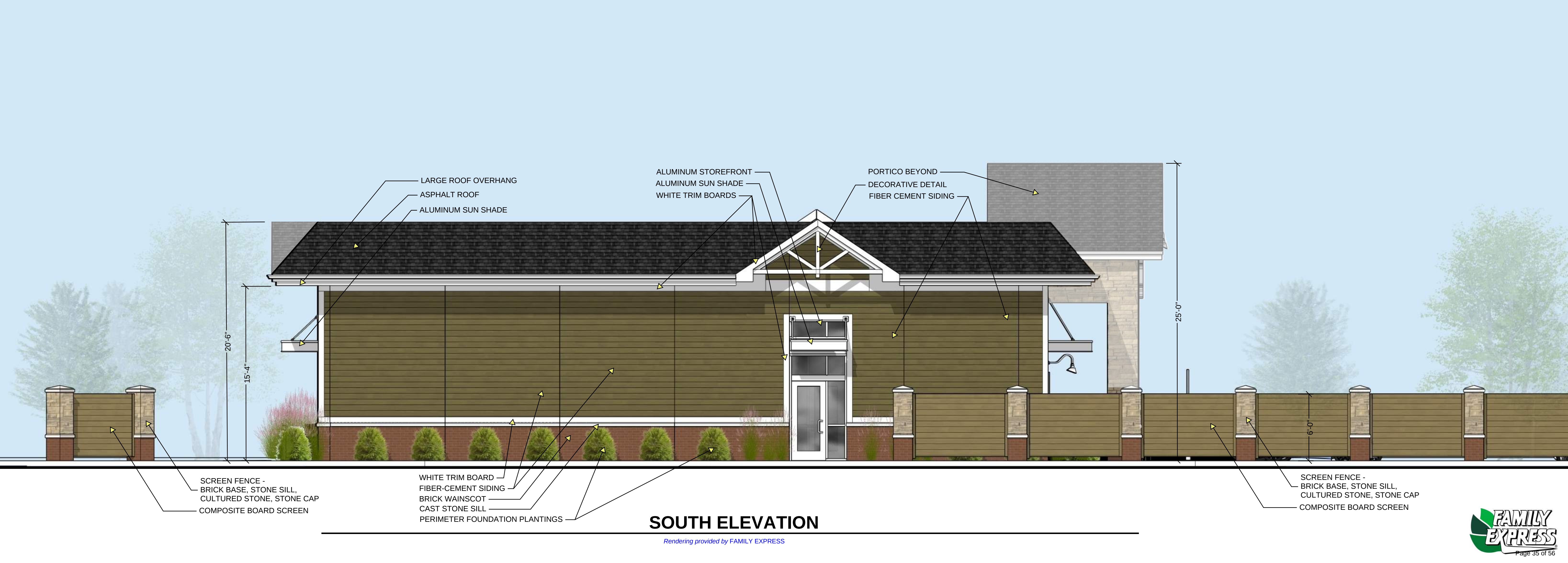
BRICK WAINSCOT
CAST STONE SILL
CULTURED STONE

EAST ELEVATION

Rendering provided by FAMILY EXPRESS







LARGE ROOF OVERHANG
ASPHALT ROOF
ALUMINUM SUN SHADE

ALUMINUM STOREFRONT
ALUMINUM SUN SHADE
WHITE TRIM BOARDS

PORTICO BEYOND
DECORATIVE DETAIL
FIBER CEMENT SIDING

SCREEN FENCE -
BRICK BASE, STONE SILL,
CULTURED STONE, STONE CAP
COMPOSITE BOARD SCREEN

WHITE TRIM BOARD
FIBER-CEMENT SIDING
BRICK WAINSCOT
CAST STONE SILL
PERIMETER FOUNDATION PLANTINGS

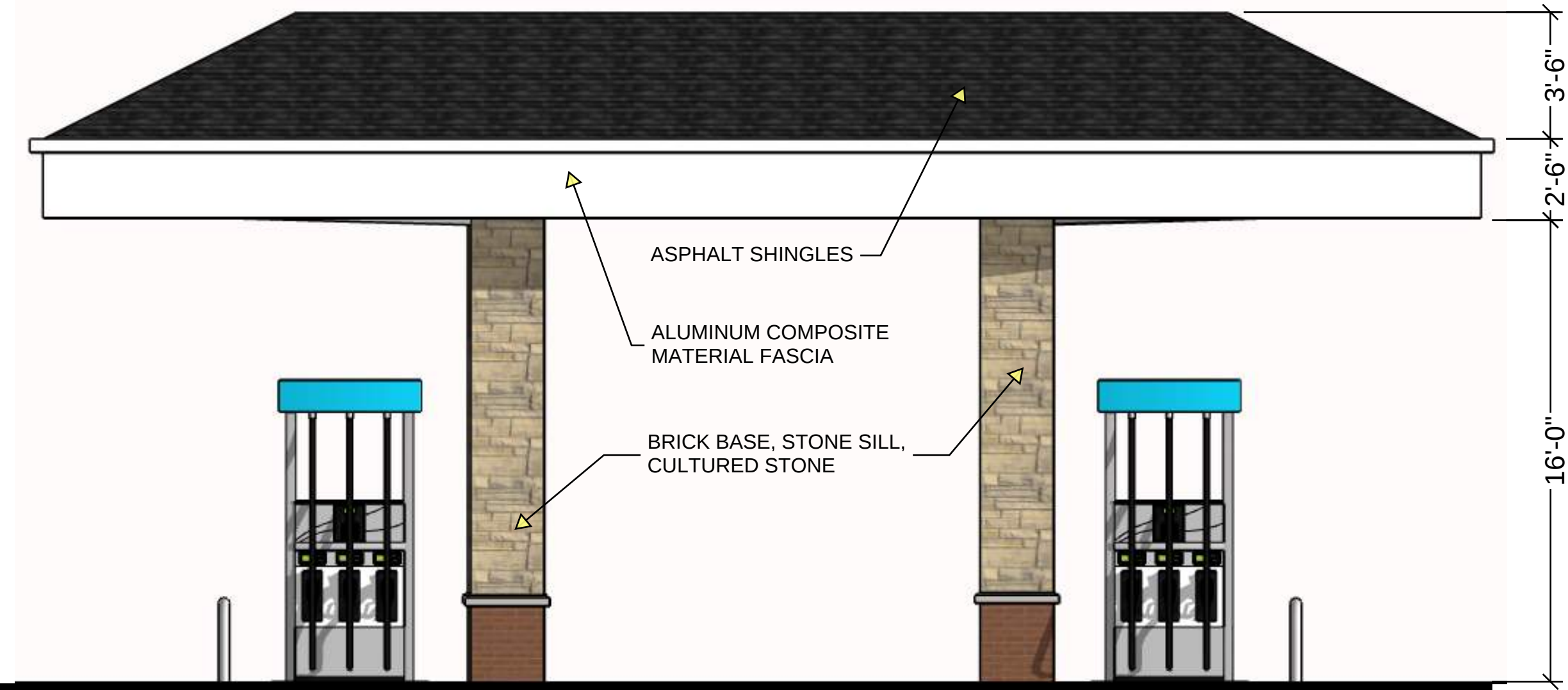
SCREEN FENCE -
BRICK BASE, STONE SILL,
CULTURED STONE, STONE CAP
COMPOSITE BOARD SCREEN

SOUTH ELEVATION

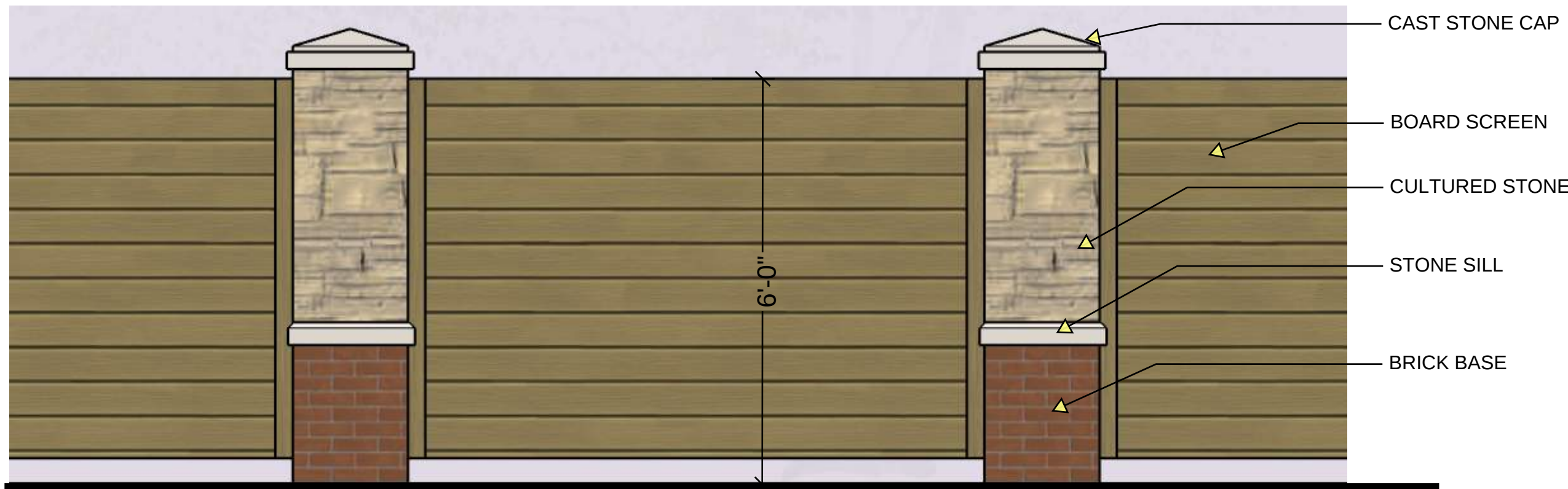
Rendering provided by FAMILY EXPRESS



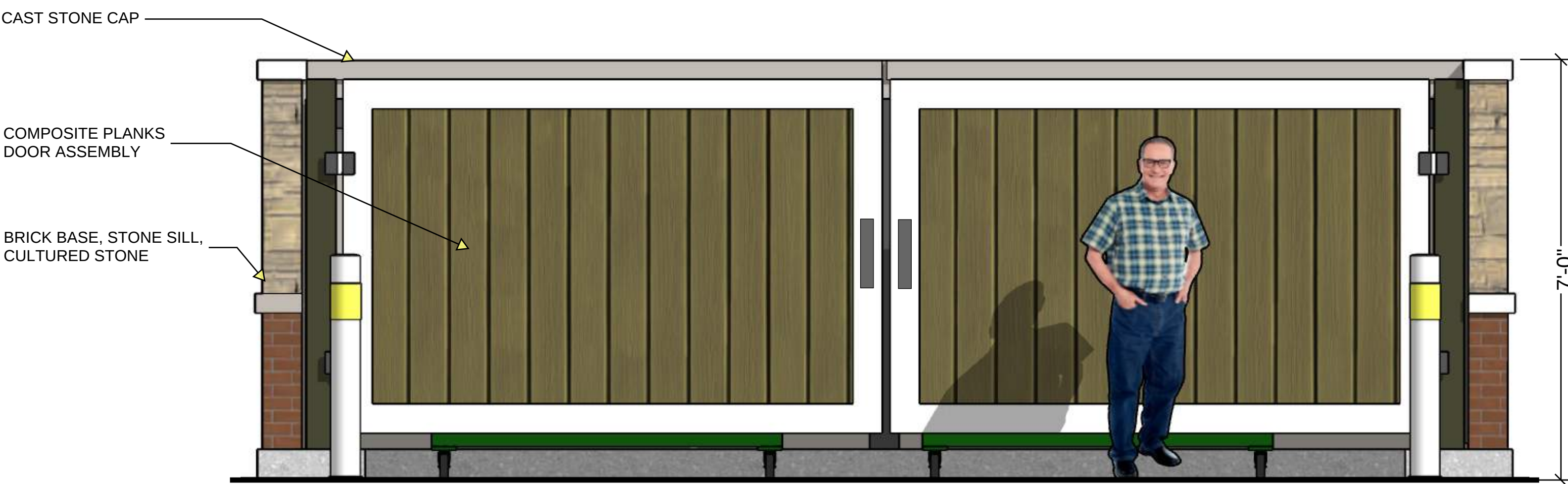
FUEL CANOPY EAST/WEST ELEVATION



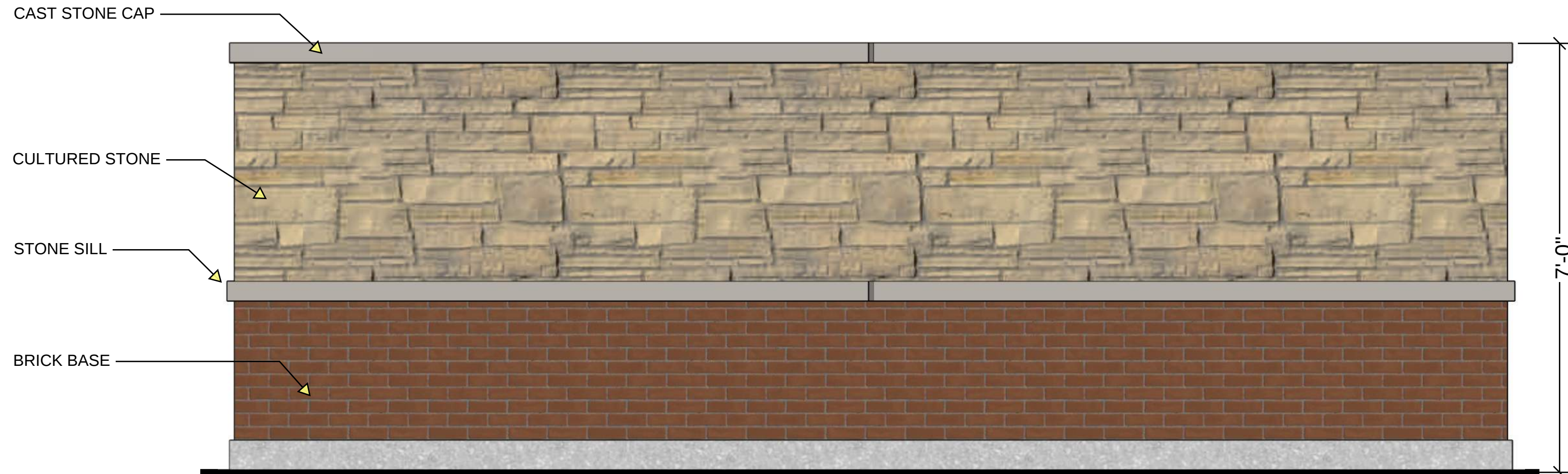
FUEL CANOPY NORTH/SOUTH ELEVATION



FUEL CANOPY NORTH/SOUTH ELEVATION



REFUSE ENCLOSURE FRONT ELEVATION



REFUSE ENCLOSURE FRONT ELEVATION



Petition Number: 2501-DDP-02
Project Name: Westfield Operations Center
Subject Site Address: 17303 Ditch Rd.
Petitioner: Westfield Washington Schools
Representative: Schmidt Associates, Inc.
Request: Detailed Development Plan review of a new Schools operations development on 35.9 acres +/- in the Maple Knoll PUD District.
Current Zoning: Maple Knoll PUD District
Current Land Use: Institutional
Approximate Acreage: 35.9 acres +/-
Staff Reviewer: Ryan Collingwood, Associate Planner

PROCEDURAL

Approval of a Development Plan must be granted if the submitted plan demonstrates compliance with the terms of the underlying zoning district, subdivision control ordinance and/or applicable PUD District Ordinance, any variances associated with the site, and any commitments associated with the site.

REVIEW COMMENTS

- 1) Please provide copies or copy this Department on any correspondence you receive from Technical Advisory Committee members and your correspondence to them.
- 2) Additional comments may be forthcoming following review by the Technical Advisory Committee and after the revised Detailed Development Plan has been submitted and reviewed.
- 3) The comments contained herein identify those items that are determined by this Department to be outstanding that need addressed prior to approval of the Detailed Development Plan. **Please note some of the standards noted herein are reviewed by the Public Works Department.** The Public Works Department may identify outstanding items accordingly that need addressed prior to approval.
- 4) ***The Unified Development Ordinance, as amended (Ord. 17-10), no longer requires a public hearing for Development Plan review approval. Once plans have been determined to be in***

compliance with the applicable ordinances, the petition will be placed on the next scheduled Plan Commission meeting agenda.

- 5) Abbreviations:
- a) WPWD: Westfield Public Works Department
 - b) HCSO: Hamilton County Surveyor's Office
-

DEVELOPMENT PLAN (Article 10.7(G) of the UDO):

The plans comply.

- 6) Area map insert showing the general location of the site referenced to Streets, section lines and alternative transportation plan system, as well as the Zoning District and use of adjacent property.
- 7) Address and legal description of the property.
- 8) Boundary lines of the property including all dimensions.
- 9) Location, name, centerline and width of all Streets, Private Streets, Alleys, access easements and alternative transportation plan system improvements that are existing or proposed to be located within or adjacent to the property.
- 10) Location, centerline and width (at the Lot Line) measurements of any proposed or existing Driveways within two hundred (200) feet of the property, and any connection to an Alley must be indicated.
- 11) Location and dimensions of primary vehicular ways in and around the proposed development, including depictions of all travel lanes, turning movements, vehicle storage areas and tapers.
- 12) All proposed Street and Driveway improvements, both on and offsite, including measurement of curb radius and/or taper.
- 13) Location and dimensions of existing and proposed sidewalks, pathways, trails or other alternate transportation plan improvements.
- 14) Layout, number, dimension and area (in square feet and acres) of all Lots and Outlots with Building Setback Lines.

- 15) Location and dimensions of all existing structures and paved areas.
 - 16) Location and dimensions of all proposed structures and paved areas (indicated by cross-hatching).
 - 17) Location of all Floodplain areas within the boundaries of the property.
 - 18) Names of legal ditches and streams on or adjacent to the site.
 - 19) Location and feasibility statement of all existing and proposed utility facilities and easements, including, but not limited to: sanitary sewer, water, storm water management, electric, gas, telephone and cable.
 - 20) Identify buildings proposed for demolition.
 - 21) Areas of the property reserved for Development Amenities, Open Space and other similar uses.
 - 22) Use of each Lot and/or building by labeling, including approximate density or size of proposed uses and buildings (e.g., number of parking spaces, Dwelling Units, Gross Floor Area, Living Area).
 - 23) Misc.
-

DEVELOPMENT PLAN REVIEW (Article 10.7(E) of the UDO):

The plans comply.

- 24) Compliance with all applicable development and design standards of the Zoning District in which the real estate is located.
- 25) Compliance with all applicable provisions of any Overlay District in which the real estate is located.
- 26) Management of traffic will be in a manner that creates conditions favorable to health, safety, convenience, and the harmonious development of the community such that:
 - a) The design and location of proposed street and highway access points shall minimize safety hazards and congestion.

- b) The capacity of adjacent streets and highways is sufficient to safely and efficiently accept traffic that will be generated by the new development.
 - c) The entrances, streets and internal traffic circulation facilities in the proposed development are compatible with existing and planned streets and adjacent development.
- 27) The applicable utilities have sufficient capacity to provide potable water, sanitary sewer facilities, electricity, telephone, natural gas, and cable service at a satisfactory level of service to meet the needs of the proposed development.

DISTRICT & DEVELOPMENT STANDARDS

The plans comply with SF2 District, at the time of PUD filing and the Maple Knoll PUD District (Ord. 04-01), as amended.

28) Development & Architectural Standards (*Ord. 04-01, Exhibit 15*)

- | | |
|--|---|
| a) Minimum Lot Width at Building Line: | 40 Feet |
| b) Minimum Lot Width at Street: | 20 Feet |
| c) Minimum Lot Depth: | 20 Feet |
| d) Minimum Lot Area: | 2,400 sq-ft |
| e) Front Setback: | 15 Feet |
| f) Minimum Side Setback: | 0 Feet; provided, however, that the minimum separation between Buildings shall be 10 Feet |
| g) Minimum Rear Setback: | 20 Feet; provided, however, that no building elevation shall be closer than thirty (30) feet to Ditch Road or the |

existing or realigned 169th Street.

- h) Maximum Building Height: Forty-five (45) feet
- i) Minimum Building Separation: 0 Feet Attached, 10 Feet Detached
- j) Exterior Materials and Colors:
 - i) In all areas other than doors, garage doors, and windows, the exterior of all buildings shall consist of a combination of masonry (e.g.: brick, stone, cut-faced block, stucco), glass, composite (e.g.: fiber cement, cultured stone, PVC), and wood products.
 - ii) Exterior building materials shall not include smooth-faced concrete block, tilt-up concrete panels, prefabricated steel panels, vinyl siding, and aluminum siding.
 - iii) Exterior façade and trim colors shall be of low reflectance, and selected from a palette authorized by the Developer (or its successor).
- k) Façades:
 - i) Facades greater than twelve (12) feet long, measured horizontally, shall require 20% fenestration. In addition, where large retail structures contain additional, separately owned or leased stores that occupy less than 25,000 SF of gross floor area and have separate, exterior customer entrances, the street level Facade of such stores shall be transparent between the height of three (3) and eight (8) feet above the walkway grade for no less than 60% of the horizontal length of the building Facade of such additional stores.
 - ii) No uninterrupted length of any Facade shall exceed seventy-five (75) horizontal feet. Facades greater than seventy-five (75) feet in length, measured horizontally, shall incorporate wall plane projections or recesses having a depth of at least 3% of the length of the Facade and extending at least 20% of the length of the Facade.

iii) Facades shall include a repeating pattern that includes no less than three (3) of the following elements: color change, texture change, material change, fenestration change (windows, doors, openings, etc.), or profile change (turns & projections, etc.).

l) Roofs:

- i) Roof profiles shall be gabled, hip, or parapet.
- ii) Roofing materials shall be asphalt or fiberglass shingles, standing seam metal, composite, or PVC.

m) Exterior Mechanical Equipment: Shall be screened or hidden from all sides.

29) SECTION 13 – LANDSCAPING: Attached hereto and incorporated herein by reference as Exhibit 17 are landscape standards (the “Landscape Standards”) included in the Zoning Ordinance in force at the time of the enactment of this Maple Knoll PUD. Except as modified below in this Section 13, the Landscape Standards shall apply to the Real Estate.

a) At the Developer’s discretion, evergreen trees may be substituted in lieu of evergreen shrubbery on a 1:3 basis (tree:shrub).

b) Substitutions: 1 shade = 2 ornamental = 2 evergreen

c) Softening of Walls and Fences:

- i) Plant materials other than ground cover shall be placed intermittently (approximately every 40 feet) against long expanses (over 80 feet) of building walls, fences, and other barriers to create a softening effect. However, ground cover plants may supplement the plant materials required by this paragraph.

d) On-Site Requirements:

@ ~1 acre of improvements	Required	Provided
Shade Tree	2	20

Ornamental/Evergreen Tree	3	21
Shrubs	10	101

e) Buffer Yard Standards

- i) A landscape buffer, at least eighty (80) feet in width shall be provided along the east property line of the Real Estate. The buffer area shall include a landscaped mound, three (3) to five (5) feet in height. The mound shall be planted with at least ten (10) evergreen trees, ten (10) shade trees, and twenty-five (25) large shrubs.

f) Parking Area Landscaping

i) Interior Parking Lot Landscaping

- (1) 64 provided parking spaces = 10% of parking area to be islands

ii) Perimeter Parking Landscaping

- (1) One tree per 30 feet & One shrub per 3 feet

(a) West-side of Parking Area:

@ ~180 LF	Required	Provided
Tree	6	6
Shrub	60	64

30) SECTION 14 – SIGNAGE: Attached hereto and incorporated herein by reference as Exhibit 18 are signage standards (the “Signage Standards”) which replace and supersede any signage provisions and/or standards set forth in the Zoning Ordinance.

31) SECTION 15 – LIGHTING: Attached hereto and incorporated herein by reference as Exhibit 19 are lighting standards (the “Lighting Standards”) which replace and supersede any lighting provisions and/or standards set forth in the Zoning Ordinance.

32) SECTION 16 – PARKING: Attached hereto and incorporated herein by reference as Exhibit 20 are parking standards (the “Parking Standards”) which replace and supersede any parking provisions and/or standards set forth in the Zoning Ordinance.

33) SECTION 17 – STREET STANDARDS: Attached hereto and incorporated herein by reference as Exhibit 21 are Street Standards (the “Street Standards”) which supplement Street Standards contained in the Zoning Ordinance.

34) Fence Standards (*UDO Article 6.5*)

a) Height Limitations (*UDO Article 6.5(C)*)

- i) Fence height is measured from the topmost point thereof to the grade of the ground adjacent to the fence. Any fence placed upon an erected mound or berm or masonry wall must govern its total height to the limitations herein.
- ii) Fences enclosing an Institutional Use or a business or industrial property may consist of an open mesh fence not to exceed a height of ten (10) feet, unless otherwise further restricted by this Ordinance.

35) Landscaping Standards (*UDO Article 6.8*)

36) Lighting Standards (*UDO Article 6.9*)

37) Parking and Loading Standards (*UDO Article 6.14*)

38) Vision Clearance Standards (*UDO Article 6.19*)

- a) No Sign, fence, wall, landscaping, Public Utility Installation or other Improvement which obstructs sight lines between three (3) and nine (9) feet above a Street shall be permitted on a Corner Lot, unless otherwise approved in writing by the Public Works Department, within the triangular area formed by the Right-of-way line and a line connecting points:
 - i) Forty (40) feet from intersections of Collectors or Local Streets.
 - ii) Ten (10) feet from intersections of Driveways or Alleys.
 - iii) Twenty-five (25) feet from intersections of Private Streets.

DESIGN STANDARDS (Chapter 8 of UDO)

The plans comply.

39) Easement Standards (*UDO Article 8.3*)

40) Open Space and Amenity Standards (*UDO Article 8.6*)

41) Pedestrian Network Standards (*UDO Article 8.7*)

a) Internal Pedestrian Network Standards

- i) The minimum sidewalk width shall be as indicated in the Thoroughfare Plan or five (5) feet (six (6) feet if immediately abutting the curb), whichever is greater.
- ii) Connector sidewalks shall be provided from the sidewalk or path adjacent to the Street to the front entrance of all nonresidential structures. Where the sidewalk intersects driving lanes or parking aisles within the Parking Area, then crosswalks and ramps shall be installed in accordance with ADA requirements and such areas shall be delineated (e.g., pavers, stamped, bricked), as determined by the Plan Commission or Director, to reinforce pedestrian safety.

a) Perimeter/External Pedestrian Network Standards

- i) Where a proposed Development Plan or Subdivision abuts an existing Right-of-way, then pedestrian paths, jogging paths, and bicycle paths shall be provided along the perimeter Street(s) or Private Street(s) in accordance with the Thoroughfare Plan. The type of pedestrian facility required shall be as set forth in the Thoroughfare Plan. The County or Public Works Department, as applicable, may waive the requirement for a path along perimeter streets for a Minor Subdivision.
- ii) Generally, all required pedestrian facility improvements shall be located within the Right-of-way. Required improvements located outside of the Right-of-way shall be located within an easement approved by the Director or Public Works Department.

42) Storm Water Standards (*UDO Article 8.8*)

43) Street and Right-of-Way Standards (*UDO Article 8.9*)

44) Surety Standards (*UDO Article 8.12*)

45) Utility Standards (*UDO Article 8.13*)

DEPARTMENT COMMENTS

The plans presented comply with the applicable zoning ordinances.

Requested Action: Approve 2501-DDP-02 with the following conditions:

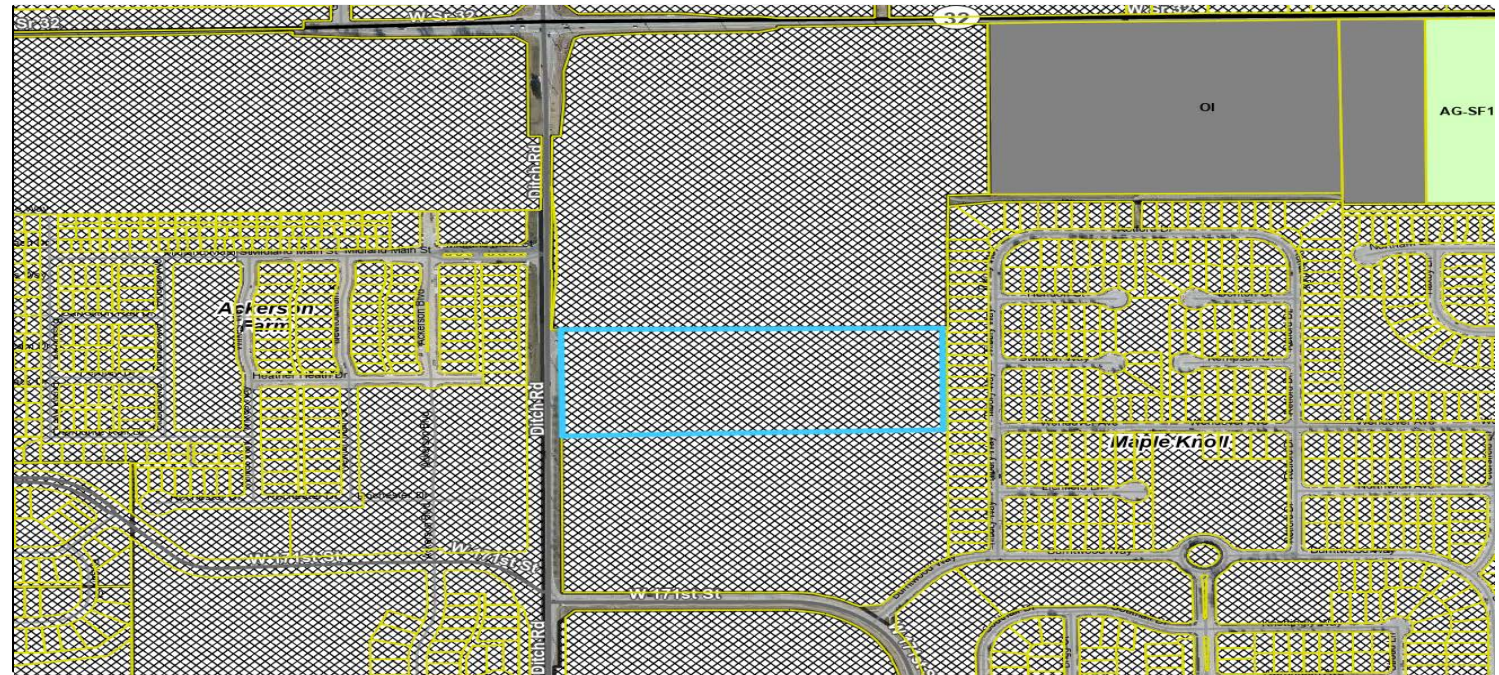
- That all necessary approvals be obtained from the Westfield Public Works Department prior to any work beginning on the Property.

Please contact Ryan Collingwood at rcollingwood@westfield.in.gov or (317) 741-8857 with questions prior to the meeting.

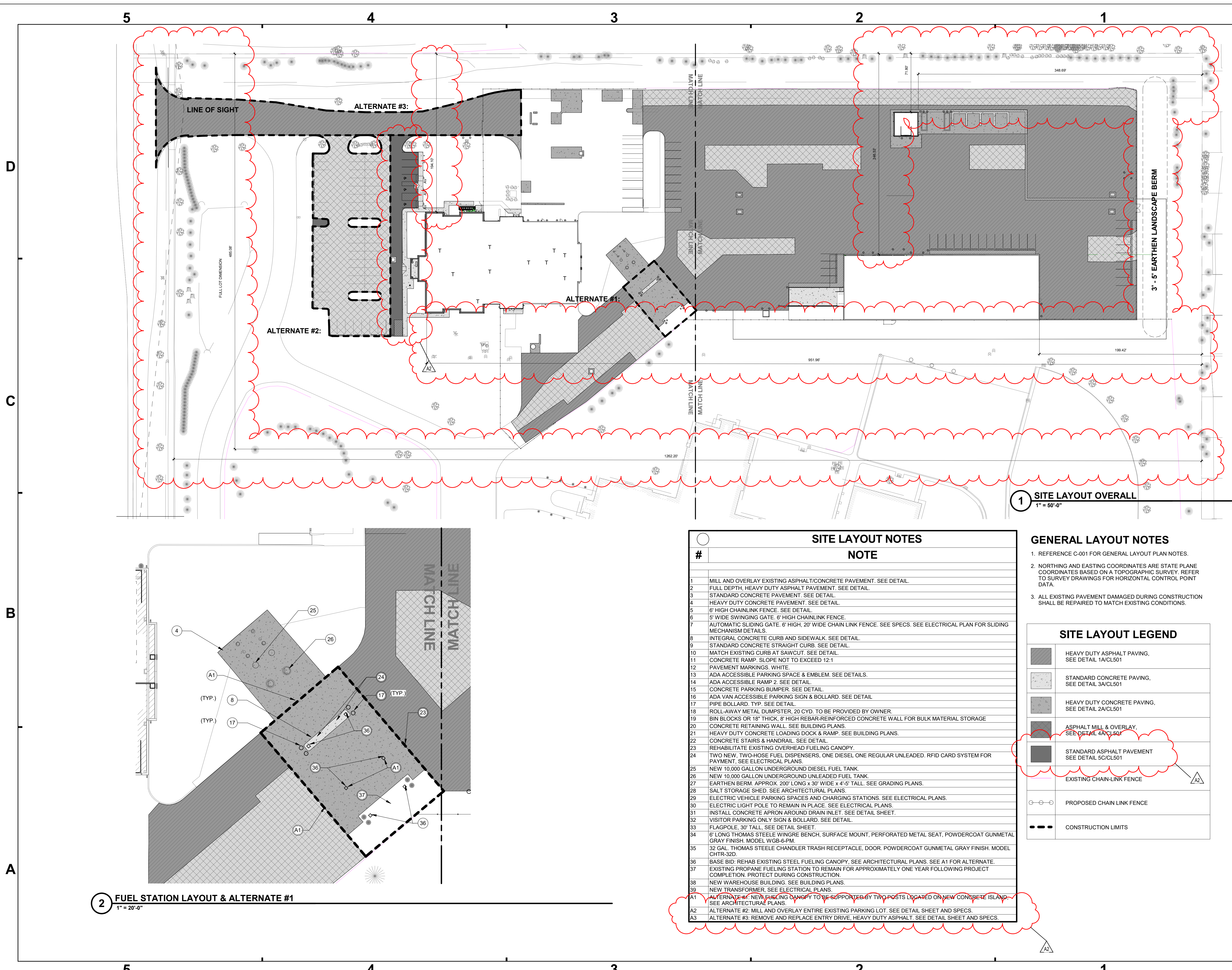
Aerial Location Map



Zoning Map



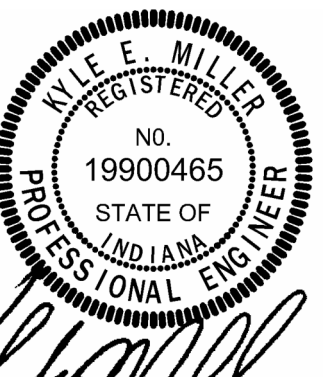
- Zoning**
-  PUD (Planned Unit Development)
 -  OI (Open Industrial)
 -  AG-SF1 (Ag / Single-family Rural)





SCHMIDT ASSOCIATES
schmidt-arch.com • 317.263.6226
415 Massachusetts Ave., Indianapolis, IN 46204
701 Brent St., #203, Louisville, KY 40204

Project No. 2022-121.WOB
Project Date 12.20.2024
Produced TAF



These Drawings and Specifications, and all copies thereof are and shall remain the property and copyright of the Architect. They shall be used only with respect to this Project and are not to be used on any other Project or Work without prior written permission from the Architect.

#	Revision	Date
A2	Addendum #2	01.24.25

17303 Ditch Road
Westfield, IN 46074

WESTFIELD WASHINGTON SCHOOLS

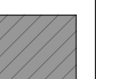
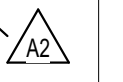
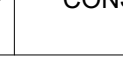


WESTFIELD OPERATIONS BUILDING

OVERALL SITE LAYOUT

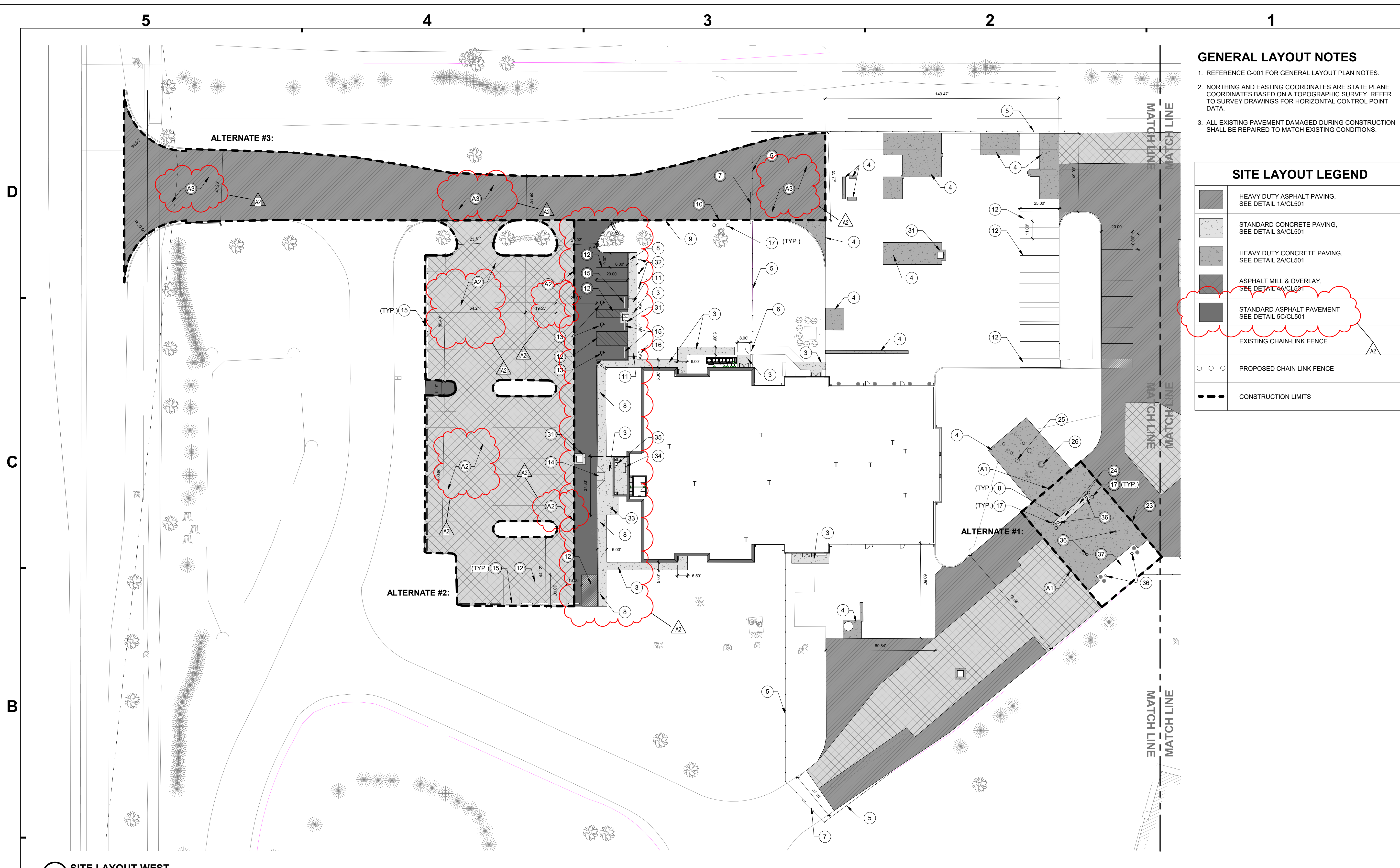
CL101

#	NOTE
1	MILL AND OVERLAY EXISTING ASPHALT/CONCRETE PAVEMENT. SEE DETAIL.
2	FULL DEPTH, HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL.
3	STANDARD CONCRETE PAVEMENT. SEE DETAIL.
4	HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL.
5	6" HIGH CHAINLINK FENCE. SEE DETAIL.
6	5' WIDE SWINGSING GATE, 6" HIGH CHAINLINK FENCE.
7	AUTOMATIC SLIDING GATE, 6" HIGH, 20' WIDE CHAIN LINK FENCE. SEE SPECS. SEE ELECTRICAL PLAN FOR SLIDING MECHANISM DETAILS.
8	INTEGRAL CONCRETE CURB AND SIDEWALK. SEE DETAIL.
9	STANDARD CONCRETE STRAIGHT CURB. SEE DETAIL.
10	MATCH EXISTING CURB AT SAWCUT. SEE DETAIL.
11	CONCRETE RAMP. SLOPE NOT TO EXCEED 12:1
12	PAVEMENT MARKINGS, WHITE.
13	ADA ACCESSIBLE PARKING SPACE & EMBLEM. SEE DETAILS.
14	ADA ACCESSIBLE RAMP 2. SEE DETAIL.
15	CONCRETE PARKING BUMPER. SEE DETAIL.
16	ADA VAN ACCESSIBLE PARKING SIGN & BOLLARD. SEE DETAIL.
17	PIPE BOLLARD, TYP. SEE DETAIL.
18	ROLL-AWAY METAL DUMPSTER, 20 CYD. TO BE PROVIDED BY OWNER.
19	BIN BLOCKS OR 18" THICK, 8" HIGH REBAR-REINFORCED CONCRETE WALL FOR BULK MATERIAL STORAGE
20	CONCRETE RETAINING WALL. SEE BUILDING PLANS.
21	HEAVY DUTY CONCRETE LOADING DOCK & RAMP. SEE BUILDING PLANS.
22	CONCRETE STAIRS & HANDRAIL. SEE DETAIL.
23	REHABILITATE EXISTING OVERHEAD FUELING CANOPY.
24	TWO NEW, TWO-HOSE FUEL DISPENSERS, ONE DIESEL ONE REGULAR UNLEADED. RFID CARD SYSTEM FOR PAYMENT. SEE ELECTRICAL PLANS.
25	NEW 10,000 GALLON UNDERGROUND DIESEL FUEL TANK.
26	NEW 10,000 GALLON UNDERGROUND UNLEADED FUEL TANK.
27	EARTHEN BERM, APPROX. 200' LONG x 30' WIDE x 4'-5' TALL. SEE GRADING PLANS.
28	SALT STORAGE SHED. SEE ARCHITECTURAL PLANS.
29	ELECTRIC VEHICLE PARKING SPACES AND CHARGING STATIONS. SEE ELECTRICAL PLANS.
30	ELECTRIC LIGHT POLE TO REMAIN IN PLACE. SEE ELECTRICAL PLANS.
31	INSTALL CONCRETE APRON AROUND DRAIN INLET. SEE DETAIL SHEET.
32	VISITOR PARKING ONLY SIGN & BOLLARD. SEE DETAIL.
33	FLAGPOLE, 30' TALL. SEE DETAIL SHEET.
34	6' LONG THOMAS STEELE WINGRE BENCH, SURFACE MOUNT, PERFORATED METAL SEAT, POWDERCOAT GUNMETAL GRAY FINISH. MODEL WGB-6-PM.
35	32 GAL. THOMAS STEELE CHANDLER TRASH RECEPTACLE, DOOR. POWDERCOAT GUNMETAL GRAY FINISH. MODEL CHTR-32D.
36	BASE BID: REHAB EXISTING STEEL FUELING CANOPY. SEE ARCHITECTURAL PLANS. SEE A1 FOR ALTERNATE.
37	EXISTING PROPANE FUELING STATION TO REMAIN FOR APPROXIMATELY ONE YEAR FOLLOWING PROJECT COMPLETION. PROTECT DURING CONSTRUCTION.
38	NEW WAREHOUSE BUILDING. SEE BUILDING PLANS.
39	NEW TRANSFORMER. SEE ELECTRICAL PLANS.
A1	ALTERNATE #1: NEW FUELING CANOPY TO BE SUPPORTED BY TWO POSTS LOCATED ON NEW CONCRETE ISLAND. SEE ARCHITECTURAL PLANS.
A2	ALTERNATE #2: MILL AND OVERLAY ENTIRE EXISTING PARKING LOT. SEE DETAIL SHEET AND SPECS.
A3	ALTERNATE #3: REMOVE AND REPLACE ENTRY DRIVE, HEAVY DUTY ASPHALT. SEE DETAIL SHEET AND SPECS.

SITE LAYOUT LEGEND	
	HEAVY DUTY ASPHALT PAVING, SEE DETAIL 1A/CL501
	STANDARD CONCRETE PAVING, SEE DETAIL 3A/CL501
	HEAVY DUTY CONCRETE PAVING, SEE DETAIL 2A/CL501
	ASPHALT MILL & OVERLAY, SEE DETAIL 4A/CL501
	STANDARD ASPHALT PAVEMENT SEE DETAIL 5C/CL501
	EXISTING CHAIN-LINK FENCE
	PROPOSED CHAIN LINK FENCE
	CONSTRUCTION LIMITS

- GENERAL LAYOUT NOTES**
- REFERENCE C-001 FOR GENERAL LAYOUT PLAN NOTES.
 - NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES BASED ON A TOPOGRAPHIC SURVEY. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
 - ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.

2 FUEL STATION LAYOUT & ALTERNATE #1
1" = 20'-0"



- GENERAL LAYOUT NOTES**
1. REFERENCE C-001 FOR GENERAL LAYOUT PLAN NOTES.
 2. NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES BASED ON A TOPOGRAPHIC SURVEY. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
 3. ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.

SITE LAYOUT LEGEND	
	HEAVY DUTY ASPHALT PAVING, SEE DETAIL 1A/CL501
	STANDARD CONCRETE PAVING, SEE DETAIL 3A/CL501
	HEAVY DUTY CONCRETE PAVING, SEE DETAIL 2A/CL501
	ASPHALT MILL & OVERLAY, SEE DETAIL 3A/CL501
	STANDARD ASPHALT PAVEMENT SEE DETAIL 5C/CL501
	EXISTING CHAIN-LINK FENCE
	PROPOSED CHAIN-LINK FENCE
	CONSTRUCTION LIMITS

1 SITE LAYOUT WEST
1" = 30'-0"

#	NOTE
1	MILL AND OVERLAY EXISTING ASPHALT/CONCRETE PAVEMENT. SEE DETAIL.
2	FULL DEPTH, HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL.
3	STANDARD CONCRETE PAVEMENT. SEE DETAIL.
4	HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL.
5	6" HIGH CHAINLINK FENCE. SEE DETAIL.
6	6" WIDE SWINGING GATE. 6" HIGH CHAINLINK FENCE.
7	AUTOMATIC SLIDING GATE. 6" HIGH, 20' WIDE CHAIN LINK FENCE. SEE SPECS. SEE ELECTRICAL PLAN FOR SLIDING MECHANISM DETAILS.
8	INTEGRAL CONCRETE CURB AND SIDEWALK. SEE DETAIL.
9	STANDARD CONCRETE STRAIGHT CURB. SEE DETAIL.
10	MATCH EXISTING CURB AT SAWCUT. SEE DETAIL.
11	CONCRETE RAMP. SLOPE NOT TO EXCEED 12:1
12	PAVEMENT MARKINGS. WHITE.
13	ADA ACCESSIBLE PARKING SPACE & EMBLEM. SEE DETAILS.
14	ADA ACCESSIBLE RAMP 2. SEE DETAIL.
15	CONCRETE PARKING BUMPER. SEE DETAIL.
16	ADA VAN ACCESSIBLE PARKING SIGN & BOLLARD. SEE DETAIL.

#	NOTE
17	PIPE BOLLARD. TYP. SEE DETAIL.
18	ROLL-AWAY METAL DUMPSTER. 20 CYD. TO BE PROVIDED BY OWNER.
19	BIN BLOCKS OR 18" THICK, 8" HIGH REBAR-REINFORCED CONCRETE WALL FOR BULK MATERIAL STORAGE
20	CONCRETE RETAINING WALL. SEE BUILDING PLANS.
21	HEAVY DUTY CONCRETE LOADING DOCK & RAMP. SEE BUILDING PLANS.
22	CONCRETE STAIRS & HANDRAIL. SEE DETAIL.
23	REHABILITATE EXISTING OVERHEAD FUELING CANOPY.
24	TWO NEW, TWO-HOSE FUEL DISPENSERS, ONE DIESEL ONE REGULAR UNLEADED. RFID CARD SYSTEM FOR PAYMENT. SEE ELECTRICAL PLANS.
25	NEW 10,000 GALLON UNDERGROUND DIESEL FUEL TANK.
26	NEW 10,000 GALLON UNDERGROUND UNLEADED FUEL TANK.
27	EARTHEN BERM. APPROX. 200' LONG X 30' WIDE X 4'-5' TALL. SEE GRADING PLANS.
28	SALT STORAGE SHED. SEE ARCHITECTURAL PLANS.
29	ELECTRIC VEHICLE PARKING SPACES AND CHARGING STATIONS. SEE ELECTRICAL PLANS.
30	ELECTRIC LIGHT POLE TO REMAIN IN PLACE. SEE ELECTRICAL PLANS.
31	INSTALL CONCRETE APRON AROUND DRAIN INLET. SEE DETAIL SHEET.
32	VISITOR PARKING ONLY SIGN & BOLLARD. SEE DETAIL.
33	FLAGPOLE. 30' TALL. SEE DETAIL SHEET.

#	NOTE
34	6' LONG THOMAS STEELE WINGRE BENCH, SURFACE MOUNT, PERFORATED METAL SEAT, POWDERCOAT GUNMETAL GRAY FINISH. MODEL WGB-6-PM.
35	32 GAL THOMAS STEELE CHANDLER TRASH RECEPTACLE, DOOR. POWDERCOAT GUNMETAL GRAY FINISH. MODEL CHTR-32D.
36	BASE BID. REHAB EXISTING STEEL FUELING CANOPY. SEE ARCHITECTURAL PLANS. SEE A1 FOR ALTERNATE.
37	EXISTING PROPANE FUELING STATION TO REMAIN FOR APPROXIMATELY ONE YEAR FOLLOWING PROJECT COMPLETION. PROTECT DURING CONSTRUCTION.
38	NEW WAREHOUSE BUILDING. SEE BUILDING PLANS.
39	NEW TRANSFORMER. SEE ELECTRICAL PLANS.
40	ALTERNATE #4: NEW FUELING CANOPY TO BE SUPPORTED BY TWO POSTS LOCATED ON NEW CONCRETE ISLAND. SEE ARCHITECTURAL PLANS.
A2	ALTERNATE #2: MILL AND OVERLAY ENTIRE EXISTING PARKING LOT. SEE DETAIL SHEET AND SPECS.
A3	ALTERNATE #3: REMOVE AND REPLACE ENTRY DRIVE, HEAVY DUTY ASPHALT. SEE DETAIL SHEET AND SPECS.

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Project Date 12.20.2024
Produced TAF

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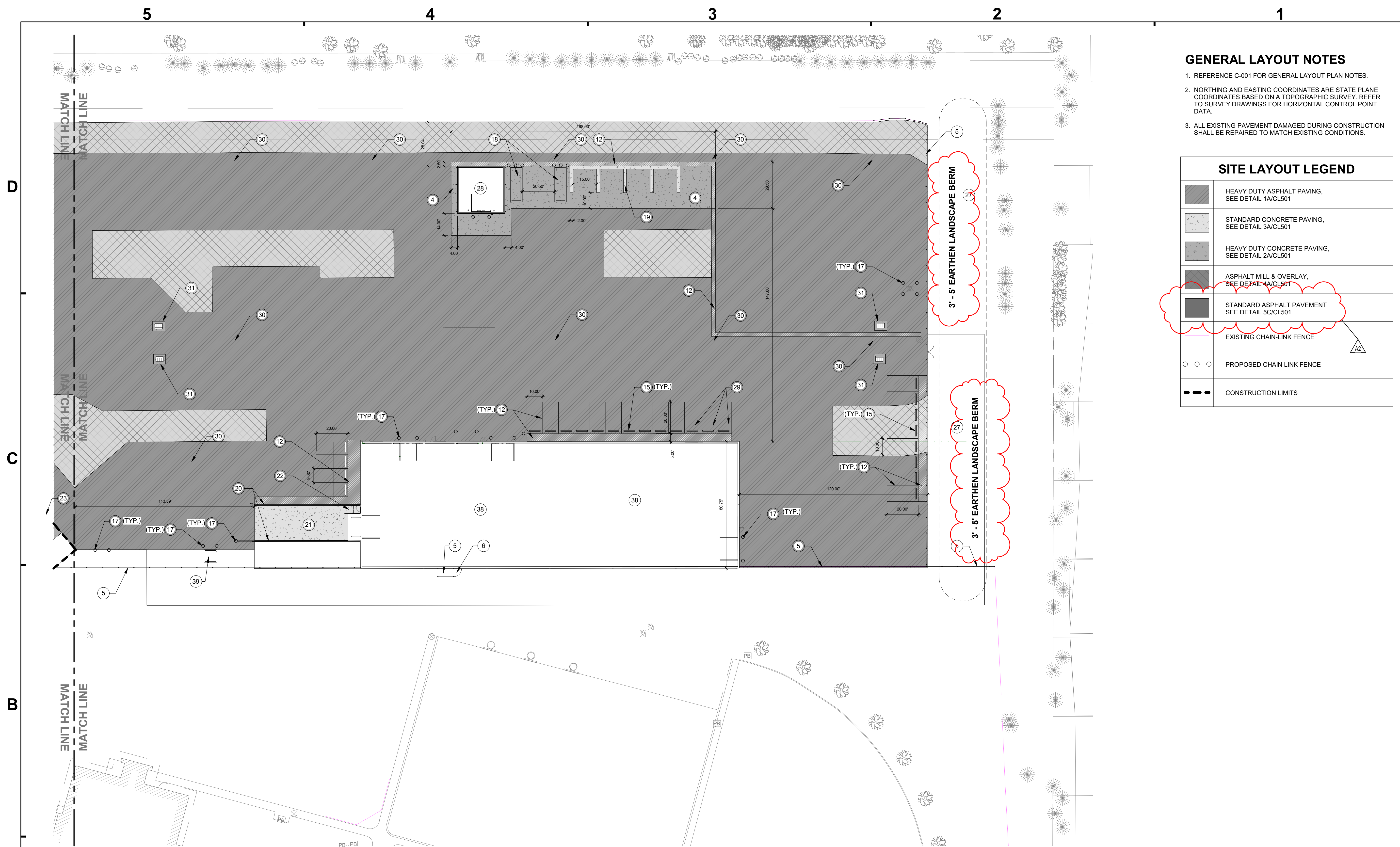
#	Revision	Date
A2	Addendum #2	01.24.25

17303 Ditch Road
Westfield, IN 46074

WESTFIELD WASHINGTON SCHOOLS

WESTFIELD OPERATIONS BUILDING

SITE LAYOUT PLAN- WEST
CL102



- GENERAL LAYOUT NOTES**
1. REFERENCE C-001 FOR GENERAL LAYOUT PLAN NOTES.
 2. NORTHING AND EASTING COORDINATES ARE STATE PLANE COORDINATES BASED ON A TOPOGRAPHIC SURVEY. REFER TO SURVEY DRAWINGS FOR HORIZONTAL CONTROL POINT DATA.
 3. ALL EXISTING PAVEMENT DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH EXISTING CONDITIONS.

SITE LAYOUT LEGEND	
	HEAVY DUTY ASPHALT PAVING, SEE DETAIL 1A/CL501
	STANDARD CONCRETE PAVING, SEE DETAIL 3A/CL501
	HEAVY DUTY CONCRETE PAVING, SEE DETAIL 2A/CL501
	ASPHALT MILL & OVERLAY, SEE DETAIL 4A/CL501
	STANDARD ASPHALT PAVEMENT, SEE DETAIL 5C/CL501
	EXISTING CHAIN-LINK FENCE
	PROPOSED CHAIN LINK FENCE
	CONSTRUCTION LIMITS

1 SITE LAYOUT EAST
1" = 30'-0"

#	NOTE
1	MILL AND OVERLAY EXISTING ASPHALT/CONCRETE PAVEMENT. SEE DETAIL.
2	FULL DEPTH, HEAVY DUTY ASPHALT PAVEMENT. SEE DETAIL.
3	STANDARD CONCRETE PAVEMENT. SEE DETAIL.
4	HEAVY DUTY CONCRETE PAVEMENT. SEE DETAIL.
5	6" HIGH CHAINLINK FENCE. SEE DETAIL.
6	6" WIDE SWINGING GATE, 6" HIGH CHAINLINK FENCE.
7	AUTOMATIC SLIDING GATE, 6" HIGH, 20' WIDE CHAIN LINK FENCE. SEE SPECS. SEE ELECTRICAL PLAN FOR SLIDING MECHANISM DETAILS.
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#	Revision	Date
A2	Addendum #2	01.24.25

17303 Ditch Road
Westfield, IN 46074

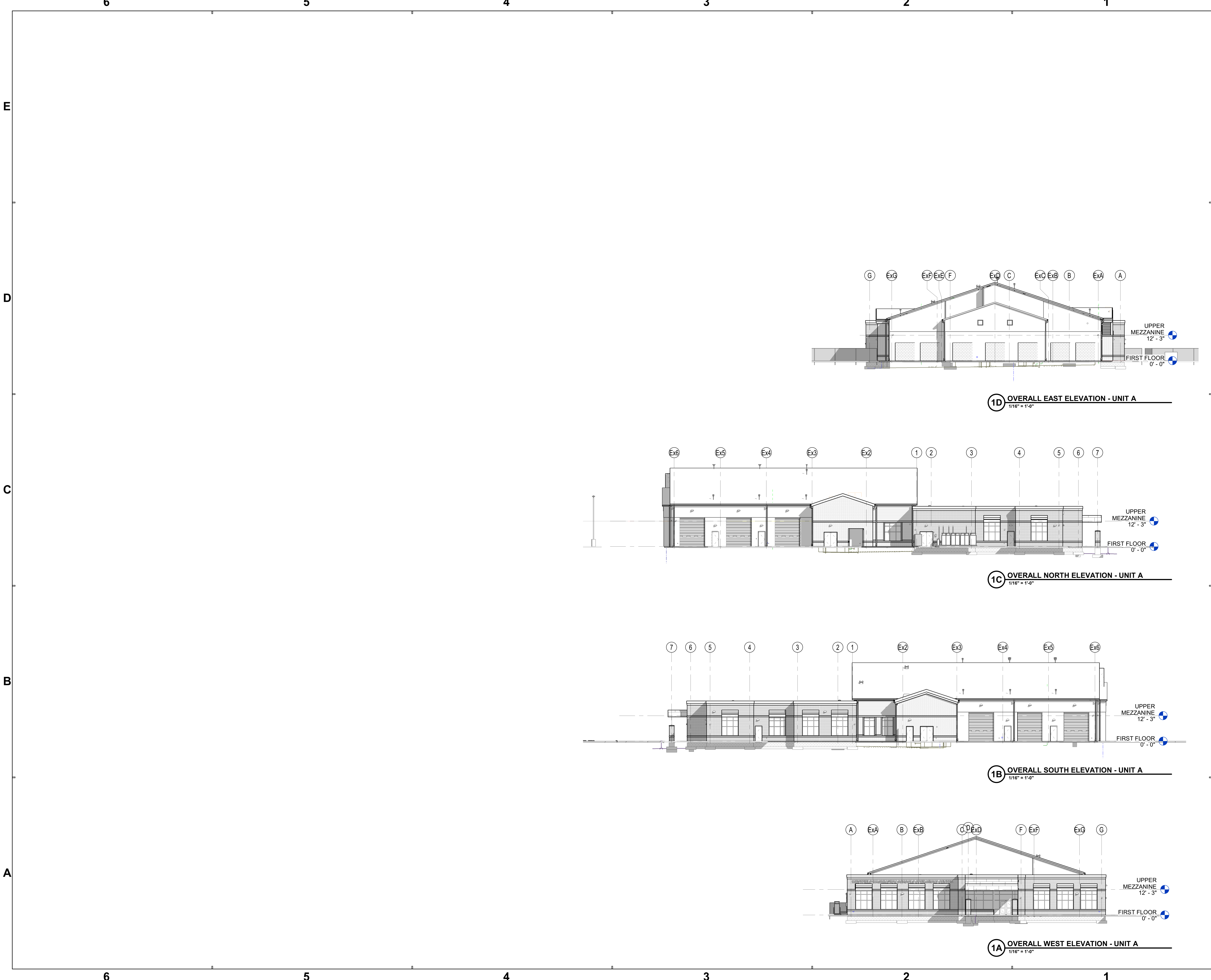
WESTFIELD WASHINGTON SCHOOLS

WESTFIELD OPERATIONS BUILDING

SITE LAYOUT PLAN- EAST

CL103

ARCHITECT: SCHMIDT ASSOCIATES
PROJECT: WESTFIELD WASHINGTON SCHOOLS
DATE: 12.20.2024
DRAWN BY: CM TE MP
CHECKED BY: SARAH K HEMPEL
SCALE: 1/16" = 1'-0"



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Sarah K. Hempel

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#	Revision	Date
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17303 Ditch Rd
Westfield, IN 46074

A
Operations

B
Storage

C
Salt Barn

KEY PLAN

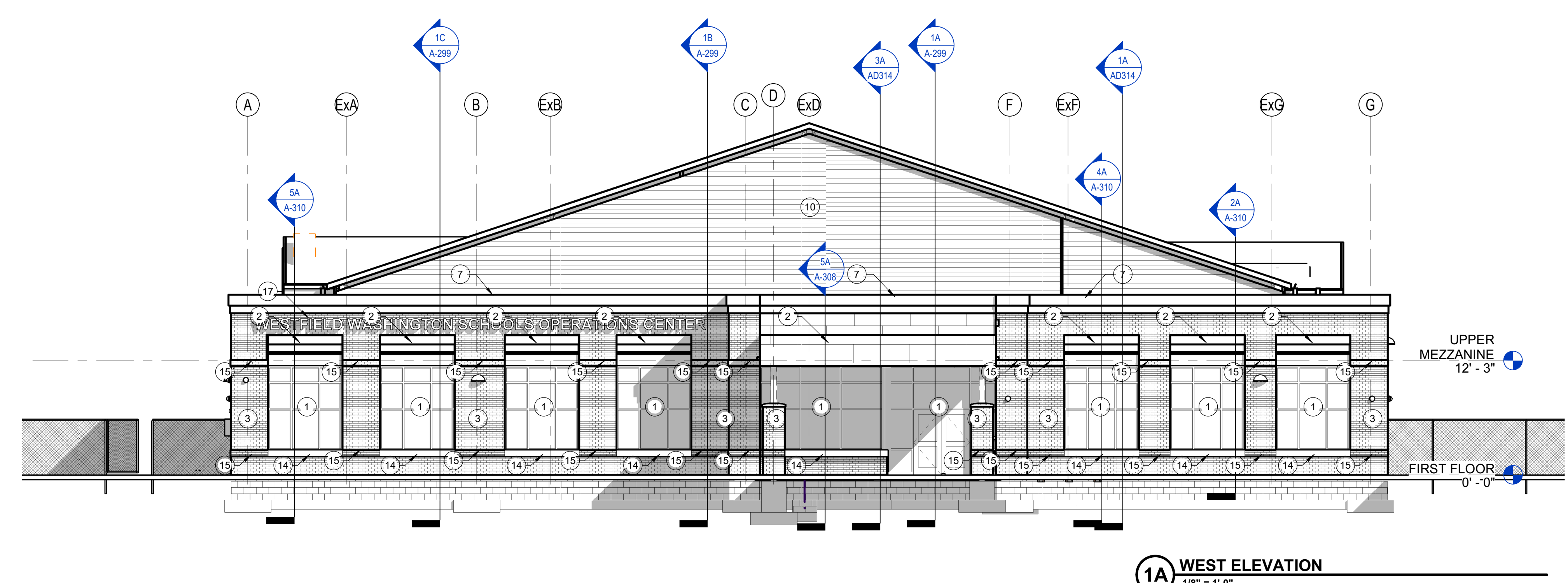
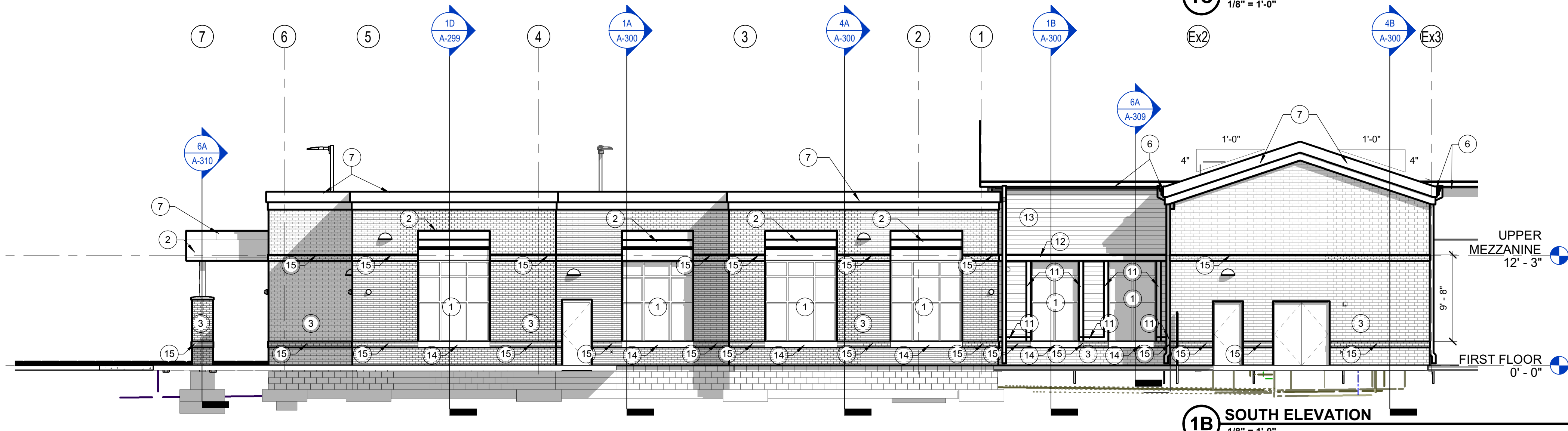
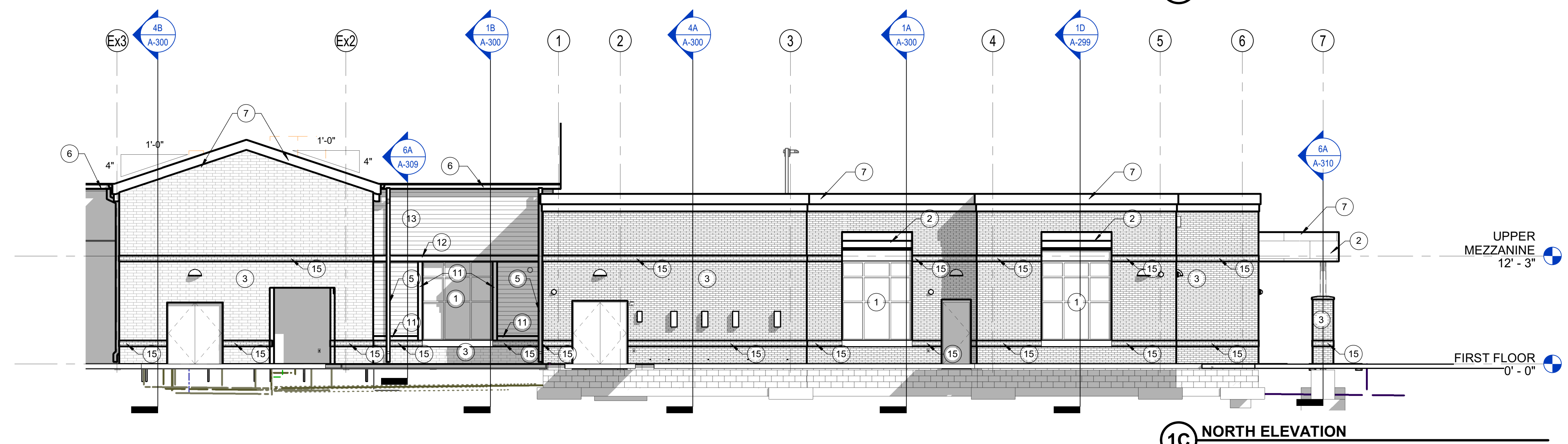
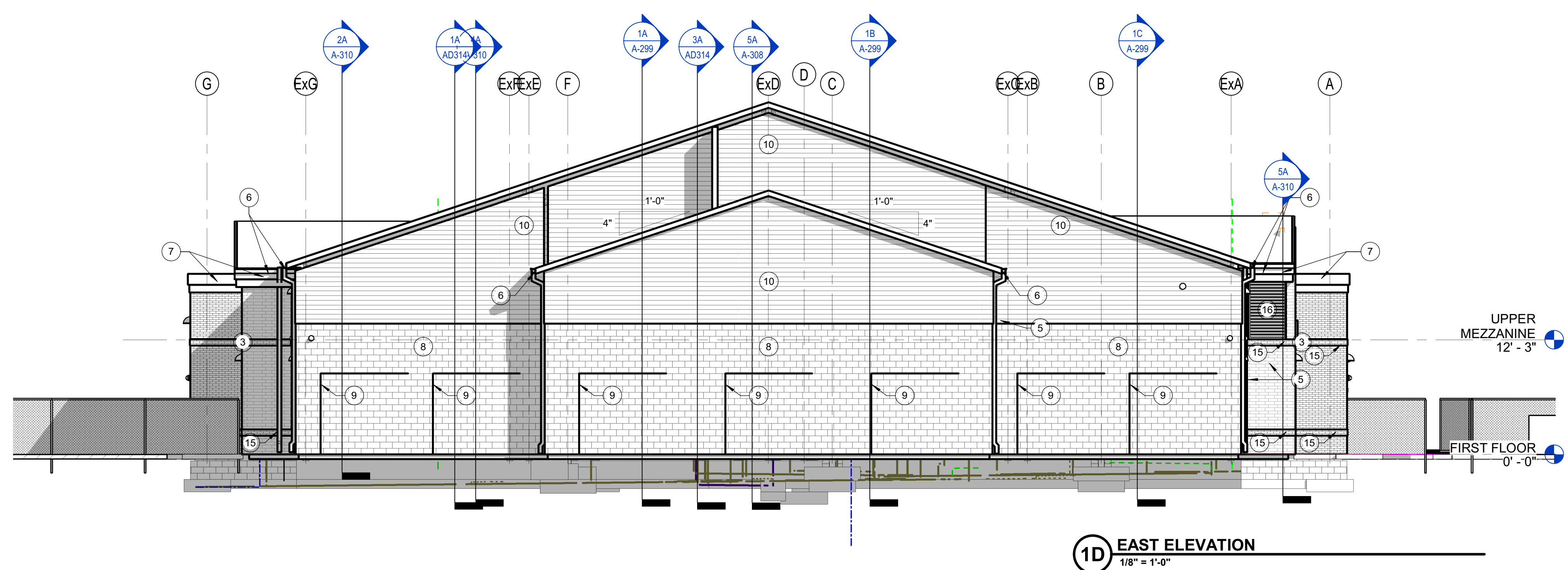
Westfield
Washington Schools

OVERALL ELEVATIONS - UNIT A

A-200

THIS LEGEND IS PROVIDED FOR REFERENCE PURPOSES ONLY. PRODUCTS/COLORS INDICATED ARE BASED ON BASIS OF DESIGN MANUFACTURERS. REFER TO SPECIFICATIONS FOR LIST OF ACCEPTED EQUAL MANUFACTURES/PRODUCTS.

BUILDING ELEVATION NOTES	
#	Note
1	084113 - ALUMINIUM STOREFRONT
2	133419 - COMPOSITE METAL WALL PANELS,
3	042613 - BRICK VENEER - TYPE A,
4	043613 - OVERHEAD SECTIONAL SERVICE DOOR.
5	133419 - METAL DOWNSPOUT, 4"X4" TO DRAIN BOOT. REFER TO C-SERIES DRAWINGS TO COORDINATE URAN BOOTING UNDERGROUND/STORM PIPING.
6	133419 - METAL GUTTER, 5"X5"
7	077100 - METAL COPING.
8	08 96 00 99 - EXISTING SPLIT FACED BLOCK TO REMAIN AND RECEIVE HIGH PERFORMANCE COATING.
9	04 20 00 - MASONRY INFILL OF EXISTING STOREFRONT.
10	08 96 00 99 EXISTING FIBER CEMENT SIDING TO BE PAINTED.
11	074646 - 6" FIBER CEMENT TRIM.
12	074646 - 8" FIBER CEMENT TRIM TO ALIGN WITH ADJACENT BRICK BANDING.
13	074646 - FIBER CEMENT LAP SIDING TO MATCH EXISTING.
14	042000 - LIMESTONE WINDOW SILL.
15	042000 - BRICK BANDING - TYPE B.
16	089119 - FIXED LOUVER, VERIFY EXISTING DIMENSIONS.
17	101400 - BUILDING SIGNAGE 14-INCH HIGH LETTERS.

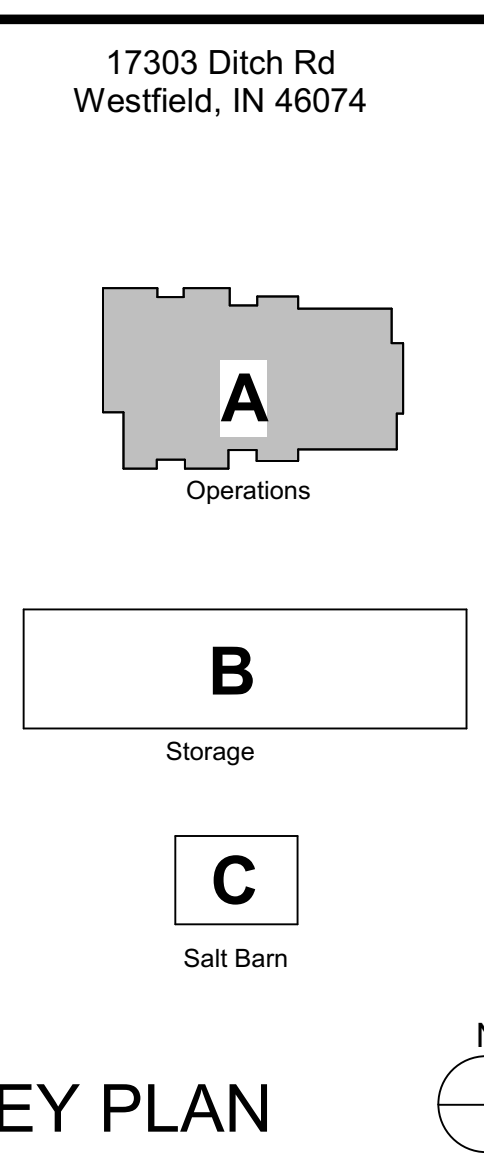


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#	Revision	Date
3		



BUILDING ELEVATIONS
UNIT A

A-210

BUILDING ELEVATION NOTES

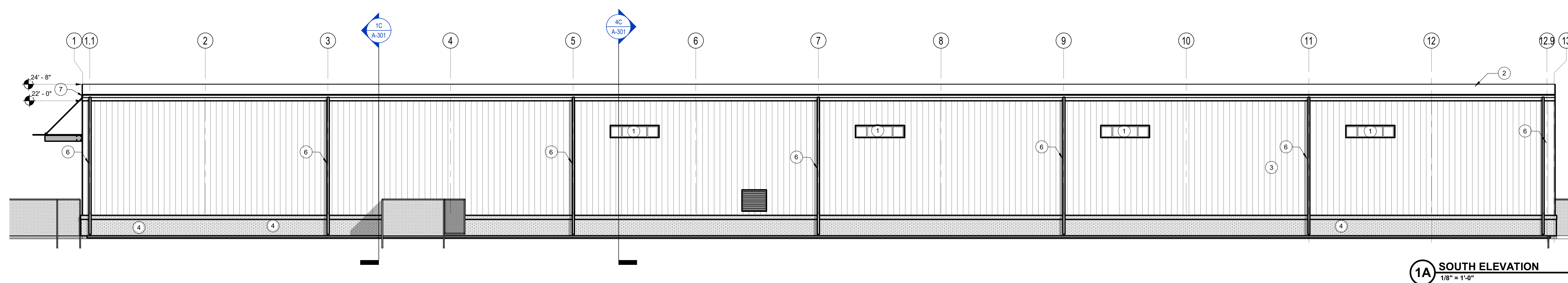
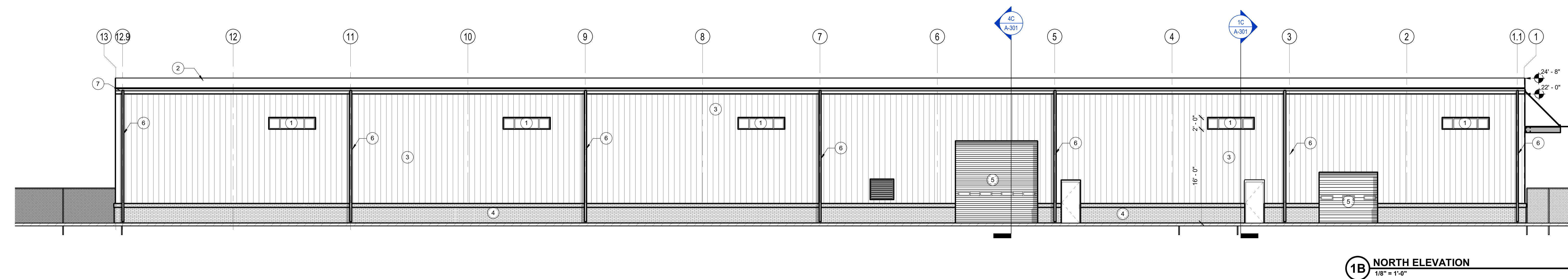
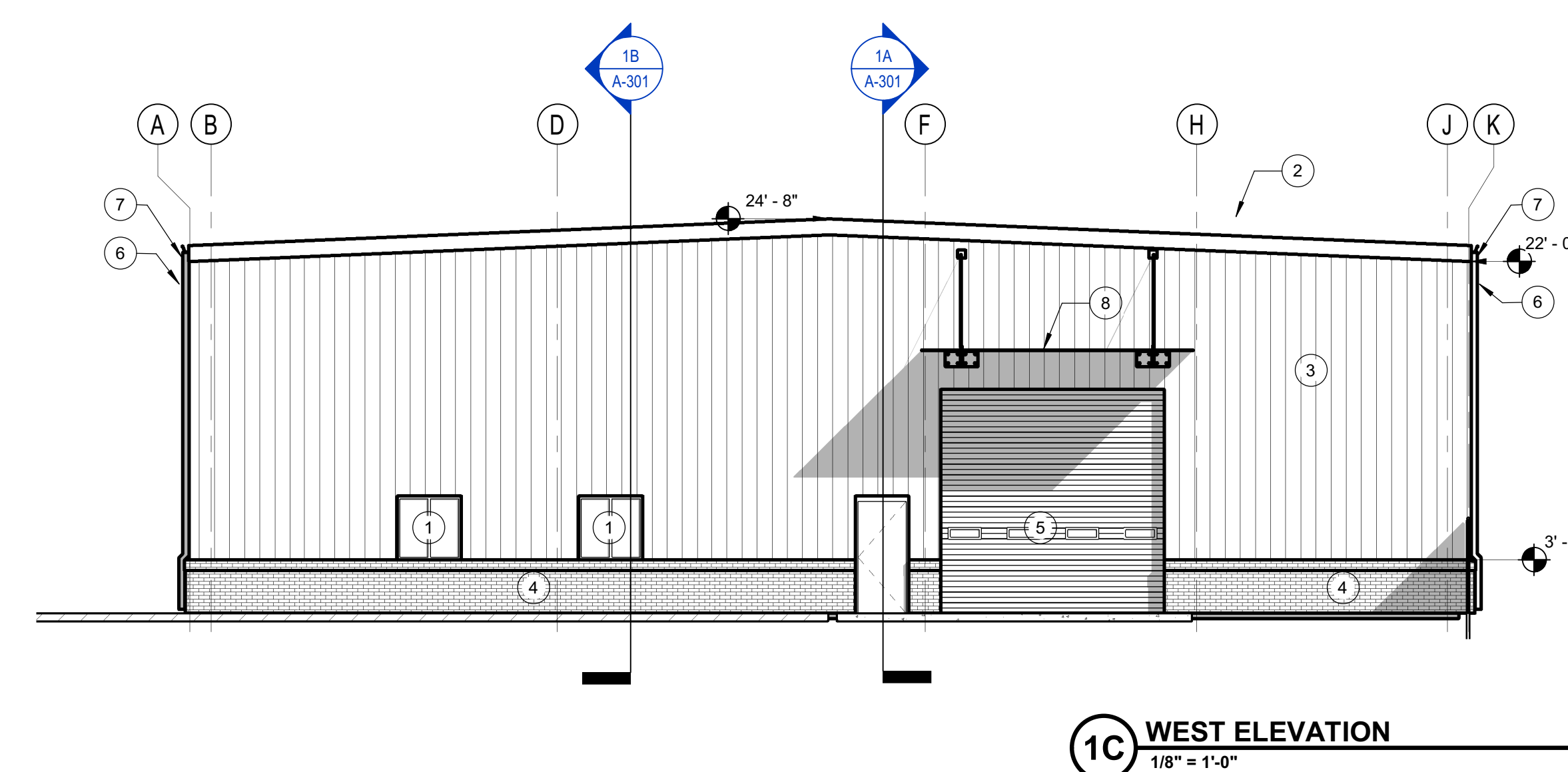
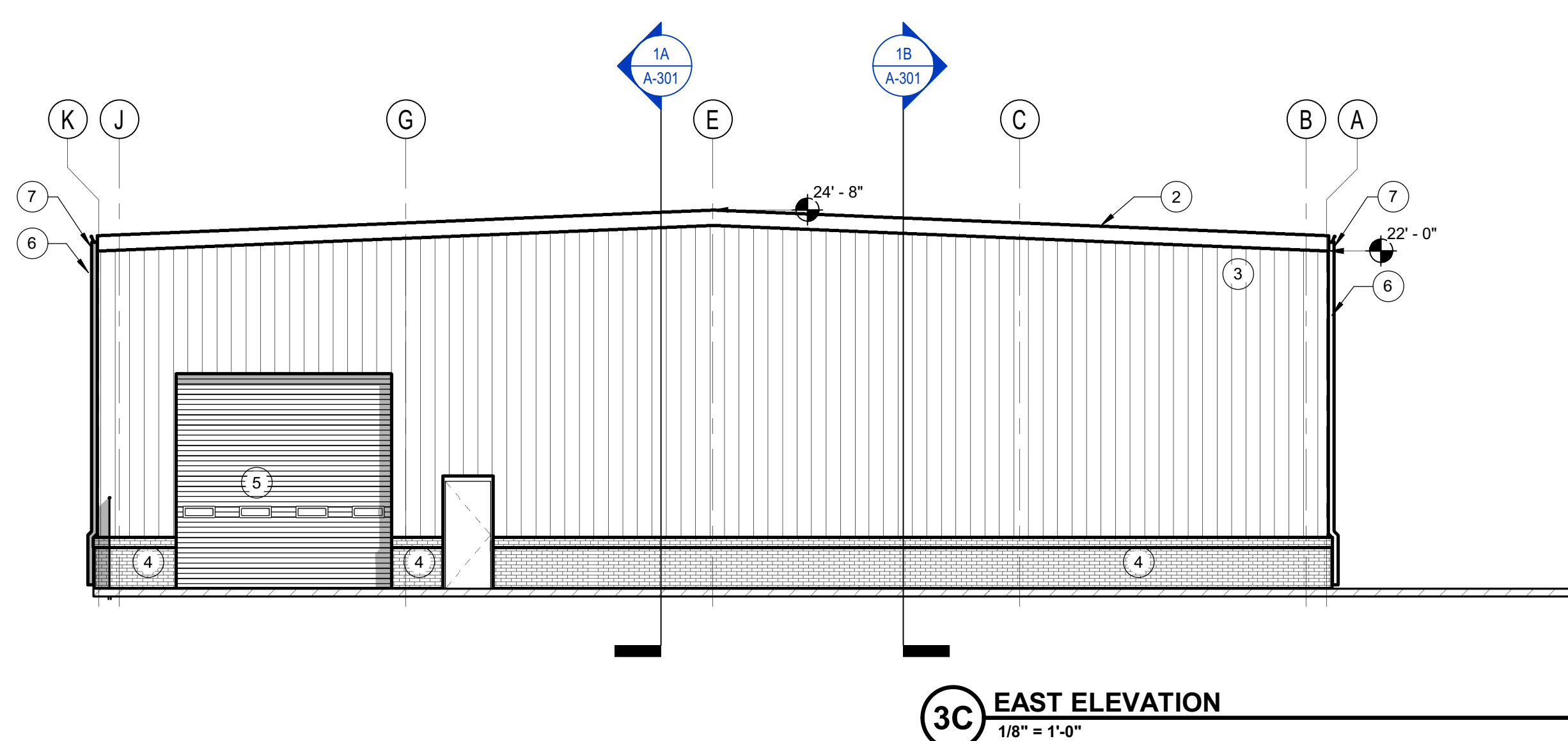
NOT ALL NOTES APPLY TO EVERY SHEET.

NOTES: THESE AFFECT EVERY SHEET.	
#	NOTE
1	084113 - ALUMINUM STOREFRONT
2	074113.16 - STANDING SEAM METAL ROOF
3	133419 - METAL WALL PANELS
4	042613 - BRICK VENEER
5	083613 - OVERHEAD SECTIONAL SERVICE DOOR.
6	133419 - METAL DOWNSPOUT 4"x4" TO DRAIN BOOT. REFER TO C-SERIES DRAWING TO COORDINATE DRAIN BOOT AND UNDERGROUND STORM PIPING.
7	133419 - METAL GUTTER, 5" X 5"
8	133419 - PRE-ENGINEERED/PRE-ASSEMBLED CANOPY SYSTEM

EXTERIOR FINISH SCHEDULE

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SPEC SECTION	MAT'L	MARK. COLOR (BASIS OF DESIGN)	
042000	FACE BRICK	A. RED - JEWEL CLEAR VELOUR UTILITY	
074213.13	METAL WALL PANEL	AS SELECTED FROM MANUFACTURERS STANDARD GRAY COLORS.	
077100	FASCIA, GUTTERS, DOWNSPOUTS	CUSTOM COLOR GREEN TO MATCH DISTRICT STYLE GUIDE.	
079200	SEALANTS	ALL SEALANTS USED IN MASONRY CONTROL JOINTS SHALL MATCH THE MASONRY MORTAR ALL SEALANTS USED IN EXPOSED CONCRETE SHALL MATCH THE SURROUNDING COLOR CONCRETE UNLESS NOTED OTHERWISE ALL SEALANTS USED TO SEAL AROUND EXTERIOR WINDOWS AND DOOR FRAMES SHALL MATCH THE WINDOW AND DOOR FRAME COLOR	
081113	HM DOORS AND FRAMES	PAINT COLOR AS SELECTED BY ARCHITECT	
083613	SECTIONAL DOOR	PAINT COLOR AS SELECTED BY ARCHITECT	
084113	ALUM. STOREFRONT	CUSTOM COLOR GREEN TO MATCH DISTRICT STYLE GUIDE.	
088000	GLAZING	INSUL GLASS	SUNGUARD SUPER NEUTRAL 54
089000	LOUVERS	CLEAR ANODIZED ALUM.	



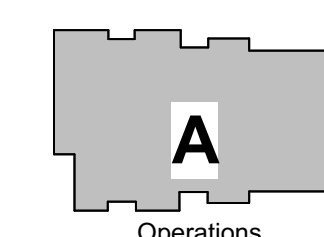
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#	Revision	Date
A1	Addendum 1	11.15.2024
A2	Addendum 2	11.26.2024
S1	SI-001	12.13.2024

17303 Ditch Rd
Westfield, IN 46074



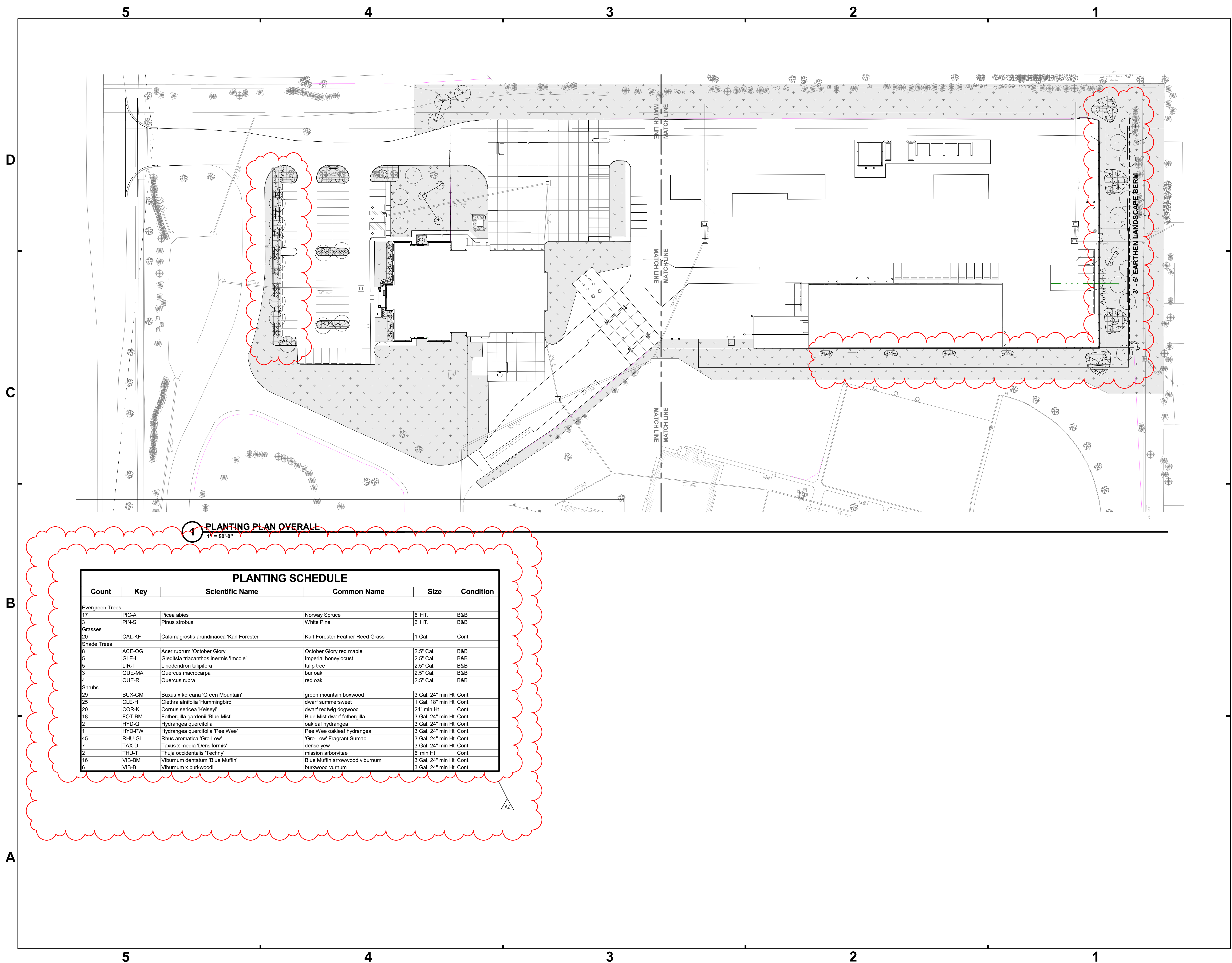
KEY PLAN

Westfield
Washington Schools



BUILDING ELEVATIONS - UNIT B

A-211



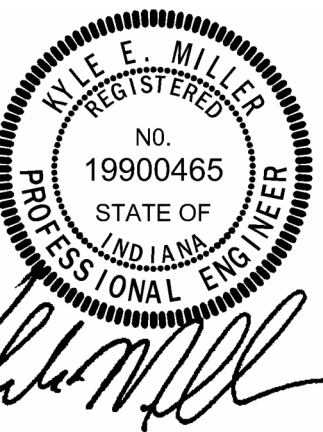
1 PLANTING PLAN OVERALL
1" = 50'-0"

PLANTING SCHEDULE					
Count	Key	Scientific Name	Common Name	Size	Condition
Evergreen Trees					
17	PIC-A	Picea abies	Norway Spruce	6' HT.	B&B
3	PIN-S	Pinus strobus	White Pine	6' HT.	B&B
Grasses					
20	CAL-KF	Calamagrostis arundinacea 'Karl Forester'	Karl Forester Feather Reed Grass	1 Gal.	Cont.
Shade Trees					
6	ACE-OG	Acer rubrum 'October Glory'	October Glory red maple	2.5' Cal.	B&B
6	GLE-I	Gleditsia triacanthos inermis 'Imcoke'	Imperial honeylocust	2.5' Cal.	B&B
6	LIR-T	Liriodendron tulipifera	tulip tree	2.5' Cal.	B&B
3	QUE-MA	Quercus macrocarpa	bur oak	2.5' Cal.	B&B
4	QUE-R	Quercus rubra	red oak	2.5' Cal.	B&B
Shrubs					
23	BUX-GM	Buxus x koreana 'Green Mountain'	green mountain boxwood	3 Gal. 24" min Ht.	Cont.
25	CLE-H	Clethra alnifolia 'Hummingbird'	dwarf summersweet	1 Gal. 18" min Ht.	Cont.
20	COR-K	Cornus sericea 'Kelsey'	dwarf redtwig dogwood	24" min Ht.	Cont.
18	FOT-BM	Fothergilla gardenii 'Blue Mist'	Blue Mist dwarf fothergilla	3 Gal. 24" min Ht.	Cont.
2	HYD-Q	Hydrangea quercifolia	oakleaf hydrangea	3 Gal. 24" min Ht.	Cont.
1	HYD-FW	Hydrangea quercifolia 'Pee Wee'	Pee Wee oakleaf hydrangea	3 Gal. 24" min Ht.	Cont.
45	RHU-QL	Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	3 Gal. 24" min Ht.	Cont.
7	TAX-D	Taxus x media 'Densiformis'	dense yew	3 Gal. 24" min Ht.	Cont.
2	THU-T	Thuja occidentalis 'Techny'	mission arborvitae	6' min Ht.	Cont.
16	VIB-BM	Viburnum dentatum 'Blue Muffin'	Blue Muffin arrowwood viburnum	3 Gal. 24" min Ht.	Cont.
6	VIB-B	Viburnum x burkwoodii	burkwood vurnum	3 Gal. 24" min Ht.	Cont.



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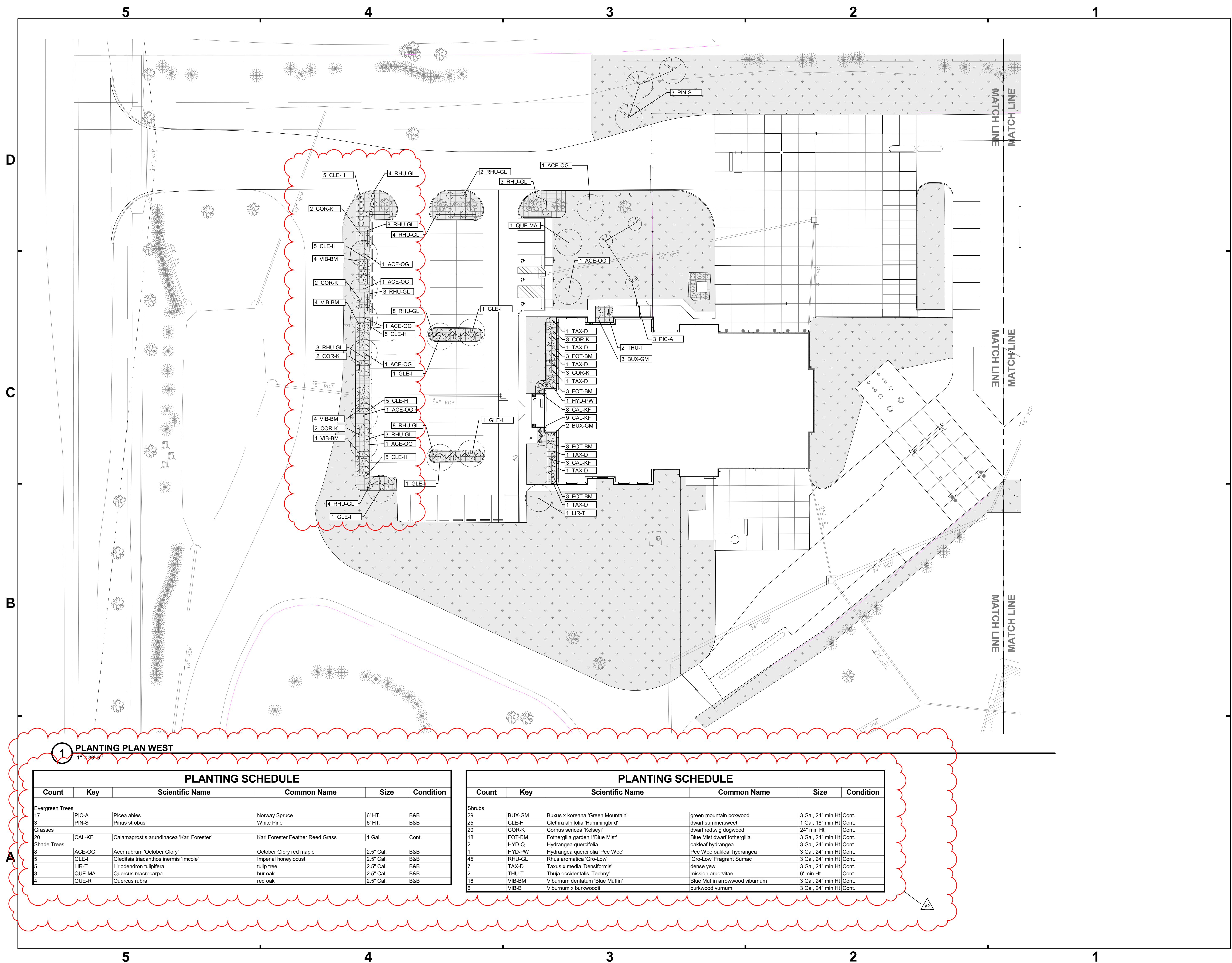
WESTFIELD WASHINGTON SCHOOLS



WESTFIELD OPERATIONS BUILDING

OVERALL PLANTING LAYOUT

LP101



1 PLANTING PLAN WEST
1" = 30'-0"

PLANTING SCHEDULE				
Count	Key	Scientific Name	Common Name	Size Condition
Evergreen Trees				
17	PIC-A	Picea abies	Norway Spruce	6' HT. B&B
3	PIN-S	Pinus strobus	White Pine	6' HT. B&B
Grasses				
20	CAL-KF	Calamagrostis arundinacea 'Karl Forester'	Karl Forester Feather Reed Grass	1 Gal. Cont.
Shade Trees				
8	ACE-OG	Acer rubrum 'October Glory'	October Glory red maple	2.5" Cal. B&B
5	GLE-I	Gleditsia triacanthos inermis 'Imcole'	Imperial honeylocust	2.5" Cal. B&B
5	LIR-T	Liriodendron tulipifera	tulip tree	2.5" Cal. B&B
3	QUE-MA	Quercus macrocarpa	bur oak	2.5" Cal. B&B
4	QUE-R	Quercus rubra	red oak	2.5" Cal. B&B

PLANTING SCHEDULE				
Count	Key	Scientific Name	Common Name	Size Condition
Shrubs				
29	BUX-GM	Buxus x koreana 'Green Mountain'	green mountain boxwood	3 Gal, 24" min Ht. Cont.
25	CLE-H	Clethra alnifolia 'Hummingbird'	dwarf summersweet	1 Gal, 18" min Ht. Cont.
20	COR-K	Cornus sericea 'Kelsey'	dwarf redbud dogwood	24" min Ht. Cont.
18	FOT-BM	Fothergilla gardenii 'Blue Mist'	Blue Mist dwarf fothergilla	3 Gal, 24" min Ht. Cont.
2	HYD-Q	Hydrangea quercifolia	oakleaf hydrangea	3 Gal, 24" min Ht. Cont.
1	HYD-PW	Hydrangea quercifolia 'Pee Wee'	Pee Wee oakleaf hydrangea	3 Gal, 24" min Ht. Cont.
45	RHU-GL	Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	3 Gal, 24" min Ht. Cont.
7	TAX-D	Taxus x media 'Densiformis'	dense yew	3 Gal, 24" min Ht. Cont.
2	THU-T	Thuja occidentalis 'Techny'	mission arborvitae	6" min Ht. Cont.
16	VIB-BM	Viburnum dentatum 'Blue Muffin'	Blue Muffin arrowwood viburnum	3 Gal, 24" min Ht. Cont.
6	VIB-B	Viburnum x burkwoodii	burkwood viburnum	3 Gal, 24" min Ht. Cont.

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725 Brent St., #203, Louisville, KY 40204

Project No. 2022-121.WOB
Project Date 12.20.2024
Produced TAF

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#	Revision	Date
A2	Addendum #2	01.24.25

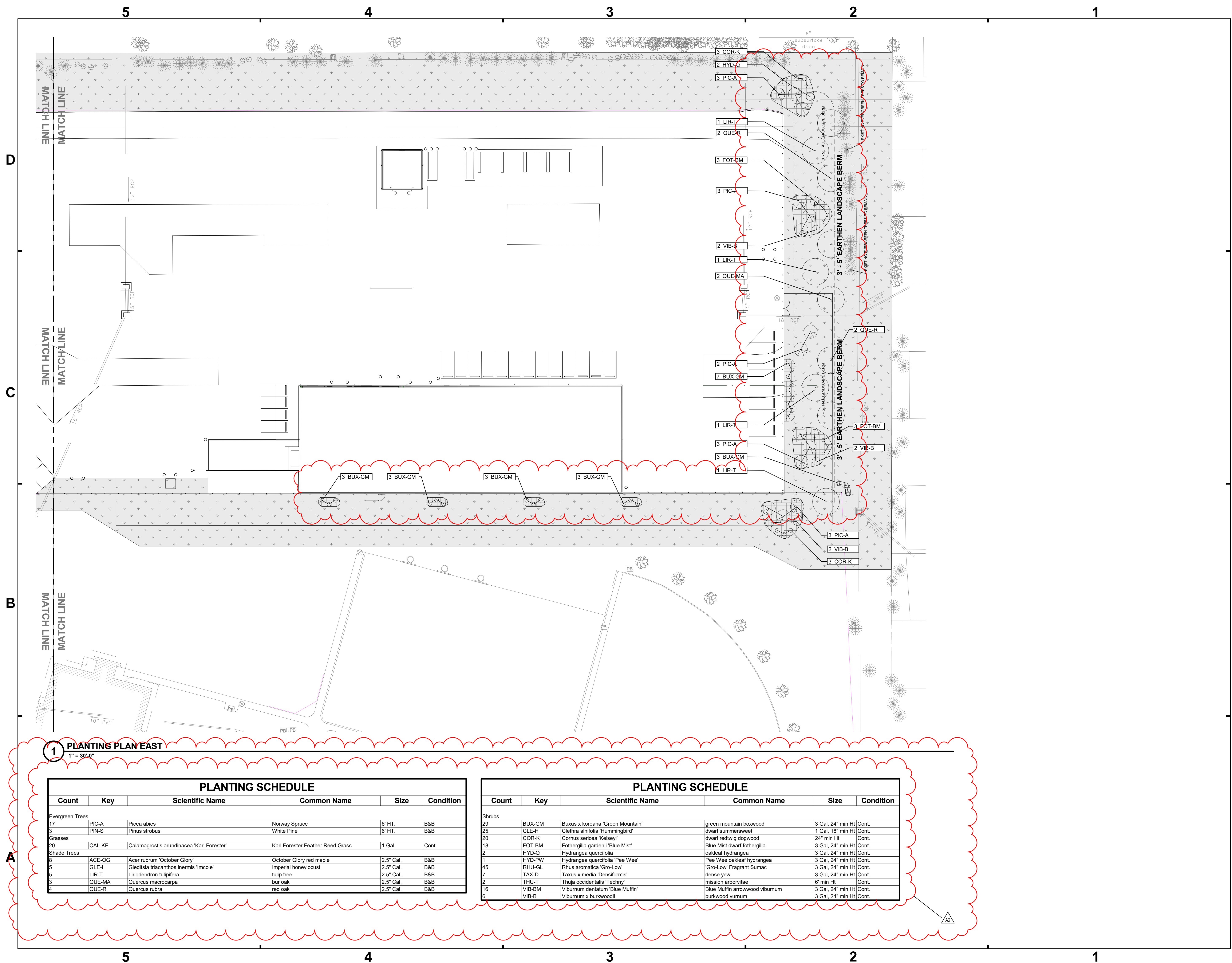
17303 Ditch Road
Westfield, IN 46074

WESTFIELD WASHINGTON SCHOOLS

WESTFIELD OPERATIONS BUILDING

PLANTING PLAN-
WEST

LP102



1 PLANTING PLAN EAST
1" = 30'-0"

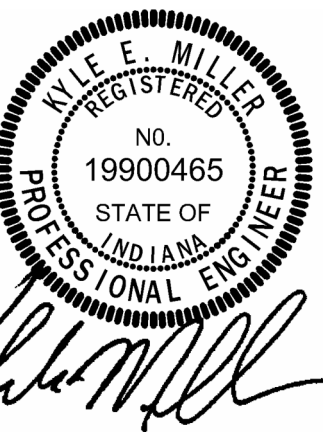
PLANTING SCHEDULE					
Count	Key	Scientific Name	Common Name	Size	Condition
Evergreen Trees					
17	PIC-A	Picea abies	Norway Spruce	6' HT.	B&B
3	PIN-S	Pinus strobus	White Pine	6' HT.	B&B
Grasses					
20	CAL-KF	Calamagrostis arundinacea 'Karl Forester'	Karl Forester Feather Reed Grass	1 Gal.	Cont.
Shade Trees					
8	ACE-OG	Acer rubrum 'October Glory'	October Glory red maple	2.5" Cal.	B&B
5	GLE-I	Gleditsia triacanthos inermis 'Imcoke'	Imperial honeylocust	2.5" Cal.	B&B
5	LIR-T	Liriodendron tulipifera	tulip tree	2.5" Cal.	B&B
3	QUE-MA	Quercus macrocarpa	bur oak	2.5" Cal.	B&B
4	QUE-R	Quercus rubra	red oak	2.5" Cal.	B&B

PLANTING SCHEDULE					
Count	Key	Scientific Name	Common Name	Size	Condition
Shrubs					
29	BUX-GM	Buxus x koreana 'Green Mountain'	green mountain boxwood	3 Gal. 24" min Ht	Cont.
25	CLE-H	Clethra alnifolia 'Hummingbird'	dwarf summersweet	1 Gal. 18" min Ht	Cont.
20	COR-K	Cornus sericea 'Kelsey'	dwarf redbow dogwood	24" min Ht	Cont.
18	FOT-BM	Fothergilla gardenii 'Blue Mist'	Blue Mist dwarf fothergilla	3 Gal. 24" min Ht	Cont.
2	HYD-Q	Hydrangea quercifolia	oakleaf hydrangea	3 Gal. 24" min Ht	Cont.
1	HYD-PW	Hydrangea quercifolia 'Pee Wee'	Pee Wee oakleaf hydrangea	3 Gal. 24" min Ht	Cont.
45	RHU-GL	Rhus aromatica 'Gro-Low'	'Gro-Low' Fragrant Sumac	3 Gal. 24" min Ht	Cont.
7	TAX-D	Taxus x media 'Densiformis'	dense yew	3 Gal. 24" min Ht	Cont.
2	THU-T	Thuja occidentalis 'Techny'	mission arborvitae	6" min Ht	Cont.
16	VIB-BM	Viburnum dentatum 'Blue Muffin'	Blue Muffin arrowwood viburnum	3 Gal. 24" min Ht	Cont.
6	VIB-B	Viburnum x burkwoodii	burkwood vurnum	3 Gal. 24" min Ht	Cont.



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#	Revision	Date
A2	Addendum #2	01.24.25

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WESTFIELD WASHINGTON SCHOOLS



WESTFIELD OPERATIONS BUILDING

PLANTING PLAN-EAST
LP103